



Little Chute

AGENDA

LITTLE CHUTE VILLAGE BOARD COMMITTEE OF THE WHOLE MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, May 27, 2015
TIME: 6:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda
- 1. Approval of Minutes
 - Minutes of the Regular Board Meeting of May 6, 2015*
 - Minutes of the Committee of the Whole Meeting of May 13, 2015*
- 2. Discussion/Action—Industrial Park Site Plan Approval for Midwest Restorations
- 3. Discussion/Action—New Sidewalk on East Greenfield Drive
- 4. Operator License:
 - Tank, Kelly M & M Bar Little Chute
- 5. Discussion—Village Engineer Position
- 6. Unfinished Business
- 7. Items for Future Agenda
- 8. Adjournment

MINUTES OF THE REGULAR BOARD MEETING OF MAY 6, 2015

Call to Order: President Vanden Berg called the Regular Board Meeting to Order at 6:00 p.m.

Pledge Allegiance to the Flag

President Vanden Berg led members in the reciting of the Pledge of Allegiance.

Roll call of Trustees

PRESENT: Michael Vanden Berg, President
James Hietpas, Trustee
David Peterson, Trustee
Bill Peerenboom, Trustee
Larry Van Lankvelt, Trustee
John Elrick, Trustee
Skip Smith, Trustee

Roll Call of Officers and Department Heads

PRESENT: James Fenlon, Village Administrator
Police Chief Eric Misselt
Jim Moes, Community Development Director
Roy Van Gheem, Director of Public Works
Teri Matheny, Finance Director
Laurie Decker, Village Clerk
Michael Menghini, Village Attorney
Nick Vande Hey with McMahon and Associates
EXCUSED: Beth Carpenter, Library Director

Public Appearance for Items Not on the Agenda

None

Approval of Minutes

Minutes of the Regular Board Meeting of April 15, 2015

Moved by Trustee Van Lankvelt, seconded by Trustee Hietpas to approve the minutes as presented
Ayes 7, Nays 0 – Motion Carried

Public Hearing—Special Assessments on Fillmore Street and Greenfield Drive

Moved by Trustee Elrick, seconded by Trustee Smith to enter in the Public Hearing

Ayes 7, Nays 0 – Motion Carried

Director Van Gheem of Public Works opened the Public Hearing with an overview of the special assessment process and numbers. He stated that after the presentation he and his staff will take individual questions in the hallway. Nick Vande Hey with McMahon and Associates presented a slideshow overview of the construction project. Utilities are scheduled for completion on Fillmore Street on August 14, 2015. After the utility work is complete the street will be completed by the October 30, 2015. It is possible that the work could be completed before these dates. Greenfield Drive utilities would be completed by July 17, 2015 and the street by October 30, 2015. During construction, every effort will be made to maintain driveway access. Finance Director, Teri Matheny presented a slideshow on the costs and financing options. When your special assessment bill arrives it will come with a five year schedule attached. However, on special assessments the Village does allow 10 year financing if requested by the owner. All you have to do is sign it and return it. These forms are also available on our website. Private utility laterals are referred to as special charges are only billed on a 5 year amortization. If you pay off your bill within 60 days it will not incur any interest charges. The interest rate is determined at the time of the Final Resolution and is a fixed rate. A resident asked if the Village covers any of the costs. Director Van Gheem stated that the Village covers 40-60% depending on the project and 30% of storm sewer laterals. A question was also raised if the concrete paving will be extended to their driveways as the street is being narrowed. Director Van Gheem

confirmed that all aprons are included. The last question asked was regarding the funding for special assessments. Appleton went to the wheel tax last year that covers projects and asked if the board ever considered wheel tax. Director Van Gheem replied staff and board spent several months going through options for the special assessments including wheel tax. At that time the board decided not to go with the wheel tax. Administrator Fenlon added if anyone wants more information on the presentations, alternatives and final assessment policy it is on our website under the Administrator tab or you call him directly. Director Van Gheem stated the presentation had concluded and he will take additional questions in the hallway.

Moved by Trustee Elrick, seconded by Trustee Smith to Return to Open Session
Ayes 7, Nays 0 – Motion Carried

Action—Adopt Final Resolution #15 for E. Evergreen Drive
Moved by Trustee Van Lankvelt, seconded by Trustee Elrick to Adopt Final Resolution #15 for E. Evergreen Drive
Ayes 7, Nays 0 – Motion Carried

Action—Bid Award on Street Construction
Moved by Trustee Elrick, seconded by Trustee Van Lankvelt to Award RC Excavating, Inc in the Street Construction Bid in the Amount of \$530,157.90
Ayes 7, Nays 0 – Motion Carried

Action—Bid Award on Utility Construction
Moved by Trustee Elrick, seconded by Trustee Peterson to Award Donald Heeltaps & Sons the Utility Construction Bid for \$758,817.60
Ayes 7, Nays 0 – Motion Carried

Discussion/Possible Action—Adopt Ordinance #2 Creating Chapters 30, Section 136 of the Village Of Little Chute Prohibiting “Sexting”
Erik Misselt, Fox Valley Metro Police Chief stated currently there are two very polarizing options for law enforcement when dealing with juvenile sexting. Officers either have to charge the juvenile with felony charges for soliciting, manufacturing, distributing and possessing child pornography or allow for the parents to choose the appropriate punishment (if any) for their child. This ordinance would give officers another option of holding juveniles accountable, if necessary. This would allow Fox Valley Metro to seize any device used and with the implementation of the ordinance they could then issue a municipal summons if appropriate. While we may not choose to address every situation with the ordinance, it will give them another tool for juveniles who do not meet the criteria for criminal charge but their parents are not holding them appropriately accountable. Situations where adults are involved with soliciting, manufacturing, distributing and possessing child pornography would still addressed through the criminal investigative process.

Moved by Trustee Elrick, seconded by Trustee Van Lankvelt to Adopt Ordinance #2 Creating Chapter 30, Section 136 of the Village of Little Chute Prohibiting “Sexting”

Ayes 7, Nays 0 – Motion Carried

Action—Approve Special Event Permit for the Legion’s Memorial Day Parade
Moved by Trustee Van Lankvelt, seconded by Trustee Elrick to Approve the Special Event Permit For the Legion’s Memorial Day Parade
Ayes 7, Nays 0 – Motion Carried

Discussion—Mill Street Bridge Update
Administrator Fenlon presented an update on the Mill Street Bridge stating as of April 30, 2015, the Village is complete with historic preservation requirements for the mechanical structure. There will be follow-on items with creating displays per previous agreements, but from project perspective things are moving forward. It should be noted that no costs are final as they are still wrapping up negotiations for Consultant Inspection services. We will not know the final numbers until the final bids are received. The Village has an agreement with Outagamie County to split the 20% local share at 10% each. As these figures are

finalized, Village staff will work state and county officials to ensure that all facets of the project are accounted for.

