



AGENDA

REGULAR BOARD MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, December 5, 2018
TIME: 6:00 p.m.

REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Pledge of Allegiance to the Flag
- C. Roll call of Trustees
- D. Roll call of Officers and Department Heads
- E. Public Appearance for Items Not on the Agenda
- F. Approval of Minutes
Minutes of the Special Board Meeting of November 28, 2018
- G. Ordinances:
 - a) *Adopt Ordinance No. 14, Series 2018 Amending the Village of Little Chute Municipal Code Sections 30-33 Use of Tobacco on School Premises*
 - b) *Adopt Ordinance No. 15, Series 2018 Amending the Village of Little Chute Municipal Code Sections 30-134 Purchase or Possession of Tobacco Products*
 - c) *Adopt Ordinance No. 16, Series 2018 Amending the Village of Little Chute Municipal Code Sections 10-19 through 10-26 Purpose and Definitions*
- H. Department and Officers Progress Reports
- I. Discussion/Action—Approve Site Plan for Absolute Supply
- J. Discussion/Action—Approve Site Plan for Lee’s Contracting & Fabrications, Inc
- K. Discussion/Action—LCFD Purchase of FVMPD Squad Car
- L. Discussion/Action—Development Agreement with Trilliant Food and Nutrition
- M. Discussion/Action—Offer to Purchase for Trilliant Food and Nutrition
- N. Discussion/Action—Legal Action on Abandoned Sign at 201 E. Main Street

- O. Operator License Approvals:
- | | | |
|----------------------|-----------------|--------------|
| Byers, Lauren C. | M's Bar | Appleton |
| Collingworth, Claire | Seth's Coffee | Appleton |
| Ebert, Sue Ann | Piggly Wiggly | Little Chute |
| Hammen, Mary | Down the Hill | Little Chute |
| Johnson, Daniel | Hawk's Nest | Kaukauna |
| Quaintance, James | Fox Convenience | Kaukauna |
| Robinson, Maitland | Moasis | Little Chute |
| Seidl, Sarah | Weenies | Little Chute |
| Zach, Steven | Weenies | Little Chute |
- P. Disbursement List
- Q. Call for Unfinished Business
- R. Items for Future Agendas
- S. Closed Sessions:
 19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Economic Development Proposals and Agreement Regarding Site Cleanup*
- T. Return to Open Session
- U. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, email: Laurie@littlechutewi.org Prepared: November 30, 2018

MINUTES OF THE SPECIAL BOARD MEETING NOVEMBER 28, 2018

Call to Order

President Vanden Berg called the Special Board Meeting to order at 6:00 p.m.

Roll Call

PRESENT: President Vanden Berg, Trustee Hietpas Trustee Peterson,
Trustee Peerenboom, Trustee Van Lankvelt, Trustee Smith,
Trustee Elrick,

ALSO PRESENT: James Fenlon, Jim Moes, Valerie Clarizio, Kent Taylor,
Adam Breest, Steve Thiry, Laurie Decker

Public Appearance for Items not on the Agenda

None

Other Informational Items—October Fire and October Monthly Report

Approval of Minutes

Minutes of Committee of the Whole Meeting of November 14, 2018

Moved by Trustee Smith, seconded by Trustee Elrick to Approve Minutes of the Committee of the Whole Meeting of November 14, 2018

Ayes 7, Nays 0 – Motion Carried

Public Hearing—2019 Budget

Moved by Trustee Elrick, seconded by Trustee Peterson to enter into Public Hearing

Ayes 7, Nays 0 – Motion Carried

Administrator Fenlon presented an overview of the 2019 Budget.

Moved by Trustee Elrick, seconded by Trustee Smith to exit Public Hearing

Ayes 7, Nays 0 – Motion Carried

Discussion/Action—Final Budget Workshop

Administrator Fenlon recommended to the Board to make two separate motions to amend the addition of \$30,000.00 for sidewalk replacement and to add \$170,000 to the contingency fund

Moved by Trustee Peerenboom, seconded by Trustee Elrick to Amend the Published Notice to include \$30,000 for sidewalk replacement

Ayes 7, Nays 0 – Motion Carried

Moved by Trustee Peerenboom, seconded by Trustee Peterson to Amend the Published Notice to include \$170,000 to the contingency fund

Ayes 7, Nays 0 – Motion Carried

Action—Adopt Resolution No. 34, Series 2018 Adopting the 2019 Budget and Establishing the Tax Levy

Moved by Trustee Elrick, seconded by Trustee Smith to Adopt Resolution No. 34, Series 2018 Adopting the 2019 Budget and Establishing the Tax Levy

Ayes 7, Nays 0 – Motion Carried

Roll Call Vote:

Trustee Elrick		Aye
Trustee Peerenboom	-	Aye
Trustee Hietpas	-	Aye
Trustee Peterson	-	Aye
Trustee Smith	-	Aye
Trustee Van Lankvelt	-	Aye
Trustee Vanden Berg	-	Aye

Discussion/Action—Approve Village Credit Card Agreement

Director Clarizio presented information to the Board on a new Credit Card Agreement for the Village of Little Chute. Trustee Van Lankvelt asked about an annual fee on the card and Director Clarizio advised there is not a fee and the cash back is at a higher percentage than what was previously used.

Moved by Trustee Smith, seconded by Trustee Peterson to Approve Village Credit Card Agreement

Ayes 7, Nays 0 – Motion Carried

Disbursement List

Moved by Trustee Peerenboom, seconded by Trustee Elrick to Approve the Disbursement List and Authorize the Finance Director to pay all vendors

Ayes 7, Nays 0 – Motion Carried

Unfinished Business

Trustee Peerenboom thanked the staff for all the work on the budget

Items for Future Agendas

None

Adjournment

Moved by Trustee Elrick, seconded by Trustee Smith to Adjourn the Special Board Meeting at 6:20 p.m.

Ayes 7, Nays 0 – Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael R. Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: E-cigarettes and Vaping Ordinance Amendments
PREPARED BY: Chief Daniel M. Meister
REPORT DATE: November 30, 2018
ADMINISTRATOR'S REVIEW/COMMENTS:
 EXPLANATION: To address the emerging trends regarding the possession and illegal use of tobacco products, e-cigarettes and vaping products, we are submitting select updates to the village ordinances that would address these products and their usage. The village attorney has reviewed these proposed amendments and they are attached for your consideration. RECOMMENDATION: Approve the submitted amendments to Sections 30-33, 30-134 and 10-19 through 10-26 as submitted.

**VILLAGE OF LITTLE CHUTE
ORDINANCE NO. 14, SERIES OF 2018**

**AN ORDINANCE AMENDING THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE SECTIONS 30-33 – USE
OF TOBACCO ON SCHOOL PREMISES**

Be it hereby ordained, by the Village Board of the Village of Little Chute, Outagamie County, Wisconsin, that Village of Little Chute Ordinance No. 30-33 be amended as follows:

Sec. 30-33. - Use of tobacco on school premises.

(a) – Definitions. The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Prohibited products include, but are not limited to, tobacco products, nicotine products, cigarette, cigar, pipe, smokeless tobacco, chewing tobacco, electronic cigarettes, electronic vaping devices, personal vaporizers, digital vapor devices, electronic nicotine delivery systems, and any similar or digital device. (An electronic cigarette (e-cig or e-cigarette), personal vaporizer (PV), or electronic nicotine delivery system (ENDS) is a battery-powered vaporizer which has the feel of tobacco smoking. They produce a mist rather than cigarette smoke. In general, a heating element vaporizes a liquid solution known as e-liquid. E-liquids usually contain a mixture of propylene glycol, glycerin, nicotine, and flavorings.)

(ab) Purpose. It is recognized that the use of any ~~tobacco-related~~prohibited products is hazardous to an individual's health and may affect the health of nontobacco users when in the presence of tobacco users. This section is adopted for the purpose of protecting the public health, safety, comfort and general welfare of residents and/or nonresidents of the village, and further recognizes the rights of nontobacco users.

(bc) Prohibition of use. The use of all ~~tobacco-prohibited~~ products on premises owned or rented by, or under the control of, any public school board is prohibited where any said school premises are located within the village municipal boundaries.

(Code 2006, § 11-2-13)

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: _____, 2018

Adopted this _____ day of _____, 2018.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
ORDINANCE NO. 15, SERIES OF 2018**

**AN ORDINANCE AMENDING THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE – SECTIONS 30-134 –
PURCHASE OR POSSESSION OF TOBACCO PRODUCTS**

Be it hereby ordained, by the Village Board of the Village of Little Chute, Outagamie County, Wisconsin, that Village of Little Chute Ordinance No. 30-134 be amended as follows:

Sec. 30-134. - Purchase or possession of tobacco products.

- (a) *Definitions.* The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

~~Tobacco-Prohibited~~ products include, but are not limited to, tobacco products, nicotine products, cigarette, cigar, pipe, smokeless tobacco, chewing tobacco, electronic cigarettes, electronic vaping devices, personal vaporizers, digital vapor devices, electronic nicotine delivery systems, and any similar or digital device. (An electronic cigarette (e-cig or e-cigarette), personal vaporizer (PV), or electronic nicotine delivery system (ENDS) is a battery-powered vaporizer which has the feel of tobacco smoking. They produce a mist rather than cigarette smoke. In general, a heating element vaporizes a liquid solution known as e-liquid. E-liquids usually contain a mixture of propylene glycol, glycerin, nicotine, and flavorings.) ~~means any substance containing tobacco leaf, including, but not limited to, cigarettes, cigars, pipe tobacco, snuff, chewing tobacco or dipping tobacco.~~

- (b) *Purchase by minors prohibited.* It shall be unlawful for any person under the age of 18 years to purchase ~~tobacco-prohibited~~ products, or to misrepresent their identity or age, or to use any false or altered identification for the purpose of purchasing ~~tobacco-prohibited~~ products.
- (c) *Possession by minors prohibited.* It shall be unlawful for any person under the age of 18 years to possess any ~~tobacco-prohibited~~ products; provided that the possession by a person under the age of 18 years under the direct supervision of the parent or legal guardian of such person in the privacy of the parent's or guardian's home shall not be prohibited.
- (d) *Prohibitions.* No manufacturer, distributor, jobber, subjobber, or retailer, or their employees or agents, may provide ~~cigarettes or tobacco products~~prohibited products for nominal or no consideration to any person under the age of 18 years.
- (e) *Statutes adopted.* The provisions of Wis. Stats. §§ 134.66 and 254.92 are adopted by reference and incorporated herein.

(Code 2006, § 11-5-9; Ord. No. 15(Ser. 2002), 8-21-2002)

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: _____, 2018

Adopted this _____ day of _____, 2018.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
ORDINANCE NO. 16, SERIES OF 2018**

**AN ORDINANCE AMENDING THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE – SECTIONS 10-19
THROUGH 10-26 – PURPOSE AND DEFINITIONS**

Be it hereby ordained, by the Village Board of the Village of Little Chute, Outagamie County, Wisconsin, that Village of Little Chute Ordinance Nos. 10-19 through 10-26 be amended as follows:

Sec. 10-19. - Purpose.

The village board recognizes that smoking of cigarettes and other tobacco products is hazardous to an individual's health and may affect the health of nonsmokers/smokers when they are involuntarily in the presence of smoking. Reliable scientific studies assessed by credible health officials have found that secondhand tobacco smoke is a significant health hazard for children, elderly people, and individuals with cardiovascular disease or impaired respiratory function. Air pollution caused by smoking is an offensive annoyance and irritant. Smoking results in serious and significant physical discomfort to nonsmokers. This article is adopted for the purpose of protecting the public health, safety, comfort and general welfare of the people of the Village of Little Chute, especially recognizing the health interests of nonsmokers, who constitute a majority of the population.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-20. - Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Assisted living facility means a community-based residential facility, as defined in Wis. Stats. § 50.01(1g), a residential care apartment complex, as defined in Wis. Stats. § 50.01(1d), or an adult family home, as defined in Wis. Stats. § 50.01(1)(b).

Day care center means a facility operated by a child care provider that provides care and supervision for four or more children under seven years of age for less than 24 hours a day. (Wis. Stats. § 49.136(1)(d)).

Employment means any trade, occupation, or process of manufacture or any method of carrying on such trade, occupation, or process of manufacture in which any person may be engaged.

Enclosed place enclosed space means a structure or area that has a roof and more than one wall. A wall includes any retractable or fixed divider, window, door, or other physical barrier, whether opened or closed, whether temporary or permanent. A 0.011 gauge screen with an 18 by 16 mesh count is not a wall.

Person in charge means the person who ultimately controls, governs or directs the activities aboard a public conveyance or within or at a place where smoking is regulated under this section, regardless of the person's status as owner or lessee.

Place of employment means any enclosed place that employees normally frequent during the course of employment, including an office, a work area, an elevator, an employee lounge, a restroom, a conference room, a meeting room, a classroom, a hallway, a stairway, a lobby, a common area, a vehicle, or an employee cafeteria.

Private club means a facility used by an organization that limits its membership and is organized for a recreational, fraternal, social, patriotic, political, benevolent, or athletic purpose.

Public place means any enclosed place that is open to the public, regardless of whether a fee is charged or a place to which the public has lawful access or may be invited.

Restaurant means an establishment defined in Wis. Stats. § 254.61(5).

Retail establishment means any store or shop in which retail sales is the principal business conducted.

Smoking means burning or holding or inhaling or exhaling smoke, mist, or vapor from, any of the following items containing tobacco:

(1) A lighted cigar.

(2) A lighted cigarette.

(3) A lighted pipe.

(4) An electronic delivery device, meaning -any product containing or delivering nicotine, lobelia, or any other substance intended for human consumption that can be used by a person to simulate smoking in the delivery of nicotine or any other substance through inhalation of aerosol, mist, or vapor form the product. The term includes, but is not limited to, devices manufactured, distributed, marketed, or sold as electronic cigarettes or cigars, electronic pipes, personal vaporizers, electronic nicotine delivery systems, vape pens, or electronic hookahs.

An electronic cigarette (e-cig or e-cigarette), personal vaporizer (PV), or electronic nicotine delivery system (ENDS) is a battery-powered vaporizer which has the feel of tobacco smoking. They produce a mist rather than cigarette smoke. In general, a heating element vaporizes a liquid solution known as e-liquid. E-liquids usually contain a mixture of propylene glycol, glycerin, nicotine, and flavorings.

(4) Any other lighted smoking equipment.

Sports arena means any stadium, pavilion, gymnasium, swimming pool, skating rink, bowling center, or other building where spectator sporting events are held.

Tavern means any establishment, other than a restaurant, that holds a "Class B" intoxication liquor license or Class "B" fermented malt beverages license.

Tobacco product means any form of tobacco prepared in a manner suitable for smoking but not including a cigarette.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-21. - Prohibition against smoking.

(a) Except as otherwise provided, no person may smoke in any of the following spaces:

(1) Any enclosed space of a public place or place of employment.

(2) Areas in village parks as posted and so designated by the parks and recreation department including the athletic field/bleachers and dugouts, aquatic center, skateboard park, dog park, playground and swing set areas, and park restrooms.

(3) Sports arenas.

(4) Within the outdoor premises of a day care center when children who are receiving a day care services are present.

(5) Village-owned or leased motor vehicles.

- (6) Within 15 feet from all entry ways of village-owned buildings and structures, including, but not limited to, parking ramps (if applicable), park pavilions, etc., except open air facilities. This fifteen foot minimum requirement does not apply to privately owned buildings under subsection 10-22(4).
- (7) Public forms of transportation, including, but not limited to, motor buses, taxicabs, or other public passenger vehicles.
- (b) The prohibition of smoking under subsection (a) does not apply to any of the following places:
 - (1) A private residence.
 - (2) A room used by only one person in an assisted living facility as his or her residence.
 - (3) A room in an assisted living facility in which two or more people reside if every person who lives in that room smokes and each of those people has made a written request to the person in charge of the assisted living facility to be placed in a room where smoking is allowed.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-22. - Responsibility of person in charge.

No person in charge may allow any person to smoke in violation of sections 10-21 at a location that is under the control or direction of the person in charge.

- (1) A person in charge may not provide matches, ashtrays, or other equipment for smoking at the location where smoking is prohibited.
- (2) A person in charge shall make reasonable effort to prohibit persons from smoking at a location where smoking is prohibited by doing all of the following:
 - a. Posting signs setting forth the prohibition and providing other appropriate notification and information concerning the prohibition.
 - b. Refusing to serve a person, if the person is smoking in a restaurant, tavern, or private club.
 - c. Asking a person who is smoking to refrain from smoking and, if the person refuses to do so, asking the person to leave the location.
- (3) If a person refuses to leave a location after being requested to do so as provided in subparagraph (c), the person in charge shall immediately notify an appropriate law enforcement agency of the violation.
- (4) The person in charge of a restaurant, tavern, private club, or retail establishment may designate an outside area that is a reasonable distance from any entrance to the restaurant, tavern, private club, or retail establishment where customers, employees, or persons associated with the restaurant, tavern, private club, or retail establishment may smoke.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-23. - Signs.

- (a) No smoking signs shall include the plainly visible "No Smoking" symbol, consisting of a burning cigarette enclosed in a red circle with a red bar across the cigarette.
- (b) Each sign and the language contained therein shall be clearly visible from a distance of at least ten feet and meet the uniform dimensional requirements specified by the Wisconsin Department of Commerce in accordance with Wis. Stats. § 101.123(6).

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-24. - Enforcement.

- (a) The zoning administrator or designee and the chief of police or designee shall have the power, whenever they may deem it necessary, to enter upon the premises named in this section to ascertain whether the premises are in compliance with this article.
- (b) The proprietor, employer or other person in charge of premises regulated hereunder, upon either observing or being advised of a violation, shall make reasonable efforts to prevent smoking in prohibited areas by:
 - (1) Approaching smokers who fail to voluntarily comply with this section and requesting that they extinguish their cigarette or tobacco product and refrain from smoking or
 - (2) Refusing service to anyone smoking in a prohibited area.
- (c) Any person who desires to register a complaint under this section may contact the zoning administrator or the police department.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-25. - Violation and penalties.

- (a) Any person who violates section 10-21 shall be subject to a forfeiture of not less than \$100.00 nor more than \$250.00 for each violation.
- (b) Any person in charge who violates section 10-22 shall be subject to a forfeiture of \$100.00 for each violation.
 - (1) For violations subject to the forfeiture under subparagraph (b), if the person in charge has not previously received a warning notice for a violation of section 10-22, the law enforcement officer shall issue the person in charge a warning notice and may not issue a citation.
 - (2) No person in charge may be required under section 10-22, to forfeit more than \$100.00 in total for all violations of section 10-22, occurring on a single day.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-26. - Clean indoor air.

- (a) *Intent and construction.* The Village of Little Chute finds that it is in the interest of the health, safety and welfare of the community to adopt by reference Wis. Stats. § 101.123 and subsequent amendments, additions and recodifications. It is the intent of the village board that where there may be conflict between Wis. Stats. § 101.123 and article II, section 10-19 through section 10-25, that the most restrictive section shall apply. This article shall not be construed to mean that progressive discipline of village employees for violations of laws, rules and regulations is only authorized where explicitly provided by ordinance.
- (b) *Penalty.* The penalties provided by Wis. Stats. § 101.123 shall be in addition to the penalties provided for violation of article II when a person has violated both laws. In addition to the penalties provided by article II and Wis. Stats. § 101.123, any village employee who violates any provision of article II or Wis. Stats. § 101.123, may also be subject to progressive discipline by his or her employer.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: _____, 2018

Adopted this _____ day of _____, 2018.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION
(SUBMIT 12 FOLDED SETS OF DRAWINGS)**

SITE ADDRESS 1560 Bohm Drive

LEGAL DESCRIPTION Parcel ID 260273900 - Lot 1 in Little Chute Industrial Park Plat

PROPERTY OWNER(S) Absolute Supply - Scott Meek TELEPHONE 920-766-4848

ADDRESS/ZIP 1560 Bohm Drive, Little Chute, WI 54140 FAX smEEK@absolutesupply.net

APPLICANT Frontier Builders - Jeff Stodola

CHECK: ☐ Architect ☐ Engineer ☐ Surveyor ☐ Attorney ☐ Agent ☒ Other

ADDRESS 2204 Crooks Ave, Suite A TELEPHONE 920-422-0546

CITY/ZIP Kaukauna, WI 54130

team@frontierbuildersandconsultants.com
FAX _____

DESCRIBE IN **DETAIL** THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY _____

Addition to existing industrial facility.

GROUND FLOOR ELEVATION 719.90 LOT SIZE 1.80 AC FLOOR AREA 26,744 SF (Site)
12,932 SF (Addition)

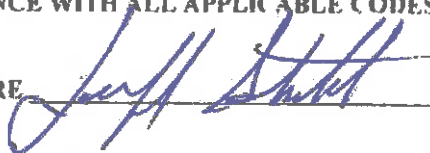
NUMBER OF STORIES IN BLDG 1 BASEMENT ☐ YES ☒ NO BUILDING HEIGHT 33'

TOTAL CURRENT EMPLOYEES 15 EMPLOYEES ADDED BY EXPANSION 0

IMPERVIOUS SURFACE COVERAGE SQ. FT. 54,261 (Site) # OF PARKING SPACES 13 existing

**I CERTIFY THE ATTACHED DRAWING ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.**

APPLICANT SIGNATURE



DATE 11.16.2018

44-387(f)	Site plan review fee	\$300.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

SITE PLAN REVIEW PROCEDURES

Site Plan Review is an administrative process that is held after the completed plans are received. The Site Plan Review process is required for all new or modified Commercial, Industrial, Institutional and Multi-family uses, listed under the Zoning Ordinance.

Early in the process, consult the Site Plan Application Checklist (attached) for a complete list of plan requirements and consult the Community Development Director for initial reaction and assistance. In addition, please notify utility companies regarding your proposed development.

Twelve (12) folded sets of plans and one application per Site Plan must be submitted to the Community Development Director. The Site Plan Set will include Site, Parking, Paving, Utilities, Grading, Drainage, Erosion Control, Landscape, Architectural Elevations, Photometric, Noise Evaluation, and Signage Plans. In addition, two sets of Floor Plans need to be submitted.

The Community Development Department, along with the other Village departments, will review the Site Plan. The Applicant will be notified as soon as possible of additional information/requirements to make the Site Plan complete and in compliance with Village codes for approval of the plan.

When a revised Site Plan is resubmitted, at least five signed and dated copies of the Major Site Plan are needed. The Community Development Director will approve, approve with conditions, refer back for changes, or deny the design of the project plan. Once the Major Site Plan is approved, a signed copy and approved application are given to the Applicant, the Owner, and also placed on file in the Community Development Department. The approval of a Site Plan shall remain valid for one (1) year. Please note, Site Plan approval does not constitute approval of a Building Permit. Paving or any required approvals for a curb cut from the Department of Public Works.

SITE PLAN CHECKLIST

This Site Plan checklist has been prepared to provide the Applicant with a clear understanding of what is needed to complete a Site Plan Review. It is our hope that by providing a very detailed list of information to be shown on the Site Plan Set and a specific format for its presentation, review time will be kept to a minimum and you will avoid costly time delays caused by incomplete plans. Your courtesy in following the checklist carefully will insure prompt review and approval at the earliest possible date.

APPLICATION FORM AND SITE PLAN SET

Application forms are available from the Community Development Department and shall be filed 45 days prior to any request for permits. Those who may file are the property owner, a person having the lawful power of attorney, or a representative of the owner such as an architect, engineer, or other agent designated by the property owner. In any case, no application will be accepted without an original signature of the property owner(s) or his/her agent. All blanks on the application must be filled in or an explanation given in a letter of intent.

When the applications, Site Plan set, documentation, and other required information have been prepared, **please schedule an appointment with the Community Development Director. DO NOT just drop off plans, as this will delay acceptance.** Plans will not be accepted for processing until staff has completed an initial review. An incomplete application or a Site Plan set lacking complete information will be refused acceptance.

THE RECOMMENDED FORMAT FOR A COMPLETE APPLICATION SHOULD INCLUDE:

- A completed Site Plan Application Form
- Calculations for sanitary sewer and water
- Calculations for storm sewer design
- 12 Site Plan Sets to include:
 - Sheet 1 – Title Sheet, Site Plan Layout & Streets
 - Sheet 2 – Utilities, Grading & Drainage Plan
 - Sheet 3 – Erosion Control Plan
 - Sheet 4 – Landscape & Lighting Plan
 - Sheet 5 – Architectural Elevations & Construction Details
- Any other plans or information deemed necessary by the Community Development Director.
- 2 Floor Plan Sets

Submit the completed applications, calculations and 12 Site Plan Sets to:

Community Development Director
108 W Main St.
Little Chute, WI 54140

SITE PLAN SET

Plans which are submitted for review shall be drawn to an appropriate scale on sheets of uniform size, recommended at 24" x 36". A total of twelve (12) complete folded sets shall be submitted to the Community Development Director. (If available inclusion of one 11"x17" set of plans may substitute for 8 of the larger plan sets)

A Site Plan Set consists of the following information:

- ☒ 1. All sheets shall be of uniform size recommended at 24" x 36".
- ☒ 2. All sheets are to be folded.
- ☒ 3. All plans are recommended to be drawn to a 1" = 20' scale. The same scale must be used for all plans.
- ☒ 4. All sheets shall be numbered.
- ☒ 5. The signature of the surveyor, engineer, or architect who is responsible for plan preparation is required on all sheets in the Final Set of (5) five. These shall be dated with revision date(s) stated.

All major site plans shall include as a minimum all of the following items of information:

Sheet 1. Title, Site Plan Layout & Streets Sheet

- ☒ a. Name of project, address, legal description of property, tax key number of each lot, description of proposed use and both existing and proposed zoning descriptions.
- ☒ b. Location map.

X c. Name, address and phone number of the record property owner and site plan preparer (include fax number if available).

X d. The signature of the surveyor, engineer or architect who is responsible for site plan preparation along with the revision date(s) clearly marked on the plan.

X e. North arrow, date of preparation, revision dates and scale.

X f. Name(s) of adjacent or surrounding streets.

X g. Recorded property lines and their dimensions.

X h. The total land area in the development including the percentage of lot coverage for all impervious surface areas.

X i. The location and architectural features of all existing and proposed structures, including occupancy classification of each structure as identified in the State Building Code, dimensions, number of stories and their locations on the parcel.

X j. Identify what types of products will be manufactured, sold and/or stored on site.

X k. Identify all types of hazardous materials to be stored on site. If none, state "No hazardous materials will be stored on site".

N/A l. Identify if there will be food and/or beverage sales, a public swimming pool, whirlpool, or overnight lodging at this location.

N/A m. If buildings are to be removed, the site plan shall so indicate.

X

Site Info C1.2 n. A note shall appear on the site plan that indicates the calculations for parking and loading requirements which must identify: all existing uses on the property; the number of existing, proposed and future employees based on a five (5) year projection; the gross floor area and useable floor area for existing buildings, expanded buildings and proposed buildings; a calculation of required handicapped accessible parking spaces. Any joint use of parking must be in writing, approved by the Planning Director, signed by both parties involved and attached and recorded in the Register of Deeds Office.

No
parking
changes

o. Show barriers, curbing or wheel stops.

X p. Existing and proposed driveways and parking lots including: pavement markings to show traffic flow; parking stall sizes and layout; handicap stalls and ramps; loading zone; driveway widths and radii or flares on driveway aprons to public streets. For parking areas, identify all proposed and existing stop signs at all private driveway exits onto public roadways. If stop signs are required, add a note on the site plan identifying: "Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version."

N/A q. If existing curb cuts are to be abandoned, the statement "Curb cut will be closed per Village of Little Chute standards" shall be clearly noted on the site plan.

N/A r. For drive-through uses, show vehicle stacking spaces and pedestrian access to entry doors that do not cross drive-through lanes.

N/A s. Provide recycling calculations and locations according to the State Building Code.

N/A t. Identify all existing and proposed sidewalks with grade elevations and handicap access at driveways.

X u. Identify snow storage areas located outside of setbacks, in required parking areas and vision clearance triangles.

X v. Dimensions of all required yard setbacks for buildings and off-street parking.

X w. The location and extent of all existing and proposed outdoor storage and outdoor display.

X x. The location and detail of refuse containers and their enclosures, sidewalks, other pedestrian-type walkways, bicycle storage racks, traffic control dividers, tree islands and other similar improvements.

Existing y. The location of all mechanical equipment and the type of screening provided.

Existing z. Location of existing and proposed signage, sign elevation showing the height of sign to grade, height and face dimensions, colors, typeset, materials, lighting and orientation of signage.

X aa. Location, height, elevations and materials of all fences or retaining walls.

X bb. Location, size and use of any buildings, driveways and public rights-of-ways within fifty (50) feet of property lines and driveways.

N/A cc. Identify the types of fire protection/detection systems will be used.

