



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, March 11, 2019

TIME: 6:00 p.m.

- A. Call to order
 - B. Roll Call
 - C. Public Appearance for Items Not on the Agenda
-
- 1. Approval of Minutes from the Plan Commission Meeting of February 11, 2019
 - 2. Public Hearing—500 Moasis Drive
 - 3. Action—Conditional Use Request for 500 Moasis Drive
 - 4. Recommendation—Creekview Park Trail
 - 5. Recommendation—Legion Park Field 3 Fence
 - 6. Unfinished Business
 - 7. Items for Future Agenda
 - 8. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 March 11, 2019

MINUTES OF THE PLAN COMMISSION MEETING FEBRUARY 11, 2019

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
Larry Van Lankvelt
Kent Taylor
Richard Schevers
Todd Verboomen
President Vanden Berg

ALSO PRESENT: Administrator Fenlon, Community Development Director Moes

Public Appearance for Items Not on the Agenda

None

Approve Minutes from the Plan Commission Meeting of January 14, 2019

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to
Approve the Minutes of January 14, 2019*

All Ayes– Motion Carried

Discussion/Recommendation—Little Chute Area School District Parking Lot Renovation

School Superintendent, Mr. Dave Bots introduced Mr. Dan St. Pierre, Engineer from Point of Beginning Company. Mr. St. Pierre went over the layout plans showing changes proposed for the Little Chute School Parking Lot. Commissioner Van Lankvelt asked about snow plowing problems with Peninsulas being raised and was informed that it shouldn't be an issue.

*Moved by Commissioner Verboomen, seconded by Commissioner Van Lankvelt to Approve the Little
Chute Area School District Parking Lot Renovation as presented*

All Ayes– Motion Carried

Discussion/Recommendation—Industrial Park Parking

Director Moes went over the recommendations on issues with Parking in the Industrial Park. Director Moes is recommending having a Public Hearing so the business owners are notified of what changes will be made.

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Recommend to the
Village Board to hold a Public Hearing on changes to the Industrial Park Parking.*

All Ayes– Motion Carried

Discussion/Recommendation—Evergreen Drive Signage

Director Moes advised the Plan Commission that directional signage is needed on Evergreen Drive. This is for discussion only and getting the Plan Commissions support and any recommendations moving forward.

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Adjourn the Plan Commission Meeting at 6:43 p.m.

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
PLAN COMMISSION
NOTICE OF PUBLIC HEARING**

CONDITIONAL USE REQUEST

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on March 11, 2019 at 6:00 p.m. by the Village Plan Commission, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Applicant requests a conditional use permit for manufacturing. The property is currently zoned; CH – Commercial Highway District. The requested use falls under special exception uses 44-51 (d) Special exception uses and structures (2) Light manufacturing uses, including packaging, bottling, storage (excluding self-storage warehouses or miniwarehouses), and laboratory uses.

Address: 500 MOASIS DRIVE

Parcel # 260129603

Legal Description: COM S1927.25FT OF NW COR SEC15 T21N R18E E568.05FT NE141.36FT E49.57FT TO POB N493FT TO S R/O/W HY 41 NE261.53FT S506.26 FT W261.20FT TO BEG LESS RD PRT SW NW

Property Owner: J&S ELIPTICON BUILDINGS LLC

Applicant: Dale Hulce (Keller)

DATE OF HEARING: March 11, 2019

TIME OF HEARING: 6:00 p.m.

PLACE OF HEARING: Village Hall

Board Room

108 West Main Street

Little Chute, WI 54140

Publish: March 2, 2019

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

Village of Little Chute Application for CONDITIONAL USE UNDER CHAPTER 44 ZONING CODE

Application fee \$125.00

Date filed _____

The undersigned owner(s) of the property herein described hereby petition for a Conditional Use under the Village of Little Chute Zoning Ordinance Chapter 44, in the Village of Little Chute, Outagamie County, Wisconsin

Property location: 500 Moasis Drive

Legal Description: COM S1927.25FT OF NW COR SEC15 T21N R18E
E568.05FT NE141.36FT E49.57FT TO POB N493FT TO S
R/O/W HY 41 NE261.53FT S506.26 FT W261.20FT TO
BEG LESS RD PRT SW NW DR DIST 1.95AC

Current Zoning Classification: Commercial Highway District

Petitioner(s) request permission be granted for the following conditional use(s): _____

Light manufacturing

Petitioner(s) reason(s) for requesting the above described conditional use are as follows: _____

Moving away from Appleton closer to corporate office which is across the
parking lot. Would like to keep the business in Little Chute.