Discussion/Action—Industrial Park Site Plan Approval for Building Services Group

Director Moes handed out a revised application which more fully described the numbers of employees and number of parking spaces. Parking was shifted and reduced in size to make sure it fell under the Village’s storm water regulations. Recommendation is the Village Board approve the site plan.

Moved by Trustee Van Lankvelt, seconded by Trustee Peterson to Approve the Industrial Park Site Plan for Building Services Group

Ayes 7, Nays 0 – Motion Carried

Operator Licenses:

Wilson, Jerod	Seth’s Coffee	Little Chute
De La Hunt, David	Dwyer’s Food Mart	Little Chute

Moved by Trustee Van Lankvelt, seconded by Trustee Peterson to Approve the Operator Licenses as presented

Ayes 7, Nays 0 – Motion Carried

Department and Officers Progress Reports

Departments and Officers provided progress reports to the Board

Disbursement List

Moved by Trustee Peerenboom, seconded by Trustee Hietpas to Approve the Vouchers and Authorize the Finance Director to pay all vendors.

Ayes 7, Nays 0 – Motion Carried

Call for Unfinished Business

None

Items for Future Agendas

None

Closed Sessions:

- a) 19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. Purchase of Property/Negotiations*

- b) 19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. Sale of Village Owned Property*

- c) 19.85(1) (c) Consideration of Employment, Promotion, or Performance Evaluation Data of any Public Employee of the Village of Little Chute. Personnel Matter/Recruitment of Parks, Recreation, and Forestry Director*

Moved by Trustee Smith, seconded by Trustee Van Lankvelt to enter into Closed Session at 7:10 p.m.

Ayes 7, Nays 0 – Motion Carried

Return to Open Session

Moved by Trustee Elrick, seconded by Trustee Peterson to exit Closed Session at 8:20 p.m.

Ayes 7, Nays 0 – Motion Carried

Adjournment

Moved by Trustee Elrick, seconded by Trustee Peterson to Adjourn the Regular Board

Meeting at 8:20 p.m.

Ayes 7, Nays 0 - Motion Carried

VILLAGE OF LITTLE CHUTE

Attest:

Laurie Decker, Village Clerk

By: _____
Michael R. Vanden Berg, Village President

MINUTES OF THE COMMITTEE OF THE WHOLE MEETING MAY 13, 2015

Call to Order

President Vanden Berg called the Committee of the Whole meeting to order at 6:00 p.m.

Roll Call

PRESENT: President Vanden Berg, Trustee Peerenboom, Trustee Peterson, Trustee Van Lankvelt,
Trustee Smith, Trustee Elrick

EXCUSED: Trustee Hieptas

ALSO PRESENT: James Fenlon, Jeff Elrick, Teri Matheny, Laurie Decker, Jim Moes, Donna Koebe,
Interested Citizens, Media Reps

Public Appearance for Items not on the Agenda

Jim Vander Sander of E. Greenfield Drive inquired that he sees no reason that he needs a sidewalk on a dead end street. Director Van Gheem is going to look into the inquiry.

Kimberly Kamps of Fern Court stated she would like to have chickens in her backyard. She is aware of Ordinance against them but would like the Village to reconsider if her neighbors are okay with it. Staff is going to review this and get back to her.

Approval of Minutes

Minutes of the Regular Board Meeting of April 22, 2015

Moved by Trustee Van Lankvelt, seconded by Trustee Smith to approve the minutes as presented
Ayes 6, Nays 0 – Motion Carried

Action—Special Event Permit for Windmill and Village Hall Open House

*Moved by Trustee Elrick, seconded by Trustee Van Lankvelt to Approve the Special Event Permit
For Windmill and Village Hall Open House*

Ayes 6, Nays 0 – Motion Carried

Action—Appoint Donna Koebe as Interim Director of Parks, Recreation and Forestry

*Moved by Trustee Elrick, seconded by Trustee Smith to Appoint Donna Koebe as Interim Director
of Parks, Recreation and Forestry*

Ayes 5, 1 Abstain (Peterson) Nays 0 – Motion Carried

Operator License:

Johnson, Schuyler Shell 41 Little Chute

*Moved by Trustee Peterson, seconded by Trustee Elrick to Approve the Operator License as
presented*

Ayes 6, Nays 0 – Motion Carried

Discussion—Village Engineer Position

There was no discussion on this topic.

Discussion/Action—Mill Street Bridge

Administrator Fenlon presented the construction bid for the Mill Street Bridge which came in over Estimate by 11.7% and has increased the local share. The Village is currently updating our County bridge aid request to split the local share. State and their consultants will be reviewing documents, investigating the reason the estimate was too low and finalizing numbers. Due to the fast response time that the state has requested we are looking for authorization to inform the Department of Transportation that the project can continue to move forward.

*Moved by Trustee Peerenboom, seconded by Trustee Smith to notify the Department of
Transportation to move forward with the project.*

Ayes 6, Nays 0 – Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Closed Session:

a) 19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Sale of Village Owned Property*

Moved by Trustee Smith, seconded by Trustee Peterson to Enter into Closed Session at 6:19 p.m.
Ayes 6, Nays 0 – Motion Carried

Moved by Trustee Smith, seconded by Trustee Van Lankvelt to return to Open Session
Ayes 6, Nays 0 – Motion Carried

Adjournment

Moved by Trustee Smith, seconded by Trustee Peerenboom to Adjourn the Committee of the Whole Meeting at 7:00 p.m.

VILLAGE OF LITTLE CHUTE

By: Michael R. Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Industrial park site plan approval for Midwest Restorations
PREPARED BY: James E. Moes, Director of Community Development
REPORT DATE: May 20, 2015
ADMINISTRATOR'S REVIEW/COMMENTS: No additional comments to this report _____ See additional comments attached _____
EXPLANATION: Midwest Restorations 2230 Bohm Drive proposes construction of addition to the existing building. Industrial park covenants require site plan approval by the Village Board. Upon review the plan meets ID Park Covenants. Attached is the site plan.
RECOMMENDATION: Approve the plans with the additional requirement of planting a row of 15 plants on 3 foot spacing of Emerald Green Arborvitae between the paved area and the neighbor to the East.

VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION
(SUBMIT 12 FOLDED SETS OF DRAWINGS)

SITE ADDRESS 2230 Bohm Drive

LEGAL DESCRIPTION Lot 1 of Certified Survey Map No. 5670, in the SW 1/2 of
the NW 1/4, Sec. 14, T21N, R18E

PROPERTY OWNER(S) Midwest Restorations TELEPHONE 920-460-3900

ADDRESS/ZIP 2230 Bohm Drive 54140 FAX

APPLICANT Harris & Associates, Inc.
CHECK: Architect ☒ Engineer ☐ Surveyor ☐ Attorney ☐ Agent ☐ Other

ADDRESS 2718 N. Meade Street TELEPHONE 920-733-8377

CITY/ZIP Appleton, 54911 FAX 920-733-4731

DESCRIBE IN **DETAIL** THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY
2700 sq. ft. building addition to store restoration equipment and trailers

GROUND FLOOR ELEVATION 717.10 LOT SIZE 27,664 S.F FLOOR AREA 9,077 S.F.