N/A dd. Show on-site fire hydrants, Fire Department hose connections, and the respective flow calculations to meet the International Fire Code for installed fire protection systems.

N/A ee. Identify the location and presence of all fire related wall assemblies.

X ff. Identification of the class of construction in accordance with State Building Code.

N/A gg. Identify streams, wetlands, channels, ditches and other watercourses on the site and on adjacent properties.

N/A hh. Identify the 100-year floodplain, including flood fringe, floodway and flood storage areas.

Existing ii. Identify storm water flow, directions, detention, and management facilities.

X jj. Identify all open space that will remain undisturbed and undeveloped.

N/A kk. Multi-family residential projects shall include additional information that identifies the total acres of subject property, the total number of dwelling units and density per acre and the percentage of proposed site covered for buildings and hard-surfaced areas as opposed to green space and landscaping.

Sheet 2. Utilities, Grading & Drainage Plan

N/A a. When abutting a site plan project, any public right-of-way shall be identified with accurate locations for existing and proposed facilities such as streets, curbs, sidewalks, sidewalk planters, street trees, utility poles, traffic signs and signals, median islands, project driveways, driveways on opposite street frontages, bus stops and other improvements. Elevations of sidewalks at property lines and elevations to indicate handicap accessibility shall be identified. The following statement shall be clearly noted on the site plan, *"Any existing sidewalk damaged during construction shall be replaced as a part of this project"*.

X b. Locate and label, whether underground or overhead, all existing and proposed utility lines and easements with sizes and material designations, and slopes (as needed), including sanitary sewer (manholes, laterals and clean outs), storm sewer (manholes, laterals, and catch basins), water (laterals, fire lines, valves and meters), fire hydrants, gas, telephone, cable and electric lines.

X c. Calculate drainage area for each catch basin. Indicate the size and slope of utility lines that will be tapped into the adjacent street.

X d. Show all existing and proposed public and private easements for utility, drainage, sewer, parking, access and other purposes, and all easements on surrounding properties benefiting the subject property. If existing utilities are to be abandoned, clearly state the method of abandonment.

No change e. State the provider of sanitary and water if not provided by the Village of Little Chute and provide written documentation of approval from said provider.

X f. Identify all existing and proposed sanitary sewer mains and laterals, including: methods of connection to public mains, easements, size, materials, slope, manholes, rim elevation, invert elevations, clean outs, plumbing code calculations, how many drainage fixture units and public mains for connection.

X g. Identify all existing and proposed water mains and laterals, including easements, size, depth, materials, tracing wires, hydrants, method of connection valves, meters, plumbing code calculations, how many water supply fixture units and public mains for connection.

X h. Identify all existing and proposed storm sewer mains and laterals, including the method of connection to the public main, easements, size, materials, slope, manholes, inlets, catch basins, yard drains, rim elevations, invert

elevations, area map for drainage to each catch basin, square feet draining to each catch basin, plumbing code calculations, roof drain discharges and/or connections, square foot of roof area and public systems for connection.

X i. Identify all existing and proposed surface run-off features, including easements, swales, open channels, type of surface, rip rap, flow path of runoff from upstream areas, and flow path for run-off leaving the site including the public system adjacent to or for connection.

X j. Identify existing topography (by dashed lines) at one (1) foot intervals and proposed grade elevations for the building, parking lot, catch basin inlet, rim and invert elevations, drives, surrounding open areas and including all property within fifty (50) feet using contour lines and spot elevations and drainage flow arrows as needed to define drainage patterns.

X k. List all existing and proposed grades for first floor elevations and catch basin inlet rim and invert elevations.

X l. Show details of all existing and proposed retaining walls, swales, and inlets.

X
C1.0-Specs m. Provide cross-sections for all pavement and identify depth of base gravel base and thickness of hard-surfaced pavement (concrete or asphalt compacted).

Sheet 3. Erosion Control Plan

Provide all erosion control information as follows:

X a. The Erosion Control Plan must show: (1) existing site conditions, (2) site construction information, and (3) final site conditions. Depending upon the complexity of the site, 1 – 3 sheets may be needed.

X b. Show site boundaries, adjacent lands, and label each parcel.

X c. Show lakes, streams, wetlands, channels, ditches, and other water courses on the site and adjacent lands.

N/A d. Locate the 100-year floodplain including flood fringe, floodway, and flood storage.

X e. Locate and identify the predominant soil types and the existing vegetative cover.

X f. Locate and provide dimensions of on-site and off-site storm water drainage systems and natural drainage patterns on and immediately adjacent to the site, and the size, slope, and land cover of the upslope drainage areas.

X g. Locate and provide dimensions of utilities, structures, roadways, highways, and paving.

X h. Show proposed final finished topography at a contour interval not to exceed one-half (1/2) foot (a 5-foot contour is acceptable for slopes greater than 20%).

- X i. Locate all proposed land disturbing activities or land developing activities.
- X j. Locate and provide dimensions of all site erosion control measures necessary to meet ordinance requirements.
- N/A k. Show trees to be protected during construction by placing a barrier beyond the drip line of the tree canopy.
- X l. Provide a written commitment on the face of the plan to maintain erosion control measures during construction.
- Specs m. Show temporary seeding and/or mulching measures during the project time frame.
- X n. Show the location of on-site soil stockpiles. Location by owner on const. sequence
- X o. Include a chronological sequence of land disturbing, construction, and erosion control activities, including temporary or permanent stabilization, with a schedule and timeframe.
- X p. Show the final site conditions, including final vegetation or other ground cover.

Sheet 4. Landscape & Lighting Plan

- X a. Identify all exterior lighting fixtures, either mounted on the building or freestanding light along with dispersion pattern, intensity of light and cut-off shielding that reflects light downward and in which the light source is not visible from adjacent properties.
- X b. Locate all trees over six (6) inches in diameter and indicate whether they will remain, be relocated or be removed. Identify any other significant vegetation that is to remain and the means of protection during construction.
- X c. Identify the location, size, species and variety of proposed trees, shrubs, ground cover and other landscape features that will be used to control erosion, or screen parking, truck loading, refuse disposal, and outdoor storage from adjacent residential districts and the public right-of-way.
- X d. Identify the finished height and width of landscape elements. Provide a planting schedule that includes a key abbreviation, graphic symbol of vegetation, botanical name of plants, common name of plants, quantity of plants, size of plant at planting, and size of plant at maturity.
- X e. Identify type of temporary and finishing materials, including seeded grass, sod, type of mulch in planting beds, pavers, concrete and asphalt.

Sheet 5. Architectural & Construction Plans































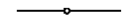

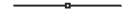

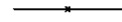





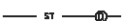

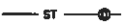






























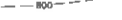
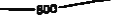
- X a. Provide dimensioned elevations of all exterior walls (photographs may be substituted for existing elevations to remain unchanged).
- X b. Identify the size of basement/below grad space or clearly mark "not below grade space" on the site plan.

- Sheet 6. Floor Plans (2 sets)**

- The Community Development Director may require additional information or may waive submission requirements as deemed necessary for thorough and efficient review.

Additional Sheets and/or Information Submitted:[illegible]

LEGEND

	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)		EXISTING SCERIFEROUS TREE
	EXISTING GRADE SPOT ELEVATIONS		EXISTING SHRUB
	PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF SURFACE GRADE AT BOTTOM OF WALL)		EXISTING STUMP
			SOIL BORING
	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)		EXISTING WELL
			PROPOSED WELL
	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)		EXISTING LIGHT POLE
			EXISTING SIGN
	EXISTING WATER VALVE IN BOX		CENTER LINE
	PROPOSED WATER VALVE IN BOX		EXISTING HANDICAP PARKING STALL
	EXISTING WATER VALVE IN MANHOLE		PROPOSED HANDICAP PARKING STALL
	EXISTING WATER SERVICE VALVE		EXISTING GAS VALVE
	EXISTING TELEPHONE MANHOLE		
	EXISTING ROUND CATCH BASIN		EXISTING WOODED AREA
	PROPOSED ROUND CATCH BASIN		EXISTING HEDGE
	EXISTING SQUARE CATCH BASIN		EXISTING CHAINLINK FENCE
	EXISTING CURB INLET		EXISTING WOOD FENCE
	PROPOSED CURB INLET		EXISTING BARBED WIRE FENCE
	EXISTING UTILITY POLE		PROPERTY LINE
	EXISTING UTILITY POLE WITH GUY WIRE		EXISTING GUARD RAIL
	EXISTING STREET LIGHT		EXISTING STORM SEWER AND MANHOLE
	EXISTING TELEPHONE PEDESTAL		PROPOSED STORM SEWER AND MANHOLE
	EXISTING ELECTRIC PEDESTAL		EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC BOX		PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING CABLE TV PEDESTAL		EXISTING WATER LINE AND HYDRANT
	PROPOSED DRAINAGE FLOW		PROPOSED WATER LINE AND HYDRANT
	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.		EXISTING OVERHEAD UTILITY LINE
	3/4" REBAR SET WEIGHING 1.30 LB/FT.		EXISTING UNDERGROUND FIBER OPTIC CABLE
	1-1/4" REBAR FOUND		EXISTING UNDERGROUND ELECTRIC CABLE
	3/4" REBAR FOUND		EXISTING UNDERGROUND TELEPHONE CABLE
	2" IRON PIPE FOUND		EXISTING UNDERGROUND GAS LINE
	1" IRON PIPE FOUND		PROPOSED CURB AND GUTTER
	EXISTING FLOOD LIGHT		EXISTING CURB AND GUTTER
	SECTION CORNER		GRADING/SEEDING LIMITS
	PROPOSED APRON ENDWALL		RIGHT-OF-WAY LINE
	EXISTING MARSH AREA		PROPERTY LINE
	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER		RAILROAD TRACKS
			EXISTING GROUND CONTOUR
			PROPOSED GROUND CONTOUR

CIVIL SHEET INDEX

SHEET	SHEET TITLE
C1.0	CIVIL COVER AND SPECIFICATION SHEET
C1.1	EXISTING SITE AND DEMOLITION PLAN
C1.2	SITE AND LANDSCAPE PLAN
C1.3	GRADING, UTILITY, AND EROSION CONTROL PLAN
C1.4	DETAILS

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX (414) 258-0647
TDD (FOR THE HEARING IMPAIRED) 1-800 542-2280
WISCONSIN STATUTE 152.0176 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



PLAN SPECIFICATIONS

32 20 00 CONCRETE AND AGGREGATE BASE

- CONTRACTOR TO PROVIDE CRUSHED AGGREGATE WITH SAND AND CONCRETE WHERE INDICATED ON THE PLANS.
- ALL AGGREGATE SPECIFICATIONS SHALL COMPLY WITH SECTION 605 OF THE PROVISIONAL AREA SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACEMENT MUST BE COMPACTED TO NOT AVERAGE 2.05 SPECIFIC WEIGHTS. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE CONCRETE SHALL FOLLOW LOCAL STANDARD PRACTICE AND SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
1. **MINIMUM COVER** - 4" OF CONCRETE OVER FACE OF 3/4" CRUSHED AGGREGATE BARS. CONCRECTION SHALL HAVE MINIMUM 3/4" OF 1/2" BARS TO TOP OF CONCRETE WHERE INDICATED ON THE PLANS.
2. **MINIMUM COVER** - 2" OF CONCRETE OVER FACE OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH TWO #4 WELDED WARS. MIN. CONSTRUCTION Joints SHALL BE MAXIMUM 3' IN DEPTH AND 10' SPACED A MAXIMUM OF 12' ON CENTER.
3. **DESIGN** - ALL REINFORCING SHALL BE IN ACCORDANCE WITH ASTM C618.
4. **STRENGTH** TO BE MINIMUM OF 4000 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
5. **SLUMP** SHALL BE NOT GREATER 4" FOR EXTERIOR CONCRETE SHALL WORK.
6. **SLUMP** SHALL BE 6" OR LESS FOR ALL SPURIOUS CURBS AND JOINTS.
7. **SLURRY** SHALL BE NOT LESSER 1.75 TO 2.0 FOR NON-SPURIOUS CURBS AND GUTTERS.
8. **ALL REINFORCING** SHALL BE IN ACCORDANCE WITH ASTM A618. ALL OTHER AGGREGATES SHALL BE USED WITHOUT APPROVAL OF ENGINEERING, INC. CALIFORNIA CHLORIDE SHALL NOT BE USED.
9. **MAXIMUM AGGREGATE SIZE** FOR ALL EXTERIOR CONCRETE SHALL BE 3/4" INCHES.
10. **REINFORCING** SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: REINFORCING SHALL HAVE FUTURE 3000 PSI BARS AT A RATE OF 1.6 LB/SQ. YD. OR 3/8 X 6 X 1/4 WELDED WIRE MESH WITH MINIMUM 1/2" COVER.
11. **EXTERIOR** REINFORCING SHALL BE 3" BARS WITH A 1/2" CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE WITH ALL JOINTS AND DISCONTINUITIES WITH RESPECTIVE CONTRACTOR.
12. **ALL REINFORCING** AND CONCRETE CURS SHALL BE CONSTRUCTED TO WITHIN 6" OF DESIGN SURFACE AND FLOWLINE GRADING ASSUMING 30% MINIMUM BLOWDOWN WITH THE DESIGN PLANS.
13. **CONCRETE** SHALL WORK SHALL WORK CONSTRUCTION JOINTS OR CLOSURE JOINTS AS INDICATED ON THE PLANS OR FIRST THE SPECIFICATION. GROUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NOT LATER THAN 24 HOURS AFTER PLACEMENT IS PLACED.
14. **ALL REINFORCING** SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: REINFORCING SHALL HAVE FUTURE 3000 PSI BARS AT A RATE OF 1.6 LB/SQ. YD. OR 3/8 X 6 X 1/4 WELDED WIRE MESH WITH MINIMUM 1/2" COVER. ALL REINFORCING BARS SHALL BE HEAVY AS GRADE B. THEREAFTER CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE EXPOSED TO AIR. EXTERIOR CONCRETE SHALL BE REINFORCED FROM BUILDING OF FORMS TO 1/2" MINIMUM SLAB THICKNESS. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: REINFORCING SHALL HAVE FUTURE 3000 PSI BARS AT A RATE OF 1.6 LB/SQ. YD. OR 3/8 X 6 X 1/4 WELDED WIRE MESH WITH MINIMUM 1/2" COVER. BARS, PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTER SHALL BE IN ACCORDANCE WITH CRSI AND A.C.I. MANUAL, AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PLACED IN THE PRESENCE OF CRACKS OR CRACKS SHALL BE REINFORCED WITH 3/4" BARS AT A RATE OF 1.6 LB/SQ. YD. OR 3/8 X 6 X 1/4 WELDED WIRE MESH WITH MINIMUM 1/2" COVER. 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32 30 00 LANDSCAPING AND SITE STABILIZATION

- [illegible]

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

1. CONTRACTOR TO FULFILL ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONDUCTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR PER CODE OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. ALL PROPOSED NEW UTILITY PLANS SHALL BE IN ACCORDANCE WITH ASTM FIRM. ALL PROPOSED PIPE STORM PIPE SHALL BE IN ACCORDANCE WITH IDEAL. ALL CONCRETE STORM PIPE SHALL BE IN ACCORDANCE WITH ASTM C14 AND ASTM C9. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. IF WOODEN PLANK FOUNDATION WALLS.
3. ALL UTILITY PLANS SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE UTILITY DESIGN PLANS AND SITE REQUIREMENTS.
4. ALL UTILITY SHALL BE INSTALLED WITH PLASTIC COATED TRACHER W/RE (1" TO 4" GAUGE SOLID COPPER, OR COPPER COATED STEEL PIPE). PLASTIC W/RE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE IF ATTACHED. THE TRACHER W/RE SHALL BE SECURED W/RE TO 10 FEET AND AT ALL BENDS. TRACHER W/RE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
5. ALL UTILITY PLANS SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE UTILITY DESIGN PLANS AND SITE REQUIREMENTS. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING SITE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY, AND STORM BODIES.
6. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREN AT 920-826-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
2. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION PER CODE.

CONTACTS

OWNER
ABSOLUTE SUPPLY
1580 BOHLEN DRIVE
LITTLE CAUTE, WI 54140
CONTACT: SCOTT MEEK
P: (920) 766-4848
SMEBK@ABSOLUTESUPPLY.NET

APPLICANT
FRONTIER BUILDERS & CONSULTANTS
2224 CROOKS AVE, SUITE A
WALWAUNA, WI 54130
CONTACT: SCOTT MEEK
P: (920) 759-8033
TEAM@FRONTIERBUILDERSANDCONSULTANTS.COM

CIVIL
EXCEL ENGINEERING
100 CAMELOT DRIVE
POND DU LAC, WISCONSIN 54903
CONTACT:
ERIC DRAZGOWSKI, PE
P: (920) 322-1678
F: (920) 926-9801
eric.d@excengineer.com

CIVIL COVER AND SPECIFICATION SHEET



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PROJECT INFORMATION

PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
1560 BOHM DRIVE • LITTLE CHUTE, WI

PRELIMINARY DATES

NOV. 7, 2018

NOT FOR CONSTRUCTION

STRONG

JOB NUMBER

1827400

SHEET NUMBER

C1.0

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. 878505, BY KNIGHT BARRY TITLE SERVICES LLC, DATED JULY 23, 2018. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
KcA	Kaukauna silty clay loam, 0 to 3 percent slopes	C/D	0.8	100.0%
Totals for Area of Interest			0.8	100.0%

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PROJECT INFORMATION

PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
1560 BOHM DRIVE • LITTLE CHUTE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

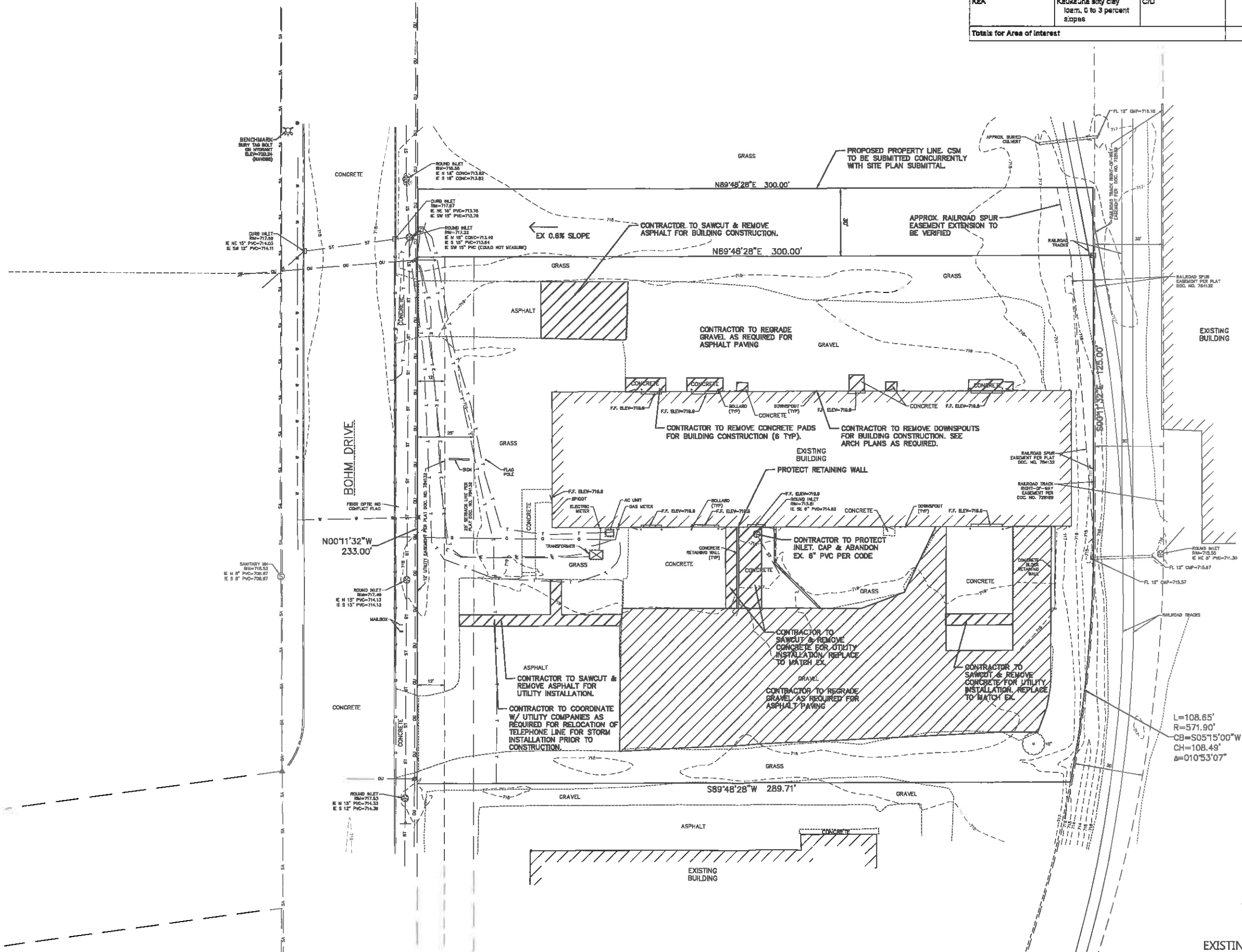
NOV. 7, 2018

JOB NUMBER

1827400

SHEET NUMBER

C1.1



EXISTING SITE AND DEMOLITION PLAN

SITE INFORMATION:

TAX KEY: 260273900
 PROPERTY AREA: AREA = 78,524 S.F. (1.80 ACRES).
 EXISTING ZONING: INDUSTRIAL DISTRICT
 PROPOSED ZONING: INDUSTRIAL DISTRICT
 PROPOSED USE: WAREHOUSE
 PRODUCTS & OPERATIONS: MANUFACTURING, WATERJET CUTTING, AND MATERIAL SALES.
 AREA OF SITE DISTURBANCE: 23,000 SF
 SETBACKS: BUILDING: FRONT = 20'
 SIDE = 10' + 1'/3' BLDG HT > 35'
 REAR = 15'-NA ABUTS RR
 PAVEMENT: FRONT = 5'
 SIDE = 5'
 REAR = 5'
 PROPOSED BUILDING HEIGHT: 32'-6" (MAX. HEIGHT: 150')
 PARKING REQUIRED: 1 SPACE PER EMPLOYEE ON LARGEST SHIFT (15 SPACES REQ.)
 EXISTING PARKING: 15 SPACES
 BUILDING OCCUPANCY CLASSIFICATION = B / S-2 CONSTRUCTION TYPE: 2B
 LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 10%
 NO HAZARDOUS MATERIALS WILL BE STORED ON SITE

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.80	69,530	
BUILDING FLOOR AREA	0.32	13,820	19.9%
PAVEMENT (ASP., GRAVEL & CONC.)	0.75	32,608	48.9%
TOTAL IMPERVIOUS	1.07	46,428	66.8%
LANDSCAPE/ OPEN SPACE	0.53	23,102	33.2%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.80	78,524	
BUILDING FLOOR AREA	0.61	28,744	34.1%
PAVEMENT (ASP., GRAVEL & CONC.)	0.63	27,517	35.0%
TOTAL IMPERVIOUS	1.25	54,261	69.1%
LANDSCAPE/ OPEN SPACE	0.56	24,263	30.9%

OUTDOOR STORAGE NOTE:

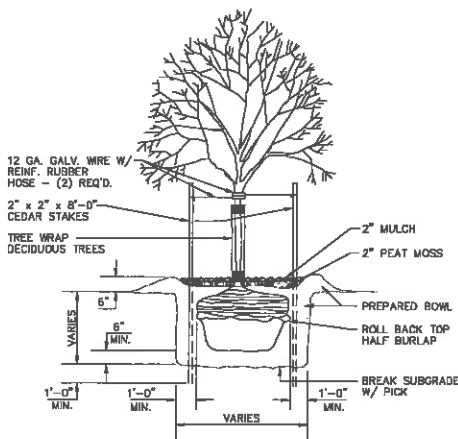
EXISTING STORAGE AROUND SITE TO BE CLEANED UP PRIOR TO CONSTRUCTION & TO REMAIN INSIDE PROPOSED ADDITION. THE ONLY STORAGE OUTSIDE WILL BE SCRAP METAL DUMPSTERS THAT WILL BE LOCATED ON THE SOUTH SIDE OF THE EXISTING BUILDING AND ON THE EAST SIDE OF THE PROPERTY. A 100% OPAQUE FENCE WILL BE PROVIDED ON THE SOUTH PROPERTY LINE AS NEEDED TO SCREEN THE SCRAP METAL DUMPSTERS FROM ANY VIEWS TO E. NORTH AVE.