Attach Surveys, building plans, drainage plans, site plans, statements of days & hours of operation, estimates of additional traffic generated, statements regarding effect on neighboring properties and any other additional information which may assist in determining that the proposed use is appropriate that such use is not hazardous, harmful, offensive or adverse to the environment or the value of the neighborhood or the community.

Owner(s) Name(s) J&S Properties

Owner(s) Address 2450 Theresa Ave Appleton WI 54914

Phone Numbers 920-470-1886

APPLICANT(S) Signature(s) 

Date Signed 2/7/19

Article IV: Conditional Uses

Sec. 44-113. Purpose.

The development and execution of this article is based upon the division of the village into districts, within which districts the use of land and buildings, and bulk and location of buildings and structures in relation to the land, are mutually compatible and substantially uniform. However, there are certain uses which, because of their unique characteristics, cannot be properly classified as unrestricted permitted uses in any particular district, without consideration, in each case, of the impact of those uses upon neighboring land or public facilities, and of the public need for the particular use of a particular location. Such uses, nevertheless, may be necessary or desirable to be allowed in a particular district provided that due consideration is given to location, development and operation of such uses. Such uses are classified as conditional uses.

Sec. 44-114. Authority of the plan commission and village board; requirements.

(a) The plan commission or village board may authorize the zoning administrator to issue a conditional use permit after review and public hearings. The village board shall have sole authority to approve conditional uses for multifamily developments whenever a conditional use permit is required. The village board shall prior to holding a public hearing on a conditional use, refer the requested use to the plan commission for review and recommendation. The plan commission may authorize all other conditional uses. Prior to authorization of the zoning administrator to issue a conditional use permit, the board or commission (whichever has jurisdiction), shall hold a public hearing to review the requested use and shall determine that such conditional use and involved structure are found to be in accordance with the purpose and intent of this chapter, and are further found not to be hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community. The issuance of a conditional use permit shall specify the period of time for which effective, the name of the permittee, the location and legal description of the affected premises, permitted hours and days of operation if specified, and any other restrictions or regulations imposed so that the standard of this article may be complied with. Prior to the granting of a conditional use the board or the commission shall make findings based upon evidence presented that the standards herein prescribed are being complied with.

(b) Any development within 500 feet of the existing or proposed rights-of-way of freeways, expressways and within one-half mile of their existing or proposed interchange or turning lane rights-of-way shall be specifically reviewed by the highway agency that has jurisdiction over the traffic way. The plan commission or village board shall request such review and await the highway agency's recommendation for a period not to exceed 20 days before taking final action.

(c) Conditions such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operation control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the plan commission or village board upon its finding that these are necessary to fulfill the purpose and intent of this chapter.

(d) Compliance with all other provisions of this chapter, such as lot width and area, yards, height, parking, loading, traffic, highway access and performance standards shall be required of all conditional uses.

Sec. 44-115. Initiation of conditional use.

Any person, firm, corporation or organization having a freehold interest or a possessory interest entitled to exclusive possession, or a contractual interest which may become a freehold interest, or an exclusive possessory interest, and which is specifically enforceable in the land for which a conditional use is sought may file an application to use such land for one or more of the conditional uses in the zoning district in which such land is located.

Sec. 44-116. Application.

(a) *Required application materials.* An application for a conditional use shall be filed in duplicate on a form prescribed by the village. Such applications shall be forwarded to the plan commission or village board on receipt by the zoning administrator. Such applications shall include where applicable:

(1) A statement, in writing, by applicant and adequate evidence showing that the proposed conditional use shall conform to the standards set forth in section 44-119.