NUMBER OF STORIES IN BLDG 1 BASEMENT YES ☒ NO BUILDING HEIGHT

TOTAL CURRENT EMPLOYEES 12 EMPLOYEES ADDED BY EXPANSION 0

IMPERVIOUS SURFACE COVERAGE SQ. FT 7,735 S.F. # OF PARKING SPACES 13

I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE Calvin L. Tolleson DATE 5/20/2015

44-387(f)	Site plan review fee	\$300.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

2015 Property Records for Village of Little Chute, Outagamie County

May 20, 2015

Commercial Building Name	
Office/Warehouse - 6,300 SF	
Tax Class	
(1) Residential (7) Agri homesite (203) Exempt county	(2) Commercial (207) Exempt federa (204) Exempt loca
Building Zip Code	
54140	
Story Height	
1.00	



Above Grade Section	Section Name	Stories	Perimeter (ft)	Total Area (sf)	Year Built	Expected Life	Years Remaining
	Section 1	1.00	140	1,200	2001	42	42

	Designed Use	Actual Use	Construction Class	Avg Height (ft)	Area (sf)	Area (%)	Quality
Occupancies	Office building		Wood or steel framed exterior w	10.00	1,200	100.0%	Fair

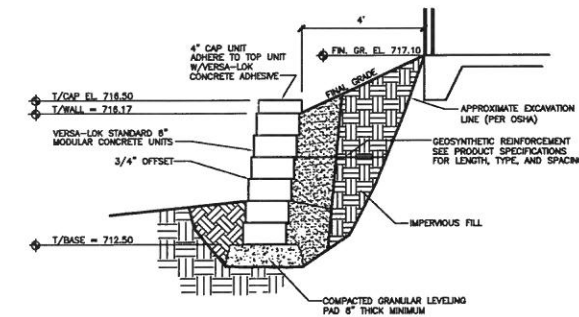
	Component Description				Count	Stops	Area (sf)	Area (%)	Quality
	Single-Metal on Steel Frame							100.0%	Average
Exterior walls	HVAC						1,200	100.0%	Average
	Forced air unit								
Elevators									
Fire sprinklers									
Fire alarms									
Mezzanines									
Malls									
Balconies									

EROSION CONTROL NOTES

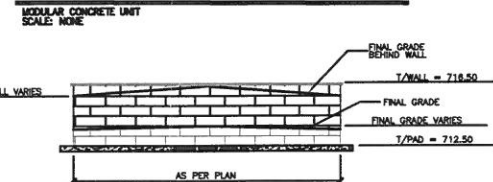
- All site contractors should obtain the Wisconsin Department of Natural Resources Technical Standards.
- All erosion and sediment control measures shall be constructed, inspected and maintained in accordance with the Erosion Control Plan, WDNR Technical Standards and the WDES General Permit for the site. Inspection reports shall be maintained.
- All sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface material. BMPs shall be installed around all soil stockpiles. Stockpiles left in place greater than 7 days shall be properly stabilized.
- Weekly inspection and maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day.
- Within 24 hours of a rainfall of 0.5 inches or more, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected immediately.
- Sediment control measures shall not be removed until the areas served have established vegetative cover.
- Tracking pads shall be installed at all construction site exits to prevent tracking of soil. The tracking pad shall consist of 3"-6" clear stone placed 12' deep, for a minimum of 50'.
- Tracked soil shall be collected daily from paved roads located near the construction site.
- Dewatering shall conform to DNR Technical Standard 1061.
- The street inlets shall be protected by WDOT inlet protection type D-HR. The new catch basins shall be protected by WDOT inlet protection type D-M. The inlet shall remain protected until the entire drainage area of the inlet is restored. Alternative protection shall be utilized around the catch basin if flooding may cause damage to adjacent buildings or properties. The catch basin shall be inspected after each rainfall event and cleaned as needed to maintain flow. If fabric is ripped it shall be replaced by the end of the work day. Fabric shall not be ripped or cut to prevent ponding.

- Overland flow shall be prevented from leaving the work site by installing straw bale or filter fabric fencing parallel to the contours located downhill from the work area.
- Sediment control for pipeline construction:
 - Excavated trench material shall be placed on the uphill side of the trench.
 - Immediately following pipe installation, the trench shall be backfilled, compacted and stabilized at the end of each working day.
- All disturbed ground outside of the everyday construction area at a minimum be temporarily seeded/mulched with oats or rye if the area is left inactive for more than 7 days.
- The existing grass street terrace shall be maintained as a buffer during construction. It shall be restored with temporary seed and mulch at a minimum 7 days after the completion of all lateral installations and other construction activity. If the terrace is not to be restored during final landscaping, a permanent seed mix shall be utilized.

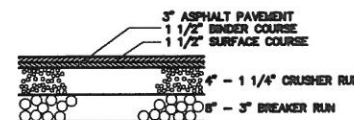
- All erosion control practices damaged due to winter weather shall be repaired/replaced immediately.
- The Construction Site Erosion Control/Stormwater Management Plan shall be kept on-site and with the landowner.
- An Inspection Log shall be maintained and kept on-site.
- Minimize offsite airborne dust by watering disturbed areas when overly dry.
- All waste generated at the construction site will be properly disposed of and not be allowed to run into the storm sewer system.
- No excess concrete washout will be deposited in or near the ditch areas. The concrete washout shall be deposited in the concrete containment structure.
- Off-site deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. Off-site deposits occurring as a result of land disturbance shall be cleaned up by the end of the work day.
- Erosion Control sequence:
 - Install silt fence at the toe of slopes of the disturbed areas. (June 8, 2015)
 - Grade and place all gravel in paved area. (June 10 - 20, 2015)
 - Construct Addition. (June 10 - Nov., 2015)
 - Install asphalt pavement. (Sept., 2015)
 - Seed and mulch all disturbed areas as soon as final grade is established.
 - Remove erosion control measures, after stabilization of the disturbed areas.