LANDSCAPING NOTES

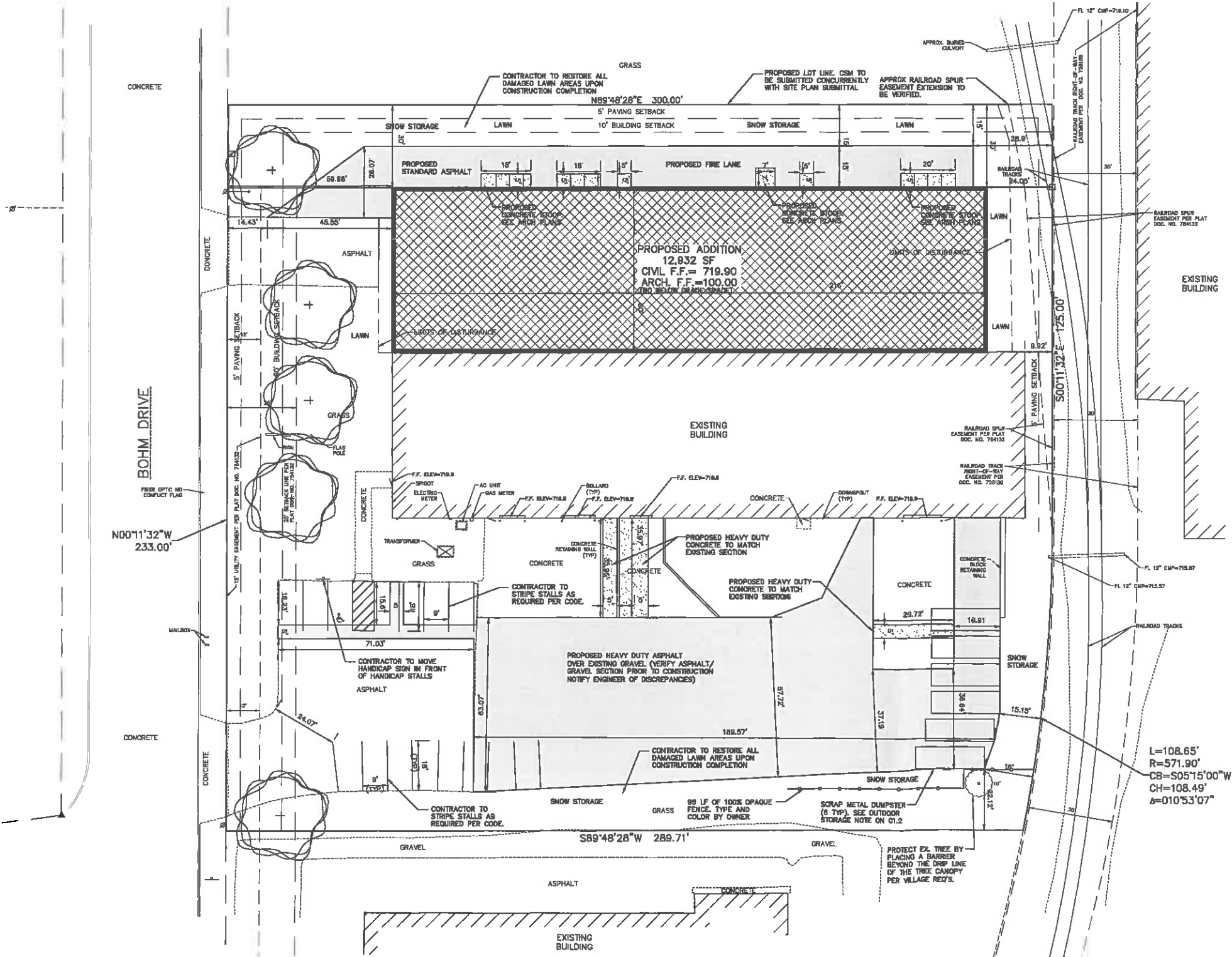
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
Q	Sugar Maple	Acer saccharum	2-1/2"	5

LANDSCAPING CALCULATION:

REQUIRED: 5 TREES AS CLOSE AS POSSIBLE TO WITHIN 10' OF FRONT PROPERTY LINE
 PROVIDED: 5 TREES (EXCL. DRIVEWAYS)
 ** EXISTING 12' UTILITY EASEMENT ALONG BOHM DRIVE
 ** TREES REQUIRED TO BE OUTSIDE OF UTILITY EASEMENT



TREE PLANTING DETAIL
NO SCALE



SITE AND LANDSCAPE PLAN

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PROJECT INFORMATION

PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
 1560 BOHM DRIVE • LITTLE CHUTE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 7, 2018

JOB NUMBER

1827400

SHEET NUMBER

C1.2

PROJECT INFORMATION

PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
1560 BOHM DRIVE • LITTLE CHUTE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 7, 2018

JOB NUMBER

1827400

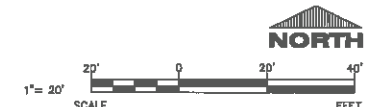
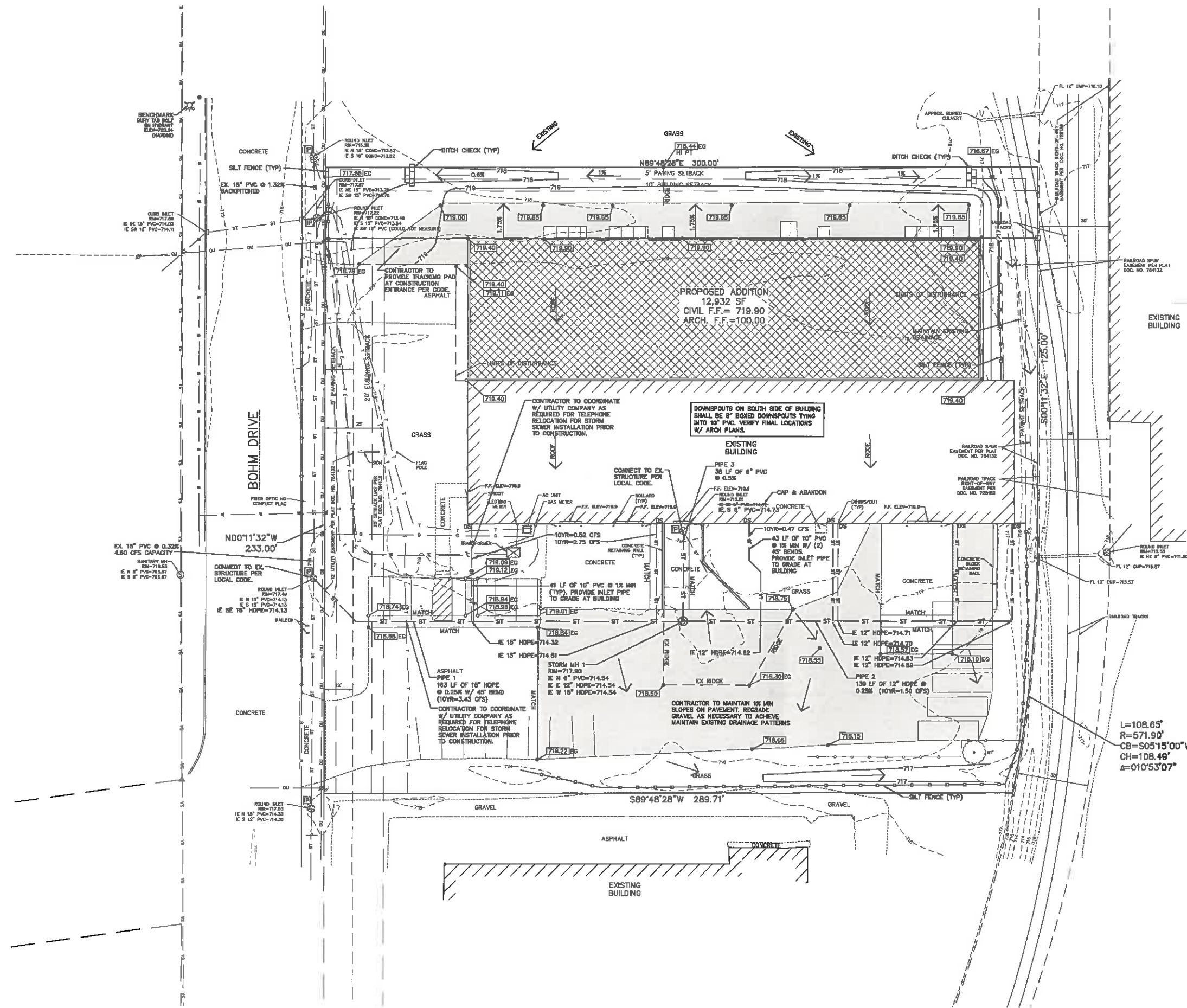
SHEET NUMBER

C1.3

NOT FOR CONSTRUCTION

- (5) PERMIT REQUIREMENTS: All permits shall require the responsible party to:
- (a) Notify the Community Development Department or Public Works Department within 48 hours of commencing any land disturbing construction activity.
 - (b) Notify the Community Development Department or Public Works Department of completion of any BMPs within 10 business days after their installation.
 - (c) Obtain permission in writing from the Community Development Department or Public Works Department prior to any modification pursuant to 8.09(3) of the erosion and sediment control plan.
 - (d) Install all BMPs as identified in the approved erosion and sediment control plan.
 - (e) Maintain all road drainage systems, stormwater drainage systems, BMPs and other facilities identified in the erosion and sediment control plan.
 - (f) Repair any situation or erosion damage to adjoining surfaces and drainage ways resulting from land disturbing construction activities and document repairs in weekly inspection reports.
 - (g) Conduct construction site inspections at least once per week and within 24 hours after a precipitation event of 0.5 inches or greater. Repair or replace erosion and sediment control BMPs as necessary within 24 hours of an inspection or notification that repair or replacement is needed. Maintain, at the construction site, weekly written reports of all inspections. Weekly inspection reports shall include all of the following: date, time and location of the construction site inspection; the name of individual who performed the inspection; an assessment of the condition of erosion and sediment controls; a description of any erosion and sediment control BMP implementation and maintenance performed; and a description of the present phase of land disturbing construction activity at the construction site.
 - (h) Allow the Community Development Department or Public Works Department to enter the site for the purpose of inspecting compliance with the erosion and sediment control plan or for performing any work necessary to bring the site into compliance with the control plan. Keep a copy of the erosion and sediment control plan, storm water management plan, amendments, weekly inspection reports, and permit at the construction site until permit coverage is terminated.
 - (i) The permit applicant shall post the "Certificate of Permit Coverage" in a conspicuous location at the construction site.

EROSION CONTROL PERMIT REQUIREMENTS:



GRADING, UTILITY, AND EROSION CONTROL PLAN

PROPOSED BUILDING ADDITION FOR:
ABSOLUTE SUPPLY, LLC
1560 BOHM DRIVE • LITTLE CHUTE, WI 54140

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 7, 2018

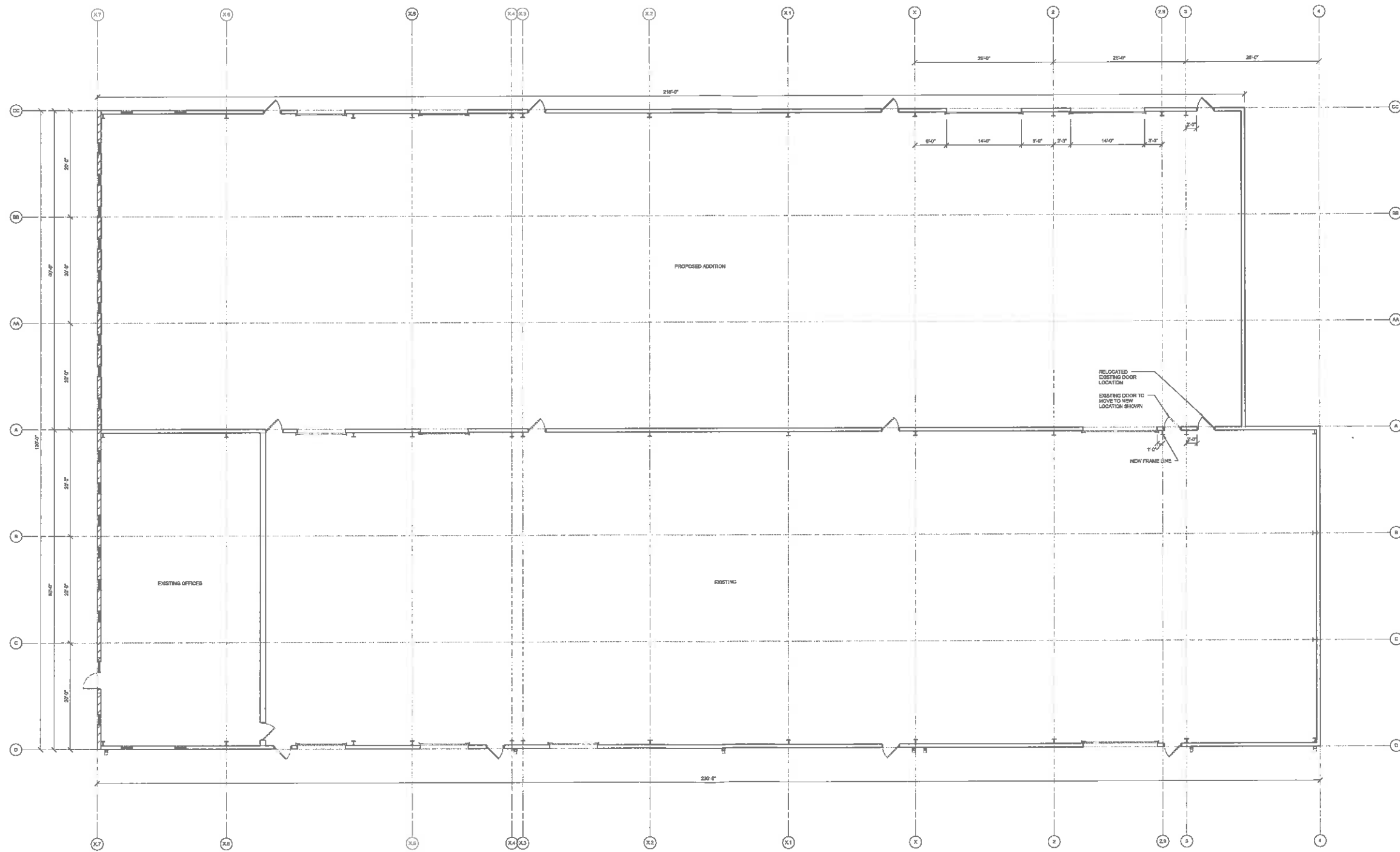
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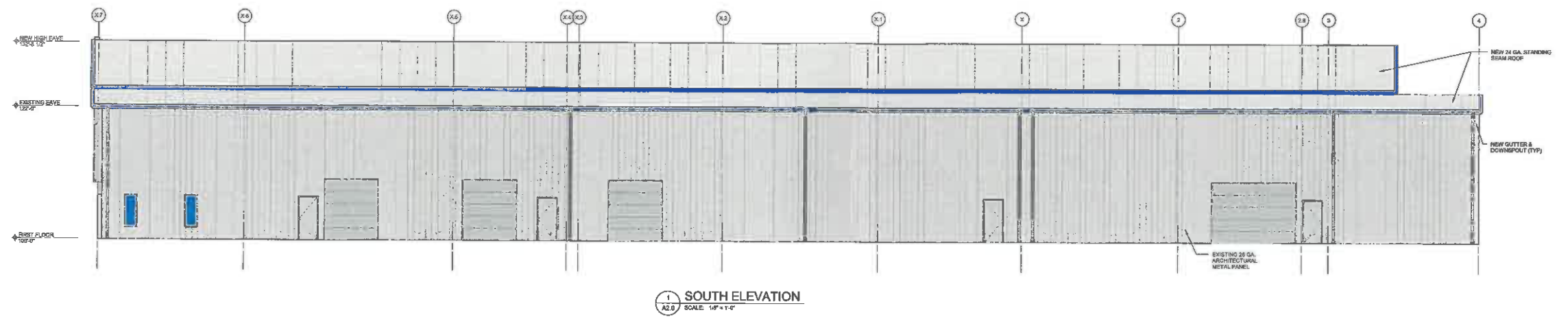
FIRST FLOOR PLAN

SHEET NUMBER

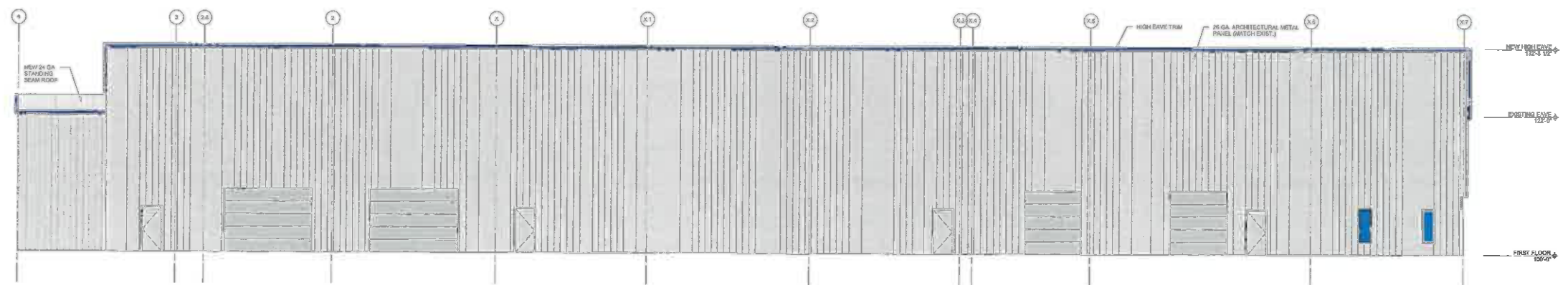
A1.1



PROPOSED BUILDING ADDITION FOR:
ABSOLUTE SUPPLY, LLC
1560 BOHM DRIVE • LITTLE CHUTE, WI 54140



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION
PROJECT NUMBER Project Number

PROPOSED BUILDING ADDITION FOR:
ABSOLUTE SUPPLY, LLC
1560 BOHM DRIVE • LITTLE CHUTE, WI 54140

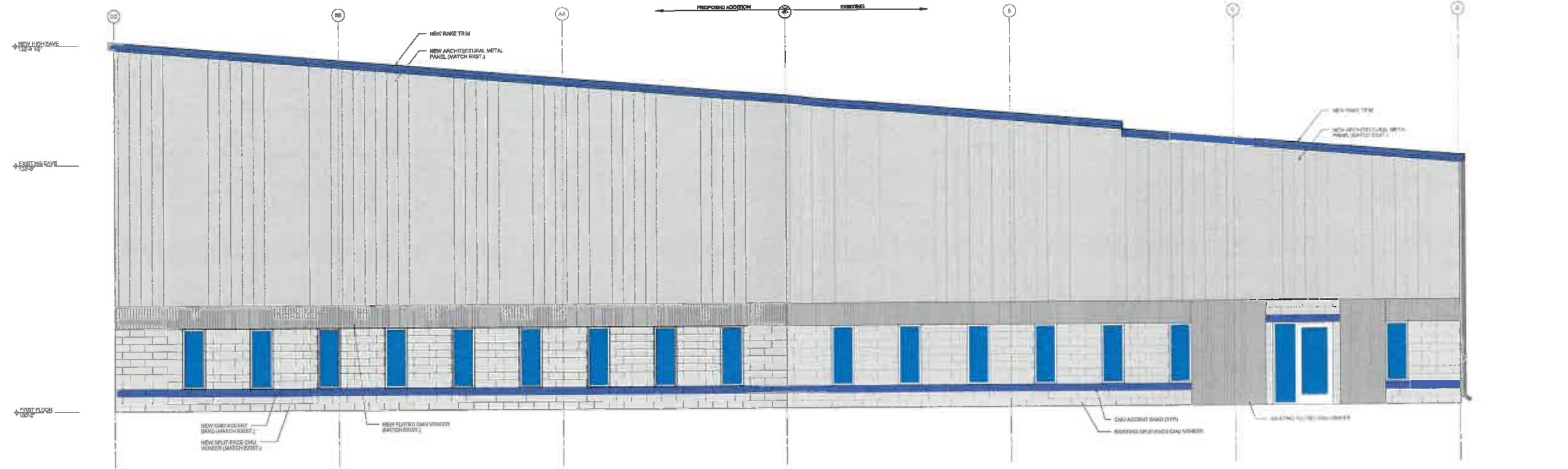
PROFESSIONAL SEAL

PRELIMINARY DATES
NOV. 7, 2018

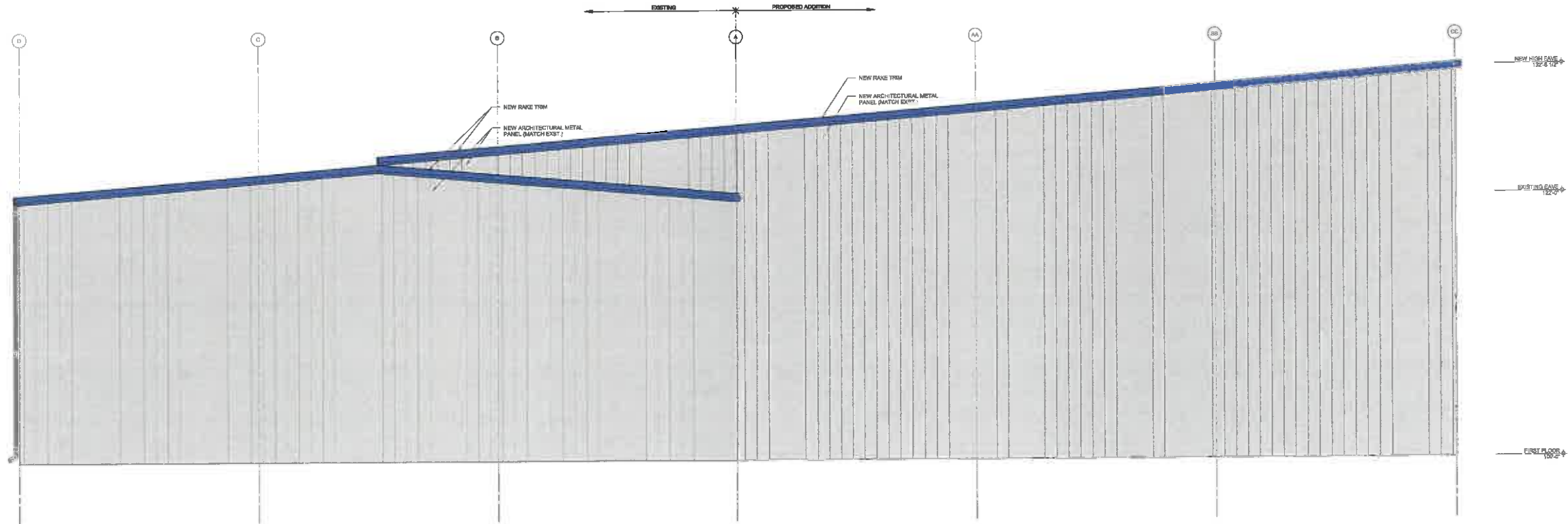
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SHEET INFORMATION
EXTERIOR ELEVATIONS

SHEET NUMBER
A2.1



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION**

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS
APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS 1540 BUCHANAN ST.

LEGAL DESCRIPTION LOT 1, CSM 7573, VILLAGE OF LITTLE
CHUTE, OUTAGAMIE COUNTY, WISCONSIN

PROPERTY OWNER(S) STEELHEART, LLC TELEPHONE 920-788-6442

ADDRESS/ZIP 1540 BUCHANAN ST. FAX 920-788-1949

APPLICANT MACH II ENGINEERING + SURVEYING
CHECK: ☐ Architect ☒ Engineer ☐ Surveyor ☐ Attorney ☐ Agent ☐ Other

ADDRESS 2260 SALSCHIEDER CT. TELEPHONE 920-569-5765

CITY/ZIP GREEN BAY, WI 54313 FAX 920-569-5767

DESCRIBE IN DETAIL THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY

PROPOSED MANUFACTURING ADDITION TO LEE'S CONTRACTING
+ FABRICATING.

GROUND FLOOR ELEVATION 724.40 LOT SIZE 6.24 AC FLOOR AREA 24,500 ft.² ADDITION

NUMBER OF STORIES IN BLDG 1 BASEMENT ☐ YES ☒ NO BUILDING HEIGHT 29'3"

TOTAL CURRENT EMPLOYEES 15 ON SITE EMPLOYEES ADDED BY EXPANSION 4

IMPERVIOUS SURFACE COVERAGE SQ. FT. 241,898 # OF PARKING SPACES 38

I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE Rob A. Mach DATE 11/14/2018

44-387(f)	Site plan review fee	\$300.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

SITE PLAN REVIEW PROCEDURES

Site Plan Review is an administrative process that is held after the completed plans are received. The Site Plan Review process is required for all new or modified Commercial, Industrial, Institutional and Multi-family uses, listed under the Zoning Ordinance.

Early in the process, consult the Site Plan Application Checklist (attached) for a complete list of plan requirements and consult the Community Development Director for initial reaction and assistance. In addition, please notify utility companies regarding your proposed development.

Eight total sets of plans and one application per Site Plan must be submitted to the Community Development Director. The Site Plan Set will include Site, Parking, Paving, Utilities, Grading, Drainage, Erosion Control, Landscape, Architectural Elevations, Photometric, Noise Evaluation, and Signage Plans. In addition, two sets of Floor Plans need to be submitted.

The Community Development Department, along with the other Village departments, will review the Site Plan. The Applicant will be notified as soon as possible of additional information/requirements to make the Site Plan complete and in compliance with Village codes for approval of the plan.

When a revised Site Plan is resubmitted, at least five signed and dated copies of the Major Site Plan are needed. The Community Development Director will approve, approve with conditions, refer back for changes, or deny the design of the project plan. Once the Major Site Plan is approved, a signed copy and approved application are given to the Applicant, the Owner, and also placed on file in the Community Development Department. The approval of a Site Plan shall remain valid for one (1) year. Please note, Site Plan approval does not constitute approval of a Building Permit, Paving or any required approvals for a curb cut from the Department of Public Works.

SITE PLAN CHECKLIST

This Site Plan checklist has been prepared to provide the Applicant with a clear understanding of what is needed to complete a Site Plan Review. It is our hope that by providing a very detailed list of information to be shown on the Site Plan Set and a specific format for its presentation, review time will be kept to a minimum and you will avoid costly time delays caused by incomplete plans. Your courtesy in following the checklist carefully will insure prompt review and approval at the earliest possible date.

APPLICATION FORM AND SITE PLAN SET

Application forms are available from the Community Development Department and shall be filed 45 days prior to any request for permits. Those who may file are the property owner, a person having the lawful power of attorney, or a representative of the owner such as an architect, engineer, or other agent designated by the property owner. In any case, no application will be accepted without an original signature of the property owner(s) or his/her agent. All blanks on the application must be filled in or an explanation given in a letter of intent.

When the applications, Site Plan set, documentation, and other required information have been prepared, **please schedule an appointment with the Community Development Director. DO NOT just drop off plans, as this will delay acceptance.** Plans will not be accepted for processing until staff has completed an initial review. An incomplete application or a Site Plan set lacking complete information will be refused acceptance.

THE RECOMMENDED FORMAT FOR A COMPLETE APPLICATION SHOULD INCLUDE:

- A completed Site Plan Application Form
 - Calculations for sanitary sewer and water
 - Calculations for storm sewer design
 - All Site Plan Sets to include:
 - Sheet 1 – Title Sheet, Site Plan Layout & Streets
 - Sheet 2 – Utilities, Grading & Drainage Plan
 - Sheet 3 – Erosion Control Plan
 - Sheet 4 – Landscape & Lighting Plan
 - Sheet 5 – Architectural Elevations & Construction Details
- Any other plans or information deemed necessary by the Community Development Director.
- 2 Floor Plan Sets

Submit the completed applications, calculations and 12 Site Plan Sets to:

Community Development Director
108 W Main St.
Little Chute, WI 54140

SITE PLAN SET

Plans which are submitted for review shall be drawn to an appropriate scale on sheets of uniform size, recommended at 24" x 36". A total of four (4) complete folded full size and 4 (11X 17) sets shall be submitted to the Community Development Director.

A Site Plan Set consists of the following information:

- ☒ 1. All full size sheets shall be of uniform size recommended at 24" x 36".
- ☒ 2. All plans are recommended to be drawn to a 1" = 20' scale. The same scale must be used for all full size plans.
- ☒ 3. All sheets shall be numbered.
- ☐ 4. The signature of the surveyor, engineer, or architect who is responsible for plan preparation is required on all sheets in the Final Set of (5) five. These shall be dated with revision date(s) stated.

All major site plans shall include as a minimum all of the following items of information:

Sheet 1. Title, Site Plan Layout & Streets Sheet

- ☒ a. Name of project, address, legal description of property, tax key number of each lot, description of proposed use and both existing and proposed zoning descriptions.
- ☒ b. Location map.
- ☒ c. Name, address and phone number of the record property owner and site plan preparer (include fax number if available).

- ☒ d. The signature of the surveyor, engineer or architect who is responsible for site plan preparation along with the revision date(s) clearly marked on the plan.
- ☒ e. North arrow, date of preparation, revision dates and scale.
- ☒ f. Name(s) of adjacent or surrounding streets.
- ☒ g. Recorded property lines and their dimensions.
- ☒ h. The total land area in the development including the percentage of lot coverage for all impervious surface areas.
- ☒ i. The location and architectural features of all existing and proposed structures, including occupancy classification of each structure as identified in the State Building Code, dimensions, number of stories and their locations on the parcel.
- ☒ j. Identify what types of products will be manufactured, sold and/or stored on site.
- ☒ k. Identify all types of hazardous materials to be stored on site. If none, state "No hazardous materials will be stored on site".
- N/A l. Identify if there will be food and/or beverage sales, a public swimming pool, whirlpool, or overnight lodging at this location.
- ☒ m. If buildings are to be removed, the site plan shall so indicate.
- ☒ n. A note shall appear on the site plan that indicates the calculations for parking and loading requirements which must identify: all existing uses on the property; the number of existing, proposed and future employees based on a five (5) year projection; the gross floor area and useable floor area for existing buildings, expanded buildings and proposed buildings; a calculation of required handicapped accessible parking spaces. Any joint use of parking must be in writing, approved by the Planning Director, signed by both parties involved and attached and recorded in the Register of Deeds Office.
- ☒ o. Show barriers, curbing or wheel stops.
- ☒ p. Existing and proposed driveways and parking lots including: pavement markings to show traffic flow; parking stall sizes and layout; handicap stalls and ramps; loading zone; driveway widths and radii or flares on driveway aprons to public streets. For parking areas, identify all proposed and existing stop signs at all private driveway exits onto public roadways. If stop signs are required, add a note on the site plan identifying: "Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version."
- N/A q. If existing curb cuts are to be abandoned, the statement "Curb cut will be closed per Village of Little Chute standards" shall be clearly noted on the site plan.

- ☒ r. For drive-through uses, show vehicle stacking spaces and pedestrian access to entry doors that do not cross drive-through lanes.
- ☒ s. Provide recycling calculations and locations according to the State Building Code.
- ☒ t. Identify all existing and proposed sidewalks with grade elevations and handicap access at driveways.
- ☒ u. Identify snow storage areas located outside of setbacks, in required parking areas and vision clearance triangles.
- ☒ v. Dimensions of all required yard setbacks for buildings and off-street parking.
- ☒ w. The location and extent of all existing and proposed outdoor storage and outdoor display.
- ☒ x. The location and detail of refuse containers and their enclosures, sidewalks, other pedestrian-type walkways, bicycle storage racks, traffic control dividers, tree islands and other similar improvements.
- ☒ y. The location of all mechanical equipment and the type of screening provided.
- ☒ z. Location of existing and proposed signage, sign elevation showing the height of sign to grade, height and face dimensions, colors, typeset, materials, lighting and orientation of signage.
- ☒ aa. Location, height, elevations and materials of all fences or retaining walls.
- ☒ bb. Location, size and use of any buildings, driveways and public rights-of-ways within fifty (50) feet of property lines and driveways.
- ☐ cc. Identify the types of fire protection/detection systems will be used.
- ☒ dd. Show on-site fire hydrants, Fire Department hose connections, and the respective flow calculations to meet the International Fire Code for installed fire protection systems.
- ☒ ee. Identify the location and presence of all fire related wall assemblies.
- ☒ ff. Identification of the class of construction in accordance with State Building Code.
- ☒ gg. Identify streams, wetlands, channels, ditches and other watercourses on the site and on adjacent properties.
- ☒ hh. Identify the 100-year floodplain, including flood fringe, floodway and flood storage areas.
- ☒ ii. Identify storm water flow, directions, detention, and management facilities.
- ☒ jj. Identify all open space that will remain undisturbed and undeveloped.

- N/A kk. Multi-family residential projects shall include additional information that identifies the total acres of subject property, the total number of dwelling units and density per acre and the percentage of proposed site covered for buildings and hard-surfaced areas as opposed to green space and landscaping.

