



AGENDA

R EGULAR BOARD MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, December 5, 2018
TIME: 6:00 p.m.

REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Pledge of Allegiance to the Flag
- C. Roll call of Trustees
- D. Roll call of Officers and Department Heads
- E. Public Appearance for Items Not on the Agenda

- F. Approval of Minutes
Minutes of the Special Board Meeting of November 28, 2018

- G. Ordinances:
 - a) *Adopt Ordinance No. 14, Series 2018 Amending the Village of Little Chute Municipal Code Sections 30-33 Use of Tobacco on School Premises*
 - b) *Adopt Ordinance No. 15, Series 2018 Amending the Village of Little Chute Municipal Code Sections 30-134 Purchase or Possession of Tobacco Products*
 - c) *Adopt Ordinance No. 16, Series 2018 Amending the Village of Little Chute Municipal Code Sections 10-19 through 10-26 Purpose and Definitions*

- H. Department and Officers Progress Reports

- I. Discussion/Action—Approve Site Plan for Absolute Supply

- J. Discussion/Action—Approve Site Plan for Lee's Contracting & Fabrications, Inc

- K. Discussion/Action—LCFD Purchase of FVMPD Squad Car

- L. Discussion/Action—Development Agreement with Trilliant Food and Nutrition

- M. Discussion/Action—Offer to Purchase for Trilliant Food and Nutrition

- N. Discussion/Action—Legal Action on Abandoned Sign at 201 E. Main Street

O. Operator License Approvals:

Byers, Lauren C.	M's Bar	Appleton
Collingworth, Claire	Seth's Coffee	Appleton
Ebert, Sue Ann	Piggly Wiggly	Little Chute
Hammen, Mary	Down the Hill	Little Chute
Johnson, Daniel	Hawk's Nest	Kaukauna
Quaintance, James	Fox Convenience	Kaukauna
Robinson, Maitland	Moasis	Little Chute
Seidl, Sarah	Weenies	Little Chute
Zach, Steven	Weenies	Little Chute

P. Disbursement List

Q. Call for Unfinished Business

R. Items for Future Agendas

S. Closed Sessions:

19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Economic Development Proposals and Agreement Regarding Site Cleanup*

T. Return to Open Session

U. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, email: Laurie@littlechutewi.org Prepared: November 30, 2018

MINUTES OF THE SPECIAL BOARD MEETING NOVEMBER 28, 2018

Call to Order

President Vanden Berg called the Special Board Meeting to order at 6:00 p.m.

Roll Call

PRESENT: President Vanden Berg, Trustee Hietpas Trustee Peterson, Trustee Peerenboom, Trustee Van Lankvelt, Trustee Smith, Trustee Elrick,

ALSO PRESENT: James Fenlon, Jim Moes, Valerie Clarizio, Kent Taylor, Adam Breest, Steve Thiry, Laurie Decker

Public Appearance for Items not on the Agenda

None

Other Informational Items—October Fire and October Monthly Report

Approval of Minutes

Minutes of Committee of the Whole Meeting of November 14, 2018

Moved by Trustee Smith, seconded by Trustee Elrick to Approve Minutes of the Committee of the Whole Meeting of November 14, 2018

Ayes 7, Nays 0 – Motion Carried

Public Hearing—2019 Budget

Moved by Trustee Elrick, seconded by Trustee Peterson to enter into Public Hearing

Ayes 7, Nays 0 – Motion Carried

Administrator Fenlon presented an overview of the 2019 Budget.

Moved by Trustee Elrick, seconded by Trustee Smith to exit Public Hearing

Ayes 7, Nays 0 – Motion Carried

Discussion/Action—Final Budget Workshop

Administrator Fenlon recommended to the Board to make two separate motions to amend the addition of \$30,000.00 for sidewalk replacement and to add \$170,000 to the contingency fund

Moved by Trustee Peerenboom, seconded by Trustee Elrick to Amend the Published Notice to include \$30,000 for sidewalk replacement

Ayes 7, Nays 0 – Motion Carried

Moved by Trustee Peerenboom, seconded by Trustee Peterson to Amend the Published Notice to include \$170,000 to the contingency fund

Ayes 7, Nays 0 – Motion Carried

Action—Adopt Resolution No. 34, Series 2018 Adopting the 2019 Budget and Establishing the Tax Levy

Moved by Trustee Elrick, seconded by Trustee Smith to Adopt Resolution No. 34, Series 2018 Adopting the 2019 Budget and Establishing the Tax Levy

Ayes 7, Nays 0 – Motion Carried

Roll Call Vote:

Trustee Elrick	-	Aye
Trustee Peerenboom	-	Aye
Trustee Hietpas	-	Aye
Trustee Peterson	-	Aye
Trustee Smith	-	Aye
Trustee Van Lankvelt	-	Aye
Trustee Vanden Berg	-	Aye

Discussion/Action—Approve Village Credit Card Agreement

Director Clarizio presented information to the Board on a new Credit Card Agreement for the Village of Little Chute. Trustee Van Lankvelt asked about an annual fee on the card and Director Clarizio advised there is not a fee and the cash back is at a higher percentage then what was previously used.

Moved by Trustee Smith, seconded by Trustee Peterson to Approve Village Credit Card Agreement

Ayes 7, Nays 0 – Motion Carried

Disbursement List

Moved by Trustee Peerenboom, seconded by Trustee Elrick to Approve the Disbursement List and Authorize the Finance Director to pay all vendors

Ayes 7, Nays 0 – Motion Carried

Unfinished Business

Trustee Peerenboom thanked the staff for all the work on the budget

Items for Future Agendas

None

Adjournment

Moved by Trustee Elrick, seconded by Trustee Smith to Adjourn the Special Board Meeting at 6:20 p.m.

Ayes 7, Nays 0 – Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael R. Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: E-cigarettes and Vaping Ordinance Amendments
PREPARED BY: Chief Daniel M. Meister
REPORT DATE: November 30, 2018
ADMINISTRATOR'S REVIEW/COMMENTS:
EXPLANATION: To address the emerging trends regarding the possession and illegal use of tobacco products, e-cigarettes and vaping products, we are submitting select updates to the village ordinances that would address these products and their usage. The village attorney has reviewed these proposed amendments and they are attached for your consideration.
RECOMMENDATION: Approve the submitted amendments to Sections 30-33, 30-134 and 10-19 through 10-26 as submitted.

**VILLAGE OF LITTLE CHUTE
ORDINANCE NO. 14, SERIES OF 2018**

**AN ORDINANCE AMENDING THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE SECTIONS 30-33 – USE
OF TOBACCO ON SCHOOL PREMISES**

Be it hereby ordained, by the Village Board of the Village of Little Chute, Outagamie County, Wisconsin,
that Village of Little Chute Ordinance No. 30-33 be amended as follows:

Sec. 30-33. - Use of tobacco on school premises.

(a) - Definitions. The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Prohibited products include, but are not limited to, tobacco products, nicotine products, cigarette, cigar, pipe, smokeless tobacco, chewing tobacco, electronic cigarettes, electronic vaping devices, personal vaporizers, digital vapor devices, electronic nicotine delivery systems, and any similar or digital device. (An electronic cigarette (e-cig or e-cigarette), personal vaporizer (PV), or electronic nicotine delivery system (ENDS) is a battery-powered vaporizer which has the feel of tobacco smoking. They produce a mist rather than cigarette smoke. In general, a heating element vaporizes a liquid solution known as e-liquid. E-liquids usually contain a mixture of propylene glycol, glycerin, nicotine, and flavorings.)

(ab) Purpose. It is recognized that the use of any ~~tobacco-related~~^{prohibited} products is hazardous to an individual's health and may affect the health of nontobacco users when in the presence of tobacco users. This section is adopted for the purpose of protecting the public health, safety, comfort and general welfare of residents and/or nonresidents of the village, and further recognizes the rights of nontobacco users.

(bc) Prohibition of use. The use of all ~~tobacco~~^{prohibited} products on premises owned or rented by, or under the control of, any public school board is prohibited where any said school premises are located within the village municipal boundaries.

(Code 2006, § 11-2-13)

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: _____, 2018

Adopted this _____ day of _____, 2018.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
ORDINANCE NO. 15, SERIES OF 2018**

**AN ORDINANCE AMENDING THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE – SECTIONS 30-134 –
PURCHASE OR POSSESSION OF TOBACCO PRODUCTS**

Be it hereby ordained, by the Village Board of the Village of Little Chute, Outagamie County, Wisconsin,
that Village of Little Chute Ordinance No. 30-134 be amended as follows:

Sec. 30-134. - Purchase or possession of tobacco products.

(a) *Definitions.* The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Tobacco-Prohibited products include, but are not limited to, tobacco products, nicotine products, cigarette, cigar, pipe, smokeless tobacco, chewing tobacco, electronic cigarettes, electronic vaping devices, personal vaporizers, digital vapor devices, electronic nicotine delivery systems, and any similar or digital device. (An electronic cigarette (e-cig or e-cigarette), personal vaporizer (PV), or electronic nicotine delivery system (ENDS) is a battery-powered vaporizer which has the feel of tobacco smoking. They produce a mist rather than cigarette smoke. In general, a heating element vaporizes a liquid solution known as e-liquid. E-liquids usually contain a mixture of propylene glycol, glycerin, nicotine, and flavorings.)means any substance containing tobacco leaf, including, but not limited to, cigarettes, cigars, pipe tobacco, snuff, chewing tobacco or dipping tobacco.

(b) *Purchase by minors prohibited.* It shall be unlawful for any person under the age of 18 years to purchase ~~tobacco-prohibited~~ products, or to misrepresent their identity or age, or to use any false or altered identification for the purpose of purchasing ~~tobacco-prohibited~~ products.

(c) *Possession by minors prohibited.* It shall be unlawful for any person under the age of 18 years to possess any ~~tobacco-prohibited~~ products; provided that the possession by a person under the age of 18 years under the direct supervision of the parent or legal guardian of such person in the privacy of the parent's or guardian's home shall not be prohibited.

(d) *Prohibitions.* No manufacturer, distributor, jobber, subjobber, or retailer, or their employees or agents, may provide ~~cigarettes or tobacco products~~~~prohibited products~~ for nominal or no consideration to any person under the age of 18 years.

(e) *Statutes adopted.* The provisions of Wis. Stats. §§ 134.66 and 254.92 are adopted by reference and incorporated herein.

(Code 2006, § 11-5-9; Ord. No. 15(Ser. 2002), 8-21-2002)

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: _____, 2018

Adopted this _____ day of _____, 2018.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
ORDINANCE NO. 16, SERIES OF 2018**

**AN ORDINANCE AMENDING THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE – SECTIONS 10-19
THROUGH 10-26 – PURPOSE AND DEFINITIONS**

Be it hereby ordained, by the Village Board of the Village of Little Chute, Outagamie County, Wisconsin,
that Village of Little Chute Ordinance Nos. 10-19 through 10-26 be amended as follows:

Sec. 10-19. - Purpose.

The village board recognizes that smoking of cigarettes and other tobacco products is hazardous to an individual's health and may affect the health of nonsmokers/smokers when they are involuntarily in the presence of smoking. Reliable scientific studies assessed by credible health officials have found that secondhand tobacco smoke is a significant health hazard for children, elderly people, and individuals with cardiovascular disease or impaired respiratory function. Air pollution caused by smoking is an offensive annoyance and irritant. Smoking results in serious and significant physical discomfort to nonsmokers. This article is adopted for the purpose of protecting the public health, safety, comfort and general welfare of the people of the Village of Little Chute, especially recognizing the health interests of nonsmokers, who constitute a majority of the population.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-20. - Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Assisted living facility means a community-based residential facility, as defined in Wis. Stats. § 50.01(1g), a residential care apartment complex, as defined in Wis. Stats. § 50.01(1d), or an adult family home, as defined in Wis. Stats. § 50.01(1)(b).

Day care center means a facility operated by a child care provider that provides care and supervision for four or more children under seven years of age for less than 24 hours a day. (Wis. Stats. § 49.136(1)(d)).

Employment means any trade, occupation, or process of manufacture or any method of carrying on such trade, occupation, or process of manufacture in which any person may be engaged.

Enclosed place enclosed space means a structure or area that has a roof and more than one wall. A wall includes any retractable or fixed divider, window, door, or other physical barrier, whether opened or closed, whether temporary or permanent. A 0.011 gauge screen with an 18 by 16 mesh count is not a wall.

Person in charge means the person who ultimately controls, governs or directs the activities aboard a public conveyance or within or at a place where smoking is regulated under this section, regardless of the person's status as owner or lessee.

Place of employment means any enclosed place that employees normally frequent during the course of employment, including an office, a work area, an elevator, an employee lounge, a restroom, a conference room, a meeting room, a classroom, a hallway, a stairway, a lobby, a common area, a vehicle, or an employee cafeteria.

Private club means a facility used by an organization that limits its membership and is organized for a recreational, fraternal, social, patriotic, political, benevolent, or athletic purpose.

Public place means any enclosed place that is open to the public, regardless of whether a fee is charged or a place to which the public has lawful access or may be invited.

Restaurant means an establishment defined in Wis. Stats. § 254.61(5).

Retail establishment means any store or shop in which retail sales is the principal business conducted.

Smoking means burning or holding or inhaling or exhaling smoke, mist, or vapor from, any of the following items containing tobacco:

- (1) A lighted cigar.
- (2) A lighted cigarette.
- (3) A lighted pipe.
- (4) An electronic delivery device, meaning -any product containing or delivering nicotine, lobelia, or any other substance intended for human consumption that can be used by a person to simulate smoking in the delivery of nicotine or any other substance through inhalation of aerosol, mist, or vapor form the product. The term includes, but is not limited to, devices manufactured, distributed, marketed, or sold as electronic cigarettes or cigars, electronic pipes, personal vaporizers, electronic nicotine delivery systems, vape pens, or electronic hookahs.

An electronic cigarette (e-cig or e-cigarette), personal vaporizer (PV), or electronic nicotine delivery system (ENDS) is a battery-powered vaporizer which has the feel of tobacco smoking. They produce a mist rather than cigarette smoke. In general, a heating element vaporizes a liquid solution known as e-liquid. E-liquids usually contain a mixture of propylene glycol, glycerin, nicotine, and flavorings.

- (4) Any other lighted smoking equipment.

Sports arena means any stadium, pavilion, gymnasium, swimming pool, skating rink, bowling center, or other building where spectator sporting events are held.

Tavern means any establishment, other than a restaurant, that holds a "Class B" intoxication liquor license or Class "B" fermented malt beverages license.

Tobacco product means any form of tobacco prepared in a manner suitable for smoking but not including a cigarette.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-21. - Prohibition against smoking.

- (a) Except as otherwise provided, no person may smoke in any of the following spaces:
 - (1) Any enclosed space of a public place or place of employment.
 - (2) Areas in village parks as posted and so designated by the parks and recreation department including the athletic field/bleachers and dugouts, aquatic center, skateboard park, dog park, playground and swing set areas, and park restrooms.
 - (3) Sports arenas.
 - (4) Within the outdoor premises of a day care center when children who are receiving a day care services are present.
 - (5) Village-owned or leased motor vehicles.

- (6) Within 15 feet from all entry ways of village-owned buildings and structures, including, but not limited to, parking ramps (if applicable), park pavilions, etc., except open air facilities. This fifteen foot minimum requirement does not apply to privately owned buildings under subsection 10-22(4).
- (7) Public forms of transportation, including, but not limited to, motor buses, taxicabs, or other public passenger vehicles.

(b) The prohibition of smoking under subsection (a) does not apply to any of the following places:

- (1) A private residence.
- (2) A room used by only one person in an assisted living facility as his or her residence.
- (3) A room in an assisted living facility in which two or more people reside if every person who lives in that room smokes and each of those people has made a written request to the person in charge of the assisted living facility to be placed in a room where smoking is allowed.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-22. - Responsibility of person in charge.

No person in charge may allow any person to smoke in violation of sections 10-21 at a location that is under the control or direction of the person in charge.

- (1) A person in charge may not provide matches, ashtrays, or other equipment for smoking at the location where smoking is prohibited.
- (2) A person in charge shall make reasonable effort to prohibit persons from smoking at a location where smoking is prohibited by doing all of the following:
 - a. Posting signs setting forth the prohibition and providing other appropriate notification and information concerning the prohibition.
 - b. Refusing to serve a person, if the person is smoking in a restaurant, tavern, or private club.
 - c. Asking a person who is smoking to refrain from smoking and, if the person refuses to do so, asking the person to leave the location.
- (3) If a person refuses to leave a location after being requested to do so as provided in subparagraph (c), the person in charge shall immediately notify an appropriate law enforcement agency of the violation.
- (4) The person in charge of a restaurant, tavern, private club, or retail establishment may designate an outside area that is a reasonable distance from any entrance to the restaurant, tavern, private club, or retail establishment where customers, employees, or persons associated with the restaurant, tavern, private club, or retail establishment may smoke.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-23. - Signs.

- (a) No smoking signs shall include the plainly visible "No Smoking" symbol, consisting of a burning cigarette enclosed in a red circle with a red bar across the cigarette.
- (b) Each sign and the language contained therein shall be clearly visible from a distance of at least ten feet and meet the uniform dimensional requirements specified by the Wisconsin Department of Commerce in accordance with Wis. Stats. § 101.123(6).

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-24. - Enforcement.

- (a) The zoning administrator or designee and the chief of police or designee shall have the power, whenever they may deem it necessary, to enter upon the premises named in this section to ascertain whether the premises are in compliance with this article.
- (b) The proprietor, employer or other person in charge of premises regulated hereunder, upon either observing or being advised of a violation, shall make reasonable efforts to prevent smoking in prohibited areas by:
 - (1) Approaching smokers who fail to voluntarily comply with this section and requesting that they extinguish their cigarette or tobacco product and refrain from smoking or
 - (2) Refusing service to anyone smoking in a prohibited area.
- (c) Any person who desires to register a complaint under this section may contact the zoning administrator or the police department.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-25. - Violation and penalties.

- (a) Any person who violates section 10-21 shall be subject to a forfeiture of not less than \$100.00 nor more than \$250.00 for each violation.
- (b) Any person in charge who violates section 10-22 shall be subject to a forfeiture of \$100.00 for each violation.
 - (1) For violations subject to the forfeiture under subparagraph (b), if the person in charge has not previously received a warning notice for a violation of section 10-22, the law enforcement officer shall issue the person in charge a warning notice and may not issue a citation.
 - (2) No person in charge may be required under section 10-22, to forfeit more than \$100.00 in total for all violations of section 10-22, occurring on a single day.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Sec. 10-26. - Clean indoor air.

- (a) *Intent and construction.* The Village of Little Chute finds that it is in the interest of the health, safety and welfare of the community to adopt by reference Wis. Stats. § 101.123 and subsequent amendments, additions and recodifications. It is the intent of the village board that where there may be conflict between Wis. Stats. § 101.123 and article II, section 10-19 through section 10-25, that the most restrictive section shall apply. This article shall not be construed to mean that progressive discipline of village employees for violations of laws, rules and regulations is only authorized where explicitly provided by ordinance.
- (b) *Penalty.* The penalties provided by Wis. Stats. § 101.123 shall be in addition to the penalties provided for violation of article II when a person has violated both laws. In addition to the penalties provided by article II and Wis. Stats. § 101.123, any village employee who violates any provision of article II or Wis. Stats. § 101.123, may also be subject to progressive discipline by his or her employer.

(Ord. No. 9(Ser. of 2010), § 1, 6-16-2010)

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: _____, 2018

Adopted this _____ day of _____, 2018.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION
(SUBMIT 12 FOLDED SETS OF DRAWINGS)**

SITE ADDRESS 1560 Bohm Drive

LEGAL DESCRIPTION Parcel ID 260273900 - Lot 1 in Little Chute Industrial Park Plat

PROPERTY OWNER(S) Absolute Supply - Scott Meek TELEPHONE 920-766-4848

ADDRESS/ZIP 1560 Bohm Drive, Little Chute, WI 54140 FAX smeek@absolutesupply.net

APPLICANT Frontier Builders - Jeff Stodola

CHECK: Architect Engineer Surveyor Attorney Agent Other

ADDRESS 2204 Crooks Ave, Suite A TELEPHONE 920-422-0546

CITY/ZIP Kaukauna, WI 54130 team@frontierbuildersandconsultants.com
FAX _____

DESCRIBE IN DETAIL THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY _____

Addition to existing industrial facility.

GROUND FLOOR ELEVATION 719.90 LOT SIZE 1.80 AC FLOOR AREA 12,932 SF (Addition) 26,744 SF (Site)

NUMBER OF STORIES IN BLDG 1 BASEMENT YES NO BUILDING HEIGHT 33'

TOTAL CURRENT EMPLOYEES 15 EMPLOYEES ADDED BY EXPANSION 0

IMPERVIOUS SURFACE COVERAGE SQ. FT 54,261 (Site) # OF PARKING SPACES 13 existing

I CERTIFY THE ATTACHED DRAWING ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE 

DATE 11/6/2018

<u>44-387(f)</u>	<u>Site plan review fee</u>	<u>\$300.00</u>
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

SITE PLAN REVIEW PROCEDURES

Site Plan Review is an administrative process that is held after the completed plans are received. The Site Plan Review process is required for all new or modified Commercial, Industrial, Institutional and Multi-family uses, listed under the Zoning Ordinance.

Early in the process, consult the Site Plan Application Checklist (attached) for a complete list of plan requirements and consult the Community Development Director for initial reaction and assistance. In addition, please notify utility companies regarding your proposed development.

Twelve (12) folded sets of plans and one application per Site Plan must be submitted to the Community Development Director. The Site Plan Set will include Site, Parking, Paving, Utilities, Grading, Drainage, Erosion Control, Landscape, Architectural Elevations, Photometric, Noise Evaluation, and Signage Plans. In addition, two sets of Floor Plans need to be submitted.

The Community Development Department, along with the other Village departments, will review the Site Plan. The Applicant will be notified as soon as possible of additional information/requirements to make the Site Plan complete and in compliance with Village codes for approval of the plan.

When a revised Site Plan is resubmitted, at least five signed and dated copies of the Major Site Plan are needed. The Community Development Director will approve, approve with conditions, refer back for changes, or deny the design of the project plan. Once the Major Site Plan is approved, a signed copy and approved application are given to the Applicant, the Owner, and also placed on file in the Community Development Department. The approval of a Site Plan shall remain valid for one (1) year. Please note, Site Plan approval does not constitute approval of a Building Permit. Paving or any required approvals for a curb cut from the Department of Public Works.

SITE PLAN CHECKLIST

This Site Plan checklist has been prepared to provide the Applicant with a clear understanding of what is needed to complete a Site Plan Review. It is our hope that by providing a very detailed list of information to be shown on the Site Plan Set and a specific format for its presentation, review time will be kept to a minimum and you will avoid costly time delays caused by incomplete plans. Your courtesy in following the checklist carefully will insure prompt review and approval at the earliest possible date.

APPLICATION FORM AND SITE PLAN SET

Application forms are available from the Community Development Department and shall be filed 45 days prior to any request for permits. Those who may file are the property owner, a person having the lawful power of attorney, or a representative of the owner such as an architect, engineer, or other agent designated by the property owner. In any case, no application will be accepted without an original signature of the property owner(s) or his/her agent. All blanks on the application must be filled in or an explanation given in a letter of intent.

When the applications, Site Plan set, documentation, and other required information have been prepared, **please schedule an appointment with the Community Development Director. DO NOT just drop off plans, as this will delay acceptance.** Plans will not be accepted for processing until staff has completed an initial review. An incomplete application or a Site Plan set lacking complete information will be refused acceptance.

THE RECOMMENDED FORMAT FOR A COMPLETE APPLICATION SHOULD INCLUDE:

- A completed Site Plan Application Form
- Calculations for sanitary sewer and water
- Calculations for storm sewer design
- 12 Site Plan Sets to include:
 - Sheet 1 – Title Sheet, Site Plan Layout & Streets
 - Sheet 2 – Utilities, Grading & Drainage Plan
 - Sheet 3 – Erosion Control Plan
 - Sheet 4 – Landscape & Lighting Plan
 - Sheet 5 – Architectural Elevations & Construction Details
- Any other plans or information deemed necessary by the Community Development Director.
- 2 Floor Plan Sets

Submit the completed applications, calculations and 12 Site Plan Sets to:

Community Development Director
108 W Main St.
Little Chute, WI 54140

SITE PLAN SET

Plans which are submitted for review shall be drawn to an appropriate scale on sheets of uniform size, recommended at 24" x 36". A total of twelve (12) complete folded sets shall be submitted to the Community Development Director. (If available inclusion of one 11"x17" set of plans may substitute for 8 of the larger plan sets)

A Site Plan Set consists of the following information:

- 1. All sheets shall be of uniform size recommended at 24" x 36".
- 2. All sheets are to be folded.
- 3. All plans are recommended to be drawn to a 1" = 20' scale. The same scale must be used for all plans.
- 4. All sheets shall be numbered.
- 5. The signature of the surveyor, engineer, or architect who is responsible for plan preparation is required on all sheets in the Final Set of (5) five. These shall be dated with revision date(s) stated.