TYPICAL SECTION-RETAINING WALL



SOUTH RETAINING WALL

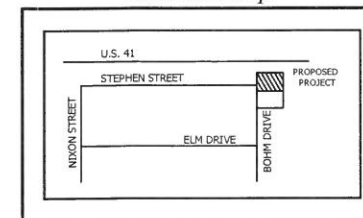


TYPICAL PAVEMENT SECTION



SCALE 1" = 20'

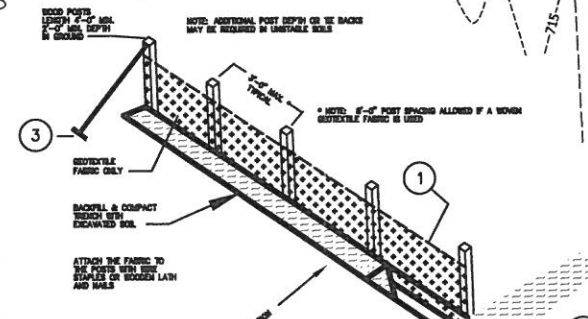
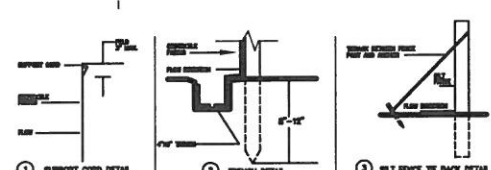
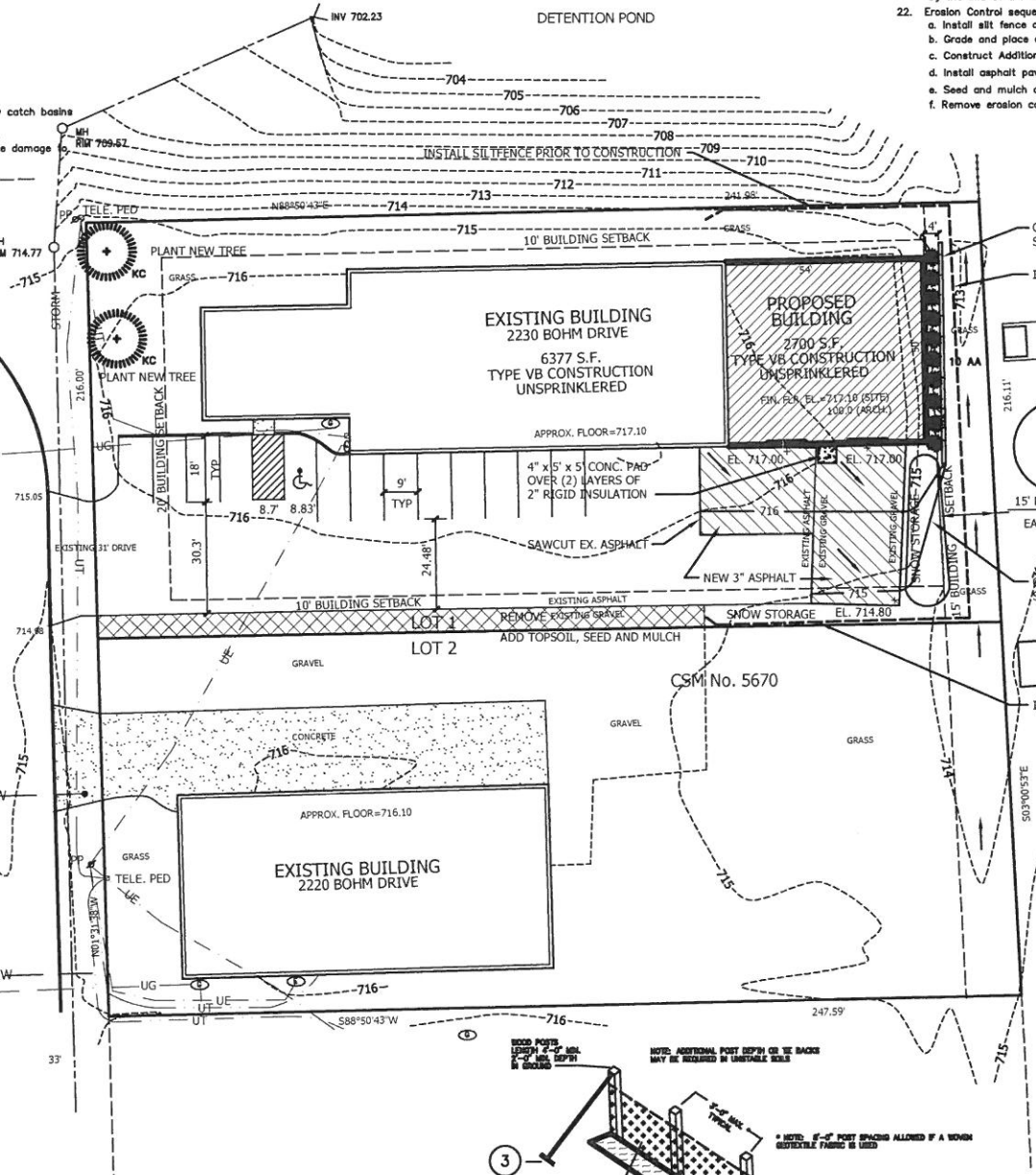
Location Map



LANDSCAPE TREE/SHRUB SCHEDULE

SYM.	COMMON NAME	LATIN NAME	QTY.	COND.	SIZE	REMARKS
⊙ KC	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS	2	B&B	2"	ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARDS FOR NURSERY STOCK"
⊙ AA	AMERICAN ARBORVITAE	THUJA OCCIDENTALIS	10	B&B	5"-6" AT PLANTING	

- OWNER: MIDWEST RESTORATIONS
2230 BOHM DRIVE
LITTLE CHUTE, WI 54140
920-460-3900
- LEGAL DESCRIPTION:
LOT 1 OF CERTIFIED SURVEY MAP NO. 5670, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 14, T21N, R18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN
- TAX PARCEL NO.: 127512
- ZONING: INDUSTRIAL DISTRICT
- LAND USE - EXISTING AND PROPOSED: COMMERCIAL
- OCCUPANCY CLASSIFICATION: STORAGE AND OFFICE (BUSINESS)
- LOT AREA = 27,664 SQ. FT.
EXISTING IMPERVIOUS = 18,490 SQ. FT. = 66.8%
PROPOSED IMPERVIOUS = 17,735 SQ. FT. = 64.0%
- NEW ADDITION IS FOR STORAGE OF RESTORATION EQUIPMENT AND TRAILERS.
- PARKING REQUIRED: ONE SPACE PER ONE EMPLOYEE ON THE LARGEST SHIFT.
NUMBER OF EMPLOYEES = 12 EMPLOYEES
NUMBER OF SPACES SHOWN = 13 INCLUDING 1 HANDICAP STALL
- RECYCLING REQUIRED: OFFICE: 7.0 CU. FT./1000 SQ. FT. FLOOR AREA
OFFICE AREA = 1230 SQ. FT.
RECYCLING = 1230/1000 x 7.0 = 8.6 CU. FT.
RECYCLING REQUIRED FOR STORAGE AREA IS PER TYPE OF ACTIVITY
RECYCLING FOR STORAGE AREA AND OFFICE ARE SUPPLIED IN STORAGE AREA.
- NO EXTERIOR LIGHTING IS PLANNED WITH THIS PROJECT.
- NO SIGNAGE IS PLANNED WITH THIS PROJECT.
- SOIL TYPE: MANAWA SILTY CLAY LOAM



HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS
AND LAND SURVEYORS

2718 NORTH MERCE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4771

PROJECT: FRONTIER BUILDERS
MIDWEST RESTORATIONS
2230-2230 BOHM DRIVE
LITTLE CHUTE, WISCONSIN

LOCATION: 2230-2230 BOHM DRIVE
LITTLE CHUTE, WISCONSIN

DESCRIPTION: SITE PLAN

DRAWN BY: KWW
CHECKED BY:

DATE: 5-19-15

SHEET: **C1.0**

PROJECT NUMBER: 7457

Village of Little Chute
Department of Public Works

REQUEST FOR BOARD'S CONSIDERATION

ITEM DESCRIPTION: New Sidewalk on East Greenfield Drive

REPORT PREPARED BY: Roy Van Gheem *RVG*

REPORT DATE: May 20, 2015

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report: *JOF*

See additional comments attached: _____

EXPLANATION:

As part of the 2015 East Greenfield Drive reconstruction, the Department of Public Works proposes to construct a new sidewalk on the north side of the street from Grant Street to the east.