Sheet 2. Utilities, Grading & Drainage Plan

- ✓ a. When abutting a site plan project, any public right-of-way shall be identified with accurate locations for existing and proposed facilities such as streets, curbs, sidewalks, sidewalk planters, street trees, utility poles, traffic signs and signals, median islands, project driveways, driveways on opposite street frontages, bus stops and other improvements. Elevations of sidewalks at property lines and elevations to indicate handicap accessibility shall be identified. The following statement shall be clearly noted on the site plan, *"Any existing sidewalk damaged during construction shall be replaced as a part of this project"*.
- ✓ b. Locate and label, whether underground or overhead, all existing and proposed utility lines and easements with sizes and material designations, and slopes (as needed), including sanitary sewer (manholes, laterals and clean outs), storm sewer (manholes, laterals, and catch basins), water (laterals, fire lines, valves and meters), fire hydrants, gas, telephone, cable and electric lines.
- ✓ c. Calculate drainage area for each catch basin. Indicate the size and slope of utility lines that will be tapped into the adjacent street.
- ✓ d. Show all existing and proposed public and private easements for utility, drainage, sewer, parking, access and other purposes, and all easements on surrounding properties benefiting the subject property. If existing utilities are to be abandoned, clearly state the method of abandonment.
- N/A e. State the provider of sanitary and water if not provided by the Village of Little Chute and provide written documentation of approval from said provider.
- ✓ f. Identify all existing and proposed sanitary sewer mains and laterals, including: methods of connection to public mains, easements, size, materials, slope, manholes, rim elevation, invert elevations, clean outs, plumbing code calculations, how many drainage fixture units and public mains for connection.
- ✓ g. Identify all existing and proposed water mains and laterals, including easements, size, depth, materials, tracing wires, hydrants, method of connection valves, meters, plumbing code calculations, how many water supply fixture units and public mains for connection.
- ✓ h. Identify all existing and proposed storm sewer mains and laterals, including the method of connection to the public main, easements, size, materials, slope, manholes, inlets, catch basins, yard drains, rim elevations, invert elevations, area map for drainage to each catch basin, square feet draining to each catch basin, plumbing code calculations, roof drain discharges and/or connections, square foot of roof area and public systems for

connection.

- ☒ i. Identify all existing and proposed surface run-off features, including easements, swales, open channels, type of surface, rip rap, flow path of runoff from upstream areas, and flow path for run-off leaving the site including the public system adjacent to or for connection.
- ☒ j. Identify existing topography (by dashed lines) at one (1) foot intervals and proposed grade elevations for the building, parking lot, catch basin inlet, rim and invert elevations, drives, surrounding open areas and including all property within fifty (50) feet using contour lines and spot elevations and drainage flow arrows as needed to define drainage patterns.
- ☒ k. List all existing and proposed grades for first floor elevations and catch basin inlet rim and invert elevations.
- ☒ l. Show details of all existing and proposed retaining walls, swales, and inlets.
- ☒ m. Provide cross-sections for all pavement and identify depth of base gravel base and thickness of hard-surfaced pavement (concrete or asphalt compacted).

Sheet 3. Erosion Control Plan

Provide all erosion control information as follows:

- ☒ a. The Erosion Control Plan must show: (1) existing site conditions, (2) site construction information, and (3) final site conditions. Depending upon the complexity of the site, 1 – 3 sheets may be needed.
- ☒ b. Show site boundaries, adjacent lands, and label each parcel.
- ☒ c. Show lakes, streams, wetlands, channels, ditches, and other water courses on the site and adjacent lands.
- ☒ d. Locate the 100-year floodplain including flood fringe, floodway, and flood storage.
- ☒ e. Locate and identify the predominant soil types and the existing vegetative cover.
- ☒ f. Locate and provide dimensions of on-site and off-site storm water drainage systems and natural drainage patterns on and immediately adjacent to the site, and the size, slope, and land cover of the upslope drainage areas.
- ☒ g. Locate and provide dimensions of utilities, structures, roadways, highways, and paving.
- ☒ h. Show proposed final finished topography at a contour interval not to exceed one-half (1/2) foot (a 5-foot contour is acceptable for slopes greater than 20%).
- ☒ i. Locate all proposed land disturbing activities or land developing activities.
- ☒ j. Locate and provide dimensions of all site erosion control measures necessary

to meet ordinance requirements.

- ☒ k. Show trees to be protected during construction by placing a barrier beyond the drip line of the tree canopy.
- ☒ l. Provide a written commitment on the face of the plan to maintain erosion control measures during construction.
- ☒ m. Show temporary seeding and/or mulching measures during the project time frame.
- ☐ n. Show the location of on-site soil stockpiles.
- ☒ o. Include a chronological sequence of land disturbing, construction, and erosion control activities, including temporary or permanent stabilization, with a schedule and timeframe.
- ☒ p. Show the final site conditions, including final vegetation or other ground cover.

Sheet 4. Landscape & Lighting Plan

- ☒ a. Identify all exterior lighting fixtures, either mounted on the building or freestanding light along with dispersion pattern, intensity of light and cut-off shielding that reflects light downward and in which the light source is not visible from adjacent properties.
- ☒ b. Locate all trees over six (6) inches in diameter and indicate whether they will remain, be relocated or be removed. Identify any other significant vegetation that is to remain and the means of protection during construction.
- ☒ c. Identify the location, size, species and variety of proposed trees, shrubs, ground cover and other landscape features that will be used to control erosion, or screen parking, truck loading, refuse disposal, and outdoor storage from adjacent residential districts and the public right-of-way.
- ☒ d. Identify the finished height and width of landscape elements. Provide a planting schedule that includes a key abbreviation, graphic symbol of vegetation, botanical name of plants, common name of plants, quantity of plants, size of plant at planting, and size of plant at maturity.
- ☒ e. Identify type of temporary and finishing materials, including seeded grass, sod, type of mulch in planting beds, pavers, concrete and asphalt.

Sheet 5. Architectural & Construction Plans

- ☒ a. Provide dimensioned elevations of all exterior walls (photographs may be substituted for existing elevations to remain unchanged).
- ☒ b. Identify the size of basement/below grade space or clearly mark "not below grade space" on the site plan.
- ☒ c. Identify by list the type of roof, wall and all trim materials, colors and textures.

☒ d. Changes or additions to existing buildings or materials clearly identified.

Sheet 6. Floor Plans (2 sets)

☒ a. Provide standard floor plans of all floors including the basement.

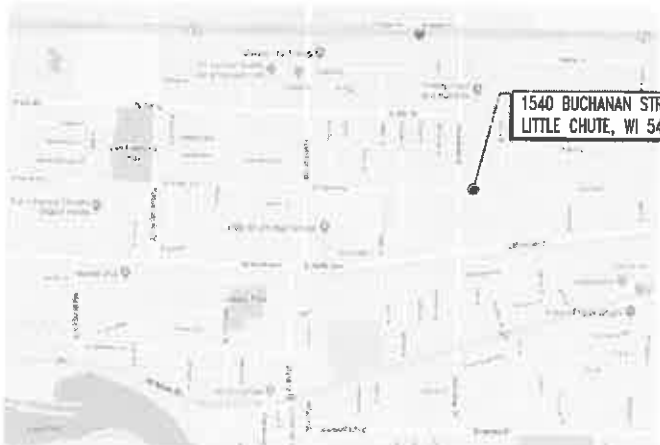
The Community Development Director may require additional information or may waive submission requirements as deemed necessary for thorough and efficient review.

Additional Sheets and/or Information Submitted:

LEE'S CONTRACTING & FABRICATING, INC.

FABRICATION SHOP ADDITION

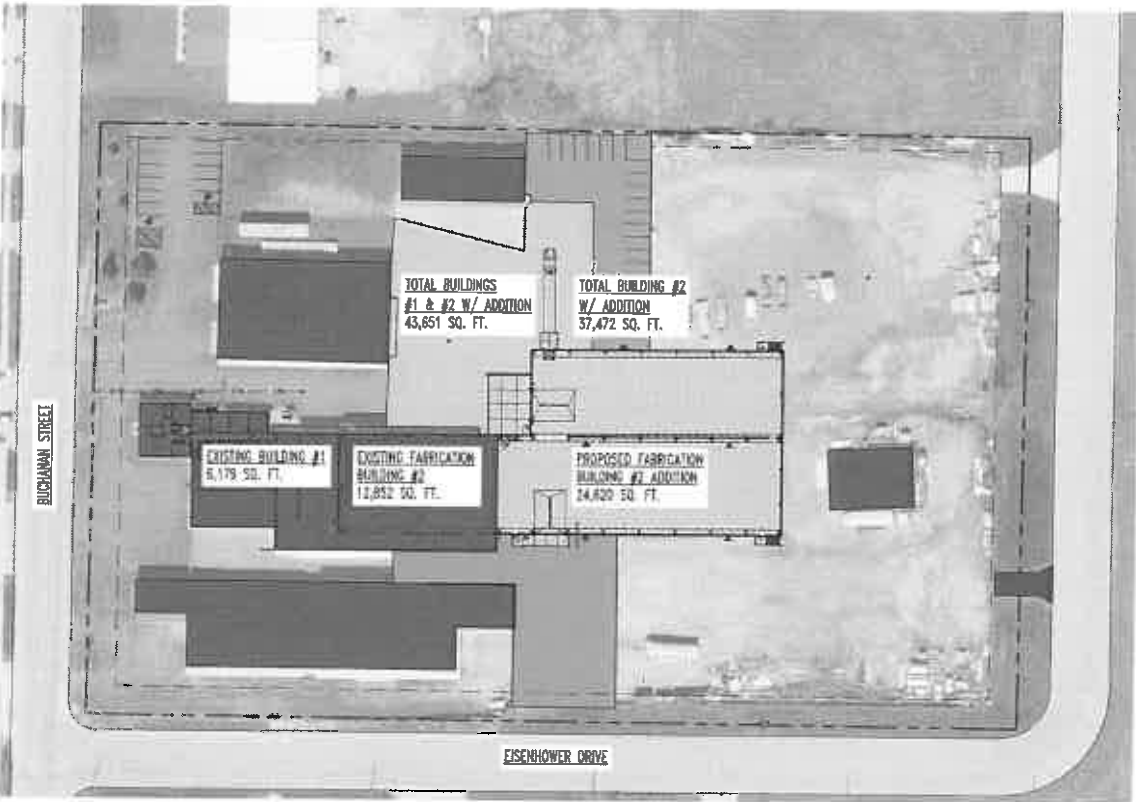
1540 BUCHANAN STREET, LITTLE CHUTE, WI 54140



SITE LOCATION MAP
NOT TO SCALE



SITE PROXIMITY MAP
NOT TO SCALE



OVERALL SITE PLAN
1" = 60'-0"

SHEET INDEX			
TS	SHEET INDEX, SYMBOLS KEY, BUILDING KEY	S0.1	STRUCTURAL NOTES AND FOUNDATION DETAILS
CS	OVERALL SITE PLAN - SCHUH	S1.1	FOUNDATION PLAN
		S1.2	ANCHOR BOLT DETAILS
C0.1	COVER - MACH		
C1.0	EXISTING CONDITIONS/DEMOLITION - MACH		
C2.0	SITE PLAN - MACH		
C3.0	UTILITY PLAN - MACH		
C4.0	GRADING PLAN - MACH		
C5.0	EROSION CONTROL PLAN - MACH		
C5.1	EROSION CONTROL DETAILS - MACH		
C6.0	SITE DETAILS - MACH		
L1.0	LANDSCAPING PLAN - MACH		
LS1	OVERALL LIFE SAFETY PLAN		
A1.1	PROPOSED FLOOR PLAN		
A1.2	PROPOSED CRANE PLAN		
A3	EXTERIOR ELEVATIONS		
A4	BUILDING SECTIONS		
A5	BUILDING SECTION DETAILS		

SYMBOLS

DIRECTION SECTION IS CUT

GRID LINE

FINISH FLOOR ELEV. 100'-0"

ROOM NAME AND NUMBER

DOOR TAG

WINDOW TAG

ELEVATION NUMBER

DETAIL NUMBER

DIGGERS HOTLINE

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1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

Bay Architects
901 Parkview Rd
Green Bay, WI 54304
920.337.9400
dvl@bayarch.net

PLAN DEVELOPMENT LOG		
SET DESCRIPTION	DATE	PAGES INVOLVED WITH PLAN DEVELOPMENT SET
PLAN DEVELOPMENT SET #1	7-3-18	C1, A1, A3
PLAN DEVELOPMENT SET #2	7-30-18	TS, C1.1, C1.2, LS1, A1.1, A1.2, A3, A4
PLAN DEVELOPMENT SET #3	8-7-18	TS, C1.1, C1.2, LS1, A1.1, A1.2, A3, A4
PLAN DEVELOPMENT SET #4	8-10-18	TS, C1.1, C1.2, LS1, A1.1, A1.2, A3, A4
PLAN DEVELOPMENT SET #5	11-14-18	TS, CS, C0.1, C1.0, C2.0, C3.0, C4.0, C5.0, C5.1, C6.0, L1.0, LS1, A1.1, A1.2, A3, A4, A5, S0.1, S1.1, S1.2

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

SCHUH
CONSTRUCTION, INC.
Established 1976

State ID# 680499

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PROJECT:
LEE'S CONTRACTING & FABRICATING, INC.
FABRICATION SHOP ADDITION
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:
18-573

SHEET NO.:
TS

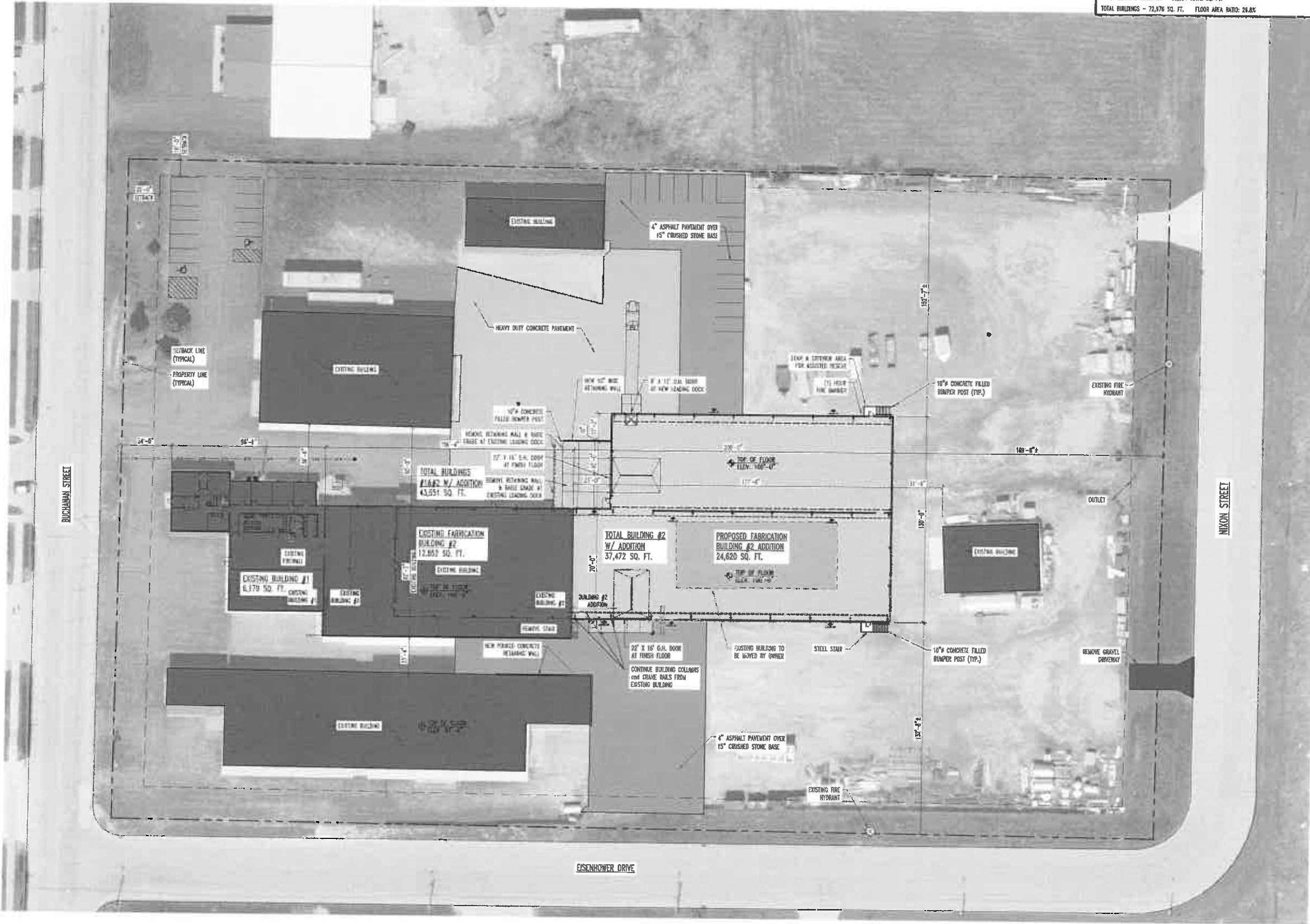
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<u>LOCAL CODE / SITE REQUIREMENTS</u>			
PARCEL: 127801			
ZONING: EXISTING INDUSTRIAL DISTRICT (ID)			
SETBACKS - FRONT: 20'		CORNER SIDE:	
SIDE: 10'		REAR: 15'	
PARKING		REAR: NONE LISTED	
FRONT: NONE LISTED			
SIDE: NONE LISTED			
LOT AREA: 271,825 SQ. FT. / 6.24 ACRES			
BUILDING AREA: 12,852 EXISTING + 24,620 ADDITION = 37,472 TOTAL SQ. FT. (BUILDING #2)			
OTHER EXISTING BUILDINGS - 33,504 TOTAL SQ. FT.			
TOTAL BUILDINGS - 72,976 SQ. FT. FLOOR AREA RATIO: 26.8%			



NORTH
1" = 30'-0"
PROPOSED SITE PLAN

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METAL BUILDINGS

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LEE'S CONTRACTING & FABRICATING, INC.
FABRICATION SHOP ADDITION
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:
18-573

SHEET NO.:
CS

COVER SHEET

Benchmarks		
Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT

LEGAL DESCRIPTION

ALL OF LOT 1 OF CERTIFIED SURVEY MAP #7573 AS RECORDED IN VOLUME 48, PAGE 7573, DOCUMENT #2139136, WITHIN SECTION 15, T.21N. R.18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

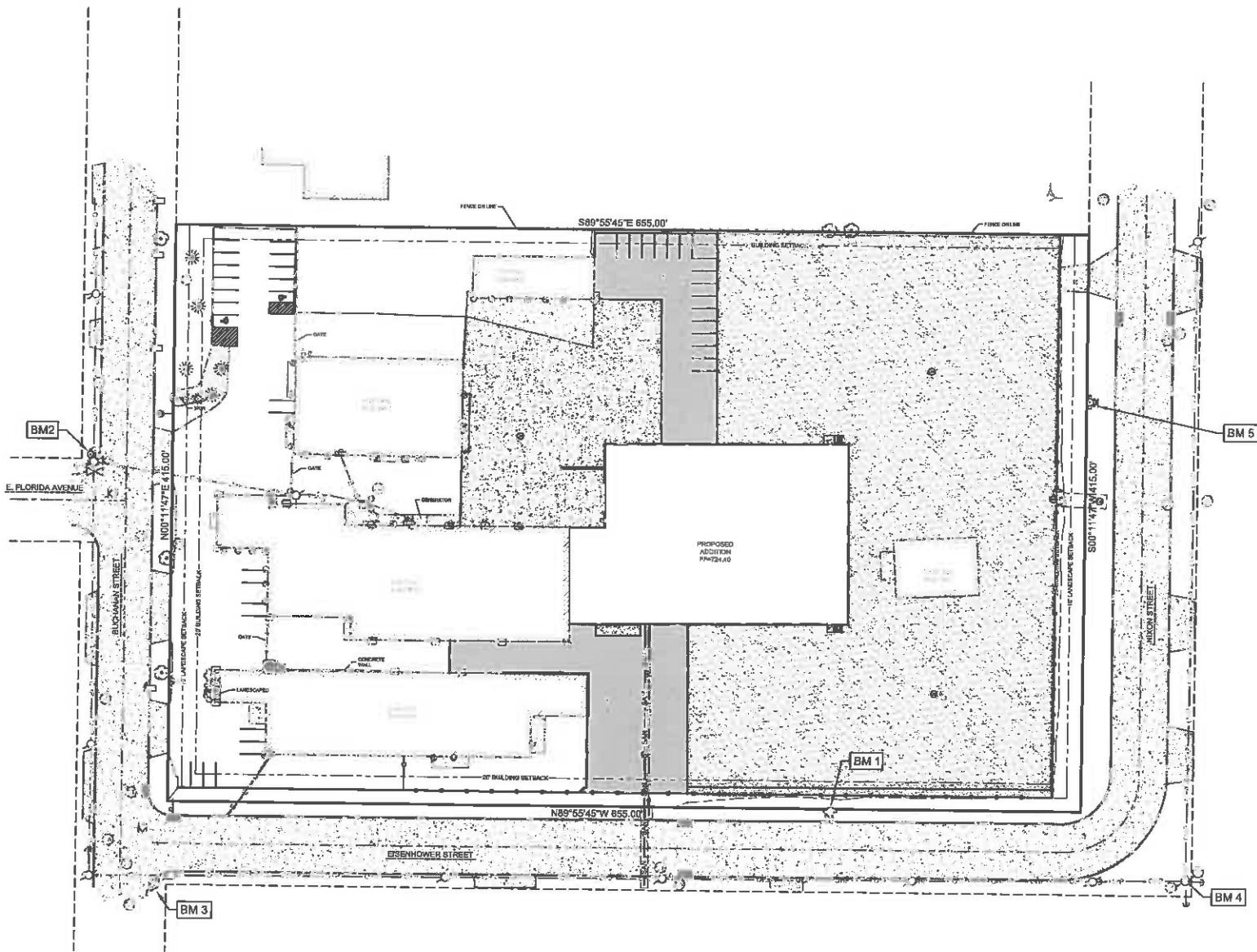
- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING, LLC. - OCTOBER 2018.
- SURVEY VERTICAL DATUM IS NAVD88.
- UTILITY LOCATES PER DIGGERS HOTLINE WEB REQUEST #20184208054
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
- FOR NOTES SHOWN THUS: "T", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

PROJECT: LEE'S CONTRACTING & FABRICATING, INC.
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:
SHEET NO.:
C1.0

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
LEE'S CONTRACTING & FABRICATING, INC.
STATE ID# 680499

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LOCATION MAP

1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140
NOT TO SCALE

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB		ASPHALT	
LIGHT POLE		BUILDING OVERHANG		CONCRETE	
POWER POLE		UNDERGROUND CABLE		GRAVEL	
GAS METER		OVERHEAD WIRE		LANDSCAPE WOOD MULCH	
GAS VALVE		UNDERGROUND ELECTRIC		LANDSCAPE STONE MULCH	
BOLLARD		GAS			
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET 2' X 2'		SANITARY SEWER			
STORM CLEANOUT		CULVERT			
STORM MANHOLE		STORM SEWER			
FIBER OPTIC PEDESTAL		FIBER OPTIC			
SIGN		WOOD LINE			
FIRE HYDRANT		RETAINING WALL			
WATER SHUT OFF		WATERMAIN			
WATER VALVE		CONTOUR MAJOR			
		CONTOUR MINOR			

ABBREVIATIONS

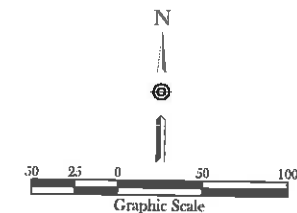
AEW	APRON END WALL	mm	MILLIMETER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N	NORTH
BM	BENCHMARK	NE	NORTHEAST
C	CABLE	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CJ	CURB INLET	OHP	OVER HEAD POWER
CMP	CORRUGATED METAL PIPE	O.L.	OUTLOT
CO	CLEAN OUT	PSI	POUNDS PER SQUARE INCH
CSM	CERTIFIED SURVEY MAP	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	R	RADIUS
DOT	DEPARTMENT OF TRANSPORTATION	RAD	RADIUS
E	EAST	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	REQ	REQUIRED
FDM	FACILITIES DEVELOPMENT MANUAL	S	SOUTH
PFE	FIRST FLOOR ELEVATION	SA	SANITARY
FL	FLOW LINE	SAN	SANITARY
FO	FIBER OPTIC	SCHD	SCHEDULE
FT	FEET	S.D.	SUMP DEPTH
G	GAS	SQ	SQUARE
G.F.E.	GROUND FLOOR ELEVATION	ST	STORM
GR	GRADE	STM	STORM
HDP	HIGH DENSITY POLYETHYLENE	T	TELEPHONE
INV	INLET	T/C	TOP OF CURB
INV	INVERT	U.S.H.	UNITED STATES HIGHWAY
M	METER	V	VARIES
MAX	MAXIMUM	W	WEST
MIN	MINIMUM	WAT	WATER
		WI	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

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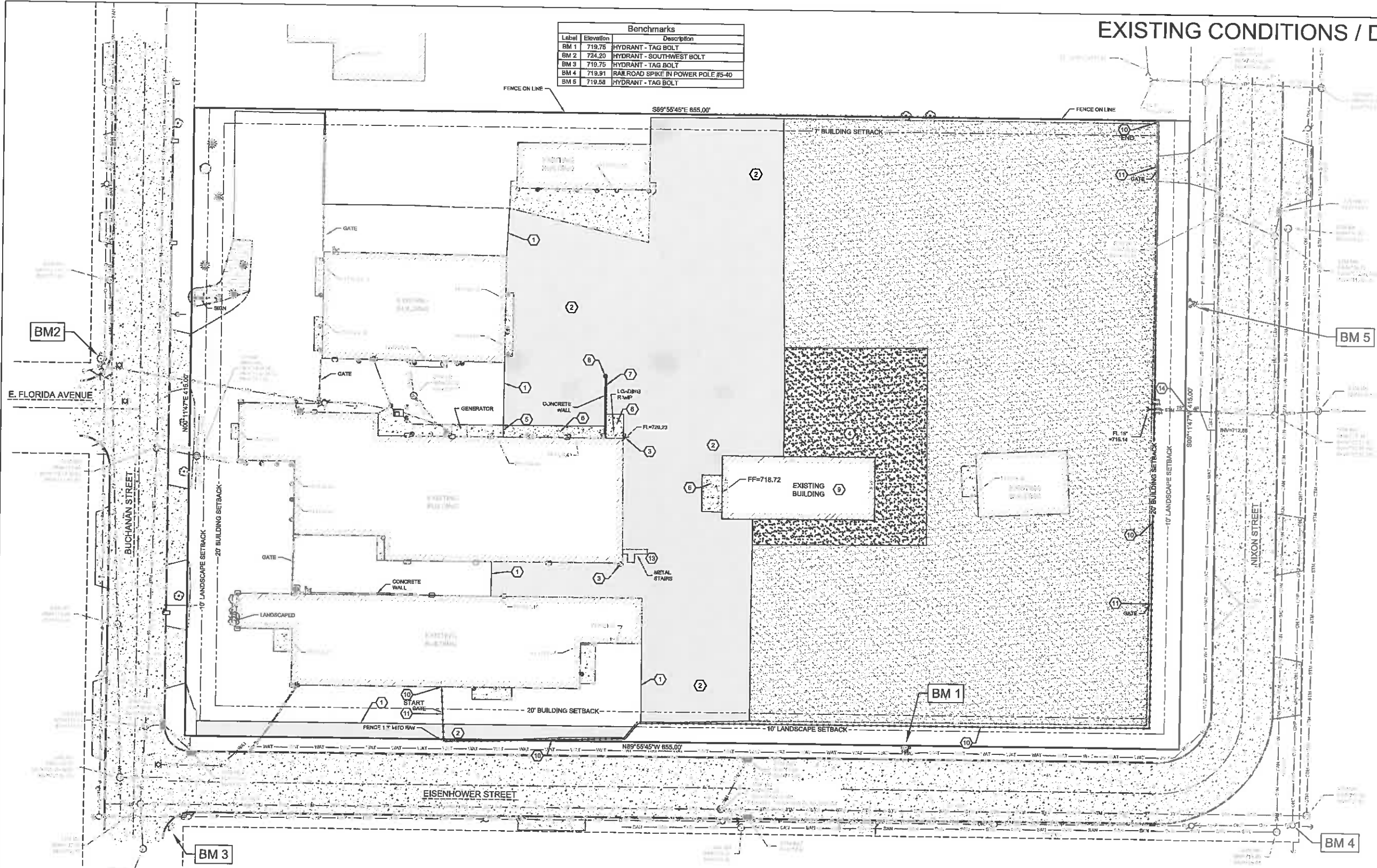


MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salschelder Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1577-01-18

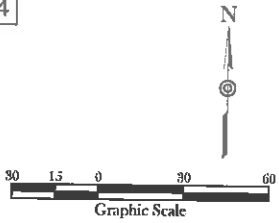
EXISTING CONDITIONS / DEMOLITION

Benchmarks		
Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT



SHEET KEY NOTES:

- 1 SAW CUT ASPHALT
- 2 REMOVE ASPHALT
- 3 REMOVE ROOF DRAIN OUTLET AND RECONNECT TO PROPOSED STORM SEWER SYSTEM
- 4 REMOVE / SALVAGE GRAVEL
- 5 SAW CUT CONCRETE
- 6 REMOVE CONCRETE
- 7 REMOVE CONCRETE RETAINING WALL AND FOUNDATION
- 8 REMOVE BOLLARD
- 9 RAZE BUILDING (BY OTHERS)
- 10 REMOVE/SALVAGE FENCE
- 11 REMOVE/SALVAGE GATE
- 12 REMOVE/SALVAGE METAL STAIRS
- 13 REMOVE STORM SEWER PIPE TO EXISTING JUNCTION, PREPARE PIPES FOR MANHOLE CONSTRUCTION.