All major site plans shall include as a minimum all of the following items of information:

Sheet 1. Title, Site Plan Layout & Streets Sheet

- a. Name of project, address, legal description of property, tax key number of each lot, description of proposed use and both existing and proposed zoning descriptions.
- b. Location map.

- c. Name, address and phone number of the record property owner and site plan preparer (include fax number if available).
- d. The signature of the surveyor, engineer or architect who is responsible for site plan preparation along with the revision date(s) clearly marked on the plan.
- e. North arrow, date of preparation, revision dates and scale.
- f. Name(s) of adjacent or surrounding streets.
- g. Recorded property lines and their dimensions.
- h. The total land area in the development including the percentage of lot coverage for all impervious surface areas.
- i. The location and architectural features of all existing and proposed structures, including occupancy classification of each structure as identified in the State Building Code, dimensions, number of stories and their locations on the parcel.
- j. Identify what types of products will be manufactured, sold and/or stored on site.
- k. Identify all types of hazardous materials to be stored on site. If none, state "No hazardous materials will be stored on site".
- N/A l. Identify if there will be food and/or beverage sales, a public swimming pool, whirlpool, or overnight lodging at this location.
- N/A m. If buildings are to be removed, the site plan shall so indicate.

Site Info C1.2

- n. A note shall appear on the site plan that indicates the calculations for parking and loading requirements which must identify: all existing uses on the property; the number of existing, proposed and future employees based on a five (5) year projection; the gross floor area and useable floor area for existing buildings, expanded buildings and proposed buildings; a calculation of required handicapped accessible parking spaces. Any joint use of parking must be in writing, approved by the Planning Director, signed by both parties involved and attached and recorded in the Register of Deeds Office.

No

parking

changes

- o. Show barriers, curbing or wheel stops.

- p. Existing and proposed driveways and parking lots including: pavement markings to show traffic flow; parking stall sizes and layout; handicap stalls and ramps; loading zone; driveway widths and radii or flares on driveway aprons to public streets. For parking areas, identify all proposed and existing stop signs at all private driveway exits onto public roadways. If stop signs are required, add a note on the site plan identifying: "Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version."

N/A q. If existing curb cuts are to be abandoned, the statement "Curb cut will be closed per Village of Little Chute standards" shall be clearly noted on the site plan.

N/A r. For drive-through uses, show vehicle stacking spaces and pedestrian access to entry doors that do not cross drive-through lanes.

N/A s. Provide recycling calculations and locations according to the State Building Code.

N/A t. Identify all existing and proposed sidewalks with grade elevations and handicap access at driveways.

X u. Identify snow storage areas located outside of setbacks, in required parking areas and vision clearance triangles.

X v. Dimensions of all required yard setbacks for buildings and off-street parking.

X w. The location and extent of all existing and proposed outdoor storage and outdoor display.

X x. The location and detail of refuse containers and their enclosures, sidewalks, other pedestrian-type walkways, bicycle storage racks, traffic control dividers, tree islands and other similar improvements.

Existing y. The location of all mechanical equipment and the type of screening provided.

Existing z. Location of existing and proposed signage, sign elevation showing the height of sign to grade, height and face dimensions, colors, typeset, materials, lighting and orientation of signage.

X aa. Location, height, elevations and materials of all fences or retaining walls.

X bb. Location, size and use of any buildings, driveways and public rights-of-ways within fifty (50) feet of property lines and driveways.

N/A cc. Identify the types of fire protection/detection systems will be used.

N/A dd. Show on-site fire hydrants, Fire Department hose connections, and the respective flow calculations to meet the International Fire Code for installed fire protection systems.

N/A ee. Identify the location and presence of all fire related wall assemblies.

X ff. Identification of the class of construction in accordance with State Building Code.

N/A gg. Identify streams, wetlands, channels, ditches and other watercourses on the site and on adjacent properties.

N/A hh. Identify the 100-year floodplain, including flood fringe, floodway and flood storage areas.

Existing ii. Identify storm water flow, directions, detention, and management facilities.

jj. Identify all open space that will remain undisturbed and undeveloped.

N/A kk. Multi-family residential projects shall include additional information that identifies the total acres of subject property, the total number of dwelling units and density per acre and the percentage of proposed site covered for buildings and hard-surfaced areas as opposed to green space and landscaping.

Sheet 2. Utilities, Grading & Drainage Plan

N/A a. When abutting a site plan project, any public right-of-way shall be identified with accurate locations for existing and proposed facilities such as streets, curbs, sidewalks, sidewalk planters, street trees, utility poles, traffic signs and signals, median islands, project driveways, driveways on opposite street frontages, bus stops and other improvements. Elevations of sidewalks at property lines and elevations to indicate handicap accessibility shall be identified. The following statement shall be clearly noted on the site plan, *"Any existing sidewalk damaged during construction shall be replaced as a part of this project"*.

b. Locate and label, whether underground or overhead, all existing and proposed utility lines and easements with sizes and material designations, and slopes (as needed), including sanitary sewer (manholes, laterals and clean outs), storm sewer (manholes, laterals, and catch basins), water (laterals, fire lines, valves and meters), fire hydrants, gas, telephone, cable and electric lines.

c. Calculate drainage area for each catch basin. Indicate the size and slope of utility lines that will be tapped into the adjacent street.

d. Show all existing and proposed public and private easements for utility, drainage, sewer, parking, access and other purposes, and all easements on surrounding properties benefiting the subject property. If existing utilities are to be abandoned, clearly state the method of abandonment.

No change e. State the provider of sanitary and water if not provided by the Village of Little Chute and provide written documentation of approval from said provider.

f. Identify all existing and proposed sanitary sewer mains and laterals, including: methods of connection to public mains, easements, size, materials, slope, manholes, rim elevation, invert elevations, clean outs, plumbing code calculations, how many drainage fixture units and public mains for connection.

g. Identify all existing and proposed water mains and laterals, including easements, size, depth, materials, tracing wires, hydrants, method of connection valves, meters, plumbing code calculations, how many water supply fixture units and public mains for connection.

h. Identify all existing and proposed storm sewer mains and laterals, including the method of connection to the public main, easements, size, materials, slope, manholes, inlets, catch basins, yard drains, rim elevations, invert

elevations, area map for drainage to each catch basin, square feet draining to each catch basin, plumbing code calculations, roof drain discharges and/or connections, square foot of roof area and public systems for connection.

- i. Identify all existing and proposed surface run-off features, including easements, swales, open channels, type of surface, rip rap, flow path of runoff from upstream areas, and flow path for run-off leaving the site including the public system adjacent to or for connection.
- j. Identify existing topography (by dashed lines) at one (1) foot intervals and proposed grade elevations for the building, parking lot, catch basin inlet, rim and invert elevations, drives, surrounding open areas and including all property within fifty (50) feet using contour lines and spot elevations and drainage flow arrows as needed to define drainage patterns.
- k. List all existing and proposed grades for first floor elevations and catch basin inlet rim and invert elevations.
- l. Show details of all existing and proposed retaining walls, swales, and inlets.

- m. Provide cross-sections for all pavement and identify depth of base gravel base and thickness of hard-surfaced pavement (concrete or asphalt compacted).

Sheet 3. Erosion Control Plan

Provide all erosion control information as follows:

- a. The Erosion Control Plan must show: (1) existing site conditions, (2) site construction information, and (3) final site conditions. Depending upon the complexity of the site, 1 – 3 sheets may be needed.
- b. Show site boundaries, adjacent lands, and label each parcel.
- c. Show lakes, streams, wetlands, channels, ditches, and other water courses on the site and adjacent lands.
- d. Locate the 100-year floodplain including flood fringe, floodway, and flood storage.
- e. Locate and identify the predominant soil types and the existing vegetative cover.
- f. Locate and provide dimensions of on-site and off-site storm water drainage systems and natural drainage patterns on and immediately adjacent to the site, and the size, slope, and land cover of the upslope drainage areas.
- g. Locate and provide dimensions of utilities, structures, roadways, highways, and paving.
- h. Show proposed final finished topography at a contour interval not to exceed one-half (1/2) foot (a 5-foot contour is acceptable for slopes greater than 20%).

- i. Locate all proposed land disturbing activities or land developing activities.
- j. Locate and provide dimensions of all site erosion control measures necessary to meet ordinance requirements.
- N/A k. Show trees to be protected during construction by placing a barrier beyond the drip line of the tree canopy.
- l. Provide a written commitment on the face of the plan to maintain erosion control measures during construction.
- m. Show temporary seeding and/or mulching measures during the project time frame.
- n. Show the location of on-site soil stockpiles. Location by owner on const. sequence
- o. Include a chronological sequence of land disturbing, construction, and erosion control activities, including temporary or permanent stabilization, with a schedule and timeframe.
- p. Show the final site conditions, including final vegetation or other ground cover.

Sheet 4. Landscape & Lighting Plan

- a. Identify all exterior lighting fixtures, either mounted on the building or freestanding light along with dispersion pattern, intensity of light and cut-off shielding that reflects light downward and in which the light source is not visible from adjacent properties.
- b. Locate all trees over six (6) inches in diameter and indicate whether they will remain, be relocated or be removed. Identify any other significant vegetation that is to remain and the means of protection during construction.
- c. Identify the location, size, species and variety of proposed trees, shrubs, ground cover and other landscape features that will be used to control erosion, or screen parking, truck loading, refuse disposal, and outdoor storage from adjacent residential districts and the public right-of-way.
- d. Identify the finished height and width of landscape elements. Provide a planting schedule that includes a key abbreviation, graphic symbol of vegetation, botanical name of plants, common name of plants, quantity of plants, size of plant at planting, and size of plant at maturity.
- e. Identify type of temporary and finishing materials, including seeded grass, sod, type of mulch in planting beds, pavers, concrete and asphalt.

Sheet 5. Architectural & Construction Plans

- a. Provide dimensioned elevations of all exterior walls (photographs may be substituted for existing elevations to remain unchanged).
- b. Identify the size of basement/below grad space or clearly mark "not below grade space" on the site plan.

c. Identify by list the type of roof, wall and all trim materials, colors and textures.

d. Changes or additions to existing buildings or materials clearly identified.

Sheet 6. Floor Plans (2 sets)

a. Provide standard floor plans of all floors including the basement.

The Community Development Director may require additional information or may waive submission requirements as deemed necessary for thorough and efficient review.

Additional Sheets and/or Information Submitted:

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.

NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. 978505, BY KNIGHT BARRY TITLE SERVICES LLC, DATED JULY 25, 2018. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

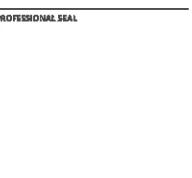
Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
KsA	Keokuk sandy clay loam, 0 to 3 percent slopes	C/D	0.8	100.0%
Totals for Area of Interest				0.8 100.0%

PROJECT INFORMATION

PROPOSED ADDITION FOR: **ABSOLUTE SUPPLY** 1560 BOHM DRIVE • LITTLE CHUTE, WI

PROFESSIONAL SEAL



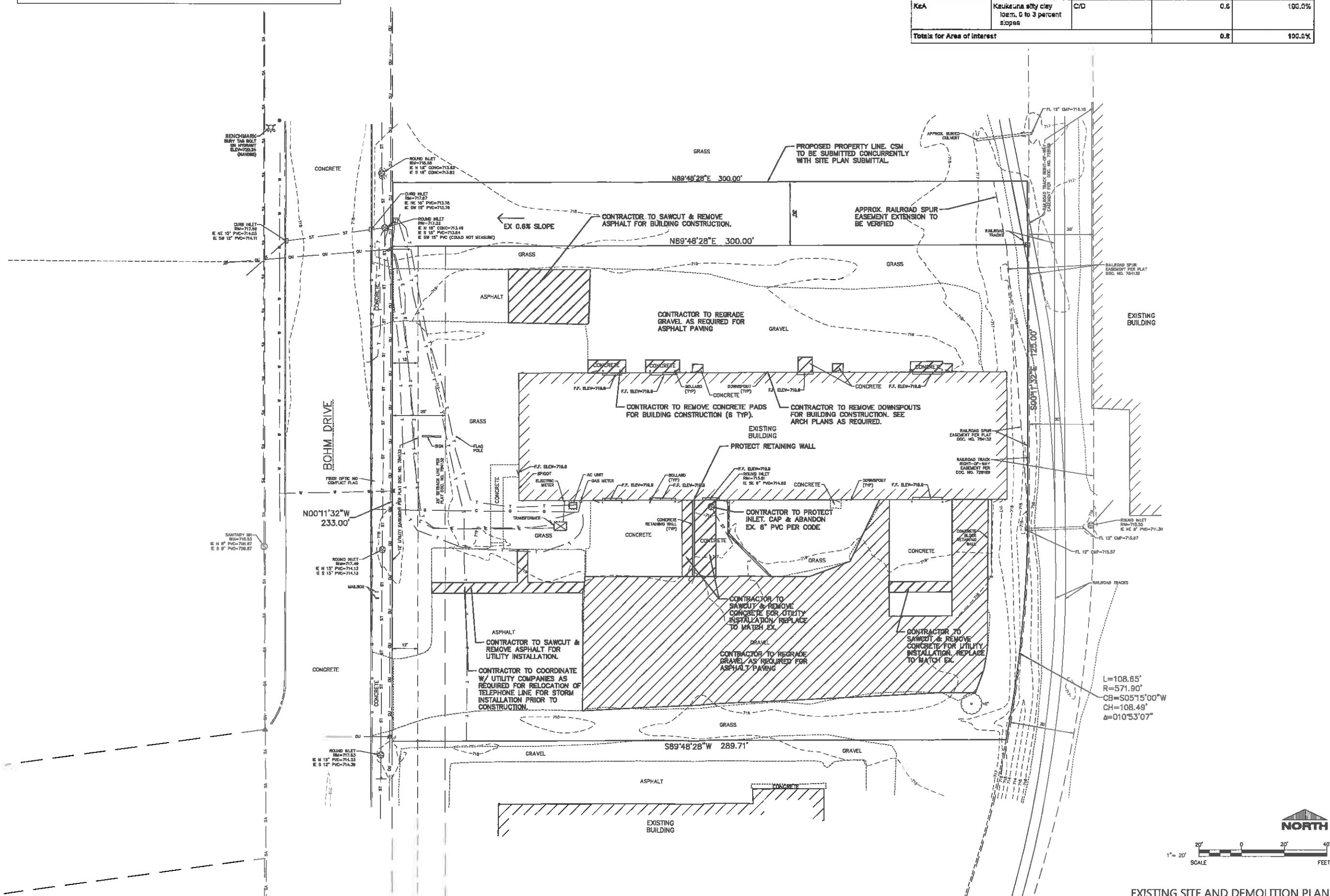
PRELIMINARY DATES
NOV. 7, 2018

NOT FOR CONSTRUCTION

JOB NUMBER
1827400

SHEET NUMBER

C1.1



SITE INFORMATION:

TAX KEY: 260273900

PROPERTY AREA: AREA = 78,524 S.F. (1.80 ACRES).

EXISTING ZONING: INDUSTRIAL DISTRICT

PROPOSED ZONING: INDUSTRIAL DISTRICT

PROPOSED USE: WAREHOUSE

PRODUCTS & OPERATIONS: MANUFACTURING, WATERJET CUTTING, AND MATERIAL SALES.

AREA OF SITE DISTURBANCE: 23,000 SF

SETBACKS: BUILDING: FRONT = 20'
SIDE = 10' + 1' / 3' BLDG HT > 35'
REAR = 15'-NA ABUTS RR

PAVEMENT: FRONT = 5'
SIDE = 5'
REAR = 5'

PROPOSED BUILDING HEIGHT: 32'-6" (MAX. HEIGHT: 150')

PARKING REQUIRED: 1 SPACE PER EMPLOYEE ON LARGEST SHIFT (15 SPACES REQ.)

EXISTING PARKING : 15 SPACES

BUILDING OCCUPANCY CLASSIFICATION = B / S-2 CONSTRUCTION TYPE: 2B

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 10%

NO HAZARDOUS MATERIALS WILL BE STORED ON SITE

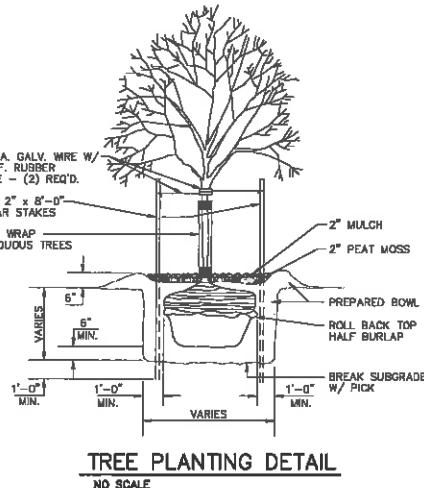
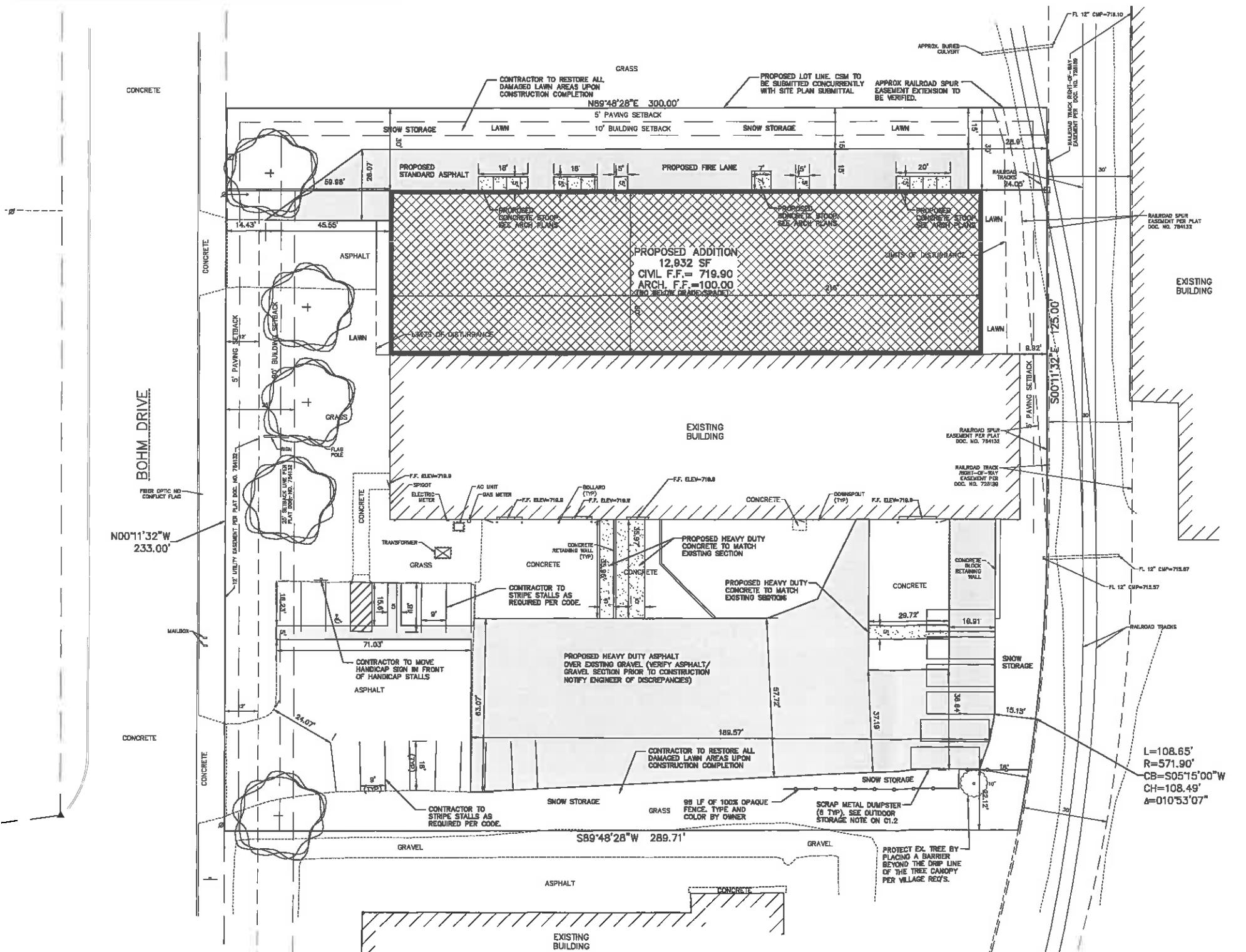
<u>EXISTING SITE DATA</u>		AREA (AC)	AREA (SF)	RAT
PROJECT SITE		1.60	69,530	
BUILDING FLOOR AREA		0.32	13,820	19.5
PAVEMENT (ASP., GRAVEL & CONC.)		0.75	32,508	48.5
TOTAL IMPERVIOUS		1.07	48,428	66.5
LANDSCAPE/ OPEN SPACE		0.53	23,102	33.2

<u>PROPOSED SITE DATA</u>		AREA (AC)	AREA (SF)	RAT
PROJECT SITE		1.60	76,524	
BUILDING FLOOR AREA		0.61	26,744	34.5
PAVEMENT (ASP., GRAVEL & CONC.)		0.63	27,517	35.0
TOTAL IMPERVIOUS		1.25	54,281	69.5
LANDSCAPE/ OPEN SPACE		0.56	24,283	30.5

OUTDOOR STORAGE NOTE:
EXISTING STORAGE AROUND SITE TO BE CLEANED UP PRIOR TO CONSTRUCTION & TO
REMAIN INSIDE PROPOSED ADDITION. THE ONLY STORAGE OUTSIDE WILL BE SCRAP METAL
DUMPSTER'S THAT WILL BE LOCATED ON THE SOUTH SIDE OF THE EXISTING BUILDING
AND ON THE EAST SIDE OF THE PROPERTY. A 100% OPAQUE FENCE WILL BE PROVIDED
ON THE SOUTH PROPERTY LINE AS NEEDED TO SCREEN THE SCRAP METAL DUMPSTER'S
FROM ANY VIEWS TO E. NORTH AVE.

LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
	Sugar Maple	<i>Acer saccharum</i>	2-1/2"	5

REQUERED: 5 TREES AS CLOSE AS POSSIBLE TO WITHIN 10' OF FRONT PROPERTY LINE
PROVIDED: 5 TREES (EXCL DRIVEWAYS)
EXISTING 12' UTILITY EASEMENT ALONG BOHM DRIVE
TREES REQUIRED TO BE OUTSIDE OF UTILITY EASEMENT



PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
1560 BOHM DRIVE • LITTLE CHUTE, WI

MINARY DATES
7, 2018

NUMBER
7400
NUMBER
C1.2



A horizontal scale bar with four tick marks. The first and third tick marks are labeled '20' with a single tick mark between them. The second and fourth tick marks are labeled '0' with a single tick mark between them. The entire length of the scale bar is labeled '40' at its right end. Below the scale bar, the word 'SCALE' is written on the left and 'FEET' is written on the right.