(2) Names and addresses of the applicant, owner of the site, architect, professional engineer, contractor and all property owners of record within 100 feet.

(3) Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees and the zoning district within which the subject site lies.

(4) Plat of survey prepared by a registered land surveyor showing all of the information required for a building permit and existing and proposed landscaping.

(5) Additional information as may be required by the plan commission or village board or other boards, commissions or officers of the village. The village board may require such other information as may be necessary to determine and provide for an enforcement of this chapter, including:

a. A plan showing contours and soil types;

b. High-water mark and groundwater conditions;

c. Bedrock, vegetative cover, specifications for areas of proposed filling, grading, and lagooning;

d. Location of buildings, parking areas, traffic access, driveways, walkways, open spaces and landscaping;

e. Plans of buildings, sewage disposal facilities, water supply systems and arrangements of operations.

(6) Fee receipt in the amount of \$125.00.

(b) *Conditional use permits granted to applicant only.* All applications for conditional use permits shall be in writing and shall be signed by the real estate property owner. The conditional use permit, if and when granted, shall inure to the benefit of the real estate and any successor in title to ownership of that real estate.

(c) *Plans.* In order to secure information upon which to base its recommendation, the plan commission or village board, in making its determination, may require the applicant to furnish, in addition to the information required for a building permit, the following information:

(1) A plan of the area showing contours, soil types, high-water mark, groundwater conditions, bedrock, slope and vegetation cover;

(2) Location of buildings, parking areas, traffic access, driveways, walkways, open spaces, landscaping, lighting;

(3) Plans for buildings, sewage disposal facilities, water supply systems and arrangements of operations;

(4) Specifications for areas of proposed filling, grading, lagooning or dredging;

(5) Other pertinent information necessary to determine if the proposed use meets the requirements of this chapter.

Sec. 44-117. Hearing on application.

All requests for conditional uses shall be to the plan commission or the village board can, on its own motion, apply conditional uses when applications for rezoning come before it. Nothing in this chapter shall prohibit the village board, on its own motion, from referring the request for conditional use to the plan commission. Upon receipt of the application and statement referred to in section 44-116, the plan commission or village board shall hold a public hearing on each application for a conditional use at such time and place as shall be established by such commission or the village board. The hearing shall be conducted and a record of the proceedings shall be preserved in such a manner and according to such procedures, as the plan commission or village board shall, by rule, prescribe from time to time.

Sec. 44-118. Notice of hearing on application; approval by the plan commission or village board.

Notice of the time, place and purpose of such public hearing shall also be sent to the applicant, the zoning administrator, members of the plan commission or village board, and the owners of record as listed in the office of the village assessor who are owners of property in whole or in part situated within 100 feet of the boundaries of the properties affected, said notice to be sent at least five days prior to the date of such public hearing. Failure to comply with this provision shall not, however, invalidate any previous or subsequent action on the application. The notification shall include the date and time that the matter will be discussed and acted upon by the commission or village board. The plan commission or village board shall hold said hearing not later than 60 days from the date that the conditional use petition has been presented to the village. The plan commission or village board may also mail copies of the application and notice of the plan commission or village board public hearing thereon to any other interested persons as determined from time to time by the plan commission or village board.

Sec. 44-119. Standards.

No application for a conditional use shall be granted by the plan commission or village board on appeal unless such commission or board shall find that the following conditions are present:

- (1) That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (2) That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- (5) That the conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- (6) That the proposed use does not violate floodplain regulations governing the site.
- (7) That, when applying the above standards to any new construction of a building or an addition to an existing building, the plan commission or village board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.
- (8) That, in addition to passing upon a conditional use permit, the plan commission or village board shall also evaluate the effect of the proposed use upon the following:
 - a. The maintenance of safe and healthful conditions.
 - b. The prevention and control of water pollution including sedimentation.
 - c. The existing topographic and drainage features and vegetative cover on the site.
 - d. The location of the site with respect to floodplain and floodways of rivers and streams.
 - e. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
 - f. The location of the site with respect to existing or future access roads.
 - g. The need of the proposed use for a shoreland location.
 - h. Its compatibility with uses on adjacent land.
 - i. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Sec. 44-120. Approval or denial of conditional use permit.