MACH IV
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2280 Salschelder Court Green Bay, WI 54313
PH: 920-569-5785; Fax: 920-569-5787
www.mach-iv.com
Project Number: 1577-01-18

PROJECT: LEE'S CONTRACTING & FABRICATING, INC.
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

C1.0

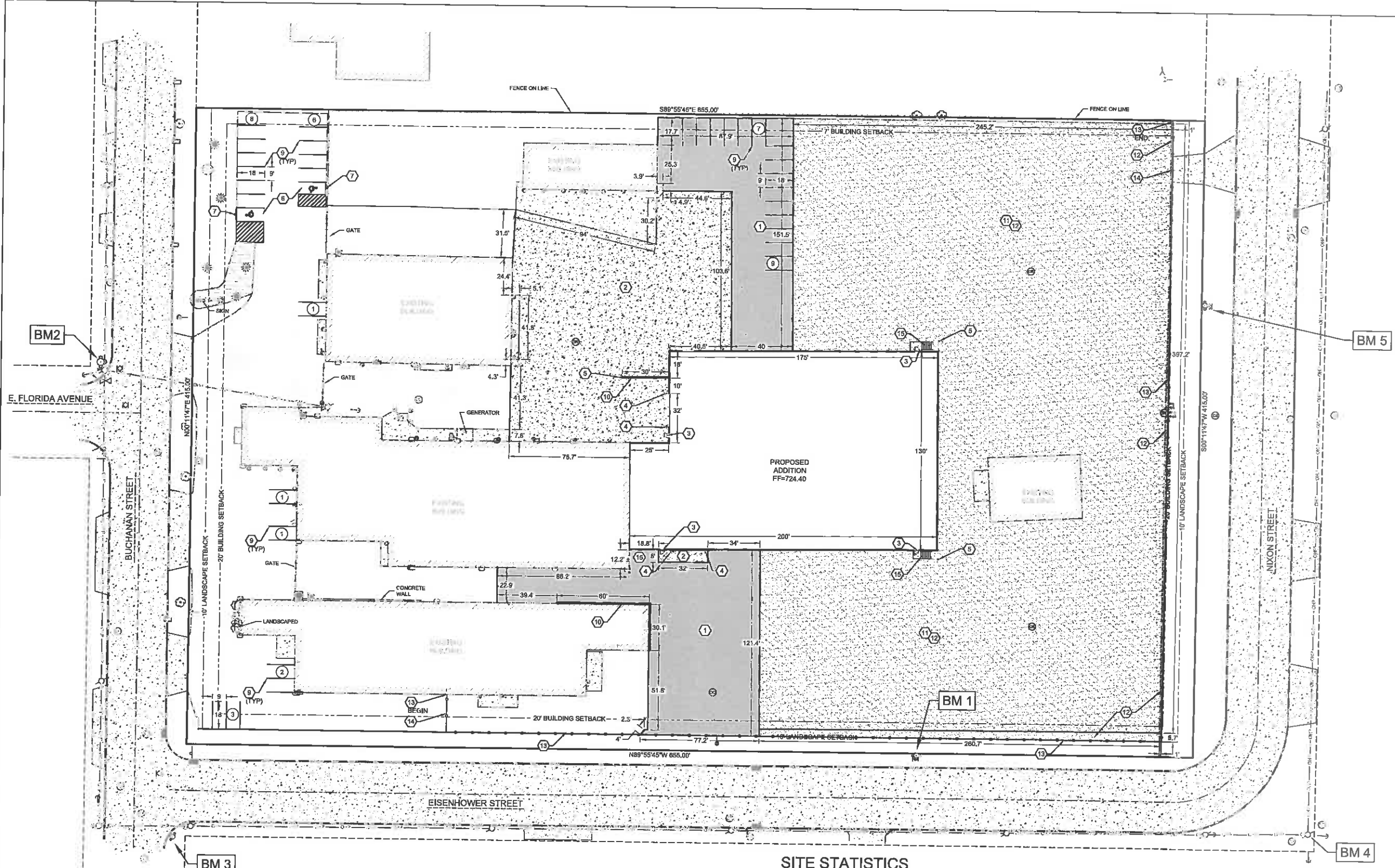
DESIGN / BUILD
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STEEL FABRICATION

Schuh
CONSTRUCTION, INC.
Established 1978

State ID# 680499

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SITE PLAN

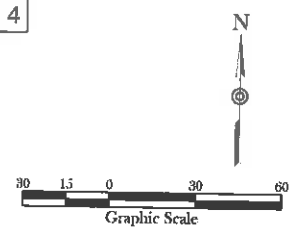


SHEET KEY NOTES:

- 1 HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C8.0
- 2 HEAVY DUTY CONCRETE PAVEMENT; SEE DETAIL B SHEET C8.0
- 3 STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- 4 PIPE BOLLARD - 6"; SEE DETAIL C SHEET C8.0
- 5 PIPE BOLLARD - 10"; SEE DETAIL C SHEET C8.0
- 6 ADA HANDICAP STALL
- 7 ADA HANDICAP SIGN; SEE DETAIL D SHEET C8.0
- 8 EXTERIOR ACCESS STAIRS; REFER TO ARCHITECTURAL DRAWINGS
- 9 4" WIDE WHITE PAINT STRIPE
- 10 CONCRETE RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- 11 RE-GRADE EXISTING GRAVEL; SEE SHEET C4.0 FOR ELEVATIONS
- 12 HEAVY DUTY GRAVEL; SEE DETAIL E SHEET C8.0
- 13 6" VERTICAL SLAT FENCE; SEE ARCHITECTURAL DRAWINGS
- 14 6" VERTICAL SLAT GATE; SEE ARCHITECTURAL DRAWINGS
- 15 PROPANE FUEL STORAGE RACK

SITE STATISTICS

PARCEL ADDRESS:	1540 BUCHANAN STREET	PARKING STALLS REQUIRED:	38 (2 ADA-COMPLIANT)
PARCELS NUMBER:	280127801	PARKING STALLS PROVIDED:	38 (2 ADA-COMPLIANT)
PARCEL SIZE:	271,814 SF (6.24 AC)		
ZONING:	INDUSTRIAL		
EXISTING SITE			
GREEN SPACE:	29,272 SF (10.77%)		
IMPERVIOUS AREA			
BUILDING:	50,368 SF (18.53%)		
PAVEMENT:	98,310 SF (36.17%)		
GRAVEL:	46,937 SF (17.23%)		
TOTAL IMPERVIOUS:	195,615 SF (71.93%)		
PROPOSED SITE			
DISTURBED AREA:	157,716 SF (57.99%)		
GREEN SPACE:	29,926 SF (11.01%)		
IMPERVIOUS AREA			
BUILDING:	70,703 SF (26.01%)		
PAVEMENT:	85,541 SF (31.47%)		
GRAVEL:	85,654 SF (31.51%)		
TOTAL IMPERVIOUS:	241,898 SF (88.99%)		



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1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

SHEET NO.:

C2.0

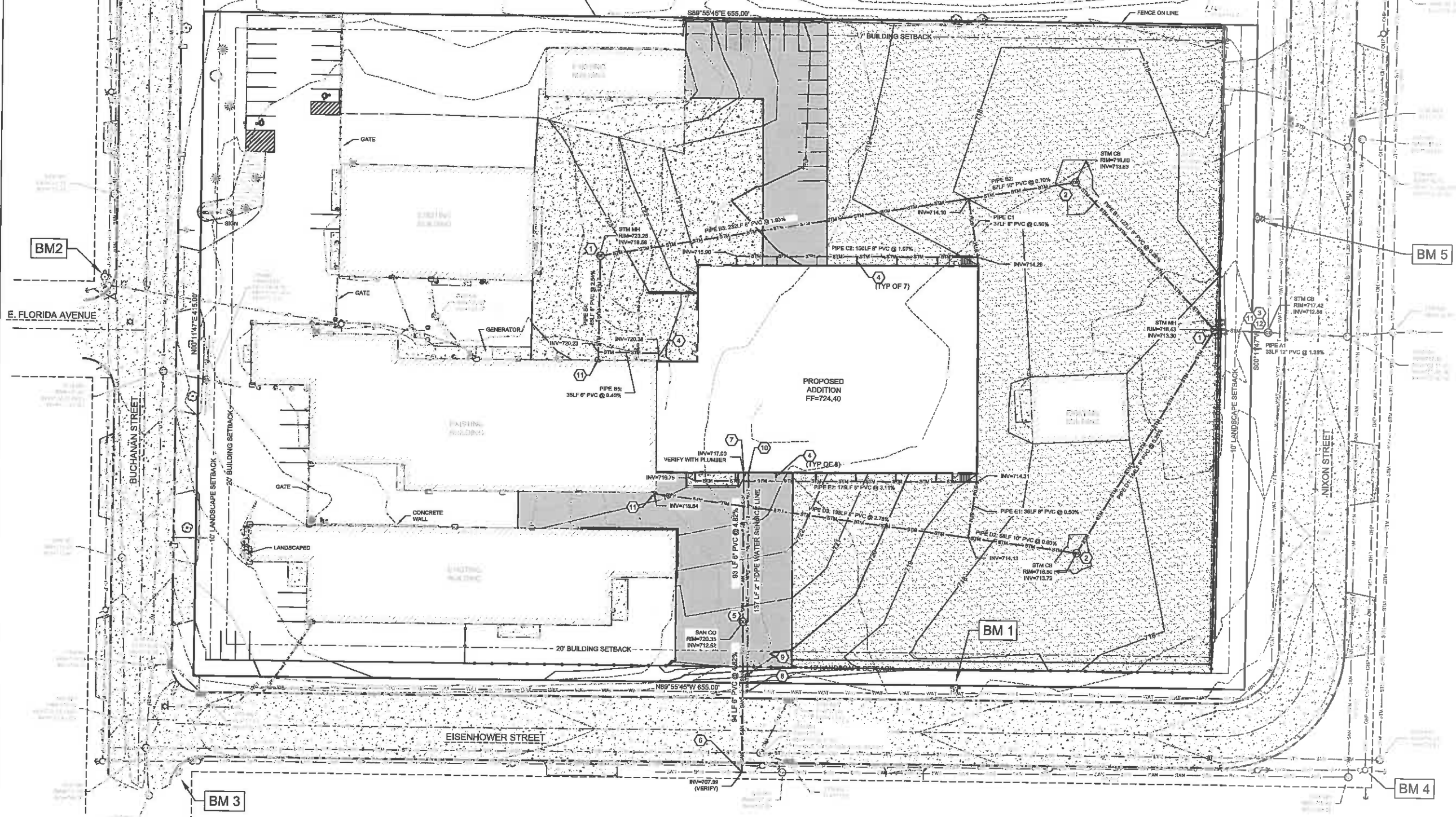
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UTILITY PLAN

Benchmarks		
Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT



SHEET KEY NOTES:

- 1 STORM SEWER MANHOLE - 36" DIAMETER; SEE DETAIL F SHEET C6.0
- 2 STORM SEWER CATCH BASIN - 36" DIAMETER; SEE DETAIL G SHEET C6.0
- 3 STORM SEWER CATCH BASIN - 60" DIAMETER; SEE DETAIL H SHEET C6.0
- 4 ROOF DRAIN CONNECTION LINE; SEE DETAIL H SHEET C6.0. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
- 5 SANITARY CLEANOUT; SEE DETAIL I SHEET C6.0. CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- 6 CONNECT TO EXISTING SANITARY SEWER; FIELD VERIFY INVERT
- 7 COORDINATE CONNECTION OF SANITARY SEWER LATERAL WITH BUILDING PLUMBER
- 8 WATER SERVICE LATERAL, WET TAP WITH SADDLE AND SLEEVE; SEE DETAIL J, SHEET C6.0
- 9 WATER SHUT-OFF VALVE; SEE DETAIL J, SHEET C6.0
- 10 COORDINATE CONNECTION OF WATER SERVICE LATERAL WITH BUILDING PLUMBER
- 11 CONNECT TO EXISTING STORM PIPE
- 12 CONSTRUCT MANHOLE OVER EXISTING STORM SEWER PIPES

UTILITY NOTES:

- 1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
- 2. WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
- 3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
- 4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
- 5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
- 6. STORM SEWER SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
- 7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
- 8. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.



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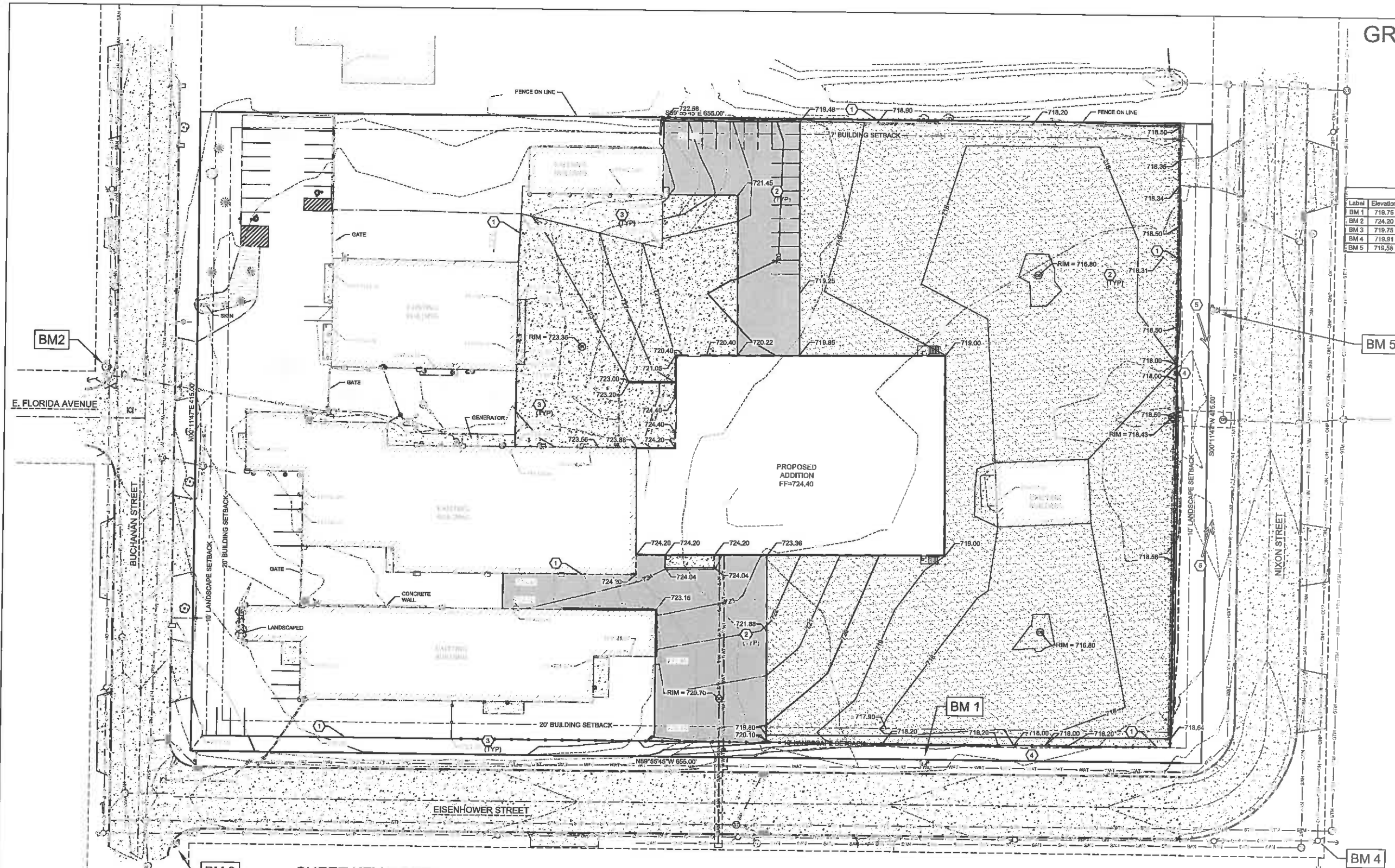
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PROJECT NO.:
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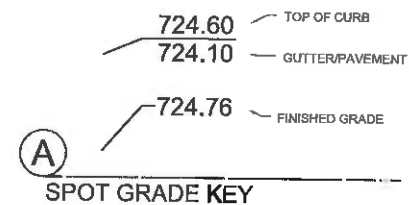
C3.0

GRADING PLAN



Benchmarks		
Label	Elevation	Description
BM 1	718.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT

- SHEET KEY NOTES:**
- ① CONSTRUCTION / GRADING LIMITS
 - ② SPOT GRADE - PROPOSED (BLACK TEXT); SEE DETAIL A THIS SHEET
 - ③ SPOT GRADE - MATCH EXISTING (GRAY TEXT); SEE DETAIL A THIS SHEET
 - ④ EMERGENCY OVERFLOW LOCATION
 - ⑤ FLOW ARROW - GRADE TO DRAIN



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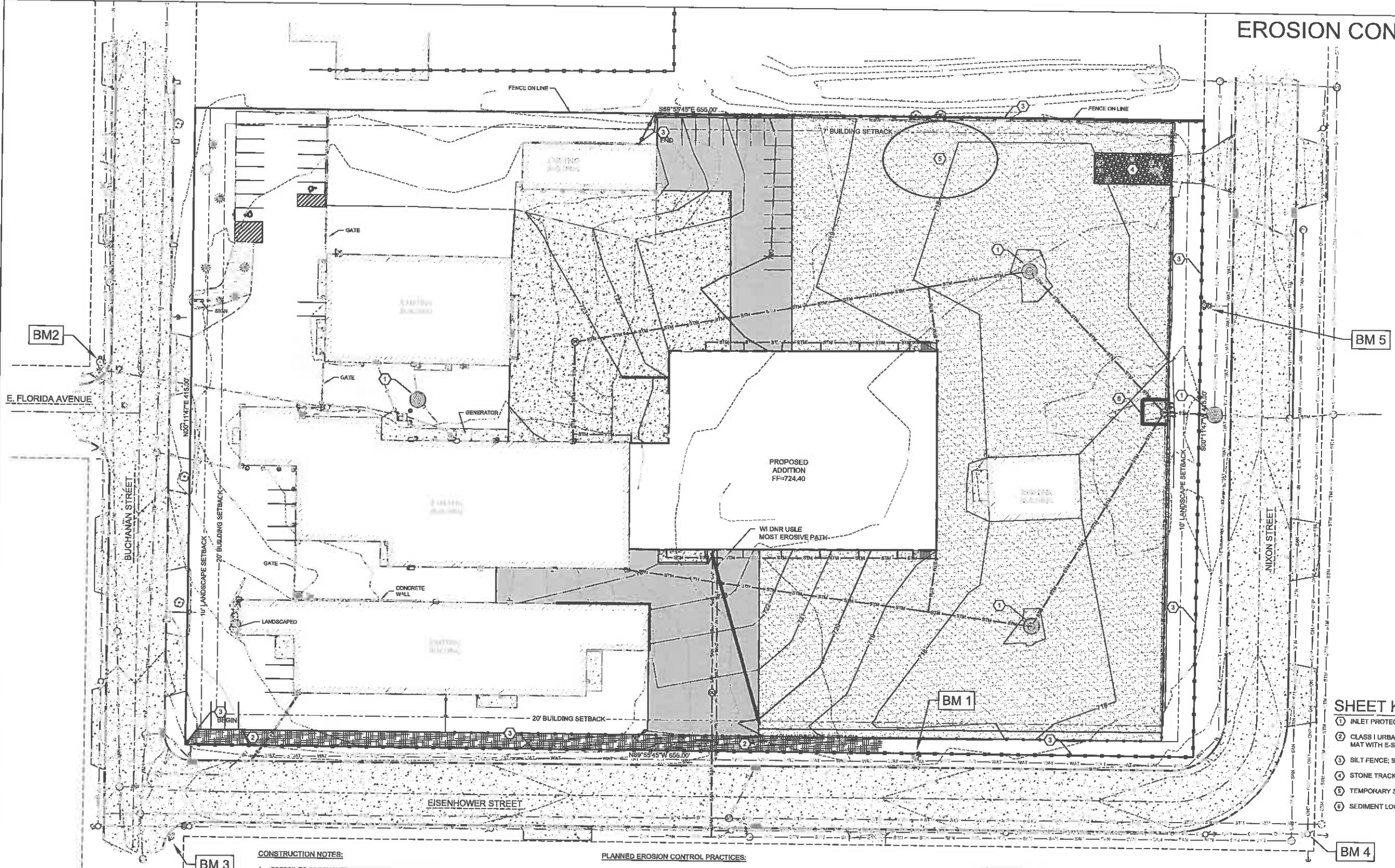
PROJECT NO.:

SHEET NO.:

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1540 BUCHANAN STREET
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EROSION CONTROL PLAN



CONSTRUCTION SEQUENCE:

- FALL 2018 TO SPRING 2019
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WI-DNR TECHNICAL STANDARDS AND STORM WATER MANAGEMENT PLAN
 - STRIP TOPSOIL WITHIN GRADING LIMITS
 - ROUGH GRADE SITE
 - CONSTRUCT BUILDING
 - INSTALL SITE UTILITIES
 - INSTALL BASE COURSE
 - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
 - RE-SEED ANY UN-VEGETATED AREAS
 - REMOVE EROSION CONTROL BMP'S UPON SITE STABILIZATION

CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNr TECH. STANDARD (1058).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNr TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNr TECHNICAL STANDARD (1081).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

PLANNED EROSION CONTROL PRACTICES:

1. **SILT FENCE** (TECH. STANDARD 1058)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN, IF THE SILT FENCE IS LOCATED IN A CHANNELLED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION** (TECH. STANDARD 1060)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL** (TECH. STANDARD 1058)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS** (TECH. STANDARD 1053)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING** (TECH. STANDARD 1081)
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DURING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

SHEET KEY NOTES:

- ① INLET PROTECTION; SEE DETAIL A SHEET C5.1
- ② CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL B SHEET C5.1
- ③ SILT FENCE; SEE DETAIL C SHEET C5.1
- ④ STONE TRACKING PAD; SEE DETAIL D SHEET C5.1
- ⑤ TEMPORARY STOCKPILE LOCATION
- ⑥ SEDIMENT LOG; SEE DETAIL E SHEET C5.1



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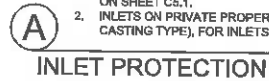
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PROJECT NO.:
SHEET NO.:

C5.0

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NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

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SITE DETAILS

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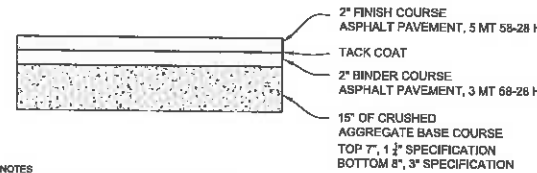
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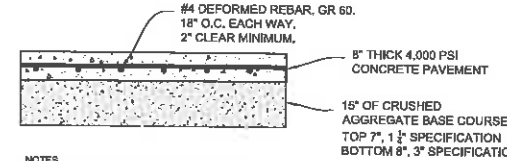
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NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

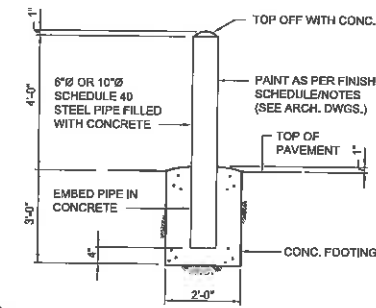
A
HEAVY DUTY ASPHALT PAVEMENT



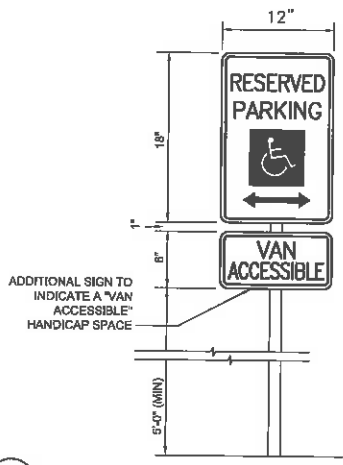
NOTES:

1. CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.
2. CONCRETE SHALL RECEIVE A BROOMED FINISH.

B
HEAVY DUTY CONCRETE PAVEMENT



C
PIPE BOLLARD



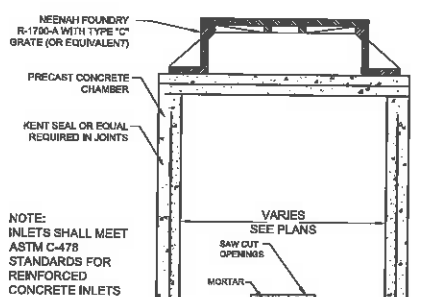
D
ADA HANDICAP SIGN



NOTES:

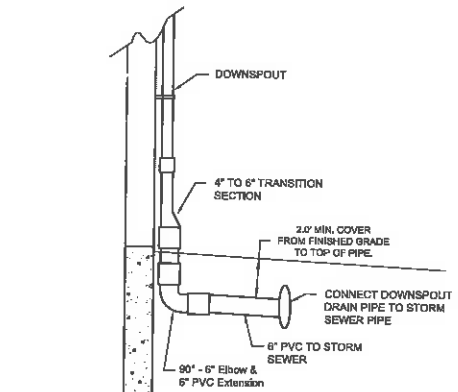
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

E
HEAVY DUTY GRAVEL

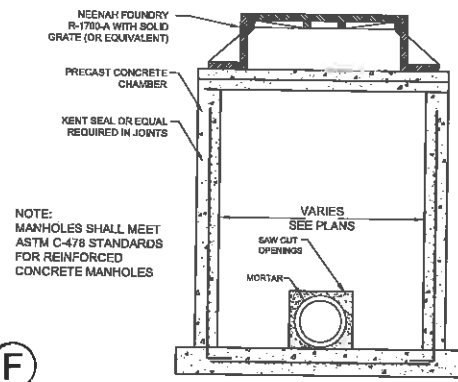


NOTE: INLETS SHALL MEET ASTM C-478 STANDARDS FOR REINFORCED CONCRETE INLETS

G
STORM SEWER CATCH BASIN

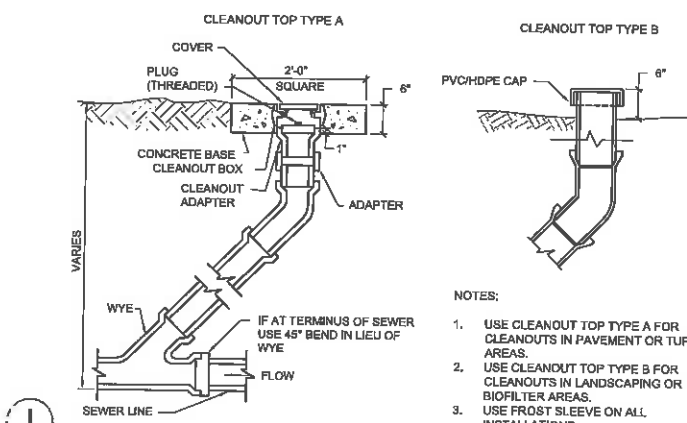


H
DOWNSPOUT CONNECTION



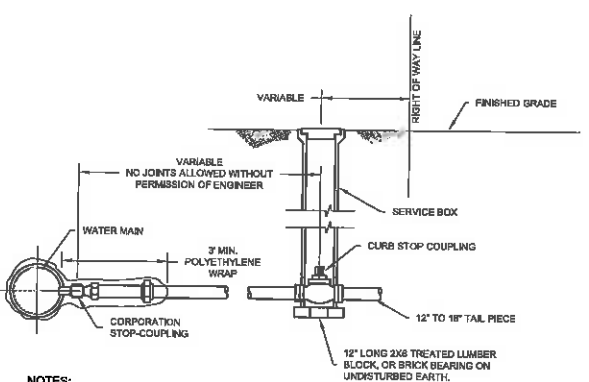
NOTE: MANHOLES SHALL MEET ASTM C-478 STANDARDS FOR REINFORCED CONCRETE MANHOLES

F
STORM SEWER MANHOLE



- NOTES:
1. USE CLEANOUT TOP TYPE A FOR CLEANOUTS IN PAVEMENT OR TURF AREAS.
 2. USE CLEANOUT TOP TYPE B FOR CLEANOUTS IN LANDSCAPING OR BIOFILTER AREAS.
 3. USE FROST SLEEVE ON ALL INSTALLATIONS