SITE AND LANDSCAPE PLAN

NUMBER

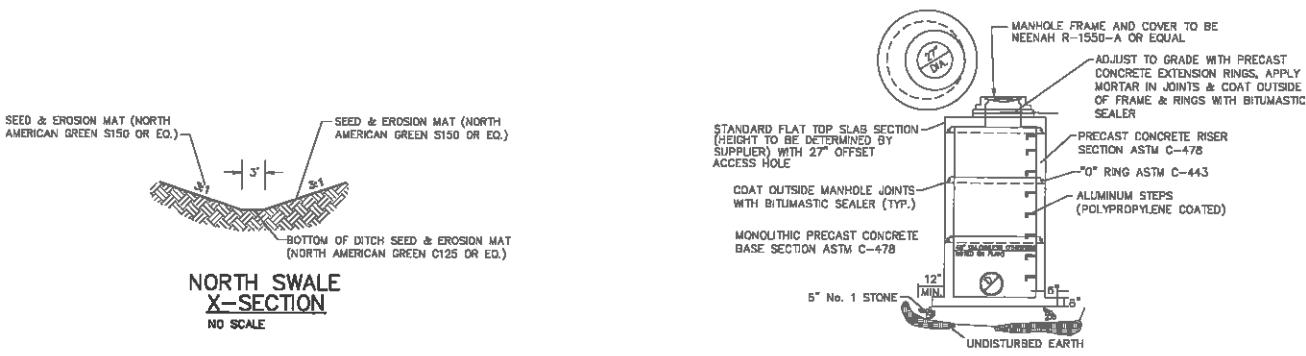
SITE AND LANDSCAPE PLAN

SITE AND LANDSCAPE PLAN

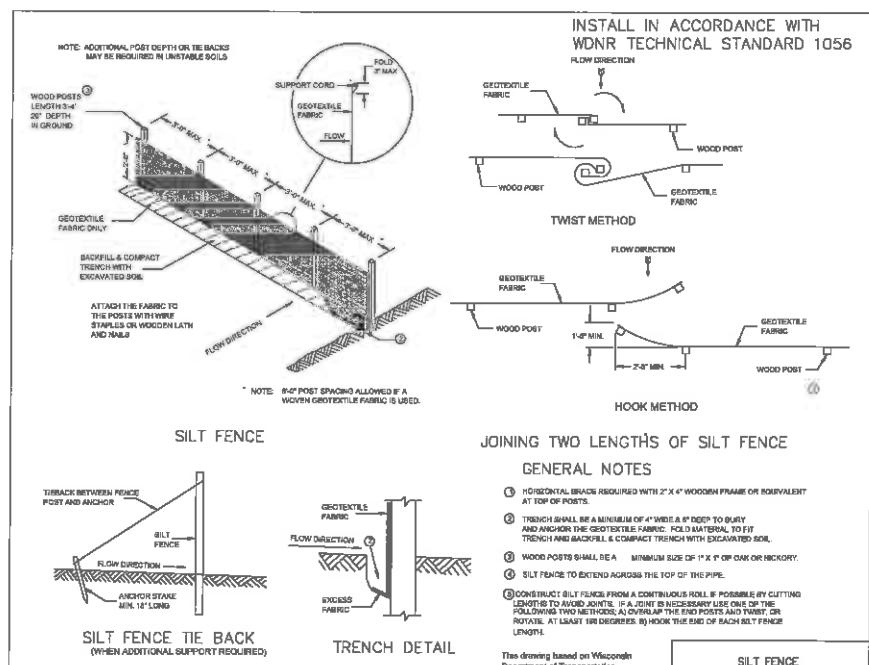
PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
1560 BOHM DRIVE • LITTLE CHUTE, WI

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	<ol style="list-style-type: none"> 1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. CONTRACTOR TO MAKE SURE THE REGIONAL STORMWATER POND IS IN PLACE BEFORE CONSTRUCTION CAN BEGIN. 3. PLACE ALL SILT FENCE. 4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS. 5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. 6. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS. 7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	<ol style="list-style-type: none"> 1. SITE DEMOLITION AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE, LOCATION BY OWNER, SURROUND W/ SILT FENCE. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	<ol style="list-style-type: none"> 1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

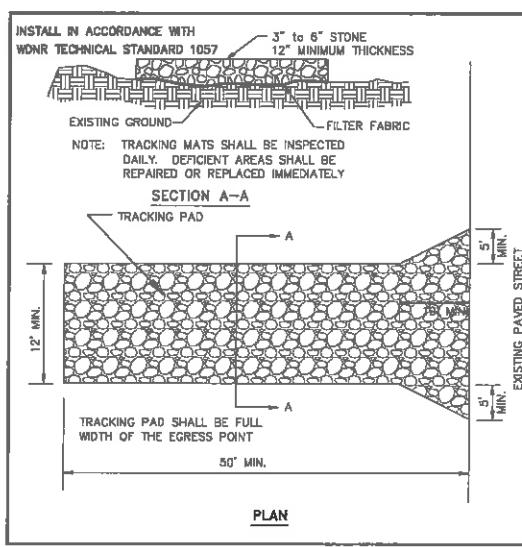
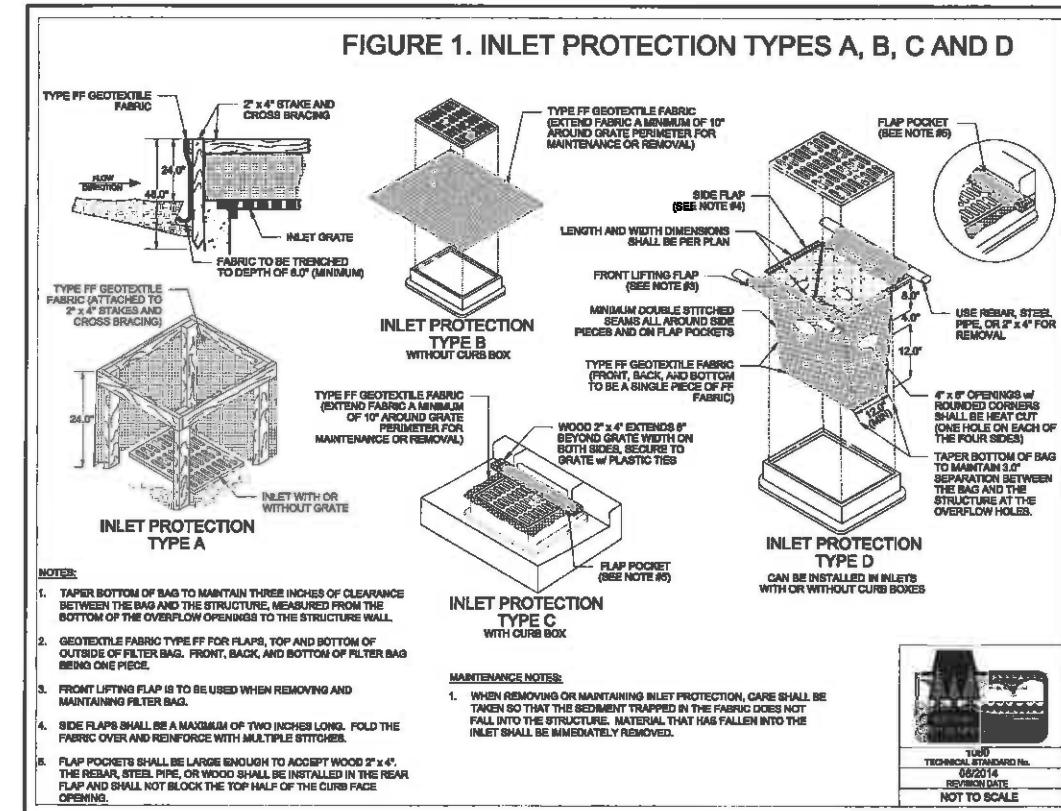
CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



STORM MANHOLE DETAIL
NO SCALE



SILT FENCE - INSTALLATION DETAIL
NO SCALE



TRACKPAD DETAILS
NO SCALE

PROPOSED ADDITION FOR:
ABSOLUTE SUPPLY
1560 BOHM DRIVE • LITTLE CHUTE, WI

PRELIMINARY DATES
NOV. 7, 2018

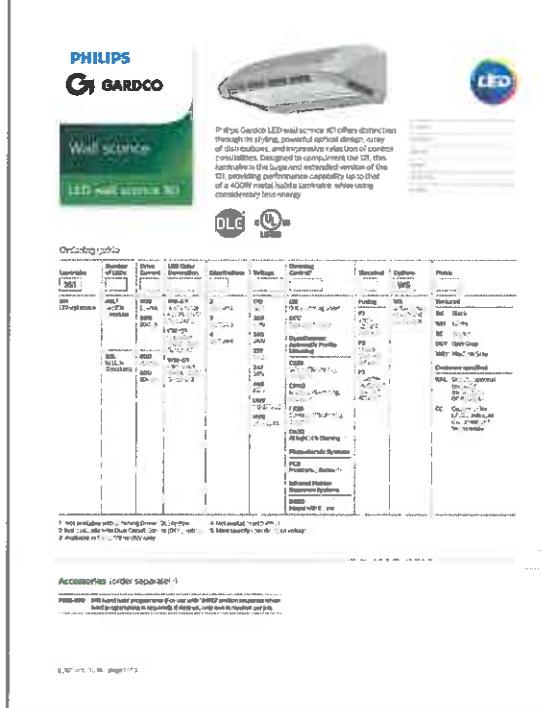
NOT FOR CONSTRUCTION

JOB NUMBER
1827400

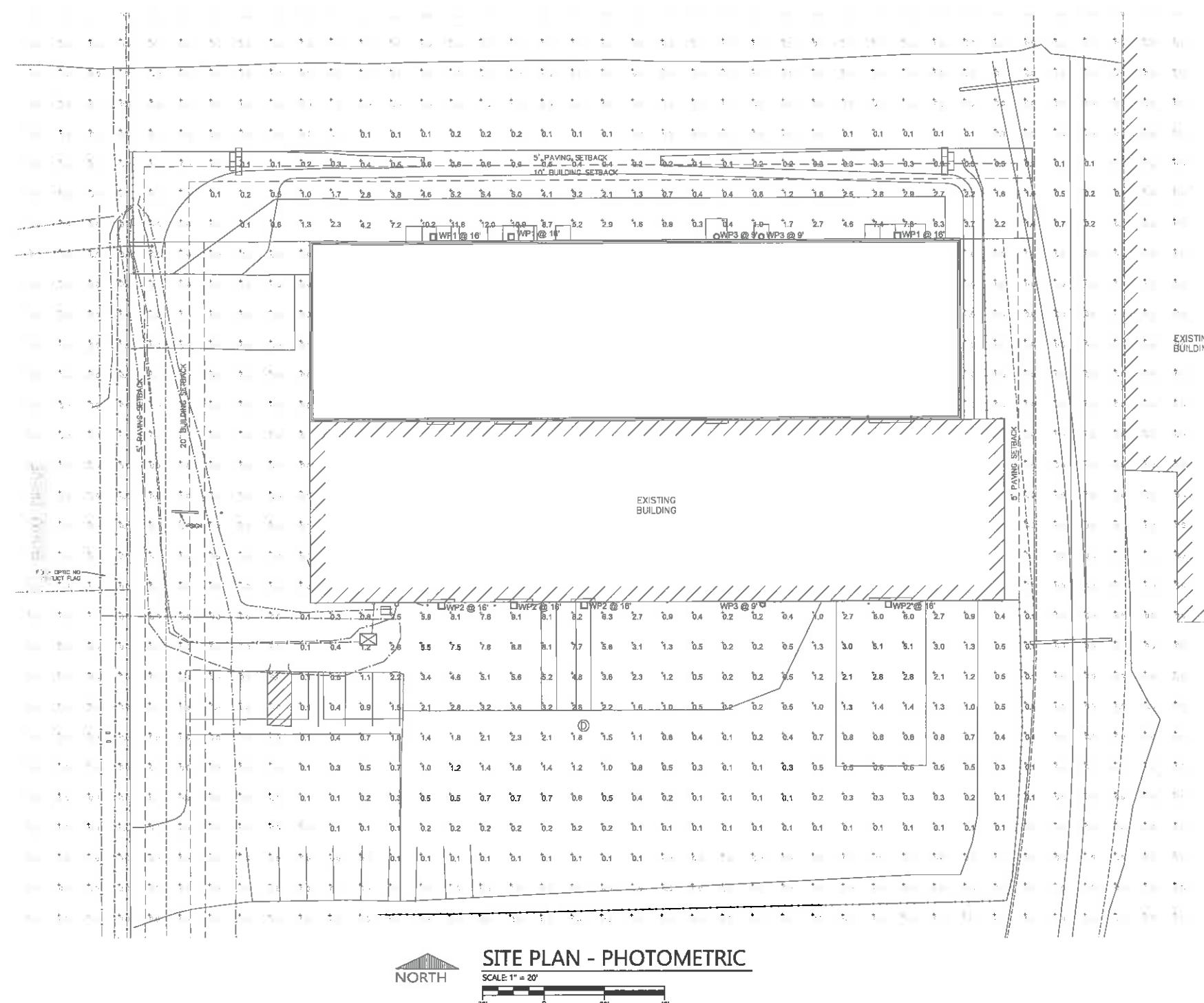
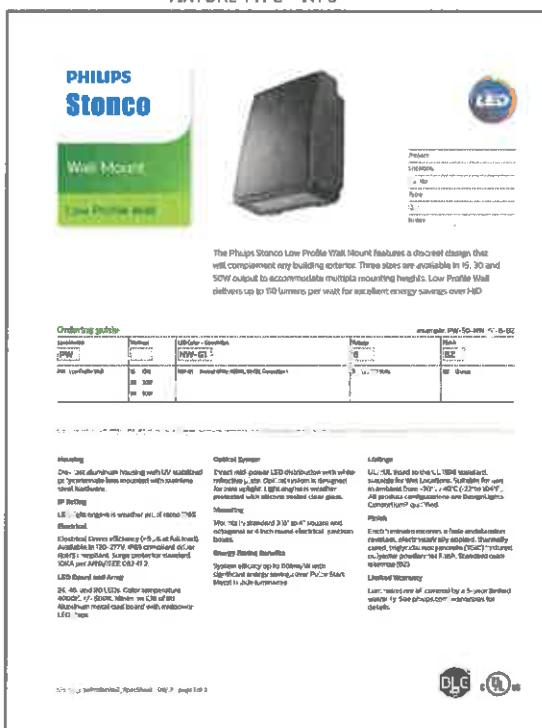
SHEET NUMBER

PXP

Fixture Type - WP1, WP2



Fixture Type - WP3



SITE PLAN - PHOTOMETRIC

SCALE: 1" = 20'
20' 0' 20' 40'

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Filename
□	WP1	3	PHILIPS GARDCO	161-46L-600-NW-G2-2	161 LED Source, 48 LEDs, 72 OPTICS, 4000K	(1) 160 LIGHT ARRAY OF 48 LEDs (XP632) DRIVEN AT 600mA	1	10988	0.9	91	161-46L-600-NW-G2-2.IES
□	WP2	4	PHILIPS GARDCO	161-46L-603-NW-02-4	161 LED Source, 46 LEDs, 74 OPTICS, 4000K	(1) 160 LIGHT ARRAY OF 46 LEDs (XP632) DRIVEN AT 600mA	1	10246	0.9	91	161-46L-603-NW-G2-4.IES
○	WP3	3	PHILIPS STONCO	PW16-NW-G1-6	Philips Stonco Low Profile Wall		1	1568	0.9	15	PW16-NW-G1-6.IES

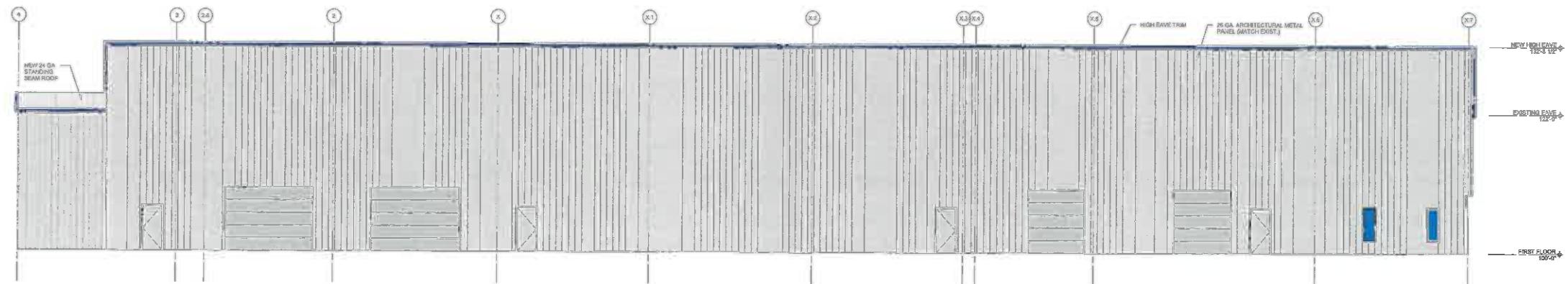
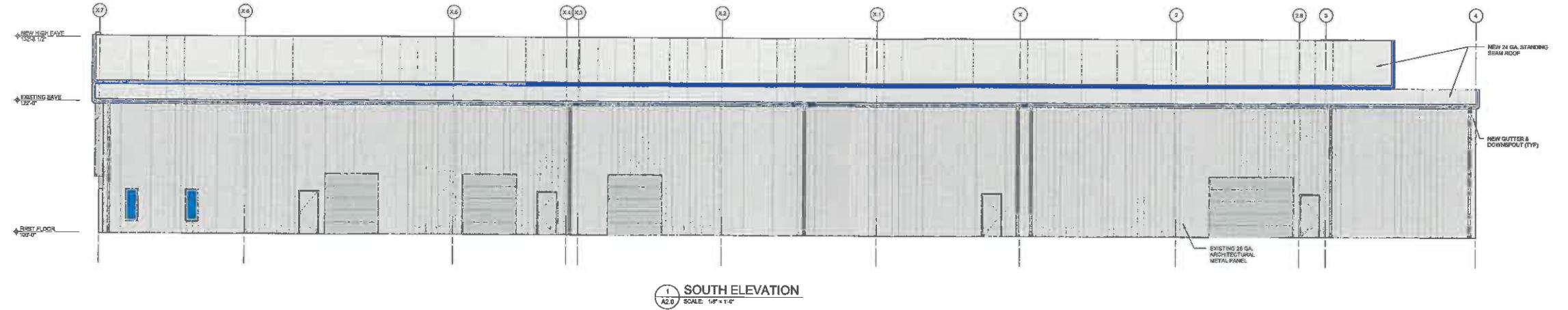
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.2 ft	12.0 ft	0.0 ft	N/A	N/A

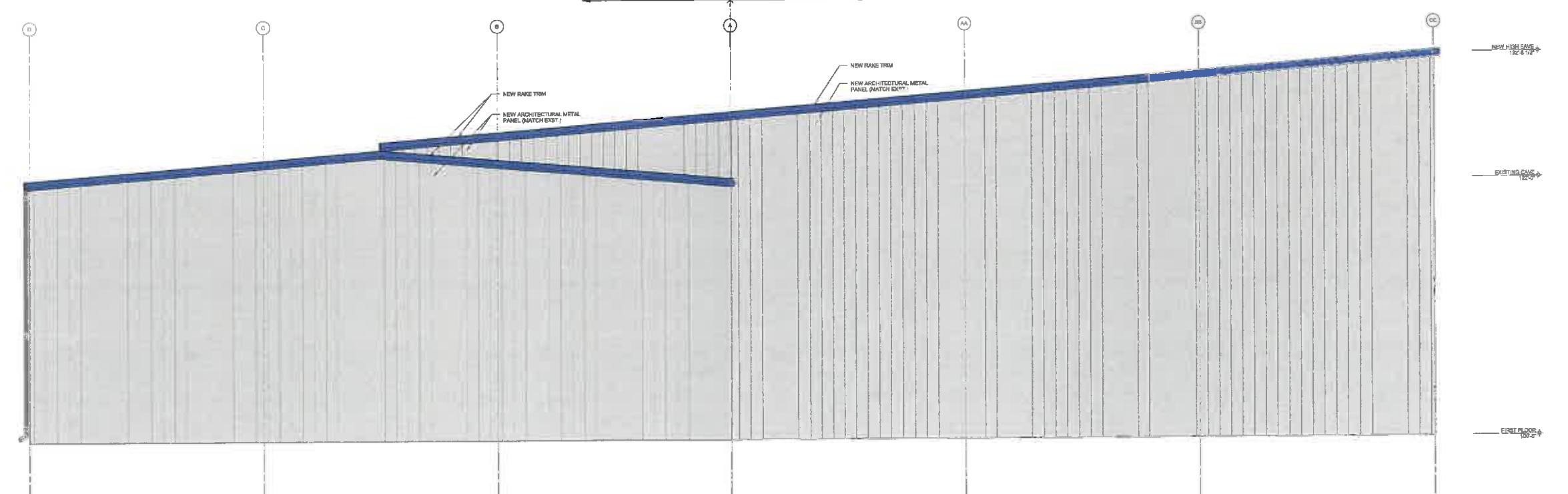
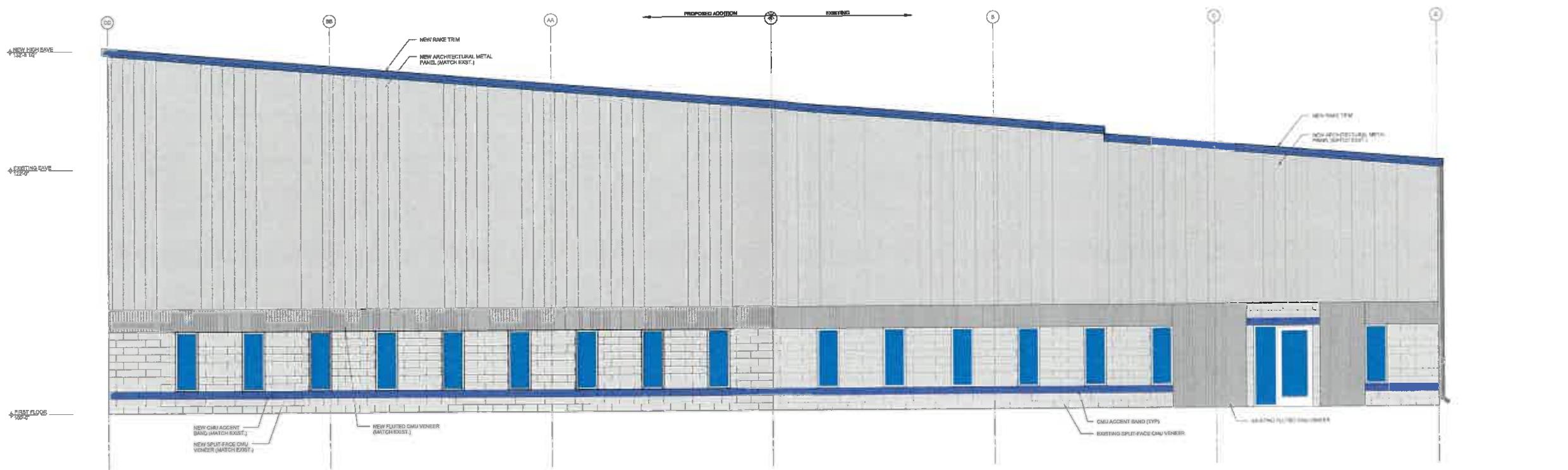
PROPOSED BUILDING ADDITION FOR:
ABSOLUTE SUPPLY, LLC
1560 BOHM DRIVE • LITTLE CHUTE, WI 54140

PROFESSIONAL SEAL

PRELIMINARY DATES
NOV. 7, 2018

NOT FOR CONSTRUCTION





**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION**

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS
APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS 1540 BUCHANAN ST.

LEGAL DESCRIPTION LOT 1, CSM 7573, VILLAGE OF LITTLE
CHUTE, OUTAGAMIE COUNTY, WISCONSIN

PROPERTY OWNER(S) STEELHEART, LLC TELEPHONE 920-788-6442

ADDRESS/ZIP 1540 BUCHANAN ST. FAX 920-788-1949

APPLICANT MACH IV ENGINEERING + SURVEYING

CHECK: Architect Engineer Surveyor Attorney Agent Other

ADDRESS 2260 SALSCHIEDER CT. TELEPHONE 920-569-5765

CITY/ZIP GREEN BAY, WI 54313 FAX 920-569-5767

DESCRIBE IN DETAIL THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY

PROPOSED MANUFACTURING ADDITION TO LEE'S CONTRACTING
+ FABRICATING.

GROUND FLOOR ELEVATION 724.40 LOT SIZE 6.24 AC FLOOR AREA 24,500 ft.² ADDITION

NUMBER OF STORIES IN BLDG 1 BASEMENT YES NO BUILDING HEIGHT 29'3"

TOTAL CURRENT EMPLOYEES 15 ON ~~5~~ EMPLOYEES ADDED BY EXPANSION 4

IMPERVIOUS SURFACE COVERAGE SQ. FT 291,898 # OF PARKING SPACES 38

I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE Rob A. Mach

DATE 11/14/2018

<u>44-387(f)</u>	<u>Site plan review fee</u>	<u>\$300.00</u>
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

SITE PLAN REVIEW PROCEDURES

Site Plan Review is an administrative process that is held after the completed plans are received. The Site Plan Review process is required for all new or modified Commercial, Industrial, Institutional and Multi-family uses, listed under the Zoning Ordinance.

Early in the process, consult the Site Plan Application Checklist (attached) for a complete list of plan requirements and consult the Community Development Director for initial reaction and assistance. In addition, please notify utility companies regarding your proposed development.

Eight total sets of plans and one application per Site Plan must be submitted to the Community Development Director. The Site Plan Set will include Site, Parking, Paving, Utilities, Grading, Drainage, Erosion Control, Landscape, Architectural Elevations, Photometric, Noise Evaluation, and Signage Plans. In addition, two sets of Floor Plans need to be submitted.

The Community Development Department, along with the other Village departments, will review the Site Plan. The Applicant will be notified as soon as possible of additional information/requirements to make the Site Plan complete and in compliance with Village codes for approval of the plan.

When a revised Site Plan is resubmitted, at least five signed and dated copies of the Major Site Plan are needed. The Community Development Director will approve, approve with conditions, refer back for changes, or deny the design of the project plan. Once the Major Site Plan is approved, a signed copy and approved application are given to the Applicant, the Owner, and also placed on file in the Community Development Department. The approval of a Site Plan shall remain valid for one (1) year. Please note, Site Plan approval does not constitute approval of a Building Permit, Paving or any required approvals for a curb cut from the Department of Public Works.

SITE PLAN CHECKLIST

This Site Plan checklist has been prepared to provide the Applicant with a clear understanding of what is needed to complete a Site Plan Review. It is our hope that by providing a very detailed list of information to be shown on the Site Plan Set and a specific format for its presentation, review time will be kept to a minimum and you will avoid costly time delays caused by incomplete plans. Your courtesy in following the checklist carefully will insure prompt review and approval at the earliest possible date.

APPLICATION FORM AND SITE PLAN SET

Application forms are available from the Community Development Department and shall be filed 45 days prior to any request for permits. Those who may file are the property owner, a person having the lawful power of attorney, or a representative of the owner such as an architect, engineer, or other agent designated by the property owner. In any case, no application will be accepted without an original signature of the property owner(s) or his/her agent. All blanks on the application must be filled in or an explanation given in a letter of intent.