As shown on the attached plan sheet #8, East Greenfield Drive is proposed to be reconstructed as a 29 foot, back to back, concrete street. Parking is proposed on the south side only. A turn-a-round will be constructed at the east end of the street. The turn-a-round will allow vehicles to safely navigate the dead end street and reduce the amount of vehicles leaving public right-of-way and parking on private property to access the Buchanan Pond area.

Some reasons for the proposed sidewalk would include:

- The only public access to the Buchanan Pond is off the east end of East Greenfield Drive. The public will use this route to access the area for fishing, viewing birds, and other recreation.
- There are currently paved walks extending from the building to the street in the area (see attached aerial).
- Village Ordinance sec 40-64 (d) (1) requires the construction of sidewalk after the installation of curb and gutter on a street.

Please note that there are exceptions in section 40-64 (e) for dead end streets and cul-de-sacs. Under this ordinance section the abutting property owner would still need to pay the assessments for the sidewalk even if it is not constructed.

RECOMMENDATION:

Construct a sidewalk on the north side of East Greenfield Drive from Grant Street to the east as part of the 2015 street reconstruction project.

Sec. 40-64. - Construction and repair.

(a) *Board may order.*

- (1) The village board shall determine whether sidewalks, curb ramps, curb and gutter and suitable street surface material shall be constructed, laid, rebuilt or repaired along or upon any public street, right-of-way or highway within the village. The village board may determine or change the width or grade of any street or sidewalk.
- (2) The provisions of Wis. Stats. § 66.0907 relating to the construction and repair of sidewalks, so far as applicable to the village, are hereby adopted by reference.

(b) *Apportionment of costs.* The apportionment of cost of sidewalk construction, repair, or rehabilitation shall be as established in the village's special assessment policies.(c) *Permit required.*

- (1) Any person, firm, or corporation laying new sidewalks or relaying old sidewalks shall first make application to the department of public works for a permit. The application shall contain such information as the department of public works when the applicant complies with all ordinances and rules relating to sidewalk location and construction.
- (2) Any sidewalk permit issued to a property owner for the installation of new sidewalk shall require a fee. The amount of the fee shall be established by the village board, from time to time, and appears in the fee schedule attached as appendix C to this Code.
- (3) The grade of sidewalks to be constructed or relaid shall be established by the village engineer.

(d) *Sidewalks compulsory.*

- (1) Sidewalks shall be constructed on each side of any street:
 - a. Where the village board determines a sidewalk is necessary for the public health, safety, and welfare; or
 - b. Where curb and gutter have been installed and one of the following conditions exists (the first of the following events occur):
 1. Fifty-one percent or more of the property owners on one side of the street in the block improved with building improvements, excluding outlots;
 2. Fifty-one percent or more of the property owners on one side of the street in said block having installed sidewalks, excluding outlots;
 3. Eighteen months have expired after the issuance of a building permit to the owner of the property on any portion of any street; or
 4. Twelve months have expired since the installation of curb and gutter on the portion of the street abutting said property.
- (2) Subsection (d)(1)b of this section shall not apply to property zoned and in actual use for agricultural, cemeteries, vacant land, undeveloped village areas and industrial purposes, but such property shall be subject to subsection (d)(1)a of this section.

(e) *Exceptions; dead ends and culs-de-sac.*

- (1)

Dead ends consisting of three standard lots or less may be exempt providing they participate in the area assessments for that year. Dead ends are defined as those streets which, for some reason (obstacle) cannot be extended. Short dead ends with extension possible will have sidewalk installed at the time of future development.

- (2) Culs-de-sac may be exempt providing they participate in area assessments for that year.
 - a. For those property owners on an exempt cul-de-sac or an exempt dead-end street, said property owners shall be required to contribute an equal front foot amount as other property owners with the area designated as a special assessment area by the board of trustees. Property owners cannot be exempt from area assessments in culs-de-sac.
 - b. If a previously exempt property owner on a cul-de-sac or exempt dead-end street request sidewalk or the village board determines a subsequent need to have sidewalk in these same areas, these property owners will then pay 100 percent of assessable cost for later construction of sidewalks.
- (f) *New subdivision waiver.* Subdividers must sign a waiver requiring sidewalk installation in accordance with the existing sidewalk policy at the time a plat is submitted for final approval. This item is included on the plat as a condition for the village's final plot approval.
- (g) *Waiver recommendations.* The director of public works may recommend to exempt properties from sidewalk construction when, upon investigation, he determines that sidewalk construction is physically impracticable due to one or more of the following circumstances:
 - (1) Nature of terrain.
 - (2) Insufficient right-of-way.
 - (3) Unresolved engineering problems.
 - (4) Safety hazards that would arise by encouraging pedestrian traffic in dangerous areas such as along railroad tracks.
 - (5) Costs are prohibitive, 20 percent or more above the standard.
- (h) *Trees.*
 - (1) The director of public works shall have the authority to either reduce the width of sidewalks to four feet or deviate from the normal location when constructing a sidewalk in order to avoid unreasonable damage to an adjacent tree.
 - (2) When constructing a sidewalk which is wholly or in part on private property, the owner shall provide a written easement which shall remain in effect for as long as the sidewalk shall remain, said easement to be recorded.
 - (3) In the event that a tree which is responsible for the misalignment of a sidewalk is removed for any reason, the owner shall be required to realign the sidewalk at the owner's expense and the easement will be void.
 - (4) The abutting property owner shall be charged based upon actual curved length of sidewalk as constructed.
 - (5) An easement form providing for the construction of sidewalk on private property to avoid a conflict with trees shall be included with each notice requiring the repair, replacement, or construction of a sidewalk and shall be signed and returned to the village.
- (i)

Parcel #260208100 Sarah A & Ronald/Jacqueline (LE) Wegand 802 E Greenfield Dr

Parcel #260209800 Eric A Timm 804 E Greenfield Dr

Parcel #260209900 James N & Ann E Vandersanden 902/904/906/908 E Greenfield Dr

Parcel #260206200 St Luke Evan Lutheran Church 705 E Greenfield Dr

Parcel #260206201 Greenfield Manor Inc 825 E Greenfield Dr

NOTES:

ELEVATIONS SHOWN ARE FINISHED PAVEMENT GRADES AT THE CONSTRUCTION REFERENCE LINE AND AT THE EDGE OF PAVEMENT (EDGE OF GUTTER).