I
CLEANOUT

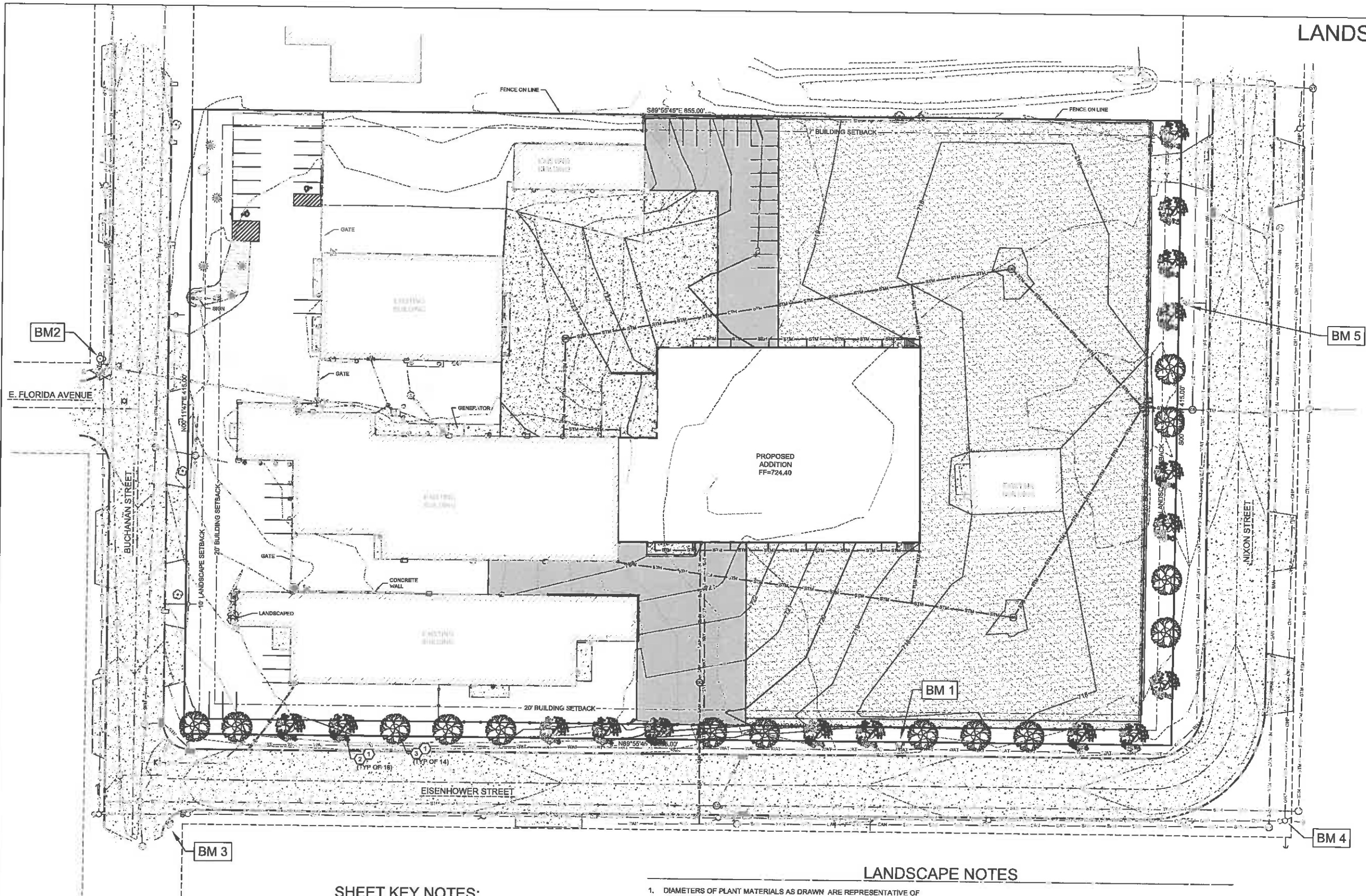


NOTES:

1. WATER SERVICE CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.
2. DISTANCE FROM CURB STOP TO RIGHT OF WAY LINE VARIES BY MUNICIPALITY. CONTRACTOR SHALL CONTACT LOCAL PUBLIC WORKS/WATER DEPARTMENT TO COORDINATE CURB STOP PROXIMITY TO RIGHT OF WAY LINE.
3. PROVIDE FROST PROTECTION ON SERVICE BOX IN ACCORDANCE WITH STATE STANDARDS.
4. PIPE MATERIAL SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARD. IF NO STANDARD IS PRESENT, PIPE SHALL BE EITHER TYPE K COPPER, OR SDR 9 PE.

J
WATER SERVICE CONNECTION

LANDSCAPE PLAN



SHEET KEY NOTES:

- 1 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH
- 2 HONEY LOCUST (GLEDITSIA TRIACANTHOS); 2.5" TRUNK CALIPER MINIMUM
- 3 AUTUMN BLAZE MAPLE (ACER X FREEMANII); 2.5" TRUNK CALIPER MINIMUM

LANDSCAPE NOTES

- 1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- 2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- 3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- 4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- 5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- 6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- 7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- 8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- 9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- 10. SEED ALL DISTURBED AREAS WITH WDO# 40 GRASS MIX.



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PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1577-01-18

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.
Established 1976

State ID# 680499

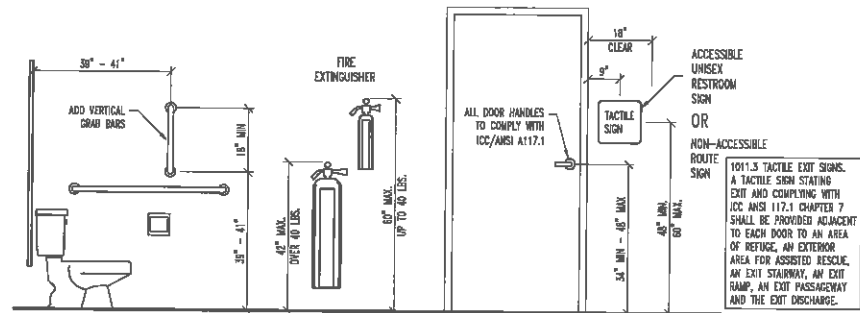
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PROJECT:
LEE'S CONTRACTING & FABRICATING, INC.
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

L1.0



ACCESSIBLE FIXTURE MOUNTING HEIGHTS
1/2" = 1'-0"

BUILDING CODE REQUIREMENTS

BUILDING TYPE / SIZE REQUIREMENTS

BUILDING OCCUPANCY CHAPTER 3 = B - BUSINESS
F-2 - LOW HAZARD FACTORY
CLASS OF CONSTRUCTION = IIB NON-COMBUSTIBLE CONSTRUCTION

BUILDING HEIGHT LIMITATIONS

BUILDING HEIGHT O.K. (55' ALLOWABLE)
NO CHANGE TO BUILDING HEIGHT

BUILDING AREA LIMITATIONS

TABLE 503 AREA - (F-2) 23,000 SQ. FT.
FRONTAGE INCREASE - $(895' / 977' - 0.25)(28.77' / 30') = 63.8\%$ INCREASE
TOTAL ALLOWABLE AREA 23,000 SQ. FT. X $(1 + .638) = 37,674$ SQ. FT.
12,852 EXISTING BUILDING + 24,822 PROPOSED ADDITION = 37,674 SQ. FT.
37,674 SQ. FT. > 37,674 SQ. FT. AREA OK

AUTOMATIC SPRINKLER SYSTEMS:

NO SPRINKLING REQUIRED (AS PER 903.2)

FIRE RESISTANCE CONSTRUCTION

GREATER THAN 10'-0" FIRE SEPARATION DISTANCE
NO EXTERIOR WALL RATING REQUIRED

EGRESS LIGHTING

EXIT LIGHTS REQUIRED PER 1003.2.10.1
MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1003.2.11
= MIN 1 FOOT CANDLE AVE (SEE HATCHED AREA)
EMERGENCY POWER SHALL BE PROVIDED PER 1003.2.11.2

ACCESSIBILITY

PER 1109 (13)(A) CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION, AND ELECTRICAL CONVENIENCE OUTLETS, IN ACCESSIBLE SPACES SHALL BE ACCESSIBLE IN COMPLIANCE WITH ICC/ANSI A117.1

BUILDING ACCESS / EGRESS INFORMATION

(B) 2,023 SQ. FT. / 100 SQUARE FEET PER OCCUPANT = 21 OCCUPANTS
(F-2) 40,260 SQ. FT. / 100 SQUARE FEET PER OCCUPANT = 403 OCCUPANTS
EXIT WIDTH PER OCCUPANT - 0.3' PER OCC. STAIRS / 0.2' PER OCC. OTHER
TOTAL EXIT WIDTH REQUIRED - 2 TOTAL EXITS (MIN)
COMMON PATH OF EGRESS - GROUP F = 75'-0" PER 1014.3
EXIT ACCESS DISTANCE - GROUP B = 200'-0" PER 1016.1 (W/O SPRINKLER)
SEE LETTER FROM OWNER

SANITARY FACILITIES - PER OCCUPANCY

(21) (B) 1 PER 25, 1 PER 50 (50+) OCCUPANTS = 0.42 MEN / 0.42 WOMEN
(403) (F-2) 1 PER 100 OCCUPANTS = 2.01 MEN / 2.01 WOMEN
(2.45) FUTURE REQUIRED MEN - (1.5) FIXTURES PROVIDED
(2.45) ADDITIONAL FUTURE REQUIRED WOMEN
(1) UNISEX FIXTURE PROVIDED
(1) WATER COOLER IN BREAK ROOM
28 CURRENT + 38 FUTURE = 66 TOTAL EMPLOYEES

FIRE EXTINGUISHERS

TYPE OF BUILDING HAZARD - MODERATE
TYPE OF EXTINGUISHER REQUIRED - ABC
MAXIMUM TRAVEL DISTANCE = 75'
NUMBER OF EXTINGUISHERS REQUIRED - (7) ADDITIONAL LOCATIONS
TO BE VERIFIED AT TIME OF INSTALLATION

BUILDING TYPE IIB GROUP - F-2

BUILDING ADDITION - BUILDING #2 FIRE AREA - 34,727 SQ. FT.

Table 503 (F-2/IIB) =
23,000 SQ. FT. X 1.638 FRONTAGE =
37,674 MAX BLDG. SIZE

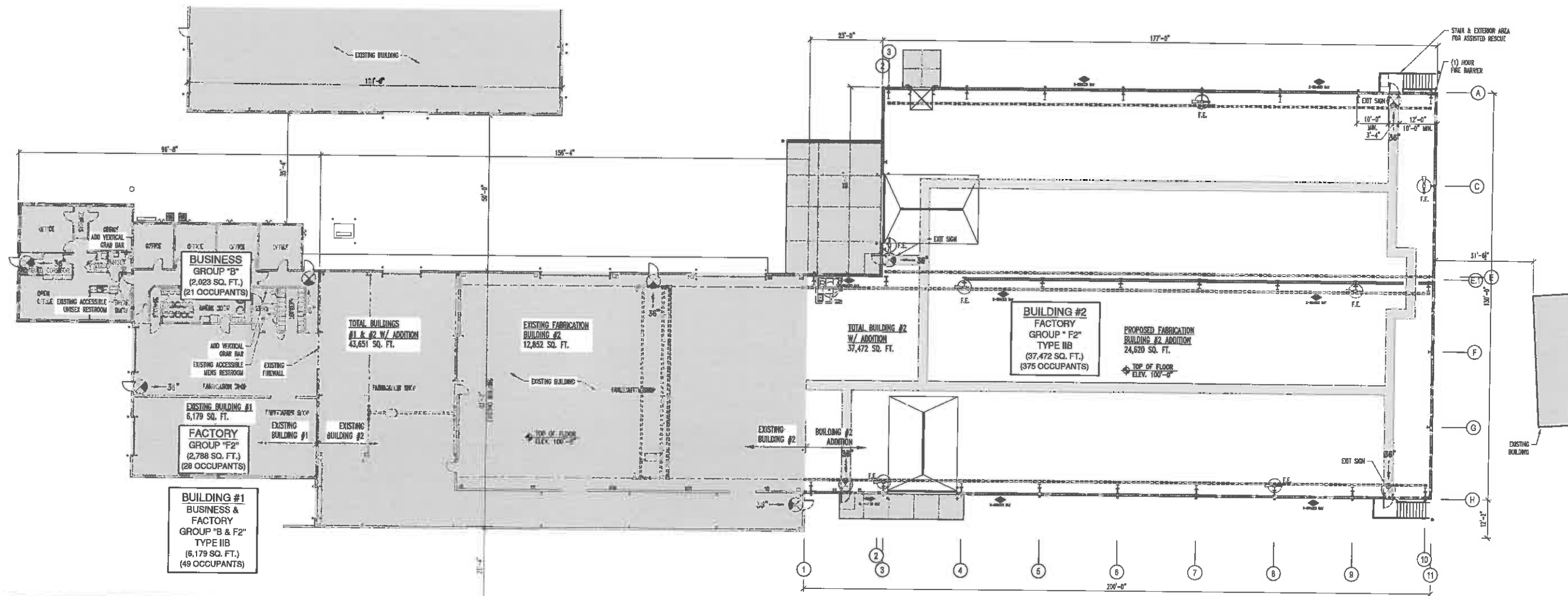
37,674 SQ. FT. > 37,472 SQ. FT.

BUILDING AREA OK

ACTUAL TOTAL AREA
6,179 SQ. FT. EXISTING BUILDING #1
+ 37,472 SQ. FT. BUILDING #2
= 43,651 SQ. FT.

DRAWING LEGEND:

- NEW EXIT SIGN (SEE ABOVE FOR TACTILE SIGN)
- EXISTING EXIT SIGN
- ACCESSIBLE ROUTE W/ WIDTH
- FIRE EXTINGUISHER
- 5' ROUND WHEELCHAIR TURNING SPACE
- FLOOR SPACE WHERE EMERGENCY LIGHTING IS NEEDED
- MINIMUM (1) FOOTCANDLE REQUIRED
- MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1003.2.11
- EMERGENCY POWER SHALL BE PROVIDED PER 1003.2.11.2

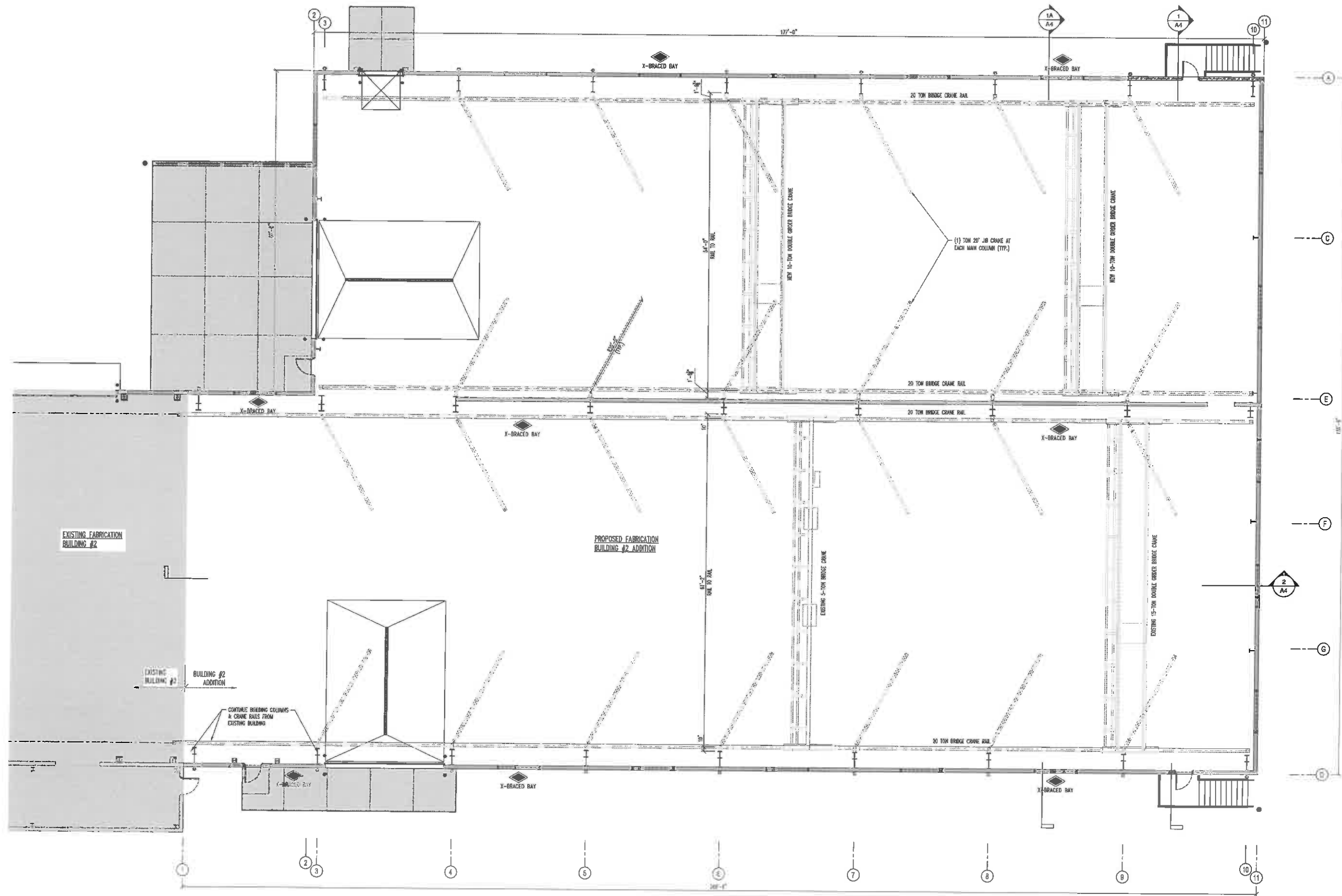


LIFE SAFETY FLOOR PLAN
1/16" = 1'-0"

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PROJECT NO.:
18-573
SHEET NO.:
LS1

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
SCHUBH
CONSTRUCTION, INC.
Established 1976
State ID# 680499
14000 Highway 100, Little Chute, WI 54140
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PROPOSED CRANE PLAN
 1/8" = 1'-0"

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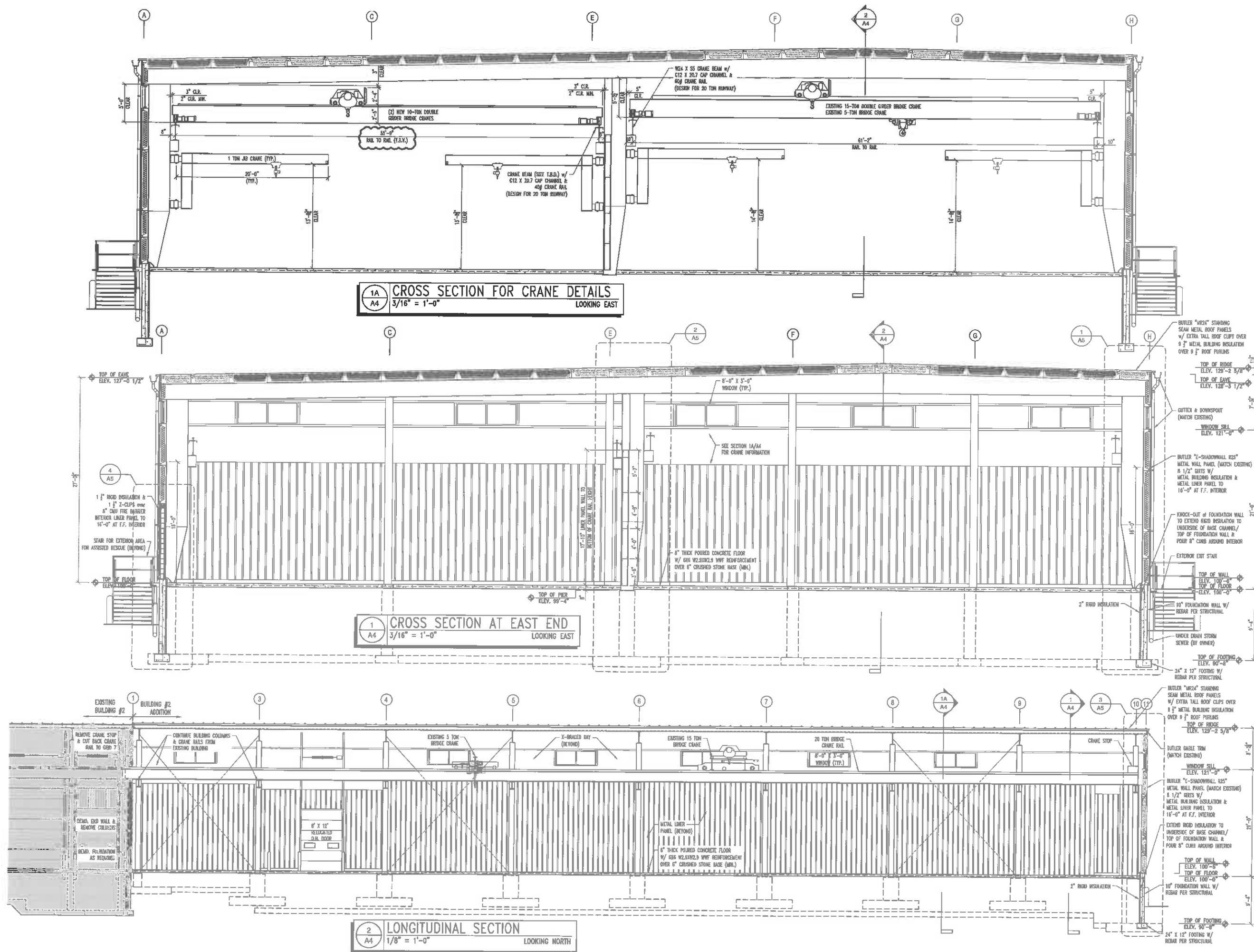
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PROJECT NO.:
18-573

SHEET NO.:
A1.2



DESIGN / BUILD
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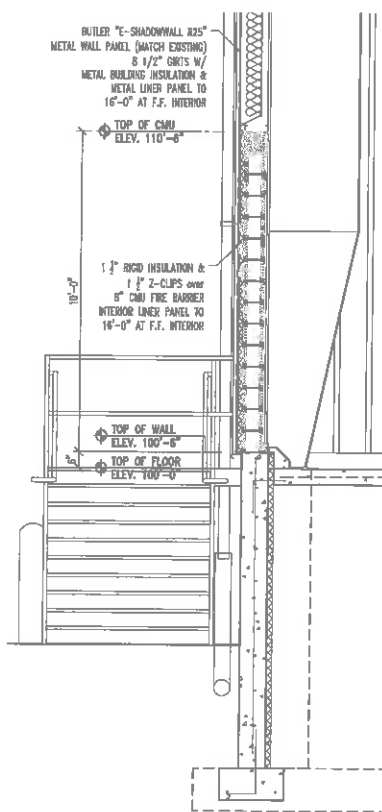
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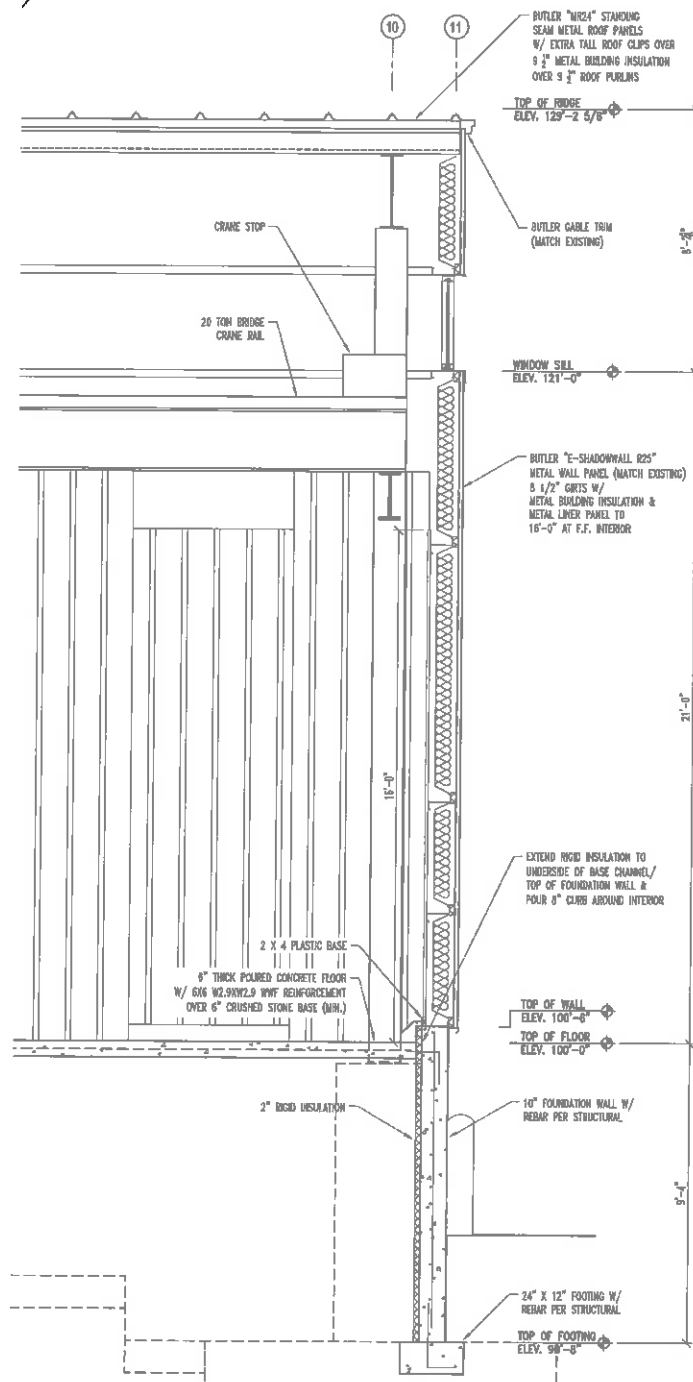
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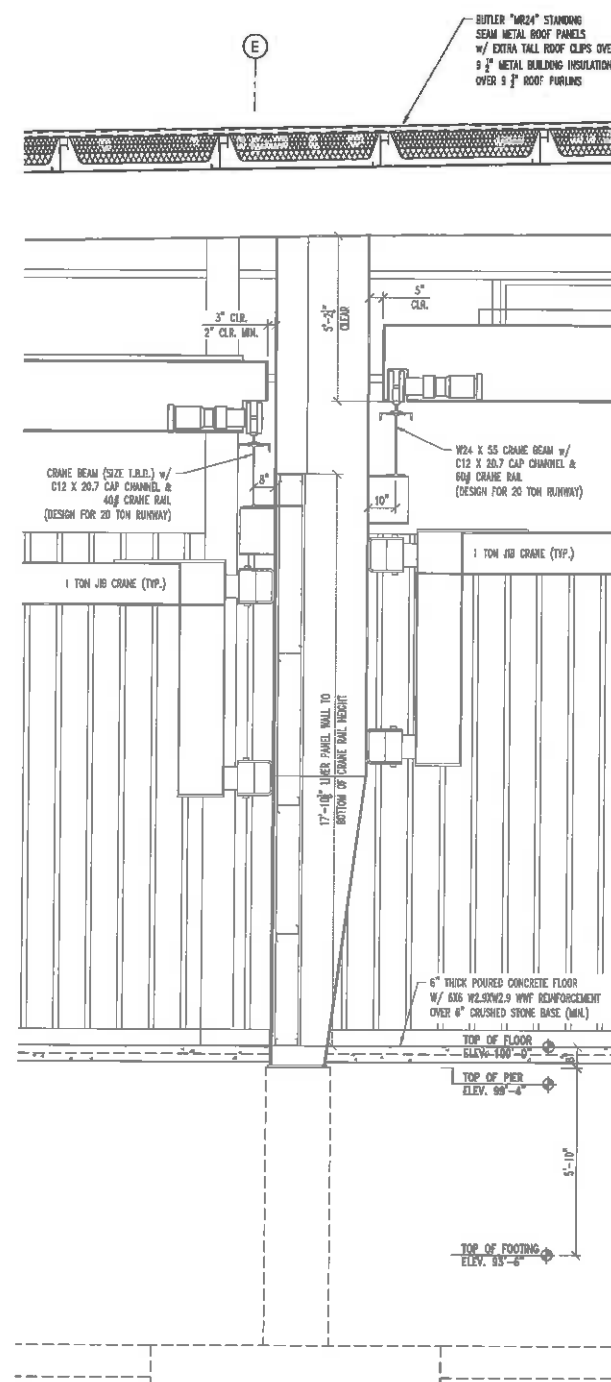
A4