When the applications, Site Plan set, documentation, and other required information have been prepared, **please schedule an appointment with the Community Development Director. DO NOT just drop off plans, as this will delay acceptance.** Plans will not be accepted for processing until staff has completed an initial review. An incomplete application or a Site Plan set lacking complete information will be refused acceptance.

THE RECOMMENDED FORMAT FOR A COMPLETE APPLICATION SHOULD INCLUDE:

- A completed Site Plan Application Form
- Calculations for sanitary sewer and water
- Calculations for storm sewer design
- All Site Plan Sets to include:
 - Sheet 1 – Title Sheet, Site Plan Layout & Streets
 - Sheet 2 – Utilities, Grading & Drainage Plan
 - Sheet 3 – Erosion Control Plan
 - Sheet 4 – Landscape & Lighting Plan
 - Sheet 5 – Architectural Elevations & Construction Details
- Any other plans or information deemed necessary by the Community Development Director.
- 2 Floor Plan Sets

Submit the completed applications, calculations and 12 Site Plan Sets to:

Community Development Director
108 W Main St.
Little Chute, WI 54140

SITE PLAN SET

Plans which are submitted for review shall be drawn to an appropriate scale on sheets of uniform size, recommended at 24" x 36". A total of four (4) complete folded full size and 4 (11X 17) sets shall be submitted to the Community Development Director.

A Site Plan Set consists of the following information:

- 1. All full size sheets shall be of uniform size recommended at 24" x 36".
- 2. All plans are recommended to be drawn to a 1" = 20' scale. The same scale must be used for all full size plans.
- 3. All sheets shall be numbered.
- 4. The signature of the surveyor, engineer, or architect who is responsible for plan preparation is required on all sheets in the Final Set of (5) five. These shall be dated with revision date(s) stated.

All major site plans shall include as a minimum all of the following items of information:

Sheet 1. Title, Site Plan Layout & Streets Sheet

- a. Name of project, address, legal description of property, tax key number of each lot, description of proposed use and both existing and proposed zoning descriptions.
- b. Location map.
- c. Name, address and phone number of the record property owner and site plan preparer (include fax number if available).

- d. The signature of the surveyor, engineer or architect who is responsible for site plan preparation along with the revision date(s) clearly marked on the plan.
- e. North arrow, date of preparation, revision dates and scale.
- f. Name(s) of adjacent or surrounding streets.
- g. Recorded property lines and their dimensions.
- h. The total land area in the development including the percentage of lot coverage for all impervious surface areas.
- i. The location and architectural features of all existing and proposed structures, including occupancy classification of each structure as identified in the State Building Code, dimensions, number of stories and their locations on the parcel.
- j. Identify what types of products will be manufactured, sold and/or stored on site.
- k. Identify all types of hazardous materials to be stored on site. If none, state "No hazardous materials will be stored on site".
- l. Identify if there will be food and/or beverage sales, a public swimming pool, whirlpool, or overnight lodging at this location.
- m. If buildings are to be removed, the site plan shall so indicate.
- n. A note shall appear on the site plan that indicates the calculations for parking and loading requirements which must identify: all existing uses on the property; the number of existing, proposed and future employees based on a five (5) year projection; the gross floor area and useable floor area for existing buildings, expanded buildings and proposed buildings; a calculation of required handicapped accessible parking spaces. Any joint use of parking must be in writing, approved by the Planning Director, signed by both parties involved and attached and recorded in the Register of Deeds Office.
- o. Show barriers, curbing or wheel stops.
- p. Existing and proposed driveways and parking lots including: pavement markings to show traffic flow; parking stall sizes and layout; handicap stalls and ramps; loading zone; driveway widths and radii or flares on driveway aprons to public streets. For parking areas, identify all proposed and existing stop signs at all private driveway exits onto public roadways. If stop signs are required, add a note on the site plan identifying: "Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version."
- q. If existing curb cuts are to be abandoned, the statement "Curb cut will be closed per Village of Little Chute standards" shall be clearly noted on the site plan.

n/a r. For drive-through uses, show vehicle stacking spaces and pedestrian access to entry doors that do not cross drive-through lanes.

s. Provide recycling calculations and locations according to the State Building Code.

t. Identify all existing and proposed sidewalks with grade elevations and handicap access at driveways.

u. Identify snow storage areas located outside of setbacks, in required parking areas and vision clearance triangles.

v. Dimensions of all required yard setbacks for buildings and off-street parking.

w. The location and extent of all existing and proposed outdoor storage and outdoor display.

x. The location and detail of refuse containers and their enclosures, sidewalks, other pedestrian-type walkways, bicycle storage racks, traffic control dividers, tree islands and other similar improvements.

y. The location of all mechanical equipment and the type of screening provided.

z. Location of existing and proposed signage, sign elevation showing the height of sign to grade, height and face dimensions, colors, typeset, materials, lighting and orientation of signage.

aa. Location, height, elevations and materials of all fences or retaining walls.

bb. Location, size and use of any buildings, driveways and public rights-of-ways within fifty (50) feet of property lines and driveways.

cc. Identify the types of fire protection/detection systems will be used.

n/a dd. Show on-site fire hydrants, Fire Department hose connections, and the respective flow calculations to meet the International Fire Code for installed fire protection systems.

ee. Identify the location and presence of all fire related wall assemblies.

ff. Identification of the class of construction in accordance with State Building Code.

gg. Identify streams, wetlands, channels, ditches and other watercourses on the site and on adjacent properties.

hh. Identify the 100-year floodplain, including flood fringe, floodway and flood storage areas.

ii. Identify storm water flow, directions, detention, and management facilities.

jj. Identify all open space that will remain undisturbed and undeveloped.

N/A kk. Multi-family residential projects shall include additional information that identifies the total acres of subject property, the total number of dwelling units and density per acre and the percentage of proposed site covered for buildings and hard-surfaced areas as opposed to green space and landscaping.

Sheet 2. Utilities, Grading & Drainage Plan

- a. When abutting a site plan project, any public right-of-way shall be identified with accurate locations for existing and proposed facilities such as streets, curbs, sidewalks, sidewalk planters, street trees, utility poles, traffic signs and signals, median islands, project driveways, driveways on opposite street frontages, bus stops and other improvements. Elevations of sidewalks at property lines and elevations to indicate handicap accessibility shall be identified. The following statement shall be clearly noted on the site plan, "*Any existing sidewalk damaged during construction shall be replaced as a part of this project*".
- b. Locate and label, whether underground or overhead, all existing and proposed utility lines and easements with sizes and material designations, and slopes (as needed), including sanitary sewer (manholes, laterals and clean outs), storm sewer (manholes, laterals, and catch basins), water (laterals, fire lines, valves and meters), fire hydrants, gas, telephone, cable and electric lines.
- c. Calculate drainage area for each catch basin. Indicate the size and slope of utility lines that will be tapped into the adjacent street.
- d. Show all existing and proposed public and private easements for utility, drainage, sewer, parking, access and other purposes, and all easements on surrounding properties benefiting the subject property. If existing utilities are to be abandoned, clearly state the method of abandonment.
- N/A e. State the provider of sanitary and water if not provided by the Village of Little Chute and provide written documentation of approval from said provider.
- f. Identify all existing and proposed sanitary sewer mains and laterals, including: methods of connection to public mains, easements, size, materials, slope, manholes, rim elevation, invert elevations, clean outs, plumbing code calculations, how many drainage fixture units and public mains for connection.
- g. Identify all existing and proposed water mains and laterals, including easements, size, depth, materials, tracing wires, hydrants, method of connection valves, meters, plumbing code calculations, how many water supply fixture units and public mains for connection.
- h. Identify all existing and proposed storm sewer mains and laterals, including the method of connection to the public main, easements, size, materials, slope, manholes, inlets, catch basins, yard drains, rim elevations, invert elevations, area map for drainage to each catch basin, square feet draining to each catch basin, plumbing code calculations, roof drain discharges and/or connections, square foot of roof area and public systems for

connection.

- i. Identify all existing and proposed surface run-off features, including easements, swales, open channels, type of surface, rip rap, flow path of runoff from upstream areas, and flow path for run-off leaving the site including the public system adjacent to or for connection.
- j. Identify existing topography (by dashed lines) at one (1) foot intervals and proposed grade elevations for the building, parking lot, catch basin inlet, rim and invert elevations, drives, surrounding open areas and including all property within fifty (50) feet using contour lines and spot elevations and drainage flow arrows as needed to define drainage patterns.
- k. List all existing and proposed grades for first floor elevations and catch basin inlet rim and invert elevations.
- l. Show details of all existing and proposed retaining walls, swales, and inlets.
- m. Provide cross-sections for all pavement and identify depth of base gravel base and thickness of hard-surfaced pavement (concrete or asphalt compacted).

Sheet 3. Erosion Control Plan

Provide all erosion control information as allows:

- a. The Erosion Control Plan must show: (1) existing site conditions, (2) site construction information, and (3) final site conditions. Depending upon the complexity of the site, 1 – 3 sheets may be needed.
- b. Show site boundaries, adjacent lands, and label each parcel.
- c. Show lakes, streams, wetlands, channels, ditches, and other water courses on the site and adjacent lands.
- d. Locate the 100-year floodplain including flood fringe, floodway, and flood storage.
- e. Locate and identify the predominant soil types and the existing vegetative cover.
- f. Locate and provide dimensions of on-site and off-site storm water drainage systems and natural drainage patterns on and immediately adjacent to the site, and the size, slope, and land cover of the upslope drainage areas.
- g. Locate and provide dimensions of utilities, structures, roadways, highways, and paving.
- h. Show proposed final finished topography at a contour interval not to exceed one-half(1/2) foot (a 5-foot contour is acceptable for slopes greater than 20%).
- i. Locate all proposed land disturbing activities or land developing activities.
- j. Locate and provide dimensions of all site erosion control measures necessary

to meet ordinance requirements.

- k. Show trees to be protected during construction by placing a barrier beyond the drip line of the tree canopy.
- l. Provide a written commitment on the face of the plan to maintain erosion control measures during construction.
- m. Show temporary seeding and/or mulching measures during the project time frame.
- n. Show the location of on-site soil stockpiles.
- o. Include a chronological sequence of land disturbing, construction, and erosion control activities, including temporary or permanent stabilization, with a schedule and timeframe.
- p. Show the final site conditions, including final vegetation or other ground cover.

Sheet 4. Landscape & Lighting Plan

- a. Identify all exterior lighting fixtures, either mounted on the building or freestanding light along with dispersion pattern, intensity of light and cut-off shielding that reflects light downward and in which the light source is not visible from adjacent properties.
- b. Locate all trees over six (6) inches in diameter and indicate whether they will remain, be relocated or be removed. Identify any other significant vegetation that is to remain and the means of protection during construction.
- c. Identify the location, size, species and variety of proposed trees, shrubs, ground cover and other landscape features that will be used to control erosion, or screen parking, truck loading, refuse disposal, and outdoor storage from adjacent residential districts and the public right-of-way.
- d. Identify the finished height and width of landscape elements. Provide a planting schedule that includes a key abbreviation, graphic symbol of vegetation, botanical name of plants, common name of plants, quantity of plants, size of plant at planting, and size of plant at maturity.
- e. Identify type of temporary and finishing materials, including seeded grass, sod, type of mulch in planting beds, pavers, concrete and asphalt.

Sheet 5. Architectural & Construction Plans

- a. Provide dimensioned elevations of all exterior walls (photographs may be substituted for existing elevations to remain unchanged).
- b. Identify the size of basement/below grad space or clearly mark "not below grade space" on the site plan.
- c. Identify by list the type of roof, wall and all trim materials, colors and textures.

d. Changes or additions to existing buildings or materials clearly identified.

Sheet 6. Floor Plans (2 sets)

✓ a. Provide standard floor plans of all floors including the basement.

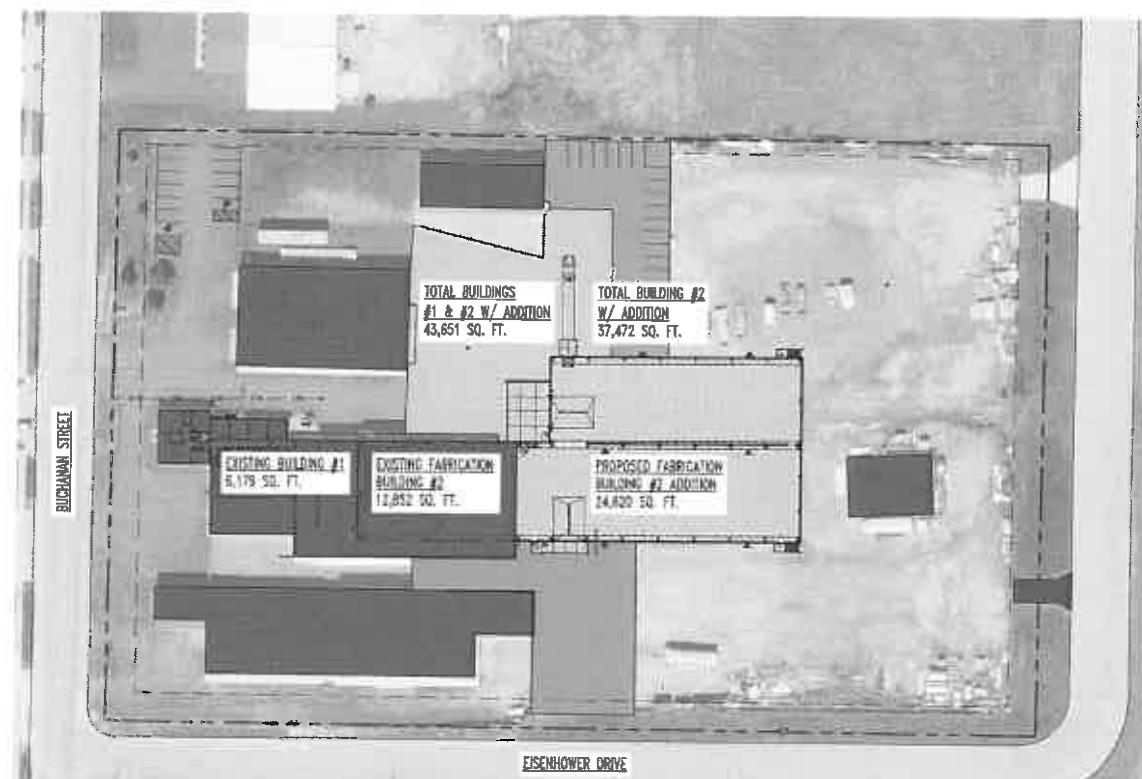
The Community Development Director may require additional information or may waive submission requirements as deemed necessary for thorough and efficient review.

Additional Sheets and/or Information Submitted:

LEE'S CONTRACTING & FABRICATING, INC.

FABRICATION SHOP ADDITION

1540 BUCHANAN STREET, LITTLE CHUTE, WI 54140



SHEET INDEX		
TS	SHEET INDEX, SYMBOLS KEY, BUILDING KEY	
CS	OVERALL SITE PLAN - SCHUH	
	S1.1 FOUNDATION PLAN	
	S1.2 ANCHOR BOLT DETAILS	
C0.1	COVER - MACH	
C1.0	EXISTING CONDITIONS/DEMOLITION - MACH	
C2.0	SITE PLAN - MACH	
C3.0	UTILITY PLAN - MACH	
C4.0	GRADING PLAN - MACH	
C5.0	EROSION CONTROL PLAN - MACH	
C5.1	EROSION CONTROL DETAILS - MACH	
C6.0	SITE DETAILS - MACH	
L1.0	LANDSCAPING PLAN - MACH	
LS1	OVERALL LIFE SAFETY PLAN	
A1.1	PROPOSED FLOOR PLAN	
A1.2	PROPOSED CRANE PLAN	
A3	EXTERIOR ELEVATIONS	
A4	BUILDING SECTIONS	
A5	BUILDING SECTION DETAILS	
SYMBOLS		
DIRECTION SECTION IS CUT	1 DETAIL NUMBER A3 SHEET SECTION IS LOCATED ON	
GRID LINE	1 GRID LINE DESIGNATION	
FINISH FLOOR ELEV. 100'-0"	ELEVATION TAG	
ROOM NAME 100	ROOM NAME AND NUMBER	
100A	DOOR TAG	
A	WINDOW TAG	
1 A3	ELEVATION NUMBER SHEET ELEVATION IS LOCATED ON	
1 A3	DETAIL NUMBER SHEET DETAIL IS LOCATED ON	
DIGGERS HOTLINE		
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE		
WISCONSIN STATUTE 162.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE		
THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.		
Return upon request.		
Bay Architects		
901 Parkview Rd Green Bay, WI 54304 920.337.9400 dvl@bayarch.net		
PLAN DEVELOPMENT LOG		
SET DESCRIPTION	DATE	PAGES INVOLVED WITH PLAN DEVELOPMENT SET
PLAN DEVELOPMENT SET #1	7-3-18	C1, A1, A3
PLAN DEVELOPMENT SET #2	7-30-18	TS, C1.1, C1.2, LS1, A1.1, A1.2, A3, A4
PLAN DEVELOPMENT SET #3	8-7-18	TS, C1.1, C1.2, LS1, A1.1, A1.2, A3, A4
PLAN DEVELOPMENT SET #4	8-10-18	TS, C1.1, C1.2, LS1, A1.1, A1.2, A3, A4
PLAN DEVELOPMENT SET #5	11-14-18	TS, C5, C2.1, C2.0, C3.0, C4.0, C5.0, C5.1, C6.0, L1.0, LS1, A1.1, A1.2, A3, A4, A5, S1.1, S1.2

LEE'S CONTRACTING & FABRICATING, INC.
FABRICATION SHOP ADDITION
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:
18-573

SHEET NO.:
TS



COVER SHEET

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schaff
CONSTRUCTION, INC.
Engineering JV's
State ID# 680499

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PROJECT:
LEE'S CONTRACTING & FABRICATING, INC.
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJ. NO.:

C1.0

Benchmarks

Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT

LEGAL DESCRIPTION

ALL OF LOT 1 OF CERTIFIED SURVEY MAP #7573 AS RECORDED IN VOLUME 46, PAGE 7573, DOCUMENT #2139136, WITHIN SECTION 15, T.21N, R.18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

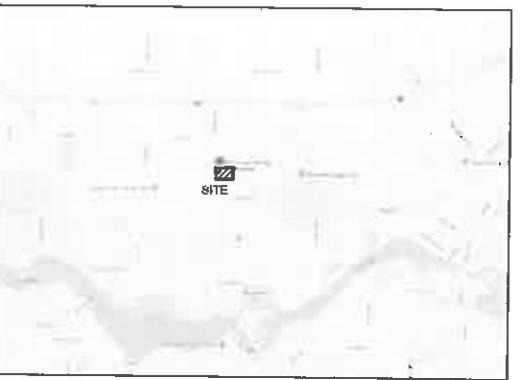
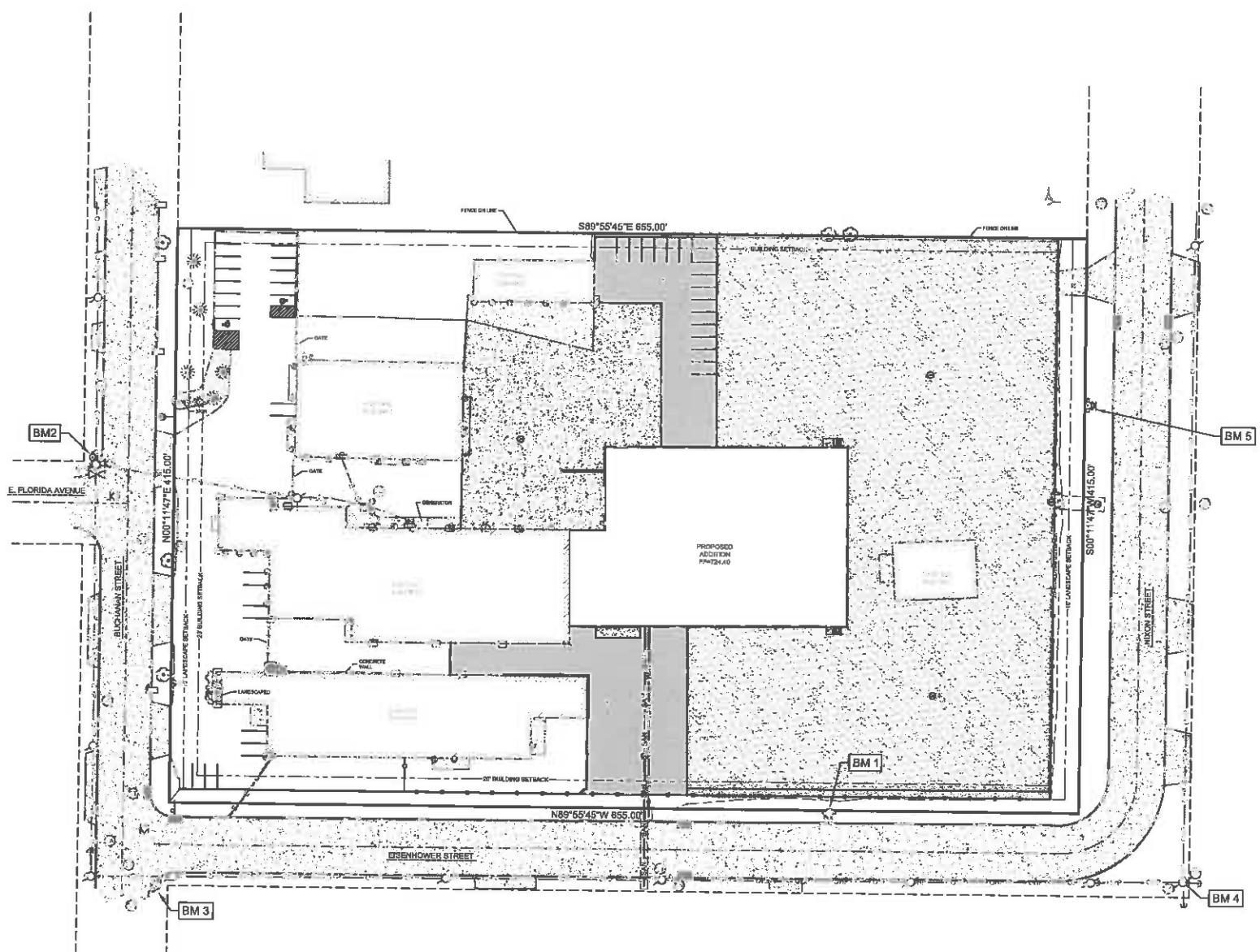
CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN

LOCATION MAP

1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

NOT TO SCALE

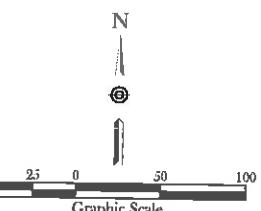


CIVIL GENERAL NOTES:

1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING, LLC. - OCTOBER 2018.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. UTILITY LOCATES PER DIGGERS HOTLINE WEB REQUEST #2018420B04.
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVE/GROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.

18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.

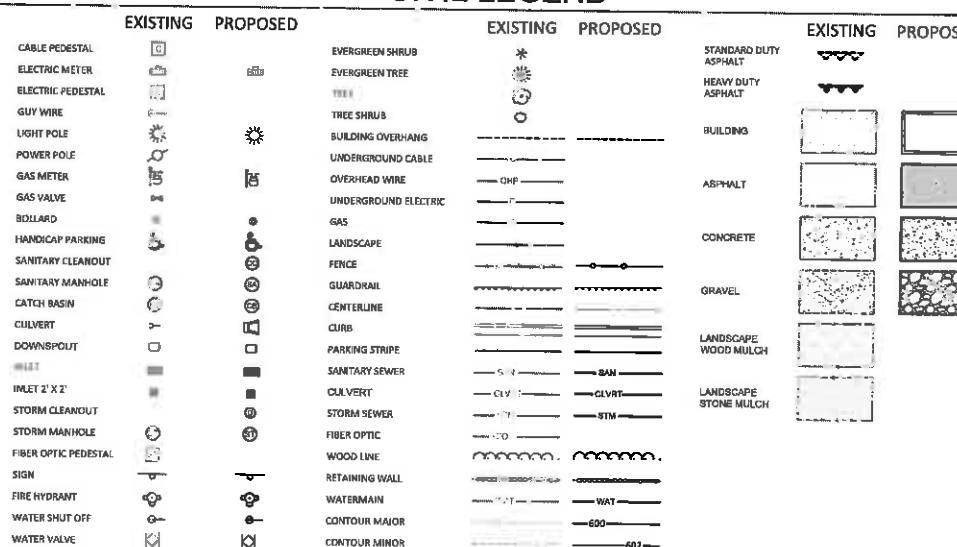
19. FOR NOTES SHOWN THUS, SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.