ADJUST ALL MANHOLES, INLETS, WATER VALVES, AND CURB STOPS LOCATED WITHIN THE SLOPE INTERCEPTS, THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE ITEM OF CONCRETE PAVEMENT. NOT ALL FEATURES TO BE ADJUSTED ARE SHOWN. REFER TO UTILITY RECONSTRUCTION PLANS FOR ADDITIONAL INFORMATION FOR MANHOLES, INLETS, WATER VALVES, AND CURB STOPS.

ELEVATIONS AT INTERSECTIONS ARE AT ENDS OF RADII AND MIDPOINT OF RADII UNLESS OTHERWISE NOTED.

SAWCUT LOCATIONS TO BE APPROVED BY ENGINEER PRIOR TO SAWING.

- 4-INCH HMA PAVEMENT TYPE E-1 (2.25-INCH LOWER LAYER, 19 MM AGGREGATE; 1.75-INCH UPPER LAYER, 12.5 MM AGGREGATE) OVER 12-INCHES BASE AGGREGATE DENSE 1 1/4-INCH PG BINDER = PG 58-28
- CONCRETE DRIVEWAY 6-INCH (INCLUDES CONCRETE SIDEWALK 6-INCH)
- CONCRETE SIDEWALK 4-INCH
- 12-INCH BASE AGGREGATE DENSE 1 1/4-INCH

NOTE: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.

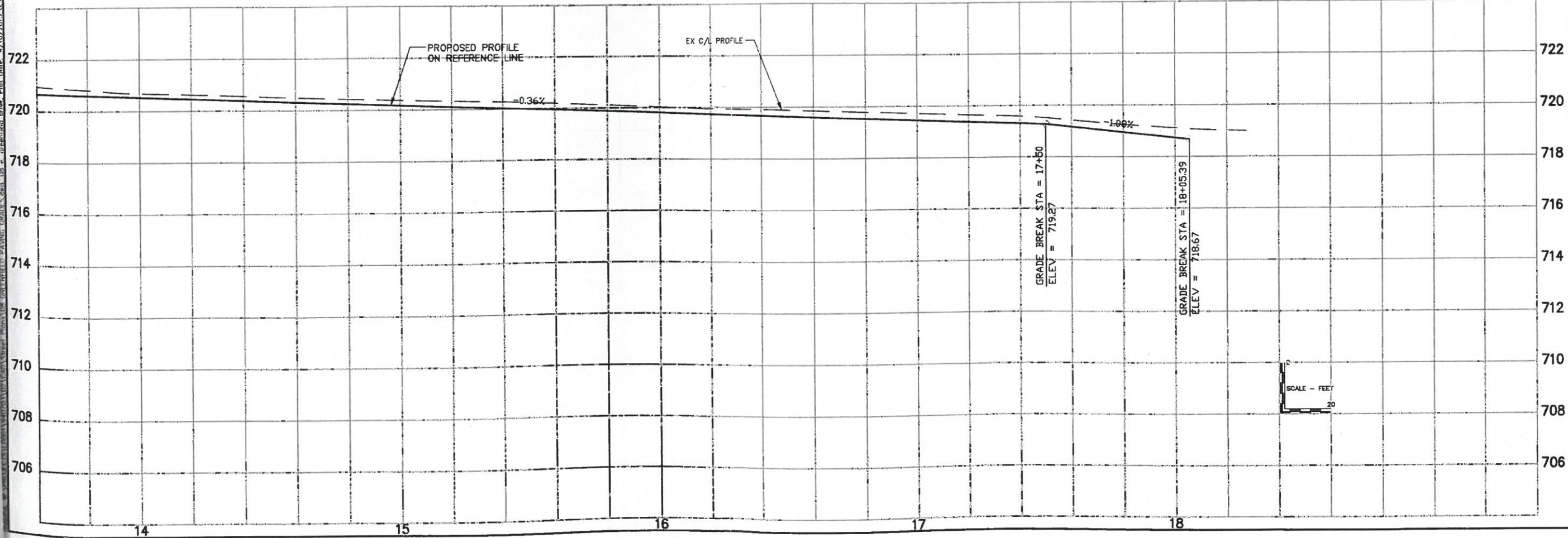
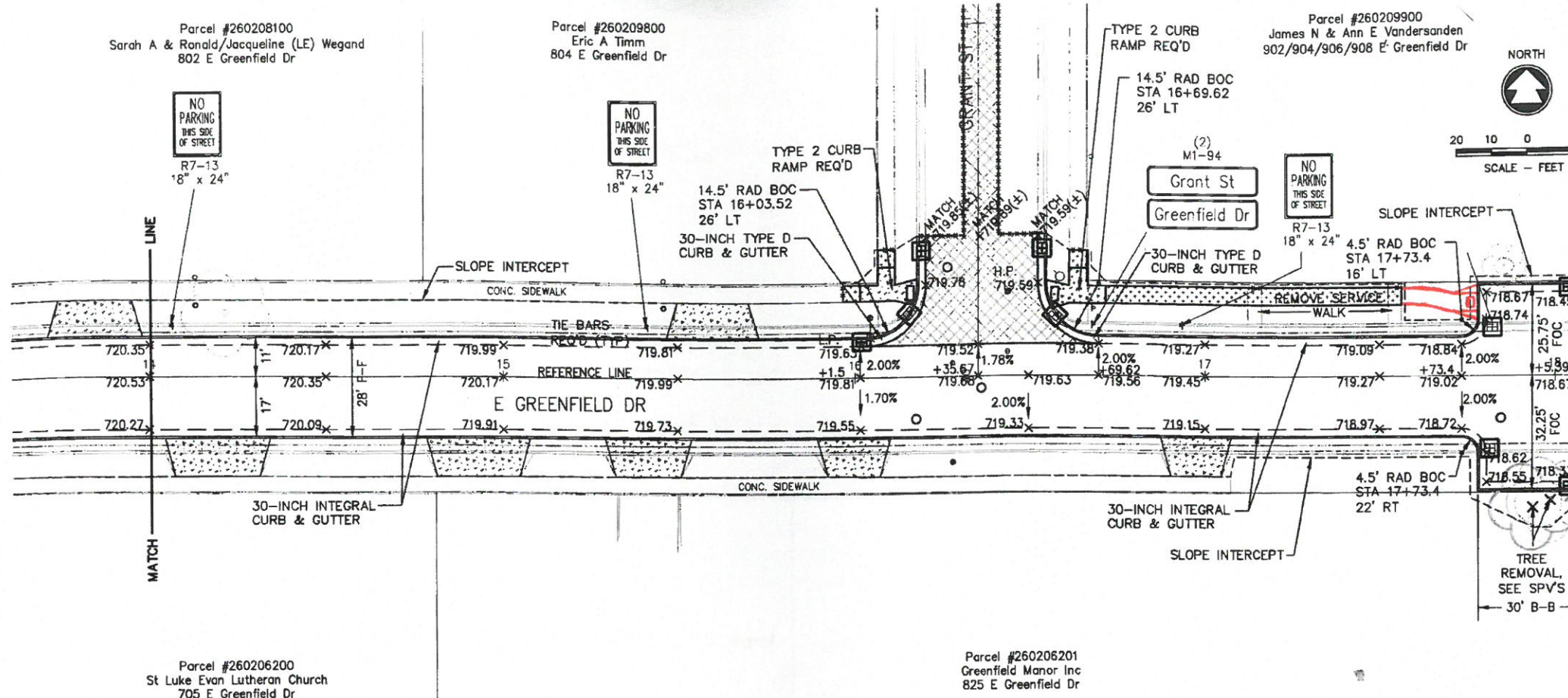
NOTE: UTILITIES ARE NOT SHOWN ON THESE PLAN SHEETS. REFER TO 2015 UTILITY RECONSTRUCTION PLANS FOR UTILITY LOCATION INFORMATION.