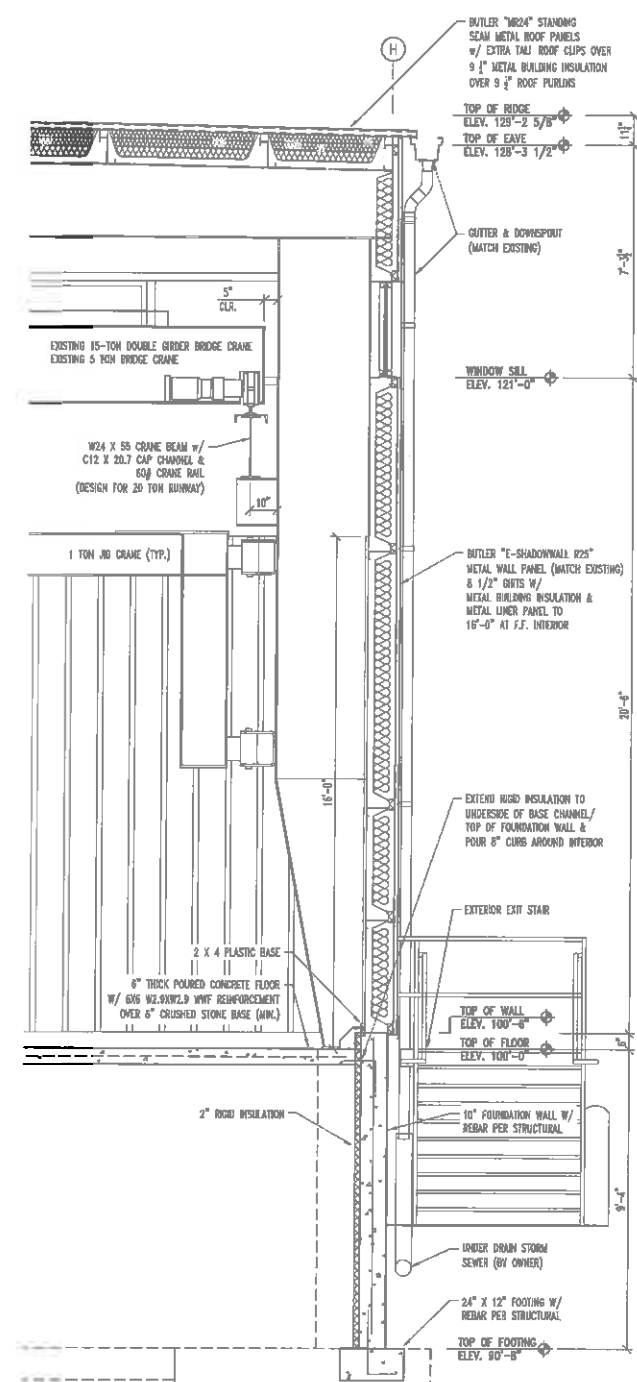
4
A5 SECTION DETAIL at FIRE BARRIER
3/8" = 1'-0"
LOOKING EAST



3
A5 ENDWALL COLUMN SECTION AT GRID 10 & 11
3/8" = 1'-0"
LOOKING NORTH



2
A5 CENTER COLUMN SECTION AT GRID E
3/8" = 1'-0"
LOOKING EAST



1
A5 SIDEWALL COLUMN SECTION AT GRID H
3/8" = 1'-0"
LOOKING EAST

STRUCTURAL SPECIFICATIONS

DESIGN CODE:

1. COMPLY WITH WISCONSIN BUILDING CODE, LATEST EDITION.

DESIGN LOADS:

1. COLLATERAL LOAD: ROOF - 5 PSF
2. SNOW LOAD: GROUND SNOW LOAD - 40 PSF (OUTAGAME COUNTY)
ROOF SNOW LOAD - 20 PSF
SNOW EXPOSURE FACTOR - 1.0
SNOW IMPORTANCE FACTOR - 1.0
THERMAL FACTOR - 1.0
3. WIND: BASIC WIND SPEED - 90 MPH
IMPORTANCE FACTOR - 1.0
WIND EXPOSURE - B
4. SEISMIC: SEISMIC USE GROUP A
SOS - 10X
SDI - 6X
SITE CLASS - D
5. MEZZANINE: FLOOR LOAD - 125 PSF (LIGHT STORAGE)

FOUNDATION:

1. ALLOWABLE SOIL PRESSURE IS ASSUMED AT 2,000 P.S.F.
2. REMOVE UNSATISFACTORY SOILS TO AN ELEVATION WHERE SATISFACTORY SOIL IS ENCOUNTERED. REPLACE UNSATISFACTORY SOIL w/ EITHER COMPACTED STRUCTURAL FILL OR CONCRETE SLURRY.
3. PLACE FOUNDATION CONCRETE ON CLEAN FIRM BEARING SOILS MATERIAL.
4. WALL FOOTINGS ARE CENTERED ON WALLS (U.L.O.). COLUMN FOOTINGS ARE CENTERED ON COLUMNS (U.L.O.).
5. MINIMUM DEPTH TO ALL EXTERIOR FOOTINGS SHALL BE 4'-0".
6. INSTALL 1 1/2" THICK RIGID INSULATION VERTICALLY AT ALL EXTERIOR FOUNDATION LOCATIONS.
7. CONTRACTOR WILL CONSULT WITH LOCAL AUTHORITIES PRIOR TO EXCAVATION TO LOCATE UNDERGROUND GAS, SEWER, WATER, AND ELECTRICAL OBSTACLES.
8. STRUCTURAL FILL:
USE - ALL BACKFILL WITHIN 5'-0" OF THE BUILDING LINES.
TYPE - PREDOMINANTLY WELL GRADED MATERIAL WITH 100% PASSING THE 3" SIEVE, 70-100% PASSING THE #4 SIEVE AND LESS THAN 15% PASSING THE #20 SIEVE.
COMPACTION - 100% MODIFIED PROCTOR (ASTM D1557) PLACED IN LIFTS NOT TO EXCEED 8".
IN AREAS OF COMPACTED FILL WITHIN THE BUILDING LINES, BACKFILLING AGAINST BOTH SIDES OF WALLS SHALL BE DONE AT THE SAME RATE TO PREVENT STRESS AND OVERTURNING OF FOUNDATION WALLS.
9. ALL EXTERIOR WITH ON-SITE MATERIALS SHOULD BE PERFORMED WHEN TEMPERATURES ARE ABOVE FREEZING. FROZEN SOIL SHOULD NOT BE USED BECAUSE STRUCTURES. ALL FOUNDATION EXCAVATION MUST BE INSULATED AGAINST FREEZING UNTIL CONSTRUCTION OF FOUNDATION IS COMPLETE.
10. SOILS THAT BECOME BUTTED OR DISTURBED BY CONSTRUCTION VEHICLES WILL BE UNSUITABLE FOR SUPPORTING FOUNDATION AND CONCRETE SLABS. THE SOILS SHALL BE REMOVED AND REPLACED WITH IMPORTED GRANULAR FILL.

SLAB ON GROUND:

1. PROVIDE 6" OF CLEAN, WELL GRADED GRANULAR MATERIAL BELOW ALL CAST-IN-PLACE CONCRETE ON GRADE INSIDE THE BUILDING.
2. PROVIDE CONSTRUCTION JOINTS AND SHOROT JOINTS. SAVED JOINTS IN SLAB SHALL BE MADE WITHIN 18 HOURS AFTER PLACING CONCRETE OR EARLIER IF CONCRETE STRENGTH PERMITS.
3. SLABS SHALL BE PITCHED TO FLOW TO FLOOR DRAINS WHERE THEY OCCUR (1/4" PER FOOT MINIMUM PITCH).
4. INTERIOR FLOOR SLABS SHALL BE PROTECTED FROM COLD WEATHER IN ACCORDANCE WITH ACI 318.
5. PROVIDE 3/16" FELT BOND BREAK BETWEEN CONCRETE SLAB EDGE & VERTICAL CONCRETE AND/OR MASONRY SURFACES AT INSIDE OF BUILDING.
6. PROVIDE 1/2" THICK EXPANSION JOINT MATERIAL WHERE CONCRETE SLAB ABUTS VERTICAL SURFACES AT BUILDING EXTERIOR.
7. CONCRETE CAN BE NON-AIR ENTRAINED FOR INTERIOR SLABS, PROVIDED CONCRETE IS PROTECTED FROM COLD WEATHER, EXCEPT WHERE NO FINISH FLOOR IS SUPPLIED.

CONCRETE:

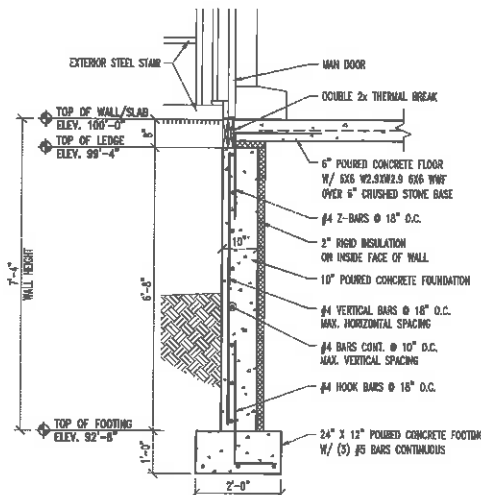
1. CONCRETE AND ITS PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 318 AND ACI 301 EXCEPT AS MODIFIED IN THESE SPECIFICATIONS.
2. PROTECT ALL CONCRETE IN ACCORDANCE WITH ACI STANDARDS FOR HOT, COLD WEATHER CONCRETING.
3. STANDARD WEIGHT CONCRETE SHALL COMPLY WITH THE FOLLOWING:
A. MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS):
FOOTINGS & WALLS - 5,000 PSI
SLAB ON GRADE - 4,000 PSI
CONC. TOPPING - 4,000 PSI
B. MAXIMUM WATER/CEMENT RATIO - AS AIR ENTRAINMENT - 52 (FROM AIR DETAILED)
C. AGGREGATE SIZE - FOOTINGS 1 1/2" THICK OR GREATER 1 1/2"
ALL OTHER CONCRETE 3/4"
D. TOTAL AIR CONTENT - 6% ± 1 1/2% - 3/4" AGGREGATE
5% ± 1 1/2% - 1 1/2" AGGREGATE
E. MAX SLUMP - 3"
F. REINFORCING BARS: PROVIDE DEFORMED BARS COMPLYING WITH ASTM A615 GRADE 60.
G. WELDED WIRE FABRIC: ASTM A195, COLD DRAWN STEEL PLAIN.
4. CONCRETE COVERAGE FOR REINFORCING (U.L.O.):
A. UNIFORMED CONCRETE IN CONTACT WITH EARTH - 3"
B. FORMED CONCRETE IN CONTACT WITH EARTH - 2"
C. OTHER CONCRETE - 1 1/2"
5. SPLICES IN REINFORCING SHALL BE AS FOLLOWS:
A. REINFORCING STEEL - 36 BAR DIAMETERS
B. WELDED WIRE FABRIC - WELDED SPACES 42"
C. LOCATE SPLICES AT POINT OF MAXIMUM STRESS. WELDED SPLICES ARE NOT PERMITTED.
6. COMPLY WITH ACI 301, POSITION, SUPPORT AND SECURE REINFORCEMENT AGAINST DISPLACEMENT, LOCATE AND SUPPORT WITH METAL CHAIRS, RUNNERS, BULSTERS, SPACERS, AND HANGERS, AS REQUIRED. SET WIRE TIES 30 ENDS ARE DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.
7. PROVIDE BENT CORNER BARS TO HATCH AND LAP HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF WALLS AND FOOTING.
8. CONCRETE CAN ONLY BE PLACED ON A FROST-FREE SUBGRADE.
9. MECHANICALLY VIBRATE ALL CONCRETE.
10. ALL CAST-IN-PLACE CONCRETE SHALL BE PROTECTED AGAINST RAPID DRYING.

MASONRY:

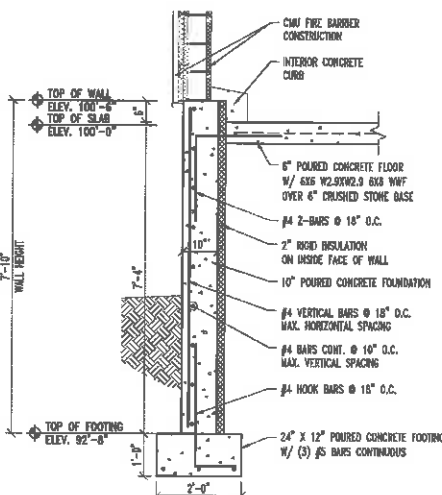
1. STANDARDS: COMPLY WITH RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA), AND NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).
2. MASONRY SHALL COMPLY WITH THE FOLLOWING:
A. COMPRESSIVE STRENGTH - 1,500 PSI
B. GROUT - 5,000 PSI
C. MORTAR - TYPE S = 2,000 PSI ABOVE GRADE.
TYPE M = 2,500 PSI BELOW GRADE.
D. REINFORCING BARS - ASTM A615, GRADE 60.
3. SPECIAL SHAPES: PROVIDE SPECIAL BLOCK TYPES WHERE REQUIRED FOR CORNERS, CONTROL JOINTS, HEADERS, LINTELS AND OTHER SPECIAL CONDITIONS.
4. JOINT REINFORCEMENT - NEW MASONRY WALLS TO BE REINFORCED WITH 9 GAUGE DWR-9 WALL EVERY OTHER BLOCK COURSE.
5. LAP SPLICES IN MASONRY 48 BAR DIA.
6. ALL MASONRY SHALL BE LAD PLUMB, TRUE TO LINE, AND WITH LEVEL COURSES.
7. VERTICAL MASONRY CONTROL JOINT LOCATIONS:
BURLINES: LOCATE FIRST JOINT 10'-0" FROM EACH CORNER AND 22'-0" MAX. SPACING ON CENTER BETWEEN JOINTS. DO NOT LOCATE JOINTS AT WINDOWS OR DOORS.
8. MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS = 4'-0".
9. MAXIMUM GROUT LIFT WITH CLEAN-OUTS = 8'-0".
10. SET PLANS FOR REQUIRED FIRE RATINGS.
11. CHECK ELECTRICAL PLANS TO LOCATE ANY ELECTRICAL CONDUIT TO BE INSTALLED IN MASONRY CORE.
12. FULL MORTAR BED JOINTS ARE REQUIRED, TYPICAL.
13. ALL VERTICAL REINFORCING SHALL BE CONTINUOUSLY GROUTED IN CELLS (BAR CENTERED IN CORES).

STRUCTURAL STEEL:

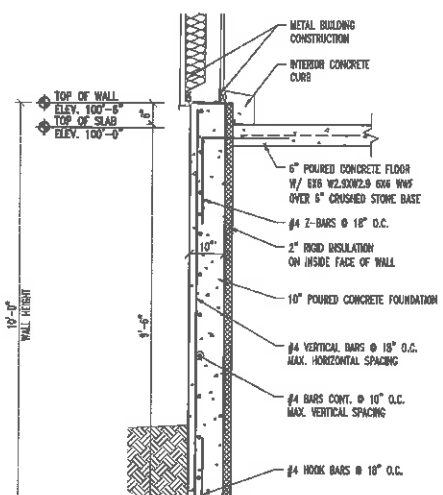
1. ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AWS/AISC 360 AND AISC 303.
2. STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTHS AND SPECIFICATIONS.
STEEL SHAPES - ASTM A992 (50 ksi)
ANGLES & BARS - ASTM A36 (36 ksi)
BARS & PLATES - ASTM A572 (50 ksi)
STRUCTURAL TUBES - ASTM A500 GRADE B (45 ksi)
ANCHOR BOLTS - F1554 GRADE 36
CONCRETE BOLTS - ASTM A325 TYPE II
WELDS - E70 XX
GROUT - ASTM C1107, GRADE 3, PREMIUM NON-SHINKING, NON-METALLIC CEMENTITIOUS GROUT, MINIMUM COMPRESSIVE STRENGTH 7000 PSI.
3. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. CODE FOR WELDING IN BUILDING CONSTRUCTION. SURFACES FOR FIELD WELDED MATERIAL SHALL BE PROPERLY PREPARED PRIOR TO BEING WELDED TO ASSURE A GOOD QUALITY WELD. REMOVE PAINT, GREASE, RUST, ETC.
4. PRIME PAINT: PRIME STRUCTURAL STEEL MEMBERS. DO NOT PRIME SURFACES THAT WILL BE FIELD WELDED.
5. PROVIDE BOLTER LAYS AND WASHERS FOR ALL STEEL COLUMN ANCHOR BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION. PROVIDE 1 1/2" OF NON-SHINK GROUT UNDER PLATE AFTER ERECTION.
6. ERECTION SHALL COMPLY WITH AISC CODE AND SPECIFICATIONS. INSTALL TEMPORARY SUPPORTS TO SECURE ANY ELEMENT OR ELEMENTS OF THE STEEL FRAMING UNTIL THEY ARE MADE STABLE WITHOUT EXTERNAL SUPPORT.
7. SET COLUMN BASES AT CORRECT ELEVATION ON FULL BED OF NON-SHINK GROUT.
8. TOUCH-UP PRIME PAINT AFTER ERECTION. CLEAN FIELD WELDS, BOLTER CONNECTIONS, AND ARMED AREAS AND APPLY SAME TYPE PAINT AS USED IN SHOP.



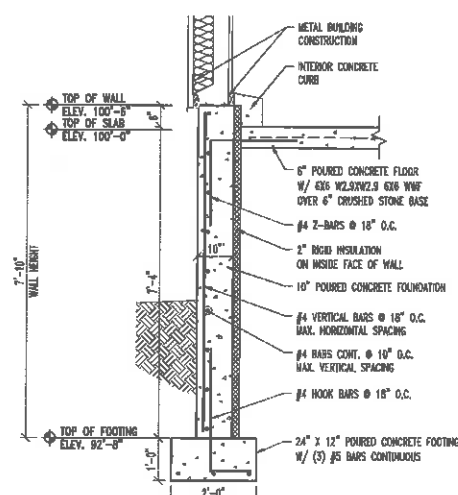
4 FOUNDATION WALL DETAIL
1/2"=1'-0" of EXTERIOR STAIR



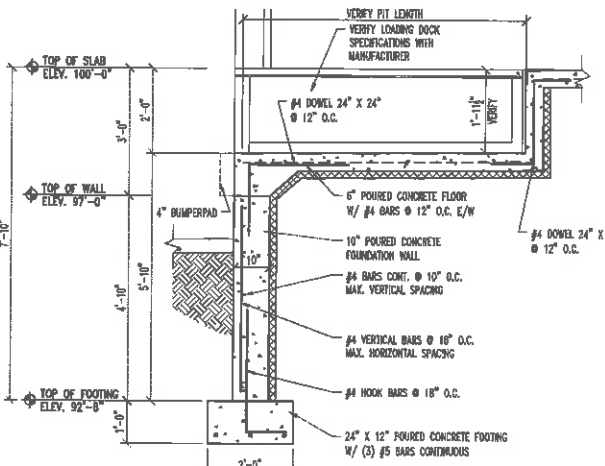
3 FOUNDATION WALL DETAIL
1/2"=1'-0" of 8" CMU FIRE BARRIER



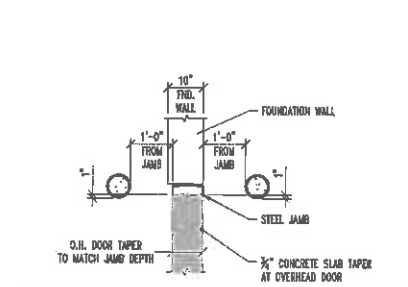
2 FOUNDATION WALL DETAIL
1/2"=1'-0" TYPICAL of 10'-0" WALL



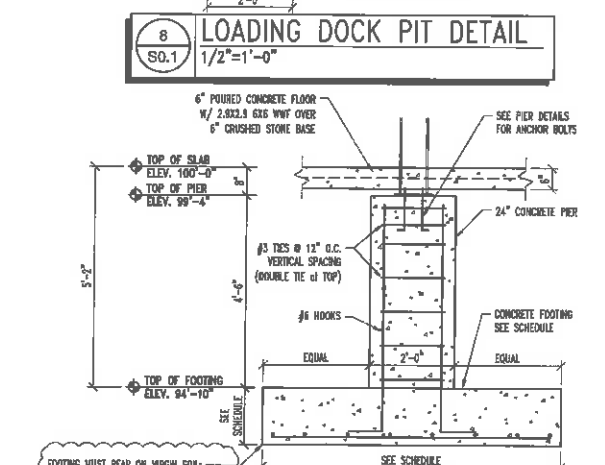
1 FOUNDATION WALL DETAIL
1/2"=1'-0" TYPICAL of 7'-10" WALL



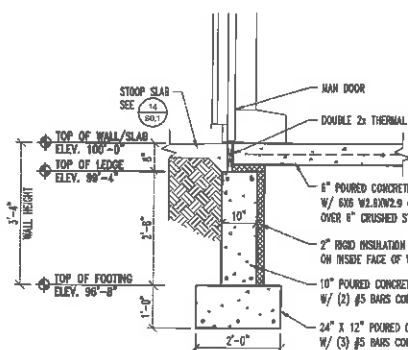
8 LOADING DOCK PIT DETAIL
1/2"=1'-0"



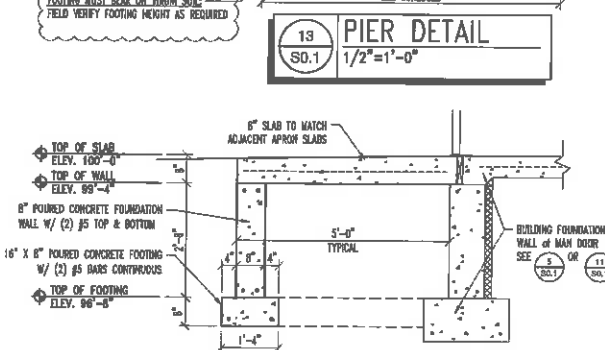
7 BUMPERPOST PLAN DETAIL
1/2"=1'-0"



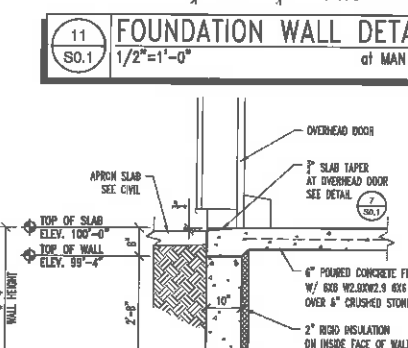
13 PIER DETAIL
1/2"=1'-0"



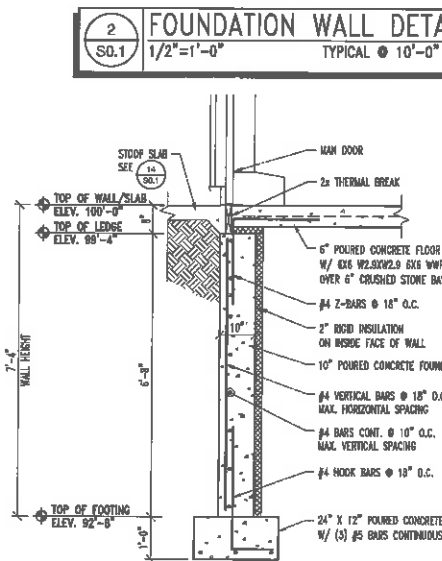
11 FOUNDATION WALL DETAIL
1/2"=1'-0" of MAN DOOR



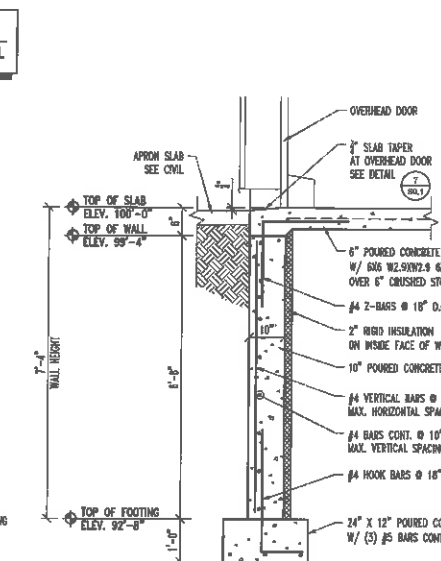
14 STOOP WALL DETAIL
1/2"=1'-0" TYPICAL of all STOOPS



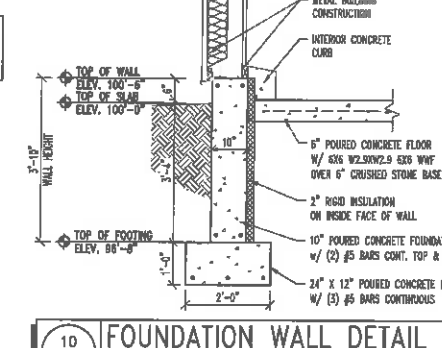
12 FOUNDATION WALL DETAIL
1/2"=1'-0" of MAN DOOR



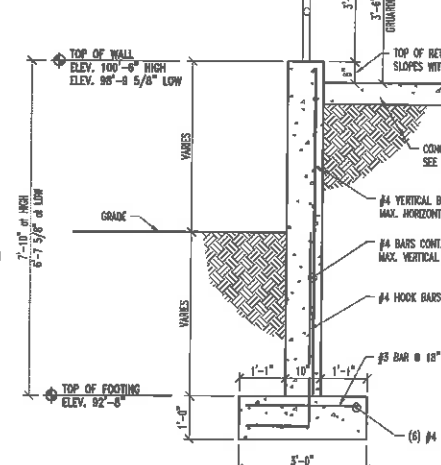
5 FOUNDATION WALL DETAIL
1/2"=1'-0" of GRADE MAN-DOOR