ABBREVIATIONS

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB	*	STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		THW		BUILDING	
GUY WIRE		TREE SHRUB			
LIGHT POLE		BUILDING OVERHANG		ASPHALT	
POWER POLE		UNDERGROUND CABLE		CONCRETE	
GAS METER		OVERHEAD WIRE		GRAVEL	
GAS VALVE		UNDERGROUND ELECTRIC		LANDSCAPE	
BOLLARD		GAS		WOOD MULCH	
HANDICAP PARKING		LANDSCAPE		STONE MULCH	
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET 2' X 2'		SANITARY SEWER			
STORM CLEANOUT		CULVERT			
STORM MANHOLE		STORM SEWER			
FIBER OPTIC PEDESTAL		FIBER OPTIC			
SIGN		WOOD LINE			
FIRE HYDRANT		RETAINING WALL			
WATER SHUT OFF		WATERMAIN			
WATER VALVE		CONTOUR MAJOR			
		CONTOUR MINOR			

CIVIL LEGEND



DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-5511
TOLL FREE

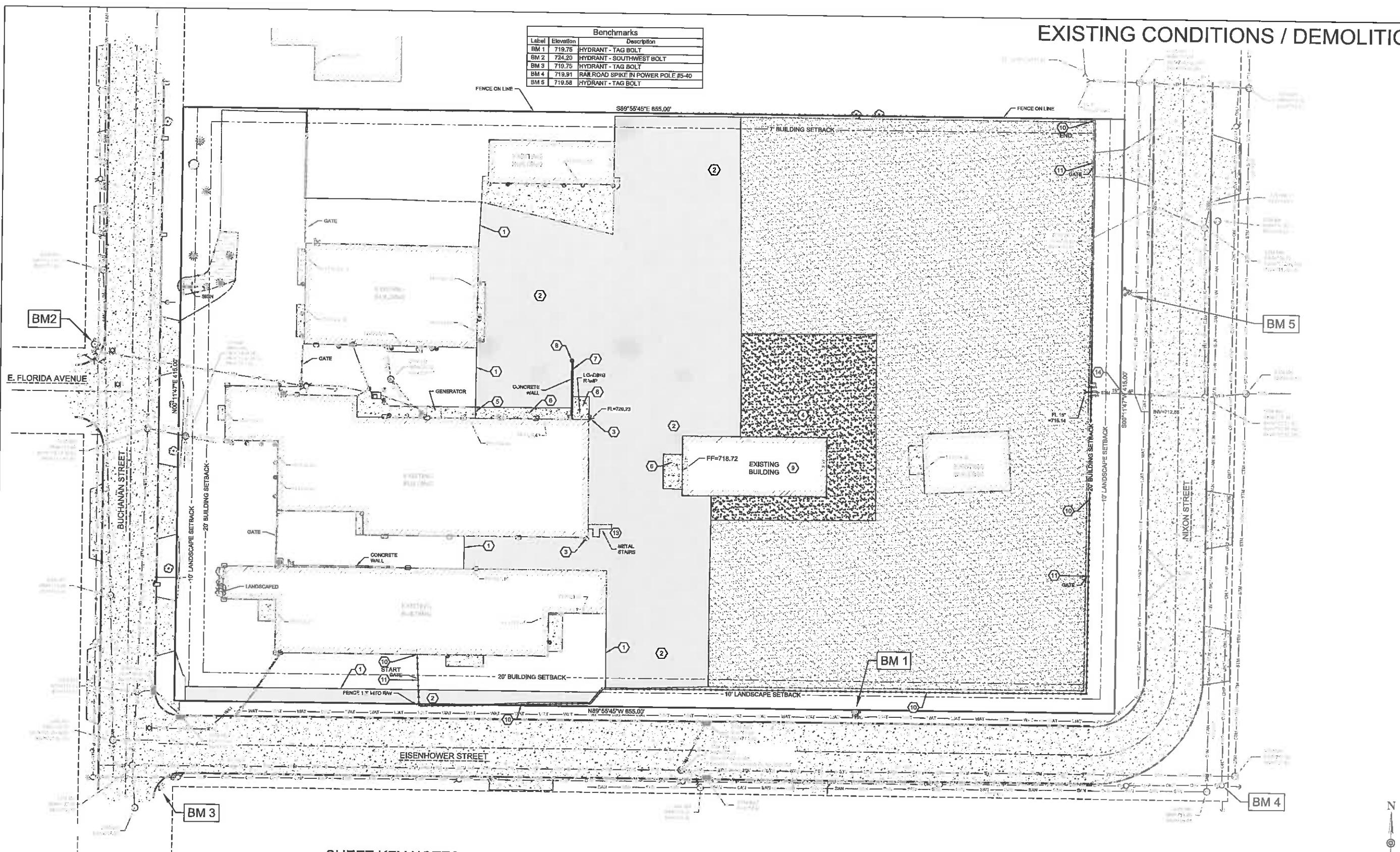
WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
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MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salschelder Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1577-01-18

EXISTING CONDITIONS / DEMOLITION



SHEET KEY NOTES:

- ① SAW CUT ASPHALT
- ② REMOVE ASPHALT
- ③ REMOVE ROOF DRAIN OUTLET AND RECONNECT TO PROPOSED STORM SEWER SYSTEM
- ④ REMOVE / SALVAGE GRAVEL
- ⑤ SAW CUT CONCRETE
- ⑥ REMOVE CONCRETE
- ⑦ REMOVE CONCRETE RETAINING WALL AND FOUNDATION
- ⑧ REMOVE BOLLARD
- ⑨ RAZE BUILDING (BY OTHERS)
- ⑩ REMOVE/SALVAGE FENCE
- ⑪ REMOVE/SALVAGE GATE
- ⑫ REMOVE/SALVAGE METAL STAIRS
- ⑬ REMOVE STORM SEWER PIPE TO EXISTING JUNCTION, PREPARE PIPES FOR MANHOLE CONSTRUCTION.

PROJECT: 1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

C1.0

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www.mach-iv.com
Project Number: 1577-01-18

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.

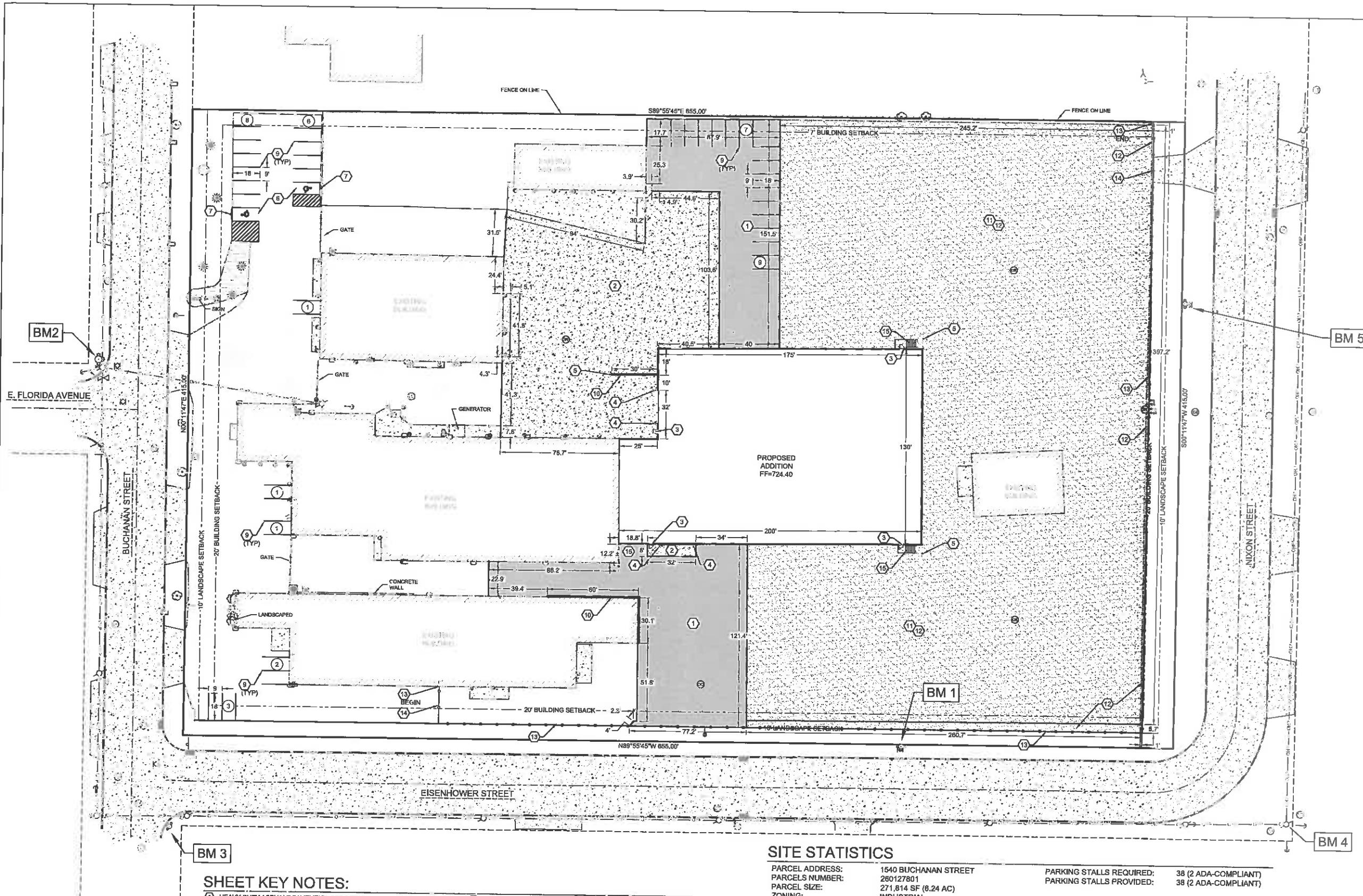
State ID# 680499

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PE. #:

Graphic Scale

SITE PLAN



SHEET KEY NOTES:

- ① HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C6.0
- ② HEAVY DUTY CONCRETE PAVEMENT; SEE DETAIL B SHEET C6.0
- ③ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- ④ PIPE BOLLARD - 8"; SEE DETAIL C SHEET C6.0
- ⑤ PIPE BOLLARD - 10"; SEE DETAIL C SHEET C6.0
- ⑥ ADA HANDICAP STALL
- ⑦ ADA HANDICAP SIGN; SEE DETAIL D SHEET C6.0
- ⑧ EXTERIOR ACCESS STAIRS; REFER TO ARCHITECTURAL DRAWINGS
- ⑨ 4" WIDE WHITE PAINT STRIPE
- ⑩ CONCRETE RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- ⑪ RE-GRADE EXISTING GRAVEL; SEE SHEET C4.0 FOR ELEVATIONS
- ⑫ HEAVY DUTY GRAVEL; SEE DETAIL E SHEET C6.0
- ⑬ 6' VERTICAL SLAT FENCE; SEE ARCHITECTURAL DRAWINGS
- ⑭ 6' VERTICAL SLAT GATE; SEE ARCHITECTURAL DRAWINGS
- ⑮ PROPANE FUEL STORAGE RACK

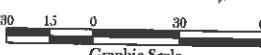
SITE STATISTICS

PARCEL ADDRESS: 1540 BUCHANAN STREET
 PARCELS NUMBER: 260127801
 PARCEL SIZE: 271,814 SF (6.24 AC)
 ZONING: INDUSTRIAL

PARKING STALLS REQUIRED: 38 (2 ADA-COMPLIANT)
 PARKING STALLS PROVIDED: 38 (2 ADA-COMPLIANT)

EXISTING SITE
 GREEN SPACE: 29,272 SF (10.77%)
 IMPERVIOUS AREA
 BUILDING: 50,368 SF (18.53%)
 PAVEMENT: 98,310 SF (36.17%)
 GRAVEL: 46,937 SF (34.53%)
 TOTAL IMPERVIOUS: 242,552 SF (89.23%)

PROPOSED SITE
 DISTURBED AREA: 157,716 SF (3.62 AC)
 GREEN SPACE: 29,926 SF (11.01%)
 IMPERVIOUS AREA
 BUILDING: 70,703 SF (26.01%)
 PAVEMENT: 85,541 SF (31.47%)
 GRAVEL: 85,654 SF (31.51%)
 TOTAL IMPERVIOUS: 241,898 SF (88.99%)



PROJECT NO.: 1540 BUCHANAN STREET
 LITTLE CHUTE, WI 54140

Sheet No.: C2.0

Page No.: 1

Page

UTILITY PLAN

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.
State ID# 680499

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LEE'S CONTRACTING & FABRICATING, INC.

1540 BUCHANAN STREET
LITTLE CHUTE, WI 54110

PROJECT NO.: 1577-01-18

Graphic Scale

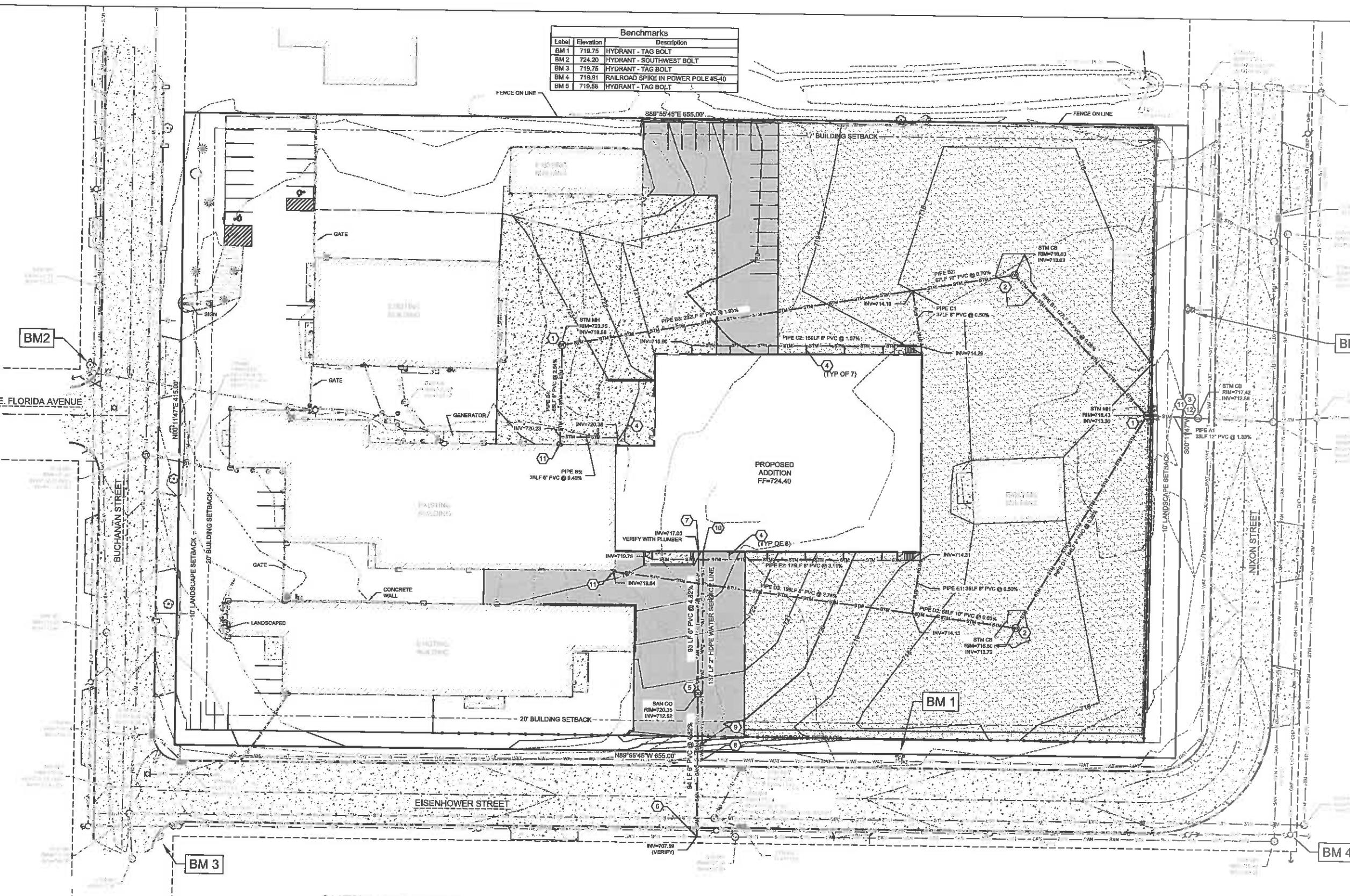
80 15 0 30 60

PROJECT NO.:

1577-01-18

SHEET NO.:

C3.0



SHEET KEY NOTES:

- ① STORM SEWER MANHOLE - 36" DIAMETER, SEE DETAIL F SHEET C6.0
- ② STORM SEWER CATCH BASIN - 36" DIAMETER; SEE DETAIL G SHEET C6.0
- ③ STORM SEWER CATCH BASIN - 60" DIAMETER; SEE DETAIL G SHEET C6.0
- ④ ROOF DRAIN CONNECTION LINE; SEE DETAIL H SHEET C6.0.
VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
- ⑤ SANITARY CLEAUNOT; SEE DETAIL I SHEET C6.0, CLEAUNOT TO BE LOCATED NO MORE THAN 100 FEET APART
- ⑥ CONNECT TO EXISTING SANITARY SEWER; FIELD VERIFY INVERT
- ⑦ COORDINATE CONNECTION OF SANITARY SEWER LATERAL WITH BUILDING PLUMBER
- ⑧ WATER SERVICE LATERAL, WET TAP WITH SADDLE AND SLEEVE; SEE DETAIL J, SHEET C6.0
- ⑨ WATER SHUT-OFF VALVE, SEE DETAIL J, SHEET C6.0
- ⑩ COORDINATE CONNECTION OF WATER SERVICE LATERAL WITH BUILDING PLUMBER
- ⑪ CONNECT TO EXISTING STORM PIPE
- ⑫ CONSTRUCT MANHOLE OVER EXISTING STORM SEWER PIPES

UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE, ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.

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GRADING PLAN

DESIGN / BUILD
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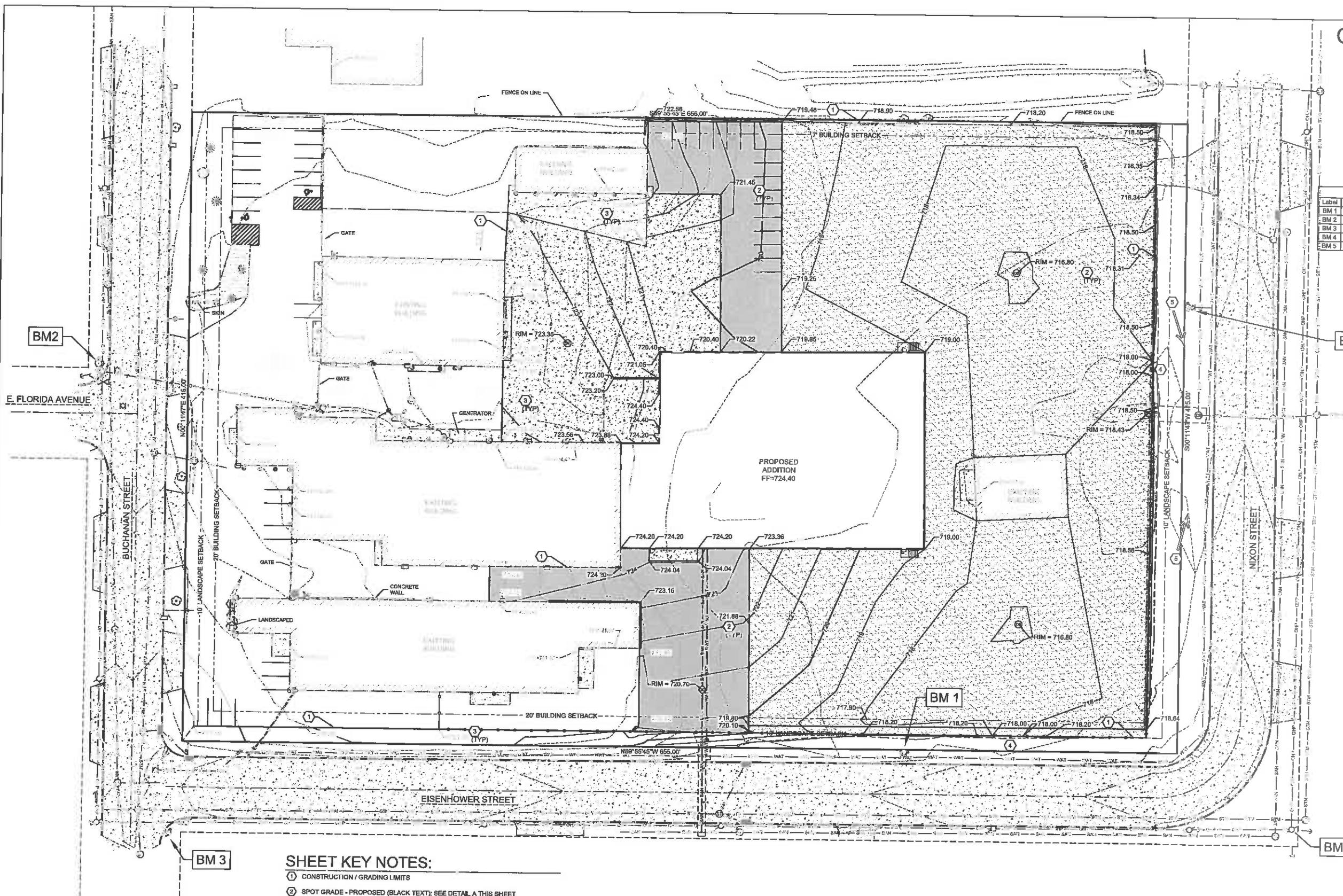
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT:

PROJECT NO.:

SHEET NO.:

C4.0



SHEET KEY NOTES:

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE - PROPOSED (BLACK TEXT); SEE DETAIL A THIS SHEET
- ③ SPOT GRADE - MATCH EXISTING (GRAY TEXT); SEE DETAIL A THIS SHEET
- ④ EMERGENCY OVERFLOW LOCATION
- ⑤ FLOW ARROW - GRADE TO DRAIN

724.60 — TOP OF CURB
724.10 — GUTTER/PAVEMENT

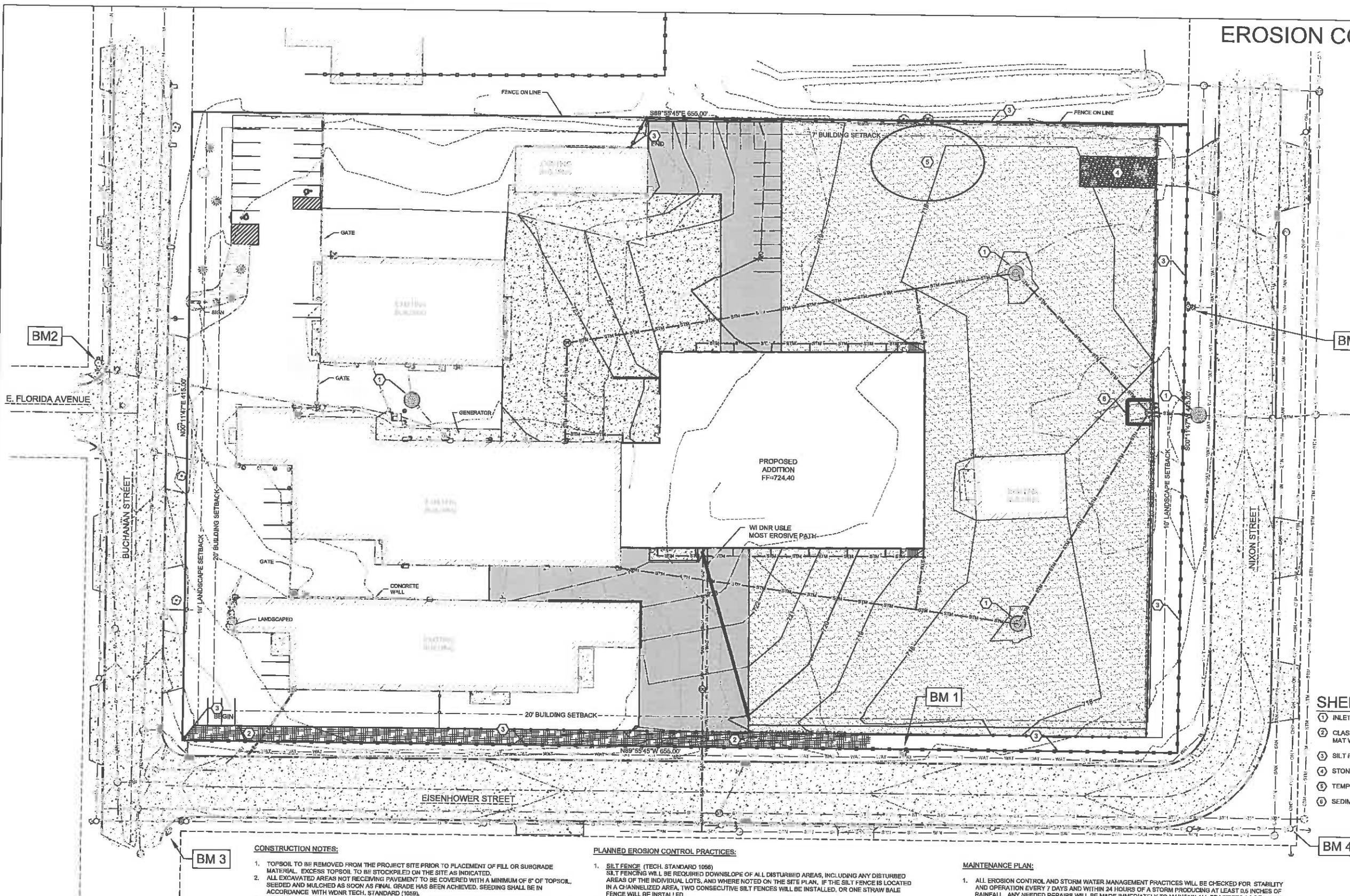
724.76 — FINISHED GRADE
A SPOT GRADE KEY