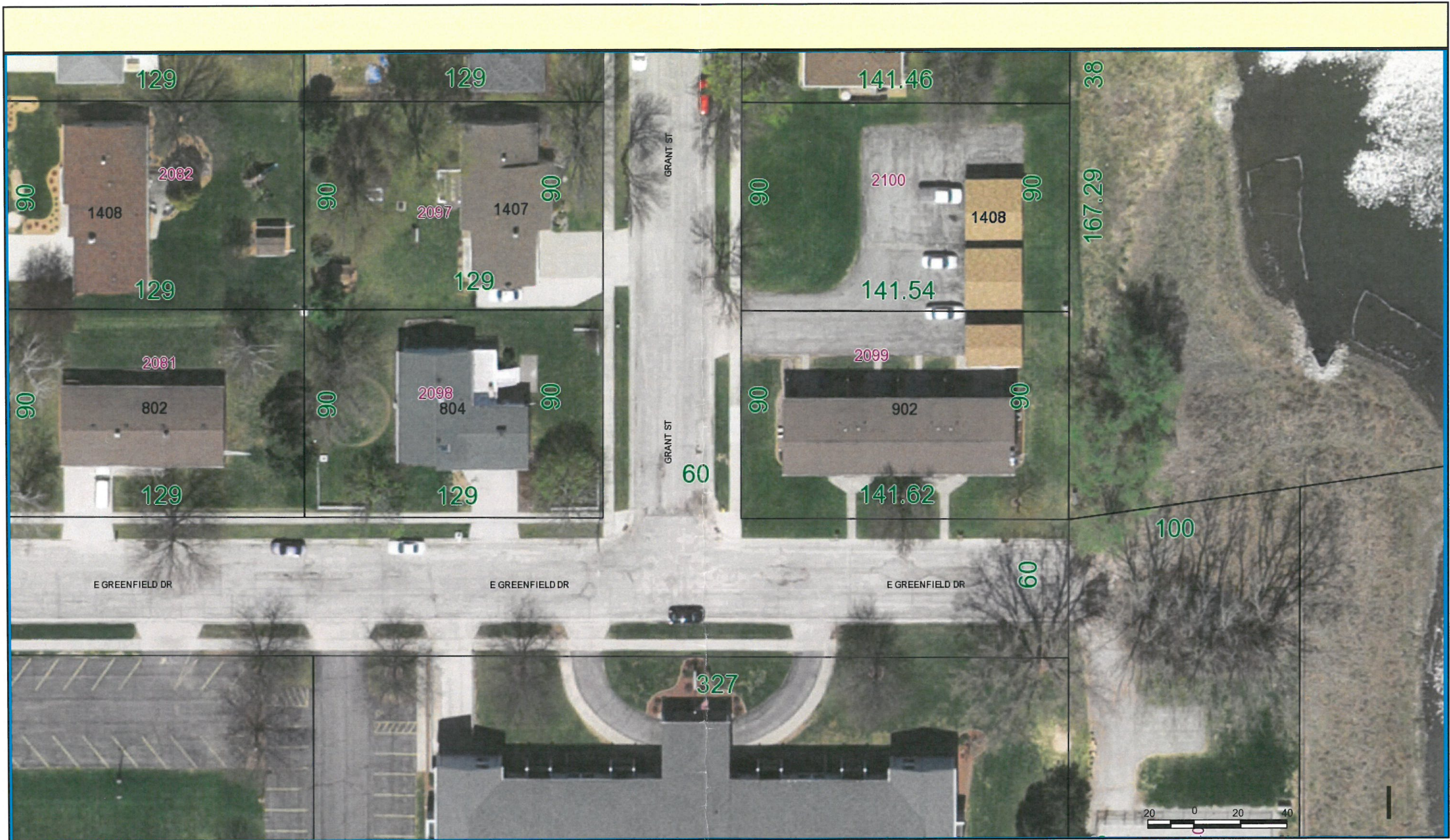
Parcel #260128401 City of Kaukauna

McMAHON ENGINEERS ARCHITECTS 1445 MCMAHON DRIVE NEENAH, WI 54956

2015 STREET RECONSTRUCTION VILLAGE OF LITTLE CHUTE, OUTAGAMIE CO., WI

DESIGNED DR NAV R PROJECT NO. L0001-9407 DATE MAR. 2015 SHEET NO. 08





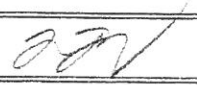
The Village of Little Chute does not guarantee this information to be correct, current or complete. The maps are intended for use as a general reference and are not intended or suitable for site-specific or financial decisions. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk. In no event shall the Village of Little Chute become liable to users of these maps for any loss arising from the use of these maps.

Village of Little Chute
INFORMATION FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Update on the Engineer Position
PREPARED BY: James P. Fenlon, Administrator
REPORT DATE: May 21, 2015
EXPLANATION: Attached is an IFC with information from October of 2013. Staff is continuing to prepare as much updated information regarding this topic prior to Wednesday’s meeting. Some of the items we have been looking into are as follows: <ul style="list-style-type: none">▪ Estimates on engineering costs– Per the attached IFC, you see that on average basis the Village is already spending ~\$305k<ul style="list-style-type: none">✓ 2013 was \$333k✓ 2014 was \$249✓ 2015 is currently at \$115k (very likely to exceed \$300k)▪ Other Municipal Models – Information from the City of Kaukauna in the attached IFC, in that they run an engineering department. Staff currently has requests for information from other communities.▪ Employment Market – The current municipal employment market is a challenge. Candidate numbers are not what they once were. Included in that, this position is currently part of the wage and compensation study. If approved, Village staff will take some different approaches in recruitment. <p>Tertiary items for consideration of this discussion:</p> <ul style="list-style-type: none">▪ Discussion of savings for the Village is one matter. A separate discussion should take place on the efficiency created by having in house staff. As an example, the Village’s Engineer Technicians create significant cost savings in that much of the work is done in house on projects prior to it being done by a consultant (prep work and inspection services)▪ Related to that discussion is increased service to residents (DPW staff meet with residents to discuss projects)▪ Succession planning in DPW – Inevitably, the Village will face retirements in the next 5 to 10 years with the need for trained staff in the pipeline or available.
RECOMMENDATION: For discussion.