6 FOUNDATION WALL DETAIL
1/2"=1'-0" of GRADE OH DOOR



10 FOUNDATION WALL DETAIL
1/2"=1'-0" TYPICAL



9 RETAINING WALL DETAIL
1/2"=1'-0"

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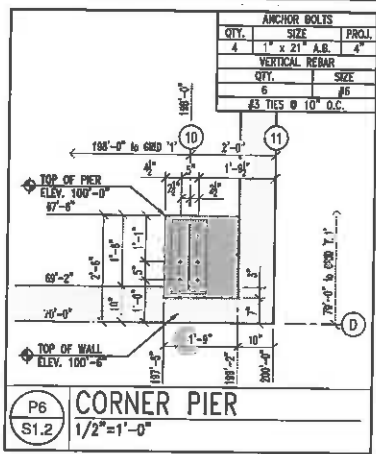
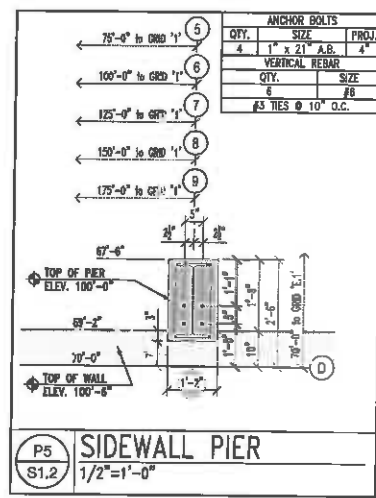
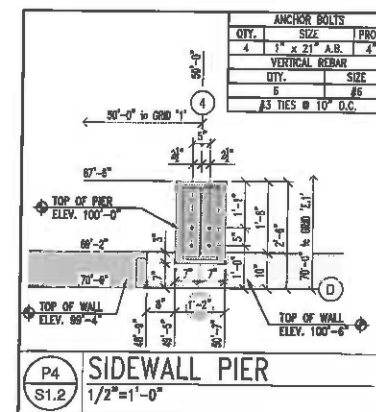
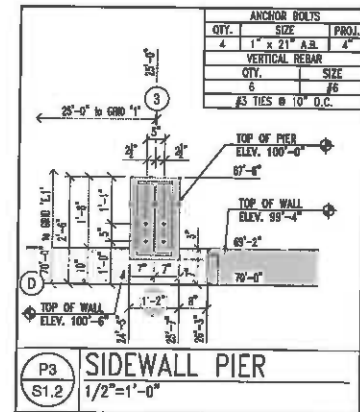
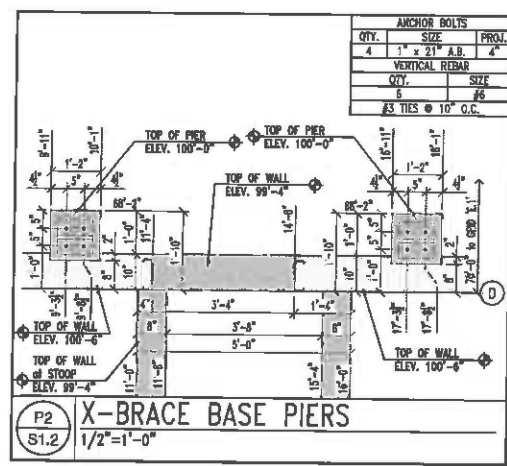
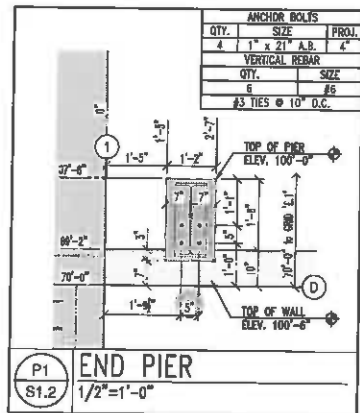
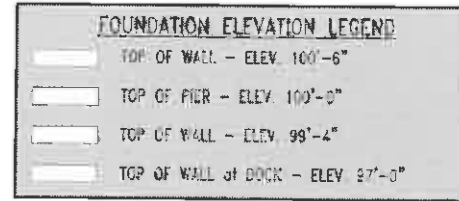
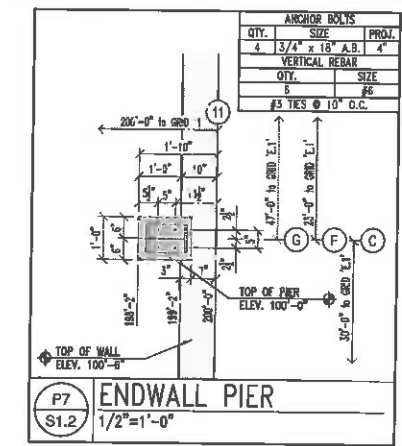
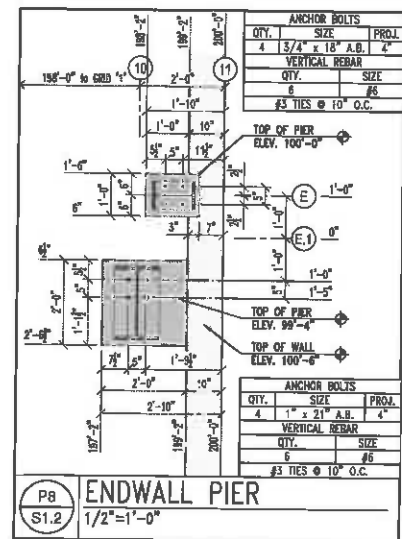
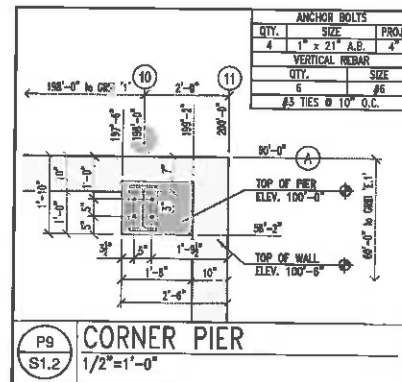
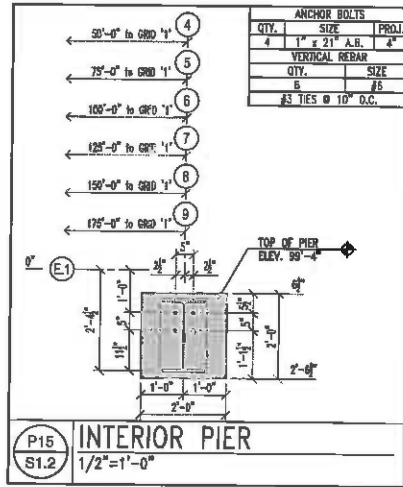
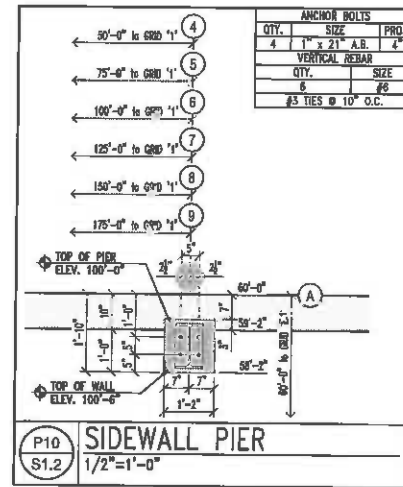
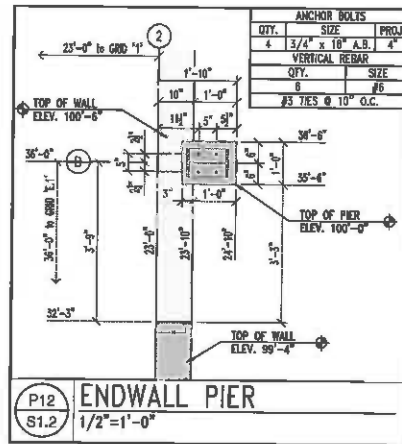
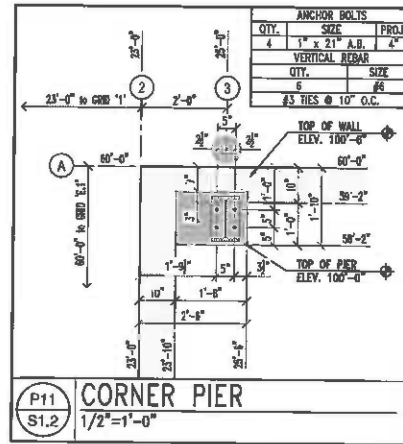
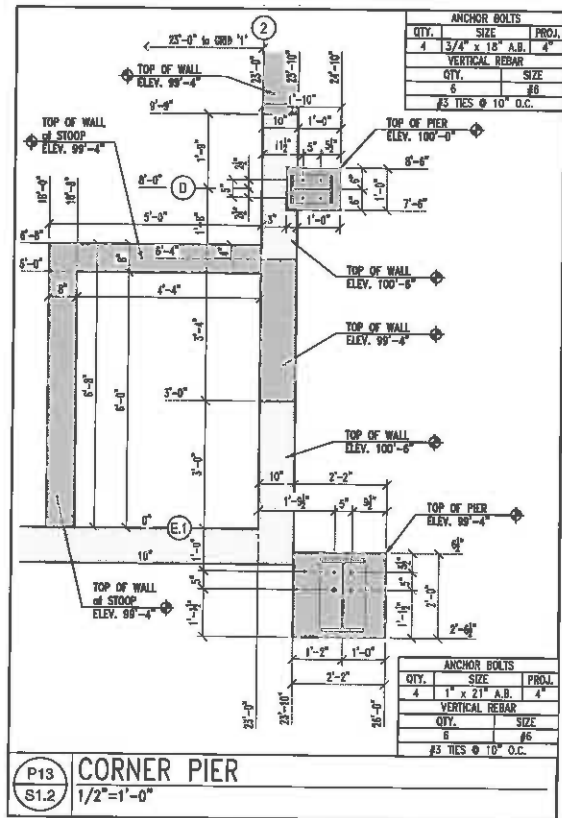
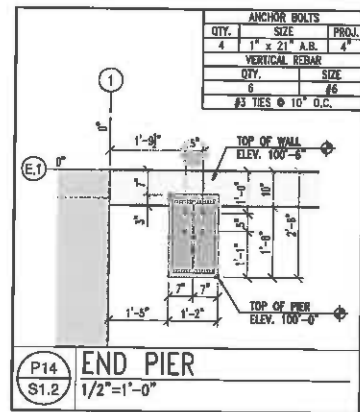
PROJECT NO.:

18-573

SHEET NO.:

S0.1





DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.
Established 1978

State ID# 680499
Notes: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or altered in any way without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
LEE'S CONTRACTING & FABRICATING, INC.
FABRICATION SHOP ADDITION
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:
18-573
SHEET NO.:
S1.2

Village of Little Chute
INFORMATION FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: LCFD purchase of FVMPD squad car
PREPARED BY: Mark Jansen
REPORT DATE: 11/30/2018
ADMINISTRATOR'S REVIEW/COMMENTS: No additional comments to this report: _____ See additional comments attached: _____
EXPLANATION: LCFD would like to purchase 1 of FVMPD used squad car. We would like to put a cap on our existing pickup truck and add additional lighting to use as a response vehicle. The squad would be used by the fire inspector, for out of town meetings for fire department meetings & training, as well serving as a response vehicle for the Chief. Chief Meister has given us a price to purchase the squad at a cost of \$4500.00, we would spend an additional \$3000.00 to wrap the vehicle (quoted by Sign Country), along with adding response lighting & siren (aprox. cost \$2,000 to \$3,000). Other than required typical maintenance and fuel we foresee no other expenses. My plan would be to use the remaining balance of the \$45,000 we had set aside for equipping the aerial ladder.
RECOMMENDATION:

Village of Little Chute
REQUEST FOR PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Abandoned sign at 201 E. Main St.

PREPARED BY: James E. Moes, Director of Community Development

REPORT DATE: December 5, 2018

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report
See additional comments attached



EXPLANATION: for some time now we have been addressing the sign structure at 201 East Main Street. We have not received cooperation or even acknowledgement from the property owner.

Attached find pertinent documents

RECOMMENDATION: Approve the Village Attorneys to file a Summons and Complaint in Circuit Court asking for orders to remove the sign structure.

800 N. Lynndale Dr.
Appleton, WI 54914
920.739.7366
Fax: 920.739.6352

Green Bay
920.468.7366

New London
920.982.9652

Oshkosh
920.385.0616

August 23, 2018

Vivo Investments, LLC
c/o Clint Mishleau
4310 Hillcrest Drive
Hobart, WI 54155

RE: Abandoned Sign Removal / Public Nuisance

Dear Mr. Mishleau:

Our firm represents the Village of Little Chute (the "Village").

We are writing to you in regard to an abandoned sign located on the northeast corner of 201 E. Main Street in the Village. This particular sign has not been used for any purpose whatsoever since you purchased the property 1 ½ years ago. Instead, the sign has been left blank.

Accordingly, the sign has been deemed a public nuisance.

Please be advised that Village Ordinance Section 44-218 and 44-224 require that abandoned signs be removed within sixty (60) days of your receipt of written notice requiring removal.

My review of the file shows that you received a sixty (60) day written removal notice by letter dated May 25, 2018, but I understand that the sign has not yet been removed.

I have been instructed by Village officials that the sign at issue must be removed within thirty (30) days of the date of this letter.

If you fail to remove the sign as requested herein, we will recommend that the Village commence legal action against you to pursue any and all rights and remedies available at law or in equity.

In the event the Village of Little Chute is forced to commence legal action, please understand that the Village may pursue fines up to \$1,000.00 per day for each day the violation continues and injunctive relief (i.e., Court Order) requiring removal,

Tyler J. CLARINGBOLE
John D. CLAYPOOL
Greg P. CURTIS
Richard T. ELROD
Paula A. HAMER
Charles J. HARTZHEIM
Kelly S. KELLY
Charles D. KOEHLER
Kevin LONERGAN
Robert B. LOOMIS
Andrew J. ROSSMEISSI
Kristen S. SCHEUERMAN
Michael S. SIDDALL
Kyle J. THELEN
OF COUNSEL
Don R. HERRLING
Roger W. CLARK



May 25, 2018

VIVO INVESTMENTS LLC
4310 HILLCREST DR
HOBART, WI 54155

Subject: Abandoned sign on Northeast corner of 201 E MAIN ST

Dear property owner,

It has come to our attention that a sign on your property is abandoned.

This letter is to inform you that the sign structure is hereby declared a public nuisance.

Per Little Chute Code of Ordinances ARTICLE VII. - SIGNS AND BILLBOARDS , you have 60 days' written notice to remove said sign.

The department is ordering you to obtain permit and properly remove the sign structure.

Enclosed please see an image of the sign and a copy of code section applicable.

Sincerely,

James E. Moes

Director of Community Development, Assessor and Zoning Administrator
108 W Main Street | Little Chute, Wisconsin 54140
(920)423-3870

Code sections applicable to dilapidated and abandoned signs

- **ARTICLE VII. - SIGNS AND BILLBOARDS**

- **Sec. 44-212. - Purpose.**

The purpose of this article is to establish minimum standards to safeguard life and property and promote public welfare and community aesthetics by regulating the appearance, construction, location and maintenance of all signs and billboards.

- **Sec. 44-214. - Permit required.**

Except those specified in [section 44-215](#), no signs shall hereafter be located, erected, moved, reconstructed, extended, enlarged, converted, or altered without a sign permit and without being in conformity with the provisions of this article. The sign shall also meet all requirements of other applicable codes and ordinances of the village. Applications for a sign permit shall be made to the zoning administrator.

- **Sec. 44-218. - Dangerous and abandoned signs and billboards.**

- a) *Removal.* All signs or billboards shall be removed by the owner or lessee of the premises upon which the sign or billboard is located when a business which it advertises has not been conducted for a period of six months or when, in the judgment of the building inspector, such sign or billboard is so old, dilapidated or has become so out of repair as to be dangerous or unsafe, whichever occurs first. If the owner or lessee fails to remove it, the village board may remove the sign or billboard at cost of the owner, following adequate written notice. The owner may appeal the village board's decision to the board of appeals.
- (b) *Alterations.* Any sign or billboard which was erected before the adoption of this sign article shall not be rebuilt or relocated without conforming to all of the requirements of this article.
- (c) *Violations.* All signs or billboards constructed or maintained in violation of any of the provisions of this article are hereby declared public nuisances within the meaning of this Code of Ordinances. In addition to the above penalty provisions for violation of this chapter, the village board may bring an action to abate the nuisance in the manner set forth in the state statutes.

- **Sec. 44-224. - Abandoned billboards and signs.**

Except as otherwise herein provided, all billboards and/or sign messages shall be removed by the owner or lessee of the premises upon which an off-premises sign/billboard is located when the business it advertised is no longer conducted where advertised. If the owner or lessee fails to remove the sign/billboard, the village board shall give the owner 60 days' written notice to remove said sign/billboard and thereafter, upon the owner's or lessee's failure to comply, may remove such sign/billboard, any costs for which shall be charged to the owner of the property or may be assessed as a special assessment against the property, and/or the village board may take any other appropriate legal action necessary to attain compliance.



Image capture: Oct 2016 © 2018 Google

Little Chute, Wisconsin

Google, Inc.

Street View - Oct 2016

DISBURSEMENT LIST- December 5, 2018

Payroll & Payroll Liabilities - November 29, 2018	\$198,314.60
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Prepaid Invoices - November 26, 2018	\$1,212.25
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Utility Commission-

CURRENT ITEMS

Bills List - November 28, 2018	\$78,804.56
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Total Payroll, Prepaid & Invoices	\$278,331.41
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The above payments are recommended for approval:

Rejected: _____

Approved December 5, 2018

Michael R Vanden Berg, Village President

Laurie Decker, Clerk

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Description	Total Cost	GL Account
5 ALARM FIRE & SAFETY EQUIPMENT			
181177=1	THREADED CYLINDER	2,171.29	101-52200-213
Total 5 ALARM FIRE & SAFETY EQUIPMENT:		2,171.29	
AIRGAS USA LLC			
9082595290	SHOP SUPPLIES	59.95	101-53330-218
9082646599	OXYGEN	60.69	207-52120-213
Total AIRGAS USA LLC:		120.64	
AL BEHLING ELECTRIC			
191	ELECTRICAL SERVICE @ LIBRARY/CIVIC CENTER	2,339.82	206-55110-306
Total AL BEHLING ELECTRIC:		2,339.82	
AMPLITEL TECHNOLOGIES			
12931	DATTO BACKUP SERVICE - OCTOBER	325.00	207-52120-240
Total AMPLITEL TECHNOLOGIES:		325.00	
APPLETON HYDRAULIC COMPONENTS			
37070	ATTEMPT TO DISASSEMBLE LEAF VAC CLINDER-	676.87	101-53330-225
Total APPLETON HYDRAULIC COMPONENTS:		676.87	
ARING EQUIPMENT CO INC			
C39053	LABOR TO REPAIR #26	5,271.75	101-53330-204
C39053	PARTS TO REPAIR #26	1,752.83	101-53330-225
Total ARING EQUIPMENT CO INC:		7,024.58	
ASSOCIATED APPRAISAL CONSULT			
137616	PROFESSIONAL SERVICES-DECEMBER	1,258.37	101-51530-204
Total ASSOCIATED APPRAISAL CONSULT:		1,258.37	
AT&T			
92078873810963	NOV/DEC SERVICE	137.80	101-51650-203
Total AT&T:		137.80	
AUTOMATED COMFORT CONTROLS			
22676	AIR FILTERS FOR SERVICE AT WELL HOUSE #4	98.00	620-53604-221
22677	UNIT HEATER WOULDN'T IGNITE	665.00	620-53604-221
Total AUTOMATED COMFORT CONTROLS:		763.00	
AUTOZONE			
1973125932	VEHICLE PARTS	19.99	620-53644-247
Total AUTOZONE:		19.99	

Invoice	Description	Total Cost	GL Account
BE'S COFFEE AND VENDING SERVICE INC			
3700329380	REGULAR JO 3OZ	139.86	207-52120-218
Total BE'S COFFEE AND VENDING SERVICE INC:		139.86	
CELLCOM			
886761	DPW PHONE CHARGES	153.43	101-53310-203
886761	PARKS PHONE CHARGES	43.59	101-55200-203
886761	REC PHONE CHARGES	86.68	101-55300-203
886761	FACILITIES PHONE CHARGES	43.59	101-51650-203
886761	INSPECTOR PHONE CHARGES	28.59	101-52050-203
886761	ENGINEERING PHONE CHARGES	186.45	452-57331-203
Total CELLCOM:		542.33	
CLEAN WATER TESTING LLC			
0152126-IN	COLIFORM & E-COLI BACTERIA TESTS	39.20	620-53644-250
Total CLEAN WATER TESTING LLC:		39.20	
COMPASS MINERALS AMERICA			
330723	BULK COARSE UNTREATED ROCK	2,453.00	620-53634-224
33415	BULK COARSE UNTREATED ROCK	2,389.95	620-53634-224
336408	BULK COARSE UNTREATED ROCK	2,448.94	620-53634-224
339404	BULK COARSE UNTREATED ROCK	2,368.59	620-53634-224
345678	BULK COARSE UNTREATED ROCK	2,377.75	620-53634-224
Total COMPASS MINERALS AMERICA:		12,038.23	
CORE & MAIN LP			
J725012	GRANULAR CHLORINE	37.98	620-53644-250
Total CORE & MAIN LP:		37.98	
DONALD HIETPAS & SONS INC.			
10318	TIE INS ON HOMEWOOD CT	5,511.16	620-53644-251
10318	RECONNECTED WATER SERVICES	2,714.45	620-53644-252
92518	MOVED EQUIPMENT TO HOMEWOOD CT & PULVE	850.68	620-53644-251
92618	WATERMAIN ON HOMEWOOD CT	9,745.72	620-53644-251
Total DONALD HIETPAS & SONS INC.:		18,822.01	
ENTERPRISE ELECTRIC INC			
18477	MAIN GATE AT MUNICIPAL SERVICES BUILDING	150.00	101-53310-204
Total ENTERPRISE ELECTRIC INC:		150.00	
FASTENAL COMPANY			
WIKIM236607	SNOW/ICE SUPPLIES	3.24	101-53330-218
WIKIM236820	PARTS FOR #11	7.07	101-53330-225
Total FASTENAL COMPANY:		10.31	
FOX VALLEY HUMANE ASSOCIATION			
4500	OCTOBER HANDLE FEES CREDIT ON ACCOUNT	19.82	207-52120-204

Invoice	Description	Total Cost	GL Account
Total FOX VALLEY HUMANE ASSOCIATION:		19.82	
FUHRMANN, NATHAN			
11152018	20 BAND TRAILER HAULING	200.00	101-55480-202
Total FUHRMANN, NATHAN:		200.00	
GALLS LLC			
011203681	TASER CARTRIDGE POUCH	22.81	207-52120-212
Total GALLS LLC:		22.81	
GFC LEASING - WI			
100474107	GFC PW COPIER LEASING	92.26	101-53310-207
Total GFC LEASING - WI:		92.26	
GOLD CROSS AMBULANCE INC			
5171	LATEX GLOVES	82.08	207-52120-213
Total GOLD CROSS AMBULANCE INC:		82.08	
HAWKINS INC			
4388013	AZONE & SODIUM SILICATE	965.48	620-53634-220
4388013	AZONE & SODIUM SILICATE	287.78	620-53634-214
4389808	AZONE & SODIUM SILICATE	232.34	620-53634-214
4389808	AZONE & SODIUM SILICATE	1,266.03	620-53634-220
4395801	AZONE & SODIUM SILICATE	1,557.18	620-53634-220
4395801	AZONE & SODIUM SILICATE	364.78	620-53634-214
4400423	AZONE & SODIUM SILICATE	346.30	620-53634-214
4400423	AZONE & SODIUM SILICATE	1,214.37	620-53634-220
Total HAWKINS INC:		6,234.26	
ITRON INC			
501941	MAINTENANCE/SUPPORT CONTRACT 12/1/18-11/3	3,040.02	620-53904-204
Total ITRON INC:		3,040.02	
KERRY'S VROOM SERVICE INC			
9067	OIL & FILTER CHANGE - UNIT#98	43.47	207-52120-247
9069	OIL & FILTER CHANGE - UNIT#97	43.47	207-52120-247
Total KERRY'S VROOM SERVICE INC:		86.94	
LAPPEN SECURITY PRODUCTS INC			
LSPQ39824	TRI FLOW	15.00	620-53644-221
Total LAPPEN SECURITY PRODUCTS INC:		15.00	
MATTHEWS TIRE			
235841	REPAIR SENSOR IN STEAM ON SQUAD 84	80.00	207-52120-247
235842	VALVE STEM SENSOR REPAIR ON SQUAD #92	80.00	207-52120-247
236062	INSTALL SENSOR ON SQUAD #94	20.00	207-52120-247
68405	LABOR TO REPAIR #7	200.00	101-53330-204
68405	PARTS TO REPAIR #7	1,193.64	101-53330-225

Invoice	Description	Total Cost	GL Account
Total MATTHEWS TIRE:		1,573.64	
MCC INC			
156781	COLD MIX	483.02	101-53300-216
156781	COLD MIX	1,449.03	620-53644-216
Total MCC INC:		1,932.05	
MCMAHON ASSOCIATES INC			
912139	2018 ECOLOGICAL SERVICES 7 PONDS	1,665.10	630-53441-204
912254	ALTERGOTT FAMILY CORP	74.60	101-51780-300
Total MCMAHON ASSOCIATES INC:		1,739.70	
MENARDS - APPLETON EAST			
50409	CHRISTMAS LIGHTS DOWNTOWN	5.99	101-51960-218
50563	BATHROOM SUPPLIES	30.81	620-53644-221
Total MENARDS - APPLETON EAST:		36.80	
MIDWEST METER INC			
0106230-IN	METER, BASE AND ACCESSORIES	1,058.55	620-19203
Total MIDWEST METER INC:		1,058.55	
MONROE TRUCK EQUIPMENT INC			
798803	PARTS FOR #31	169.20	101-53330-225
Total MONROE TRUCK EQUIPMENT INC:		169.20	
MORTON SALT INC.			
5401701075	BULK SAFE-T-SALT	10,074.35	101-53350-218
Total MORTON SALT INC.:		10,074.35	
NEWS PUBLISHING CO INC			
417589	OPEN HOUSE	89.60	101-52200-207
418450	OPEN HOUSE	64.40	101-52200-207
Total NEWS PUBLISHING CO INC:		154.00	
PACKER CITY INTL TRUCKS INC			
X10306635001	PARTS FOR #11	124.90	101-53330-225
X10306640801	STOCK ITEMS RETURNED	205.40	101-53330-218
X10306678201	COVER ASM BATTERY BOX FOR #7	184.09	101-53330-225
Total PACKER CITY INTL TRUCKS INC:		103.59	
PARKER'S			
11262018	REMOVE 4 TREES	1,150.00	101-55440-204
Total PARKER'S:		1,150.00	
PEERENBOOM, BILL			
10-24-10-26/2018	MLEAGE REIMBURSEMENT WI DELLS CONFEREN	128.62	101-51110-201
10-24-10-26/2018	MEALS FOR WI DELLS CONFERENCE	356.00	101-51110-112

Invoice	Description	Total Cost	GL Account
Total PEERENBOOM, BILL:		484.62	
PIGGLY WIGGLY #258(USE 4904)			
09242018	NORTHERN WAXTEX	5.67	101-52200-211
11052018	ELECTION SUPPLIES	47.77	101-51440-211
Total PIGGLY WIGGLY #258(USE 4904):		53.44	
RIESTERER & SCHNELL INC			
1450727	BRAKES FOR #78	185.14	101-53330-225
1457825	ISOLATOR FOR #78	75.64	101-53330-225
1457825	OIL FILTER	48.48	101-53330-218
Total RIESTERER & SCHNELL INC:		309.26	
SAFE SHIP			
11152018	POSTAGE - WATER TESTS	104.50	620-53644-204
Total SAFE SHIP:		104.50	
SIGNCOUNTRY			
10190	CHAPLAIN VISOR SIGNS	347.50	207-52120-227
Total SIGNCOUNTRY:		347.50	
STAPES ADVANTAGE			
8052150462	2019 CALENDARS	4.89	207-52120-206
8052150462	DESK CALENDARS	3.38	207-52120-206
8052150462	DRY ERASE MARKERS, NOTEPADS	27.12	207-52120-206
Total STAPES ADVANTAGE:		35.39	
TIME WARNER CABLE			
11282018	NOV/DEC SERVICE	11.75	101-52200-208
705900401111618	NOVEMBER/DECEMBER SERVICE	182.28	101-52200-203
709535601112818	DECEMBER/JANUARY SERVICE	450.72	101-51650-203
Total TIME WARNER CABLE:		644.75	
UITENBROEK, LAURA			
12032018	REUND YOGA CLASS FEE	58.00	101-34413
Total UITENBROEK, LAURA:		58.00	
UNIFIRST CORPORATION			
0970272654	SHIRTS/PANTS-TIM O'BRIEN	9.90	101-53330-213
0970272654	WIPERS, BAG RACK, UNIFORM	32.40	101-53330-218
Total UNIFIRST CORPORATION:		42.30	
VALLEY LIQUOR			
756266	BEVERAGES AND SUPPLIES	139.45	101-52200-211
758248	BEVERAGES AND SUPPLIES	129.48	101-52200-211
758259	BEVERAGES AND SUPPLIES	21.00	101-52200-211

Invoice	Description	Total Cost	GL Account
Total VALLEY LIQUOR:		289.93	
VAN SHYNDEL, NATE			
11132018	2018 SAFETY SHOE REIMBURSEMENT	125.00	101-53310-213
Total VAN SHYNDEL, NATE:		125.00	
VERIZON WIRELESS			
9817868267	OCTOBER/NOVEMBER SERVICE	631.17	101-52200-203
Total VERIZON WIRELESS:		631.17	
VORPAHL FIRE AND SAFETY			
215256903	FIRE EXTINGUISHERS	676.35	101-52200-205
Total VORPAHL FIRE AND SAFETY:		676.35	
WORKHORSE SOFTWARE SERVICES			
3592	2019 SUPPORT FOR SPEC ASSESSMENTS	600.00	452-57331-204
Total WORKHORSE SOFTWARE SERVICES:		600.00	
Grand Totals:		78,804.56	

Report GL Period Summary

Vendor number hash: 160678
Vendor number hash - split: 206299
Total number of invoices: 78
Total number of transactions: 96

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	78,804.56	78,804.56
Grand Totals:	78,804.56	78,804.56

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Type	Description	Total Cost	Terms	1099	PO Number	GL Account
OUTAGAMIE COUNTY CLERK (1601)							
2018 DOG LICENS	Invoi	2018 DOG LICENSES	1,147.25	Open	Non		101-32170
Total OUTAGAMIE COUNTY CLERK (1601):			1,147.25				
OUTAGAMIE COUNTY HIGHWAY DEPT (2053)							
EVERGREEN DRIV	Invoi	WORK IN RIGHT-OF-WAY PERMIT	65.00	Open	Non		630-51105-263
Total OUTAGAMIE COUNTY HIGHWAY DEPT (2053):			65.00				
Grand Totals:			1,212.25				

Report GL Period Summary

Vendor number hash: 3654
 Vendor number hash - split: 3654
 Total number of invoices: 2
 Total number of transactions: 2

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	1,212.25	1,212.25
Grand Totals:	1,212.25	1,212.25