80 15 0 30 60
Graphic Scale

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EROSION CONTROL PLAN



CONSTRUCTION SEQUENCE:

FALL 2018 TO SPRING 2019

- 1. INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WI-DNR TECHNICAL STANDARDS AND STORM WATER MANAGEMENT PLAN.
- 2. STRIP TOPSOIL WITHIN GRADING LIMITS
- 3. ROUGH GRADE SITE
- 4. CONSTRUCT BUILDING
- 5. INSTALL SITE UTILITIES
- 6. INSTALL BASE COURSE
- 7. TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- 8. INSTALL PAVEMENT
- 9. RE-SEED ANY UN-VEGETATED AREAS
- 10. REMOVE EROSION CONTROL BMP'S UPON SITE STABILIZATION

CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STORED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT BEING PAVED TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, ACCORDING TO WI-DNR TECH. STANDARD (106).
3. SEEDING AND MULCHING AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WI-DNR TECH. STANDARD (106).
4. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WI-DNR TECHNICAL STANDARDS.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
6. SITE Dewatering IS NOT ANTICIPATED, HOWEVER SHOULD Dewatering BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WI-DNR TECHNICAL STANDARD (106).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

PLANNED EROSION CONTROL PRACTICES:

1. SILT FENCE (TECH. STANDARD 1068) SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CONSECUTIVE AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE USED.
2. INLET PROTECTION (TECH. STANDARD 1069) INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREA.
3. DUST CONTROL (TECH. STANDARD 1068) DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. STRAW BALES/TOPSOIL/TEMPORARY FILL PILES SILT FENCE OR STRAW BALES FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES SHALL NOT EXCEED 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEED AND MULCHED TO PROVIDE A VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1077) A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. EROSION CONTROL MATS (TECH. STANDARD 1063) EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. Dewatering (TECH. STANDARD 1061) SHOULD Dewatering BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING Dewatering ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND REPAVED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.6 INCHES OF RAINFALL. ANY EROSION REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 12 INCHES OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE THE FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE INTO ADJACENT PROPERTIES SHALL BE SWEEP OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

Graphic Scale

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PROJECT: 1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

C5.0

DESIGN / BUILD
GENERAL CONTRACTING
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METAL BUILDINGS

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EROSION CONTROL DETAILS

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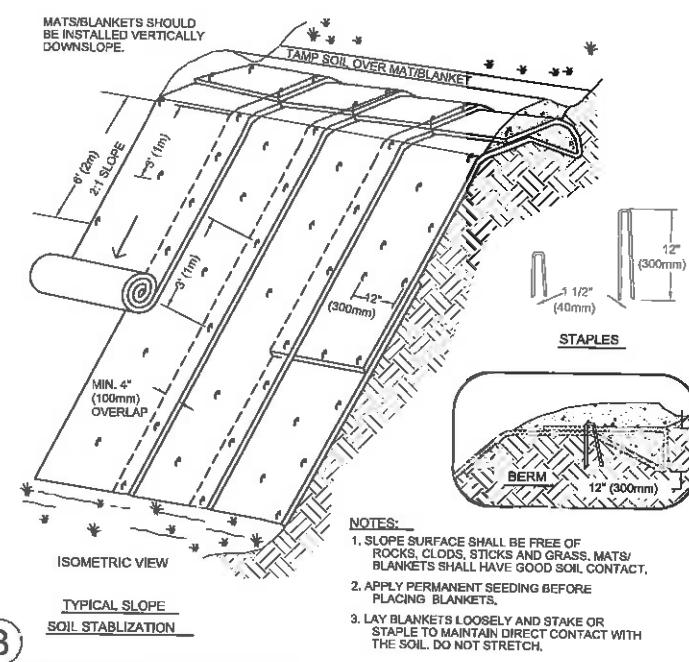
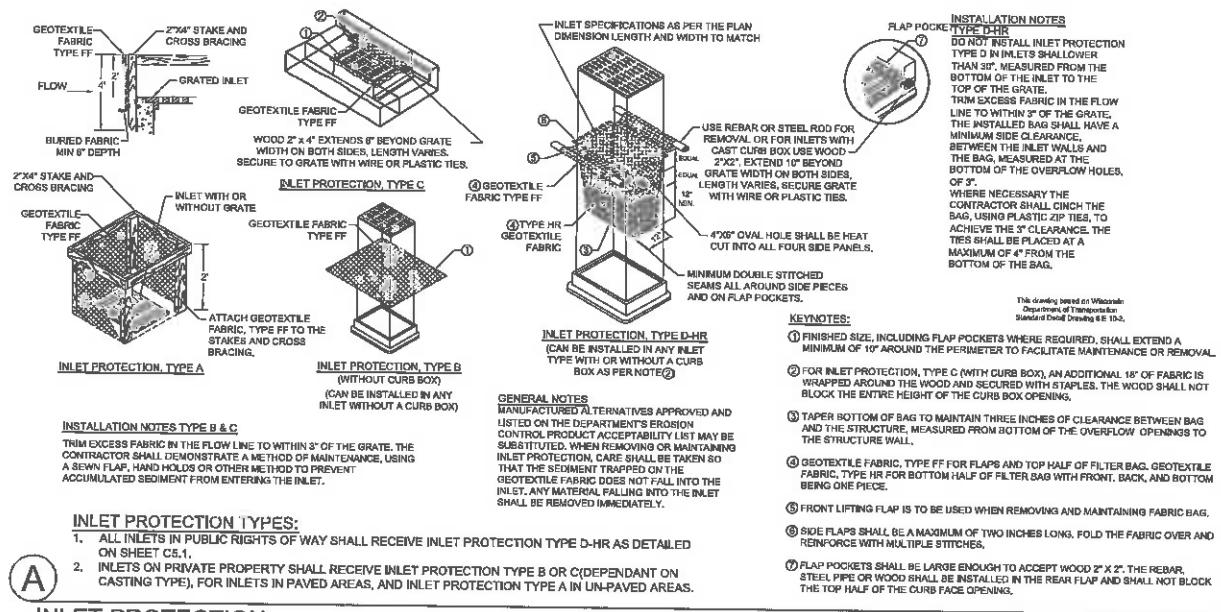
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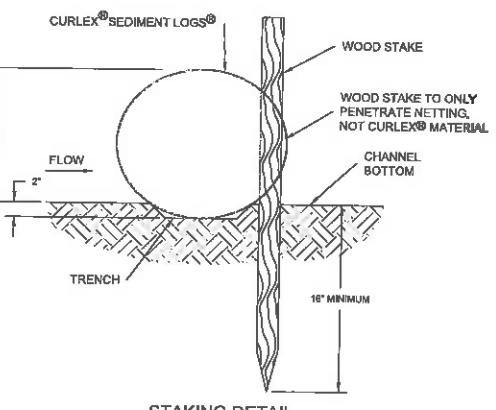
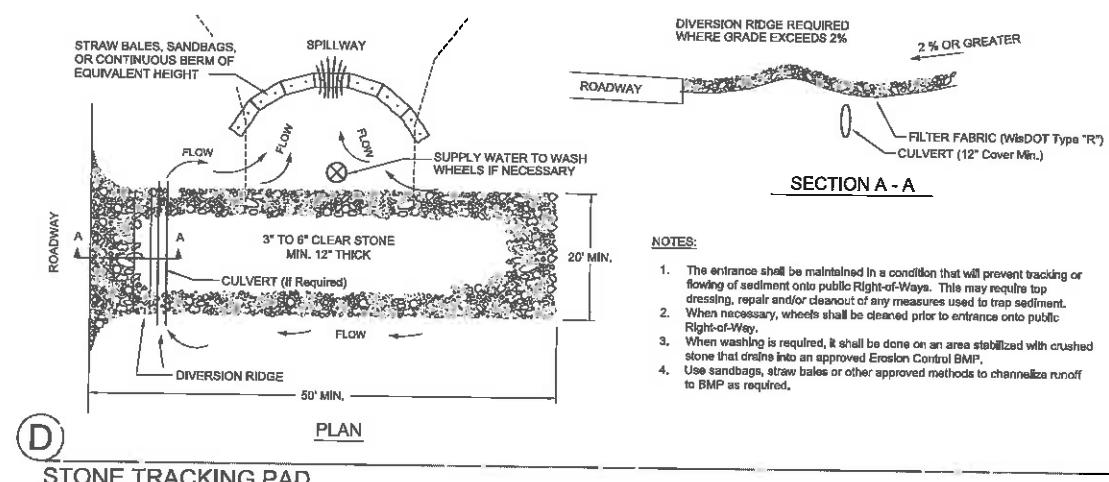
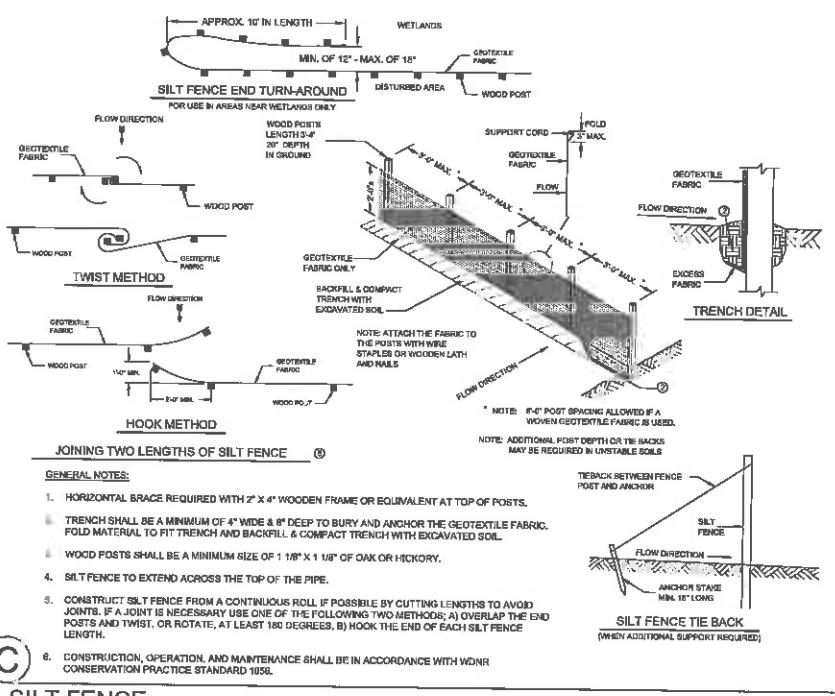
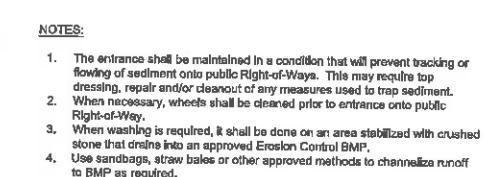
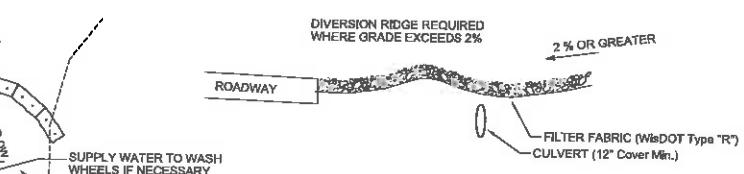
PROJECT NO.:

SHEET NO.:

C5.1



EROSION CONTROL MAT FOR SLOPE INSTALLATION



1 1/8" X 1 1/8" X 30" WOODEN STAKES ARE RECOMMENDED FOR 8", 9", AND 12" SEDIMENT LOGS®.

1 1/8" X 1 1/8" X 48" WOODEN STAKES ARE RECOMMENDED FOR 20" SEDIMENT LOGS®.

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SITE DETAILS

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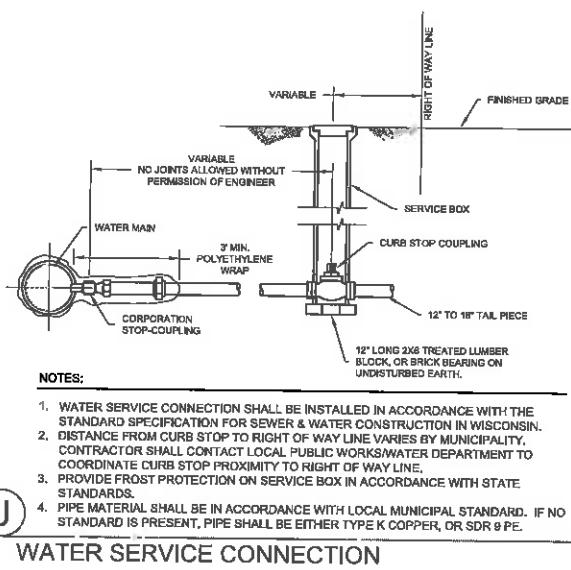
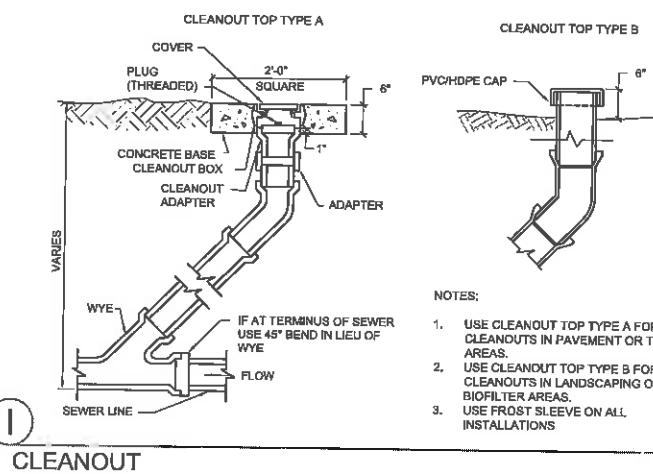
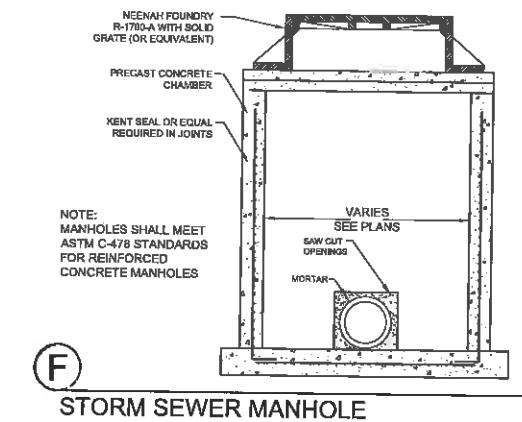
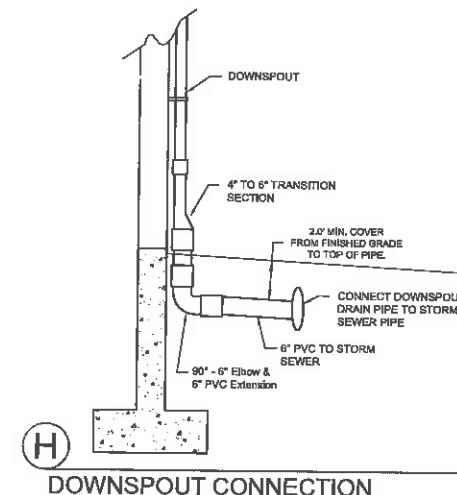
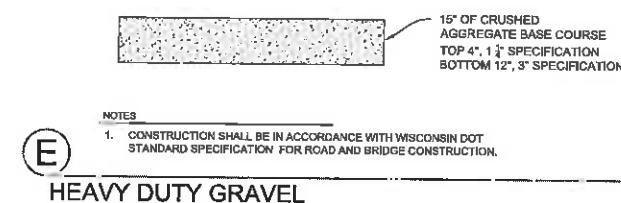
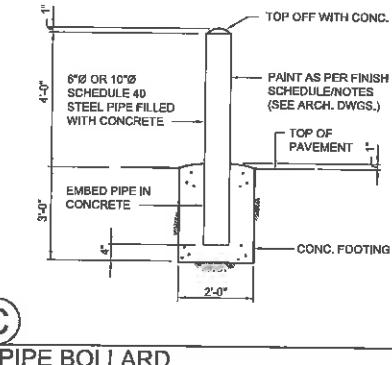
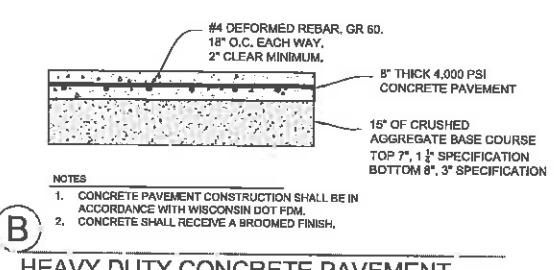
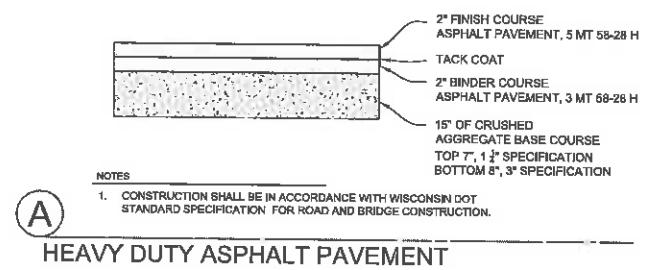
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PROJECT NO.: _____

SHEET NO.: _____

C6.0

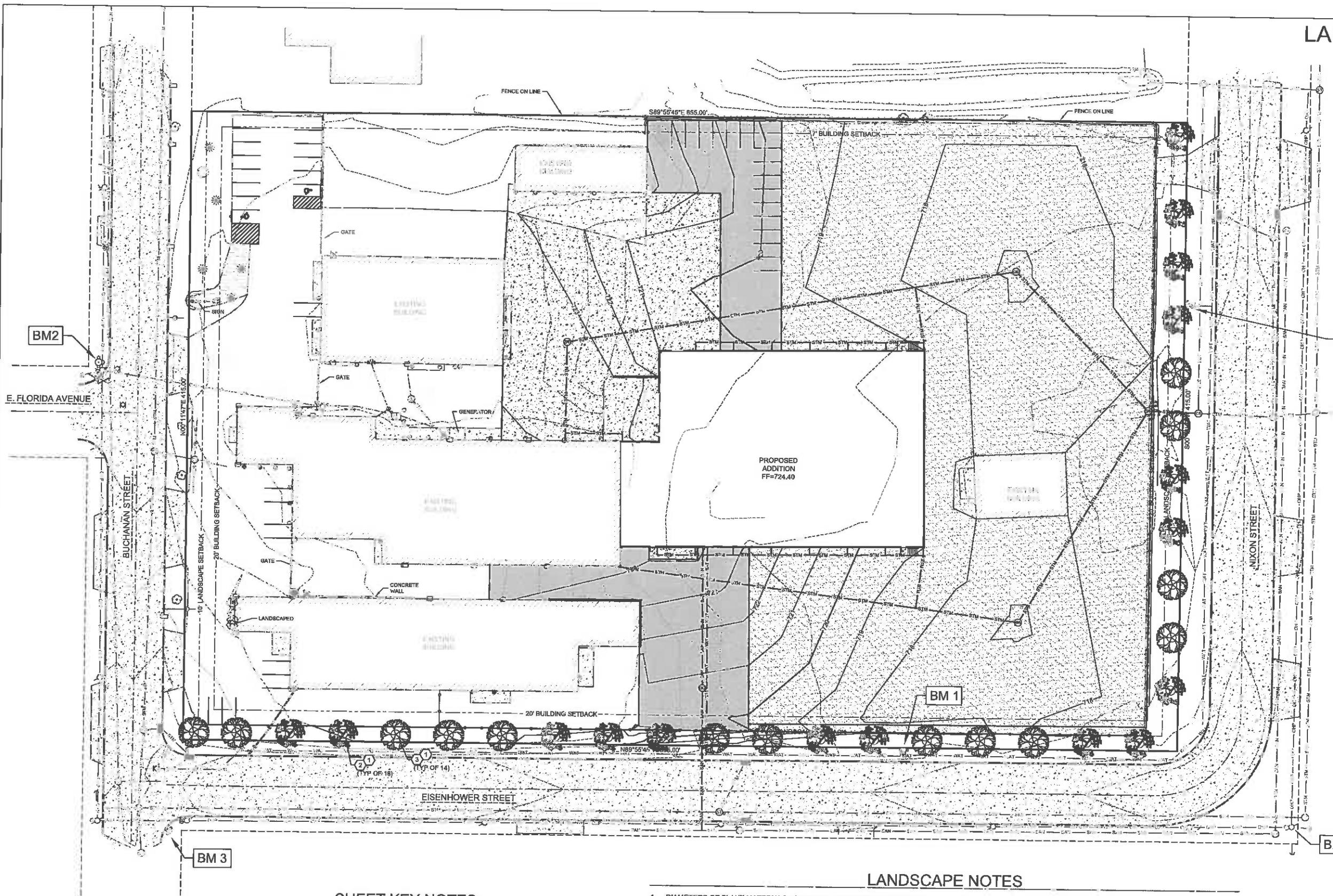


WATER SERVICE CONNECTION

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LANDSCAPE PLAN



SHEET KEY NOTES:

- ① 6' DIAMETER SPADE EDGE & 3" HARDWOOD MULCH
- ② HONEY LOCUST (GLEIDITISIA TRIACANTHOS); 2.5" TRUNK CALIPER MINIMUM
- ③ AUTUMN BLAZE MAPLE (ACER X FREEMANII); 2.5" TRUNK CALIPER MINIMUM

LANDSCAPE NOTES

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 60% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH WDOT NO. 40 GRASS MIX.