Village of Little Chute
Department of Public Works

REQUEST FOR BOARD'S CONSIDERATION

ITEM DESCRIPTION:	Evaluation of a Village Engineer's Position
REPORT PREPARED BY:	Roy Van Gheem 
REPORT DATE:	October 22, 2013
ADMINISTRATOR'S REVIEW / COMMENTS: No additional comments to this report _____ See additional comments attached _____	
EXPLANATION The Village Board requested a review of a possible Village Engineer's position for the Village of Little Chute. The Department of Public Works currently performs many engineering functions incorporating streets, utilities, and land development with in-house staff and the use of engineering consultants. As the engineering design needs of the Village have increased due to infrastructure maintenance, Heart of the Valley Metro Sewerage District (HOV) directives, and additional state and federal regulations, the need for engineering design services have also increased. This document will attempt to identify the need for a Village Engineer, the engineer's responsibility, and the potential cost savings this position could provide. To evaluate the position, we examined the operation of small municipal engineering departments. We also reviewed the setup and performance of small consultant firms. Information provided is incorporated into this document. Village Engineer's Responsibilities Under general direction by the Public Works Director, the Village Engineer will perform complex professional engineering work for land development, engineering design, and construction of public works and related projects; act as a project manager for major engineering design projects; and provide professional, administrative and technical support to the Public Works Director under the direction of the Village Administrator. This professional engineering position will require prior advanced professional engineering work experience and a valid engineering certification. A registered professional engineer is needed to prepare the preliminary engineering studies that are part of federal and state loan or grant applications. A registered engineer is also	

needed to prepare final design and contract specifications for construction of new infrastructure projects. In addition, a professional engineer is required for renovation, rehabilitation and maintenance projects. Plans submitted for state approval must also bear the stamp of a registered professional engineer licensed to practice in the State of Wisconsin.

The Village Engineer is expected to complete complex engineering assignments requiring the use of judgment and developing initiative solutions to problems, interpreting general policies, and determining work assignments. Work by the Village Engineer is distinguished from that of the Public Works Director in that the latter is responsible for the overall management and performance of the Department of Public Works. The Village Engineer is expected to provide a lead role in the land development, infrastructure master planning, and traffic engineering aspects of the Department of Public Works as well as aid in project assignments and quality control of construction documents.

Engineering Staffing Comparisons

Details of existing small engineering operations are listed below:

City of Kaukauna Staffing:

- Director of Public Works
- One Engineer
- One Engineer in training
- Half-time technician

The City designs streets and utility work including sanitary and storm sewers. They currently use consultants for pond work.

The City of Beloit Water Pollution Control Facility performed engineering including lift station, sewer rehab, CIPP, environmental studies, and GIS, with two engineers and a part-time technician.

There are one, two, and three person consultant firms performing land development, street construction, utilities construction/rehab and Storm water Treatment Facilities.

Village Engineering Possibilities

The Department of Public Works has already internally developed individuals which already perform multiple engineering functions. Village staff is currently providing field surveys, consultant oversight, plan review, specifications development, design inspections, and construction inspection. These same skills are used to develop

construction plans and design plans. At this time there is not enough staff to move further into detailed design of projects. The addition of a Village Engineer could be a natural progression of this community to add to its existing development/design staff and to offset the need and cost for consulting.

The engineering portion of the Department of Public Works is currently staffed as follows:

- Director of Public Works
- Engineering Technician/Land Surveyor
- Engineering Aid II
- Seasonal inspection staff

Possible engineering department capabilities:

The capabilities of a future engineering department will depend on the qualifications and experience of the person hired. Additional tasks performed could include:

- Street design
- Utility design (water, sewer, storm)
- Subdivision design
- Site design
- Grant applications
- Permit applications
- Additional reports
- Traffic studies
- Bidding/specifications
- Storm Water Facilities

Having a Village Engineer will not remove all consulting needs. Consultants would still be used for well house design, VFD's, controls, buildings, assessment plats, water towers, lift stations, and bridges. Workloads would likely still exceed the capacity of the department. At that time we may hire design surveys. Construction surveys could become the responsibility of the contractor. Some design projects may need to be contracted out to consultants.

Past Expenditures for Engineering Consultants

The Department of Public Works expense records for the past several years were examined to determine the department's use of engineering consultants. Engineering services which would not be performed by the Village Engineer have been removed to identify an annual budget available for the position. These annual expenses are listed as follows:

2005 - \$288,400
2006 - \$317,000
2007 - \$265,700
2008 - \$219,600
2009 - \$378,900
2010 - \$286,900
2011 - \$341,700
2012 - \$350,000

Benefits of Hiring a Village Engineer

It is estimated that four larger construction projects per year could be designed, permitted and managed during construction. Additional smaller assignments are also possible during the same time frame. Indirect benefits such as consistent knowledge of the Village's continually changing infrastructure would benefit the community during the design phase. By maintaining current records and improved quality control of bid documents, a potential savings during construction is also feasible.

Two possible wage and benefit schedules are listed below:

Base	7.65%	5.90%	MEDICAL	DENTAL		GRAND	
<u>Salary</u>	<u>FICA</u>	<u>WRS</u>	<u>INSURANCE</u>		<u>LIFE</u>	<u>DISABILITY</u>	<u>TOTAL</u>
CAD:							
\$60,000	\$ 4,590	\$ 4,200	\$18,673	\$ 1,183	\$ 75	\$ 240	\$88,961
Engineering:							
\$80,000	\$ 6,120	\$ 5,600	\$18,673	\$ 1,183	\$ 75	\$ 320	\$ 111,971

The Village already has sufficient engineering software (AutoCAD/ESRI) and plotters; however, there would be minor costs to add a Village Engineer to the Department of Public Works staff. Additional costs to the community would include a computer work station and hydrology/hydraulics software. These expenses are estimated to not exceed \$20,000. Additional indirect expenses would include phone use, roll stock paper, and reproductions costs of construction documents. .

The average value for typical design services over the past eight years is approximately \$300,000. With \$100,000 in excess of the new staff's wages and benefits, it is believed the Village could save substantial dollars if the Village can attract the right talent. We would need to find a place to locate this person. There are currently space needs at the Municipal Services Building along with other deficiencies (as listed in the Facility Study).

Summary

The Village’s annual expenditures over the past seven years for “typical” municipal engineering have exceeded \$300,000. While hiring a Village Engineer will not eliminate the need for consultant services, it is believed there is a potential for substantial savings. The savings is highly dependent on the qualifications and talent of the person the Village is able to attract and the type of future projects.

RECOMMENDATION

For discussion and direction.