Graphic Scale

PROJECT NO.:

1560 BUCHANAN STREET
LITTLE CHUTE, WI 54140

Sheet No.:

L1.0

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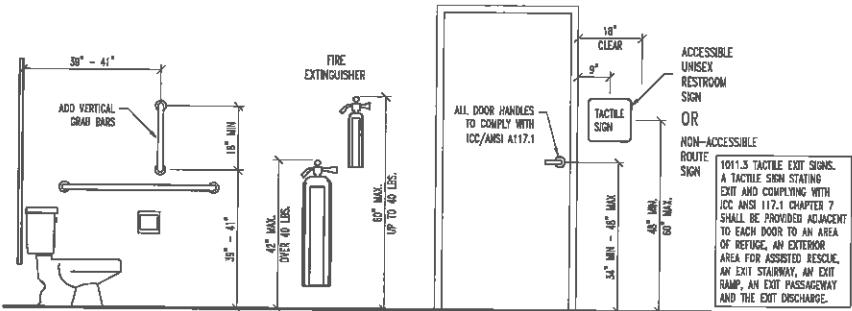
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ACCESSIBLE FIXTURE MOUNTING HEIGHTS
1/2" = 1'-0"

BUILDING CODE REQUIREMENTS

BUILDING TYPE / SIZE REQUIREMENTS
BUILDING OCCUPANCY CHAPTER 3 = B - BUSINESS
F-2 - LOW HAZARD FACTORY
CLASS OF CONSTRUCTION = IIB NON-COMBUSTIBLE CONSTRUCTION

ACCESSIBILITY
PER 1109 (13)(A) CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION, AND ELECTRICAL CONVENIENCE OUTLETS, IN ACCESSIBLE SPACES SHALL BE ACCESSIBLE IN COMPLIANCE WITH ICC/ANSI A117.1

BUILDING HEIGHT LIMITATIONS
BUILDING HEIGHT O.K. (55' ALLOWABLE)
NO CHANGE TO BUILDING HEIGHT

BUILDING AREA LIMITATIONS
TABLE 503 AREA - (F-2) 23,000 SQ. FT.
FRONTAGE INCREASE - (895' / 977') - 0.25(28.77' / 30') = 63.8% INCREASE
TOTAL ALLOWABLE AREA 23,000 SQ. FT. X (1 + .638) = 37,674 SQ. FT.
12,851 EXISTING BUILDING + 24,500 PROPOSED ADDITION = 37,352 SQ. FT.
37,674 SQ. FT. > 37,352 SQ. FT AREA OK

AUTOMATIC SPRINKLER SYSTEMS:
NO SPRINKLING REQUIRED (AS PER 903.2)

FIRE RESISTANCE CONSTRUCTION
GREATER THAN 10'-0" FIRE SEPARATION DISTANCE
NO EXTERIOR WALL RATING REQUIRED

EGRESS LIGHTING
EXIT LIGHTS REQUIRED PER 1003.2.1.1
MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1003.2.1.1
= MIN 1 FOOT CANDLE AVE (SEE HATCHED AREA)
EMERGENCY POWER SHALL BE PROVIDED PER 1003.2.1.2

FIRE EXTINGUISHERS
TYPE OF BUILDING HAZARD - MODERATE
TYPE OF EXTINGUISHER REQUIRED - ABC
MAXIMUM TRAVEL DISTANCE - 75'
NUMBER OF EXTINGUISHERS REQUIRED - (7) ADDITIONAL LOCATIONS
TO BE VERIFIED AT TIME OF INSTALLATION

BUILDING TYPE IIB
GROUP - F-2

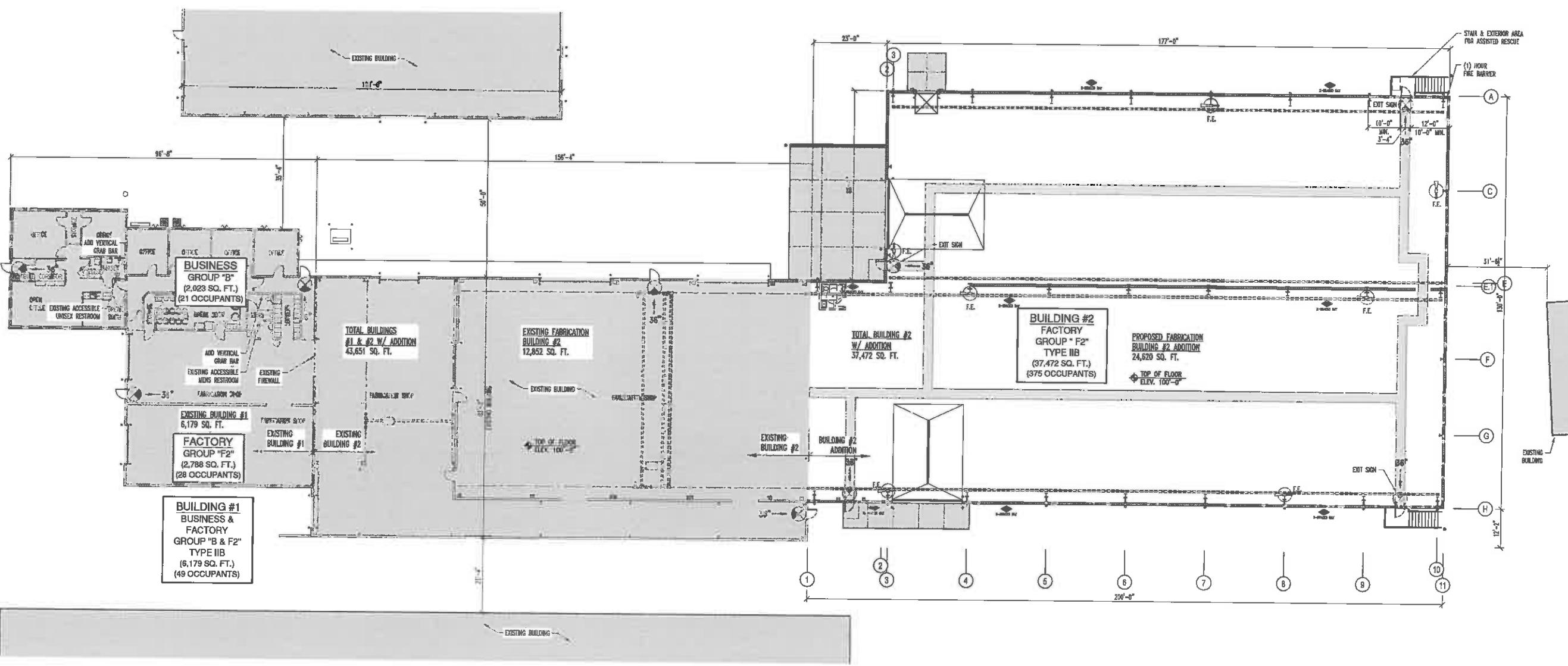
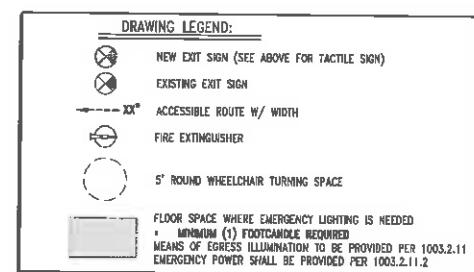
BUILDING ADDITION - BUILDING #2
FIRE AREA - 34,727 SQ. FT.

Table 503 (F-2/IIB) =
23,000 SQ. FT. X 1.638 FRONTAGE =
37,674 MAX BLDG. SIZE

37,674 SQ. FT. > 37,472 SQ. FT.

BUILDING AREA OK

ACTUAL TOTAL AREA
6,179 SQ. FT. EXISTING BUILDING #1
+ 37,472 SQ. FT. BUILDING #2
= 43,531 SQ. FT.



DESIGN / BUILD
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METAL BUILDINGS

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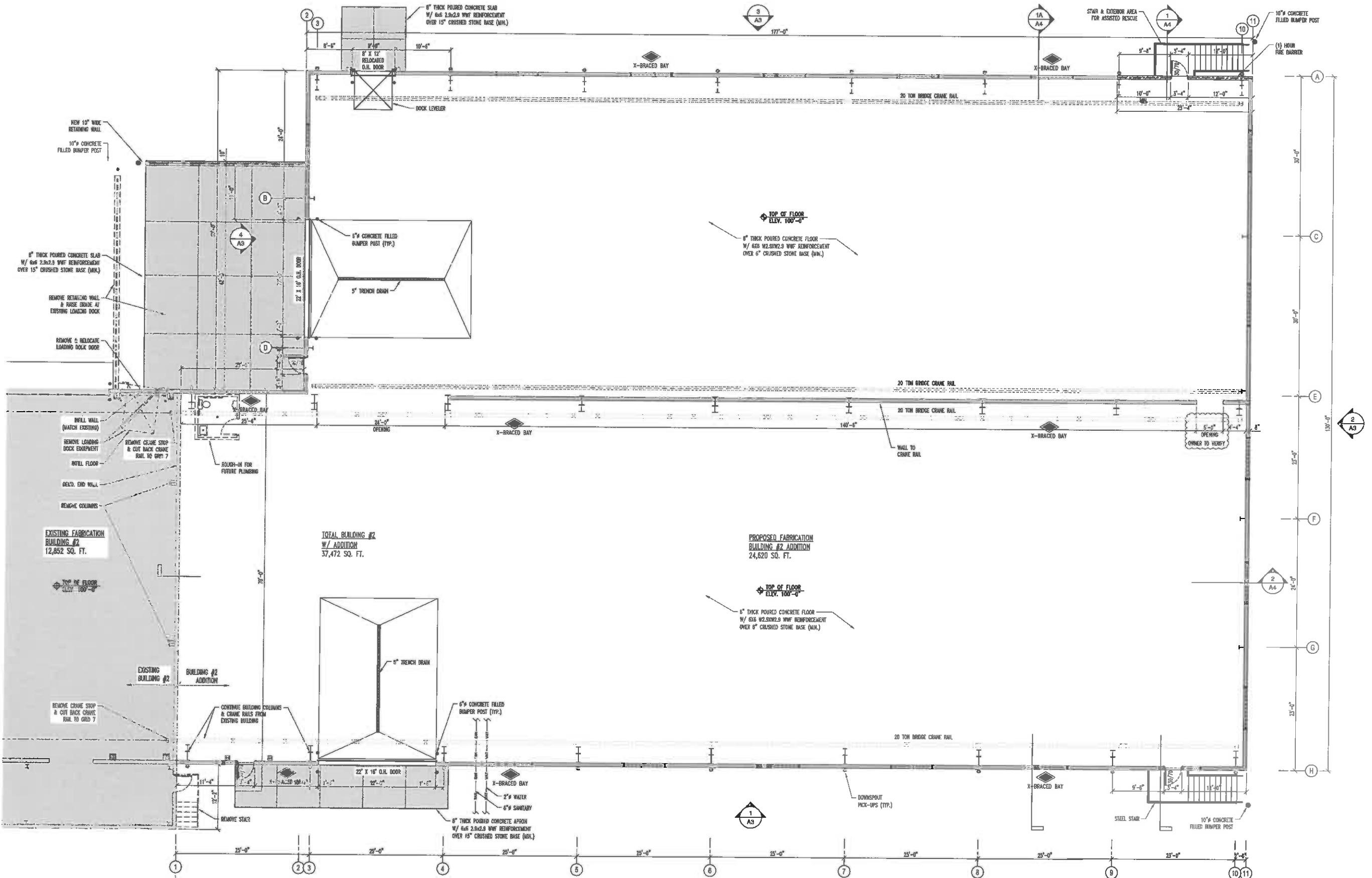
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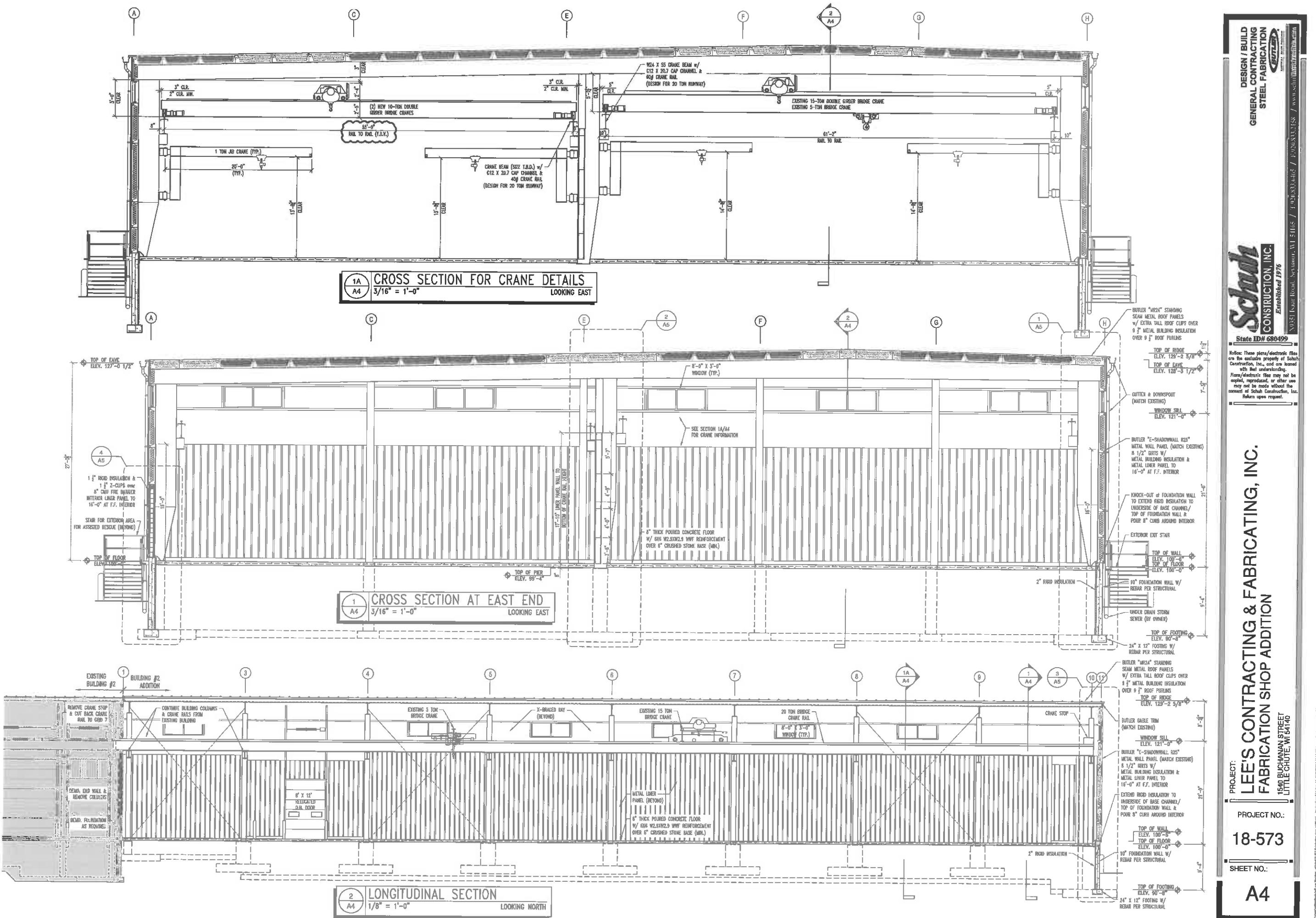
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A1.1





**GENERAL CONTRACTING
STEEL FABRICATION**

Literatur

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FABRICATION SHOP ADDITION
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SUITE 100
SAN FRANCISCO, CA 94103

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OBJECT NO.:

1

1570

1

3-573

10

1000

1

SET NO.:

1

14

1

A4

1

STRUCTURAL SPECIFICATIONS

DESIGN CODE:
1. COMPLY WITH WISCONSIN BUILDING CODE, LATEST EDITION.

DESIGN LOADS:
1. COLLATERAL LOAD: ROOF - 5 PSF

2. SNOW LOAD: GROUND SNOW LOAD - 40 PSF (OUTAGAMIE COUNTY)
ROOF SNOW LOAD - 28 PSF

SNOW EXPOSURE FACTOR - 1.0
SNOW IMPACT FACTOR - 1.0
THERMAL FACTOR - 1.0

WIND:
BASIC WIND SPEED - 80 MPH
IMPORTANCE FACTOR - 1.0
WIND EXPOSURE - 8

4. SEISMIC:
SEISMIC USE GROUP A - 10%

SUS - 4%

SDI - 0
SITE CLASS - D

5. MEZZANINE: FLOOR LOAD - 125 PSF (LIGHT STORAGE)

FOUNDATION:
1. ALLOWABLE SOIL PRESSURE IS ASSUMED AT 2,000 P.S.F.

2. ELEVATION WHERE UNSATISFACTORY SOIL IS ENCOUNTERED. REPLACE UNSATISFACTORY SOIL w/ EITHER COMPACTED STRUCTURAL FILL OR CONCRETE SLURRY.

3. Poured Foundation Concrete: Clean iron bearing surfaces.

4. WALL FOOTINGS ARE CENTERED ON COLUMNS (ULLD).

5. MINIMUM DEPTH OF EXTERIOR FOOTINGS SHALL BE 4'-0".

6. INSTALL 1 1/2" THICK RIGID INSULATION VERTICALLY AT ALL EXTERIOR FOUNDATION LOCATIONS.

7. CONTRACTOR WILL CONSULT WITH LOCAL AUTHORITIES PRIOR TO EXCAVATION TO LOCATE UNDERGROUND GAS, SEWER, WATER, AND ELECTRICAL OBSTACLES.

STRUCTURAL FILL:

USE - ALL BACKFILL WITHIN 5'-0" OF THE BUILDING LINES.

TYPE - PREDOMINANTLY WELL GRADED MATERIAL WITH 100% PASSING THE 3" SIEVE, 70-100% PASSING THE #4 SIEVE AND LESS THAN 12% PASSING THE #200 SIEVE.

COMPACTION - ISLAB TESTED PROCTOR (ASTM D1557) PLACED IN LIFT NOT TO EXCEED 8'.

IN AREAS OF COMPACTED FILL, ALL INTERFACING MATERIALS MUST STAILING AGAINST BOTH SIDES OF WALLS SHALL BE DONE AT THE SAME RATE

TO PREVENT STRESS AND COUNTERING OF FOUNDATION WALL.

10. ALL EXCAVATION WITH ON-SITE MATERIALS SHOULD BE PERFORMED WHEN TEMPERATURES ARE ABOVE FREEZING. FROZEN SOIL SHOULD NOT BE USED BEHIND STRUCTURES. ALL FOUNDATION EXCAVATION MUST BE INSULATED AGAINST FREEZING UNTIL CONSTRUCTION OF FOUNDATION IS COMPLETE.

11. SOILS THAT BECOME ROTTED OR DISTURBED BY CONSTRUCTION VEHICLES WILL BE UNSUITABLE FOR SUPPORTING FOUNDATION AND CONCRETE SLABS. THE SOILS SHALL BE REMOVED AND REPLACED WITH IMPORTED GRANULAR FIL.

SLAB ON GROOVE:

1. PROVIDE 6" OF CLEAN, WELL GRADED GRANULAR MATERIAL BELOW ALL CAST-IN-PLACE CONCRETE ON GRADE INSIDE THE BUILDING.

2. PROVIDE CONSTRUCTION JOINTS AND SAWCUT JOINTS. SAWED JOINTS IN SLAB SHALL BE MADE WITHIN 18 HOURS AFTER PLACING CONCRETE OR EARLIER IF CONCRETE STRENGTH PERMITS.

3. SLABS SHALL BE PITCHED TO FLOW TO DRAINS WHERE THEY OCCUR 1/8" PER FOOT MINIMUM PITCH.

4. INTERIOR FLOOR SLABS SHALL BE PROTECTED FROM COLD WEATHER IN ACCORDANCE WITH ACI 318.

5. PROVIDE 500' FELT BOND BREAK BETWEEN CONCRETE SLAB EDGE & VERTICAL CONCRETE AND/OR MASONRY SURFACES AT INSIDE OF BUILDING.

6. PROVIDE 1/2" THICK EXPANSION JOINT MATERIAL WHERE CONCRETE SLAB ADJACENT VERTICAL SURFACES AT BUILDING EXTERIOR.

7. CONCRETE CAN BE NON-AIR ENTRAINED FOR INTERIOR SLABS, PROVIDED CONCRETE IS PROTECTED FROM COLD WEATHER, EXCEPT WHERE NO FROST FLOOR IS SUPPLIED.

CONCRETE:

1. CONCRETE AND ITS PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 318 AND ACI 301 EXCEPT AS MODIFIED IN THESE SPECIFICATIONS.

2. PROTECT ALL CONCRETE IN ACCORDANCE WITH ACI STANDARDS FOR HOT, COLD WEATHER CONCRETING.

3. STANDARD WEIGHT CONCRETE SHALL COMPLY WITH THE FOLLOWING:

A. MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS) - 3,000 PSI

FOR EXTERIOR WALLS - 3,000 PSI

SLAB ON GROOVE - 4,000 PSI

CONC. TOPPING - 4,000 PSI

B. MAXIMUM WATER/CEMENT RATIO - .45 AIR ENTRAINED

- .52 (NON-AIR ENTRAINED)

FOOTINGS 12" THICK OR GREATER 1 1/2"

ALL OTHER CONCRETE 3/4"

65 ± 1 1/2" - 3/4" AGGREGATE

5K ± 1 1/2" - 1 1/2" AGGREGATE

C. MAX SLUMP - 3"

REINFORCING BARS: PROVIDE REFORMED BARS COMPLYING WITH ASTM A615 GRADE 60.

G. WELDED WIRE FABRIC: ASTM A755, COLD DRAWN STEEL PLATE.

3. CONCRETE COVERAGE FOR REINFORCING (ACI 318):

A. UNARMED CONCRETE IN CONTACT WITH EARTH - 3"

ARMED CONCRETE IN CONTACT WITH EARTH - 2"

C. OTHER CONCRETE - 1 1/2"

4. SPlices IN REINFORCING SHALL BE AS FOLLOWS:

A. REINFORCING STEEL - 38 BAR DIAMETERS

B. WELDED WIRE FABRIC - 1/8" SPACE + 2"

C. LOCATE SPICES AT POINT OF MINIMUM STRESS. WELDED SPICES ARE NOT PERMITTED.

COMPLY WITH ACI 301, POSITION SUPPORT AND SECURE REINFORCEMENT AGAINST DISPLACEMENT. LOCATE AND SUPPORT WITH METAL CHAIRS, RUNNERS, SET STEELS, SPACERS, AND HANGERS, AS REQUIRED. SET WIRE TIES SO ENDS ARE DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.

PROVIDE REINFORCING BARS TO MATCH AND LAT HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF WALLS AND FOOTING.

CONCRETE CAN ONLY BE PLACED ON A FROST-FREE SUBGRADE.

MACHINICALLY VIBRATE ALL CONCRETE.

ALL CAST-IN-PLACE CONCRETE SHALL BE PROTECTED AGAINST RAPID DRYING.

MASONRY:

1. STANDARDS: COMPLY WITH RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA), AND NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).

2. MASONRY SHALL COMPLY WITH THE FOLLOWING:

A. COMPRESSIVE STRENGTH - 1,500 PSI

B. GROUT - 3,000 PSI

C. MORTAR - TYPE S = 2,000 PSI ABOVE GRADE.

D. MORTAR - TYPE M = 2,500 PSI BELOW GRADE.

E. REINFORCING BARS - ASTM A755, GRADE 60.

3. SPECIAL SHAPES: PROVIDE SPECIAL BLOCK TYPES WHERE REQUIRED FOR CORNERS, CONTROL JOINTS, HEADERS, LINTELS AND OTHER SPECIAL CONDITIONS.

4. JOINT REINFORCEMENT - NEW MASONRY WALLS TO BE REINFORCED WITH 9 GAUGE DUR-O-WAL EVERY OTHER BLOCK COURSE.

5. LAP SPLICES IN MASONRY 48 BAR ROD.

6. ALL MASONRY SHALL BE LAY PLUMB, TRUE TO LINE, AND WITH LEVEL COURSES.

7. VERTICAL MASONRY CONTROL JOINT LOCATIONS

LOCATE VERT. CONTROL JOINT 10'-0" FROM EACH CORNER AND 22'-0" MAX. SPACING ON CENTER BETWEEN JOINTS. DO NOT LOCATE JOINTS AT WOOD JOIST SPANS OR FROM EXTERIOR WALLS.

8. MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS = 4'-0".

MAXIMUM GROUT LIFT WITH CLEAN-OUTS = 8'-0".

9. SEE PLANS FOR REQUIRED FIRE RATING.

10. CHECK ELECTRICAL PLANS TO LOCATE ANY ELECTRICAL CONDUIT TO BE INSTALLED IN MASONRY CORE.

11. FULL MORTAR BED JOINTS ARE REQUIRED, TYPICAL.

12. ON EXTERIOR WALLS, PROVIDE WEFT HOLES TO THE EXTERIOR ABOVE LINTELS AND AT BOTTOM OF WALL.

13. ALL VERT. REINFORCING SHALL BE CONTINUOUSLY GROUTED IN CELLS (BAR CENTERED IN CORE).

STRUCTURAL STEEL:

ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO ANSI/AISC 360 AND AISC 363.

STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM HOLD STRENGTHS AND SPECIFICATIONS.

STEEL SHAPES - ASTM A992 (59 ksi)

ANGLES & RODS - ASTM A36 (36 ksi)

BEAMS & PLATES - ASTM A36 (36 ksi)

STRUCTURAL TUBES - ASTM A500 GRADE B (46 ksi)

ANCHOR BOLTS - F1554 GRADE 3X

STRUCTURAL BOLTS - ASTM A325 TYPE N

WELDS - E70 XX

GROUT - ASTM C1107, GRADE B, PREMIXED NON-SHRINK, NON-METALLIC CEMENTITIOUS GROUT.

MINIMUM COMPRESSIVE STRENGTH 2000 PSI.

ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. CODE FOR WELDING IN BUILDING CONSTRUCTION.

SURFACES FOR FIELD WELDED MATERIAL SHALL BE PROPERLY PREPARED PRIOR TO BEING WELDED TO ENSURE A GOOD QUALITY WELD.

REMOVE PAINT, GREASE, DIRT, ETC.

PAINTING SHOP-PRIME STRUCTURAL STEEL MEMBERS DO NOT PRIME SURFACES THAT WILL BE FIELD WELDED.

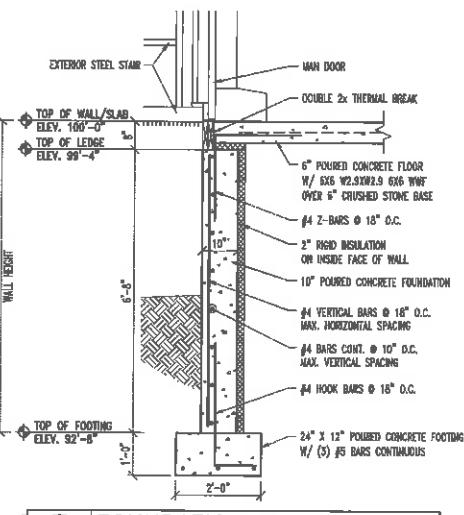
PROVIDE DOUBLE NUTS AND WASHERS FOR ALL STEEL COLUMN ANCHORS BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION.

PROVIDE 1 1/2" OF NON-SHRINK GROUT UNDER PLATE AFTER ERECTION.

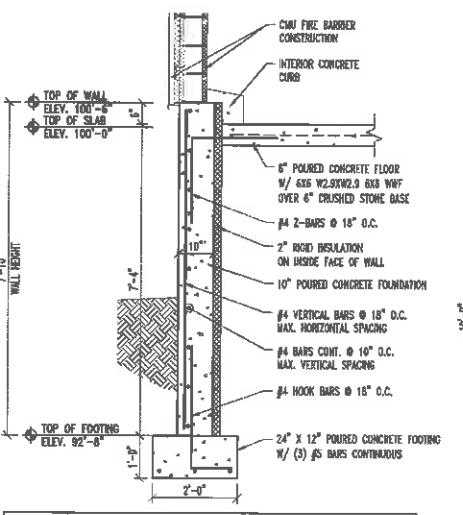
ERECTION SHALL COMPLY WITH ASCE CODE AND SPECIFICATIONS.

PROVIDE COLUMN BASES AT CORNER ELEVATION OR FULL BED OF NON-SHRINK GROUT.

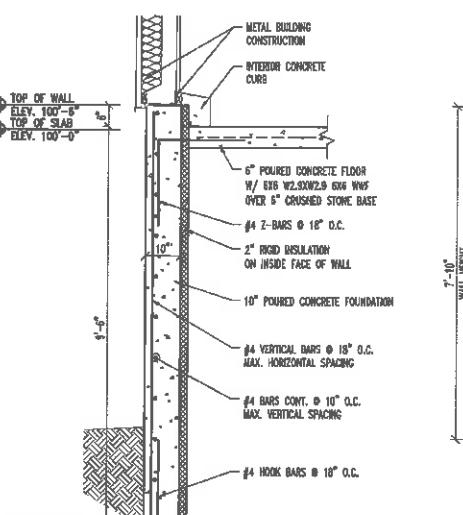
TOUCH UP PRIME PAINT AFTER ERECTION. CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND ABRASIVE AREAS AND APPLY SAME TYPE PAINT AS USED IN SHOP.



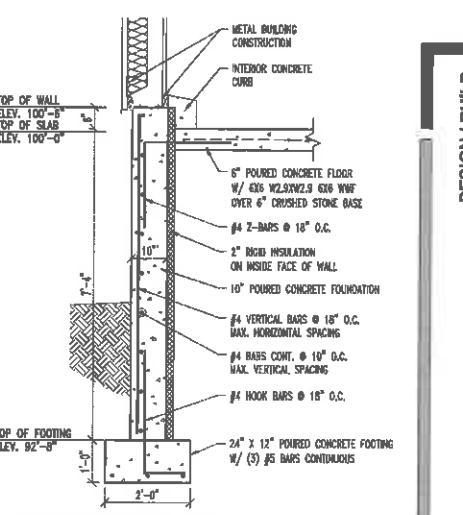
4 SO.1
1/2"=1'-0"
FOUNDATION WALL DETAIL
at EXTERIOR STAIR



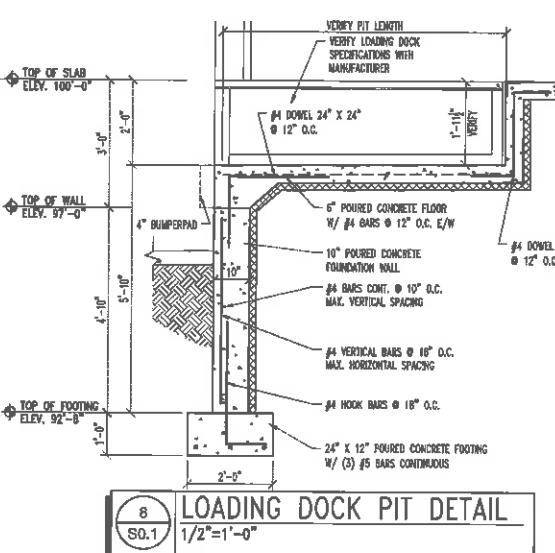
3 SO.1
1/2"=1'-0"
FOUNDATION WALL DETAIL
at 8" CMU FIRE BARRIER



2 SO.1
1/2"=1'-0"
FOUNDATION WALL DETAIL
TYPICAL @ 10'-0" WALL



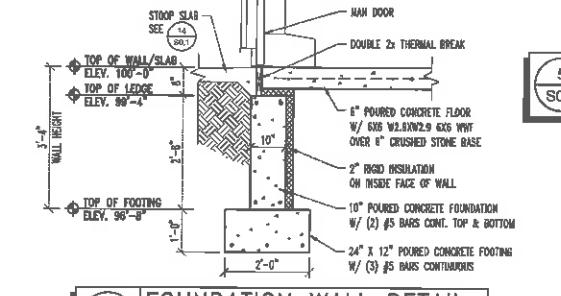
1 SO.1
1/2"=1'-0"
FOUNDATION WALL DETAIL
TYPICAL @ 7'-10" WALL



7 SO.1
1/2"=1'-0"
BUMPERPOST PLAN DETAIL



8 SO.1
1/2"=1'-0"
LOADING DOCK PIT DETAIL





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Return upon request.

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Village of Little Chute
INFORMATION FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: LCFD purchase of FVMPD squad car

PREPARED BY: Mark Jansen

REPORT DATE: 11/30/2018

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: _____

See additional comments attached: _____

EXPLANATION: LCFD would like to purchase 1 of FVMPD used squad car. We would like to put a cap on our existing pickup truck and add additional lighting to use as a response vehicle. The squad would be used by the fire inspector, for out of town meetings for fire department meetings & training, as well serving as a response vehicle for the Chief. Chief Meister has given us a price to purchase the squad at a cost of \$4500.00, we would spend an additional \$3000.00 to wrap the vehicle (quoted by Sign Country), along with adding response lighting & siren (aprox. cost \$2,000 to \$3,000). Other than required typical maintenance and fuel we foresee no other expenses. My plan would be to use the remaining balance of the \$45,000 we had set aside for equipping the aerial ladder.

RECOMMENDATION:

Village of Little Chute
REQUEST FOR PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Abandoned sign at 201 E. Main St.

PREPARED BY: James E. Moes, Director of Community Development

REPORT DATE: December 5, 2018

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report
See additional comments attached

EXPLANATION: for some time now we have been addressing the sign structure at 201 East Main Street. We have not received cooperation or even acknowledgement from the property owner.

Attached find pertinent documents

RECOMMENDATION: Approve the Village Attorneys to file a Summons and Complaint in Circuit Court asking for orders to remove the sign structure.

800 N. Lynndale Dr.
Appleton, WI 54914
920.739.7366
Fax: 920.739.6352

August 23, 2018

Green Bay
920.468.7366
New London
920.982.9652
Oshkosh
920.385.0616

Vivo Investments, LLC
c/o Clint Mishleau
4310 Hillcrest Drive
Hobart, WI 54155

RE: Abandoned Sign Removal / Public Nuisance

Dear Mr. Mishleau:

Our firm represents the Village of Little Chute (the "Village").

We are writing to you in regard to an abandoned sign located on the northeast corner of 201 E. Main Street in the Village. This particular sign has not been used for any purpose whatsoever since you purchased the property 1 ½ years ago. Instead, the sign has been left blank.

Accordingly, the sign has been deemed a public nuisance.

Please be advised that Village Ordinance Section 44-218 and 44-224 require that abandoned signs be removed within sixty (60) days of your receipt of written notice requiring removal.

My review of the file shows that you received a sixty (60) day written removal notice by letter dated May 25, 2018, but I understand that the sign has not yet been removed.

I have been instructed by Village officials that the sign at issue must be removed within thirty (30) days of the date of this letter.

If you fail to remove the sign as requested herein, we will recommend that the Village commence legal action against you to pursue any and all rights and remedies available at law or in equity.

In the event the Village of Little Chute is forced to commence legal action, please understand that the Village may pursue fines up to \$1,000.00 per day for each day the violation continues and injunctive relief (i.e., Court Order) requiring removal,

Tyler J. CLARINGBOLE
John D. CLAYPOOL
Greg P. CURTIS
Richard T. ELROD
Paula A. HAMER
Charles J. HARTZHEIM
Kelly S. KELLY
Charles D. KOEHLER
Kevin LONERGAN
Robert B. LOOMIS
Andrew J. ROSSMEISSL
Kristen S. SCHEUERMAN
Michael S. SIDDALL
Kyle J. THELEN
OF COUNSEL
Don R. HERRLING
Roger W. CLARK



May 25, 2018

VIVO INVESTMENTS LLC
4310 HILLCREST DR
HOBART, WI 54155

Subject: Abandoned sign on Northeast corner of 201 E MAIN ST

Dear property owner,

It has come to our attention that a sign on your property is abandoned.

This letter is to inform you that the sign structure is hereby declared a public nuisance.

Per Little Chute Code of Ordinances ARTICLE VII. - SIGNS AND BILLBOARDS , you have 60 days' written notice to remove said sign.

The department is ordering you to obtain permit and properly remove the sign structure.

Enclosed please see an image of the sign and a copy of code section applicable.

Sincerely,

James E. Moes

Director of Community Development, Assessor and Zoning Administrator
108 W Main Street | Little Chute, Wisconsin 54140
(920)423-3870

Code sections applicable to dilapidated and abandoned signs

- **ARTICLE VII. - SIGNS AND BILLBOARDS**

- **Sec. 44-212. - Purpose.**

The purpose of this article is to establish minimum standards to safeguard life and property and promote public welfare and community aesthetics by regulating the appearance, construction, location and maintenance of all signs and billboards.

- **Sec. 44-214. - Permit required.**

Except those specified in [section 44-215](#), no signs shall hereafter be located, erected, moved, reconstructed, extended, enlarged, converted, or altered without a sign permit and without being in conformity with the provisions of this article. The sign shall also meet all requirements of other applicable codes and ordinances of the village. Applications for a sign permit shall be made to the zoning administrator.

- **Sec. 44-218. - Dangerous and abandoned signs and billboards.**

- a) *Removal.* All signs or billboards shall be removed by the owner or lessee of the premises upon which the sign or billboard is located when a business which it advertises has not been conducted for a period of six months or when, in the judgment of the building inspector, such sign or billboard is so old, dilapidated or has become so out of repair as to be dangerous or unsafe, whichever occurs first. If the owner or lessee fails to remove it, the village board may remove the sign or billboard at cost of the owner, following adequate written notice. The owner may appeal the village board's decision to the board of appeals.

- (b) *Alterations.* Any sign or billboard which was erected before the adoption of this sign article shall not be rebuilt or relocated without conforming to all of the requirements of this article.

- (c) *Violations.* All signs or billboards constructed or maintained in violation of any of the provisions of this article are hereby declared public nuisances within the meaning of this Code of Ordinances. In addition to the above penalty provisions for violation of this chapter, the village board may bring an action to abate the nuisance in the manner set forth in the state statutes.

- **Sec. 44-224. - Abandoned billboards and signs.**

Except as otherwise herein provided, all billboards and/or sign messages shall be removed by the owner or lessee of the premises upon which an off-premises sign/billboard is located when the business it advertised is no longer conducted where advertised. If the owner or lessee fails to remove the sign/billboard, the village board shall give the owner 60 days' written notice to remove said sign/billboard and thereafter, upon the owner's or lessee's failure to comply, may remove such sign/billboard, any costs for which shall be charged to the owner of the property or may be assessed as a special assessment against the property, and/or the village board may take any other appropriate legal action necessary to attain compliance.

Google Maps 201 WI-96



Image capture: Oct 2016 © 2018 Google

Little Chute, Wisconsin

Google, Inc.

Street View - Oct 2016

DISBURSEMENT LIST- December 5, 2018

Payroll & Payroll Liabilities - November 29, 2018 **\$198,314.60**

Prepaid Invoices - November 26, 2018 **\$1,212.25**

Utility Commission-

CURRENT ITEMS

Bills List - November 28, 2018 **\$78,804.56**

Total Payroll, Prepaid & Invoices **\$278,331.41**

The above payments are recommended for approval:

Rejected: _____

Approved December 5, 2018

Michael R Vanden Berg, Village President

Laurie Decker, Clerk

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Description	Total Cost	GL Account
5 ALARM FIRE & SAFETY EQUIPMENT			
181177=1	THREADED CYLINDER	2,171.29	101-52200-213
Total 5 ALARM FIRE & SAFETY EQUIPMENT:			
		2,171.29	
AIRGAS USA LLC			
9082595290	SHOP SUPPLIES	59.95	101-53330-218
9082646599	OXYGEN	60.69	207-52120-213
Total AIRGAS USA LLC:			
		120.64	
AL BEHLING ELECTRIC			
191	ELECTRICAL SERVICE @ LIBRARY/CIVIC CENTER	2,339.82	206-55110-306
Total AL BEHLING ELECTRIC:			
		2,339.82	
AMPLITEL TECHNOLOGIES			
12831	DATTO BACKUP SERVICE - OCTOBER	325.00	207-52120-240
Total AMPLITEL TECHNOLOGIES:			
		325.00	
APPLETON HYDRAULIC COMPONENTS			
37070	ATTEMPT TO DISASSEMBLE LEAF VAC CLINDER-	676.87	101-53330-225
Total APPLETON HYDRAULIC COMPONENTS:			
		676.87	
ARING EQUIPMENT CO INC			
C39053	LABOR TO REPAIR #26	5,271.75	101-53330-204
C39053	PARTS TO REPAIR #26	1,752.83	101-53330-225
Total ARING EQUIPMENT CO INC:			
		7,024.58	
ASSOCIATED APPRAISAL CONSULT			
137616	PROFESSIONAL SERVICES-DECEMBER	1,258.37	101-51530-204
Total ASSOCIATED APPRAISAL CONSULT:			
		1,258.37	
AT&T			
92078873810963	NOV/DEC SERVICE	137.80	101-51650-203
Total AT&T:			
		137.80	
AUTOMATED COMFORT CONTROLS			
22676	AIR FILTERS FOR SERVICE AT WELL HOUSE #4	98.00	620-53604-221
22677	UNIT HEATER WOULDN'T IGNITE	665.00	620-53604-221
Total AUTOMATED COMFORT CONTROLS:			
		763.00	
AUTOZONE			
1973125932	VEHICLE PARTS	19.99	620-53644-247
Total AUTOZONE:			
		19.99	

Invoice	Description	Total Cost	GL Account
BE'S COFFEE AND VENDING SERVICE INC 3700329380	REGULAR JO 3OZ	139.86	207-52120-218
Total BE'S COFFEE AND VENDING SERVICE INC:		139.86	
CELLCOM			
886761	DPW PHONE CHARGES	153.43	101-53310-203
886761	PARKS PHONE CHARGES	43.59	101-55200-203
886761	REC PHONE CHARGES	86.68	101-55300-203
886761	FACILITIES PHONE CHARGES	43.59	101-51650-203
886761	INSPECTOR PHONE CHARGES	28.59	101-52050-203
886761	ENGINEERING PHONE CHARGES	186.45	452-57331-203
Total CELLCOM:		542.33	
CLEAN WATER TESTING LLC 0152126-IN	COLIFORM & E-COLI BACTERIA TESTS	39.20	620-53644-250
Total CLEAN WATER TESTING LLC:		39.20	
COMPASS MINERALS AMERICA			
330723	BULK COARSE UNTREATED ROCK	2,453.00	620-53634-224
33415	BULK COARSE UNTREATED ROCK	2,389.95	620-53634-224
336408	BULK COARSE UNTREATED ROCK	2,448.94	620-53634-224
339404	BULK COARSE UNTREATED ROCK	2,368.59	620-53634-224
345678	BULK COARSE UNTREATED ROCK	2,377.75	620-53634-224
Total COMPASS MINERALS AMERICA:		12,038.23	
CORE & MAIN LP J725012	GRANULAR CHLORINE	37.98	620-53644-250
Total CORE & MAIN LP:		37.98	
DONALD HIETPAS & SONS INC.			
10318	TIE INS ON HOMewood CT	5,511.16	620-53644-251
10318	RECONNECTED WATER SERVICES	2,714.45	620-53644-252
92518	MOVED EQUIPMENT TO HOMewood CT & PULVE	850.68	620-53644-251
92618	WATERMAIN ON HOMewood CT	9,745.72	620-53644-251
Total DONALD HIETPAS & SONS INC.:		18,822.01	
ENTERPRISE ELECTRIC INC 18477	MAIN GATE AT MUNICIPAL SERVICES BUILDING	150.00	101-53310-204
Total ENTERPRISE ELECTRIC INC:		150.00	
FASTENAL COMPANY			
WIKIM236607	SNOW/ICE SUPPLIES	3.24	101-53330-218
WIKIM236820	PARTS FOR #11	7.07	101-53330-225
Total FASTENAL COMPANY:		10.31	
FOX VALLEY HUMANE ASSOCIATION 4500	OCTOBER HANDLE FEES CREDIT ON ACCOUNT	19.82	207-52120-204

Invoice	Description	Total Cost	GL Account
Total FOX VALLEY HUMANE ASSOCIATION:		19.82	
FUHRMANN, NATHAN			
11152018 20 BAND TRAILER HAULING		200.00	101-55480-202
Total FUHRMANN, NATHAN:		200.00	
GALLS LLC			
011203681 TASER CARTRIDGE POUCH		22.81	207-52120-212
Total GALLS LLC:		22.81	
GFC LEASING - WI			
I00474107 GFC PW COPIER LEASING		92.26	101-53310-207
Total GFC LEASING - WI:		92.26	
GOLD CROSS AMBULANCE INC			
5171 LATEX GLOVES		82.08	207-52120-213
Total GOLD CROSS AMBULANCE INC:		82.08	
HAWKINS INC			
4388013 AZONE & SODIUM SILICATE		965.48	620-53634-220
4388013 AZONE & SODIUM SILICATE		287.78	620-53634-214
4389808 AZONE & SODIUM SILICATE		232.34	620-53634-214
4389808 AZONE & SODIUM SILICATE		1,266.03	620-53634-220
4395801 AZONE & SODIUM SILICATE		1,557.18	620-53634-220
4395801 AZONE & SODIUM SILICATE		364.78	620-53634-214
4400423 AZONE & SODIUM SILICATE		346.30	620-53634-214
4400423 AZONE & SODIUM SILICATE		1,214.37	620-53634-220
Total HAWKINS INC:		6,234.26	
ITRON INC			
501941 MAINTENANCE/SUPPORT CONTRACT 12/1/18-11/3		3,040.02	620-53904-204
Total ITRON INC:		3,040.02	
KERRY'S VROOM SERVICE INC			
9067 OIL & FILTER CHANGE - UNIT#98		43.47	207-52120-247
9069 OIL & FILTER CHANGE - UNIT#97		43.47	207-52120-247
Total KERRY'S VROOM SERVICE INC:		86.94	
LAPPEN SECURITY PRODUCTS INC			
LSPQ39824 TRI FLOW		15.00	620-53644-221
Total LAPPEN SECURITY PRODUCTS INC:		15.00	
MATTHEWS TIRE			
235841 REPAIR SENSOR IN STEAM ON SQUAD 84		80.00	207-52120-247
235842 VALVE STEM SENSOR REPAIR ON SQUAD #92		80.00	207-52120-247
236062 INSTALL SENSOR ON SQUAD #94		20.00	207-52120-247
68405 LABOR TO REPAIR #7		200.00	101-53330-204
68405 PARTS TO REPAIR #7		1,193.64	101-53330-225

Invoice	Description	Total Cost	GL Account
Total MATTHEWS TIRE:		<u>1,573.64</u>	
MCC INC			
156781 COLD MIX		483.02	101-53300-216
156781 COLD MIX		1,449.03	620-53644-216
Total MCC INC:		<u>1,932.05</u>	
MCMAHON ASSOCIATES INC			
912139 2018 ECOLOGICAL SERVICES 7 PONDS		1,665.10	630-53441-204
912254 ALTERGOTT FAMILY CORP		74.60	101-51780-300
Total MCMAHON ASSOCIATES INC:		<u>1,739.70</u>	
MENARDS - APPLETON EAST			
50409 CHRISTMAS LIGHTS DOWNTOWN		5.99	101-51960-218
50563 BATHROOM SUPPLIES		30.81	620-53644-221
Total MENARDS - APPLETON EAST:		<u>36.80</u>	
MIDWEST METER INC			
0106230-IN METER, BASE AND ACCESSORIES		1,058.55	620-19203
Total MIDWEST METER INC:		<u>1,058.55</u>	
MONROE TRUCK EQUIPMENT INC			
798803 PARTS FOR #31		169.20	101-53330-225
Total MONROE TRUCK EQUIPMENT INC:		<u>169.20</u>	
MORTON SALT INC.			
5401701075 BULK SAFE-T-SALT		10,074.35	101-53350-218
Total MORTON SALT INC.:		<u>10,074.35</u>	
NEWS PUBLISHING CO INC			
417589 OPEN HOUSE		89.60	101-52200-207
418450 OPEN HOUSE		64.40	101-52200-207
Total NEWS PUBLISHING CO INC:		<u>154.00</u>	
PACKER CITY INTL TRUCKS INC			
X10306635001 PARTS FOR #11		124.90	101-53330-225
X10306640801 STOCK ITEMS RETURNED		205.40	101-53330-218
X10306678201 COVER ASM BATTERY BOX FOR #7		184.09	101-53330-225
Total PACKER CITY INTL TRUCKS INC:		<u>103.59</u>	
PARKER'S			
11262018 REMOVE 4 TREES		1,150.00	101-55440-204
Total PARKER'S:		<u>1,150.00</u>	
PEERENBOOM, BILL			
10-24-10-26/2018 MLEAGE REIMBURSEMENT WI DELLS CONFERENCE		128.62	101-51110-201
10-24-10-26/2018 MEALS FOR WI DELLS CONFERENCE		356.00	101-51110-112

Invoice	Description	Total Cost	GL Account
Total PEERENBOOM, BILL:		484.62	
PIGGLY WIGGLY #258(USE 4904)			
09242018 NORTHERN WAXTEX		5.67	101-52200-211
11052018 ELECTION SUPPLIES		47.77	101-51440-211
Total PIGGLY WIGGLY #258(USE 4904):		53.44	
RIESTERER & SCHNELL INC			
1450727 BRAKES FOR #78		185.14	101-53330-225
1457825 ISOLATOR FOR #78		75.64	101-53330-225
1457825 OIL FILTER		48.48	101-53330-218
Total RIESTERER & SCHNELL INC:		309.26	
SAFE SHIP			
11152018 POSTAGE - WATER TESTS		104.50	620-53644-204
Total SAFE SHIP:		104.50	
SIGNCOUNTRY			
10190 CHAPLAIN VISOR SIGNS		347.50	207-52120-227
Total SIGNCOUNTRY:		347.50	
STAPES ADVANTAGE			
8052150462 2019 CALENDARS		4.89	207-52120-206
8052150462 DESK CALENDARS		3.38	207-52120-206
8052150462 DRY ERASE MARKERS, NOTEPADS		27.12	207-52120-206
Total STAPES ADVANTAGE:		35.39	
TIME WARNER CABLE			
11282018 NOV/DEC SERVICE		11.75	101-52200-208
705900401111618 NOVEMBER/DECEMBER SERVICE		182.28	101-52200-203
709535601112818 DECEMBER/JANUARY SERVICE		450.72	101-51650-203
Total TIME WARNER CABLE:		644.75	
UITENBROEK, LAURA			
12032018 REUND YOGA CLASS FEE		58.00	101-34413
Total UITENBROEK, LAURA:		58.00	
UNIFIRST CORPORATION			
0970272654 SHIRTS/PANTS-TIM O'BRIEN		9.90	101-53330-213
0970272654 WIPERS, BAG RACK, UNIFORM		32.40	101-53330-218
Total UNIFIRST CORPORATION:		42.30	
VALLEY LIQUOR			
756266 BEVERAGES AND SUPPLIES		139.45	101-52200-211
758248 BEVERAGES AND SUPPLIES		129.48	101-52200-211
758259 BEVERAGES AND SUPPLIES		21.00	101-52200-211

Invoice	Description	Total Cost	GL Account
Total VALLEY LIQUOR:		289.93	
VAN SHYNDL, NATE			
11132018 2018 SAFETY SHOE REIMBURSEMENT		125.00	101-53310-213
Total VAN SHYNDL, NATE:		125.00	
VERIZON WIRELESS			
9817868267 OCTOBER/NOVEMBER SERVICE		631.17	101-52200-203
Total VERIZON WIRELESS:		631.17	
VORPAHL FIRE AND SAFETY			
215256903 FIRE EXTINGUISHERS		676.35	101-52200-205
Total VORPAHL FIRE AND SAFETY:		676.35	
WORKHORSE SOFTWARE SERVICES			
3592 2019 SUPPORT FOR SPEC ASSESSMENTS		600.00	452-57331-204
Total WORKHORSE SOFTWARE SERVICES:		600.00	
Grand Totals:		78,804.56	

Report GL Period Summary

Vendor number hash: 160678
Vendor number hash - split: 206299
Total number of invoices: 78
Total number of transactions: 96

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	78,804.56	78,804.56
Grand Totals:	78,804.56	78,804.56

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Type	Description	Total Cost	Terms	1099	PO Number	GL Account
OUTAGAMIE COUNTY CLERK (1601)							
2018 DOG LICENS	Invoi	2018 DOG LICENSES	1,147.25	Open	Non		101-32170
Total OUTAGAMIE COUNTY CLERK (1601):			1,147.25				
OUTAGAMIE COUNTY HIGHWAY DEPT (2053)							
EVERGREEN DRIV	Invoi	WORK IN RIGHT-OF-WAY PERMIT	65.00	Open	Non		630-51105-263
Total OUTAGAMIE COUNTY HIGHWAY DEPT (2053):			65.00				
Grand Totals:			1,212.25				

Report GL Period Summary

Vendor number hash: 3654
 Vendor number hash - split: 3654
 Total number of invoices: 2
 Total number of transactions: 2

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	1,212.25	1,212.25
Grand Totals:	1,212.25	1,212.25