- (a) *Plan commission or village board action.* The plan commission or village board may approve, disapprove, or approve subject to stipulated conditions and safeguards a request for a conditional use permit. If the plan commission or village board shall disapprove of an application, it shall state fully in its record its reasons for doing so. Such reasons shall take into account the factors stated in section 44-119 or such of them as may be applicable to the action of disapproval and the particular regulations relating to the conditional use requested, if any.
- (b) *Denial.* When the decision of denial of a conditional use application is made, the plan commission or village board shall furnish the applicant, in writing when so requested, those standards that are not met and enumerate reasons used in determining that each standard was not met.

Sec. 44-121. Appeals.

Any action of the plan commission or village board in granting or denying a conditional use permit may be appealed to the board of appeals, if a written request for an appeal is filed within ten days after the date of action in granting or denying the permit. Such request for appeal shall be signed by the applicant or by the owners of at least 20 percent of the land area immediately adjacent extending 100 feet therefrom or by the owners of 20 percent or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land. The request shall be filed with the zoning administrator who shall submit it to the board of appeals at its next meeting, together with any documents and other data used by the plan commission or village board in reaching its decision. The board of appeals may consider the matter forthwith, refer the matter to a subsequent meeting or set a date for a public hearing thereon. In the event the board of appeals elects to hold a public hearing, notice thereof shall be given by mail to the known owners of the land immediately adjacent thereto and directly opposite any street frontage of the lot or parcel in question and by publication of a Class 1 notice in the official newspaper at least ten days before the date of the hearing. The board of appeals may either affirm or reverse in whole or in part the action of the plan commission or village board and may finally grant or deny the application for a conditional use permit.

Sec. 44-122. Conditions and guarantees.

The following provisions shall apply to all conditional uses:

(1) *Conditions.* Prior to the granting of any conditional use, the plan commission or village board may stipulate such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the conditional use as deemed necessary to promote the public health, safety and general welfare of the community, and to secure compliance with the standards and requirements specified in section 44-119. In all cases in which conditional uses are granted, the plan commission or village board shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated in connection therewith are being and will be complied with. Such conditions may include specifications for, without limitation because of specific enumeration:

- a. Landscaping;
- b. Type of construction;
- c. Construction commencement and completion dates;
- d. Sureties;
- e. Lighting;
- f. Fencing;
- g. Operational control;
- h. Hours of operation;
- i. Traffic circulation;
- j. Deed restrictions;
- k. Access restrictions;
- l. Setbacks and yards;
- m. Type of shore cover;
- n. Specified sewage disposal and water supply systems;
- o. Planting screens;
- p. Piers and docks;
- q. Increased parking; or
- r. Any other requirements necessary to fulfill the purpose and intent of this chapter.

(2) *Site review.* In making their decisions, the plan commission or village board shall evaluate each application and may request assistance from any source, which can provide technical assistance. The commission or board may review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems and the proposed operation/use.

(3) *Alteration of conditional use.* No alteration of a conditional use shall be permitted unless approved by the plan commission or village board.

(4) *Architectural treatment.* Proposed architectural treatment will be in general harmony with surrounding uses and the landscape. To this end, the plan commission or village board may require the use of certain general types of exterior construction materials and/or architectural treatment.

(5) *Sloped sites; unsuitable soils.* Where slopes exceed six percent and/or where a use is proposed to be located on areas indicated as having soils which are unsuitable or marginal for development, on-site soil tests and/or construction plans shall be provided which clearly indicate that the soil conditions are adequate to accommodate the development contemplated and/or that any inherent soil condition or slope problems will be overcome by special construction techniques. Such special construction might include, among other techniques, terracing, retaining walls, oversized foundations and footings, drain tile, etc.

(6) *Conditional uses to comply with other requirements.* Conditional uses shall comply with all other provisions of this chapter such as lot width and area, yards, height, parking and loading. No conditional use permit shall be granted where the proposed use is deemed to be inconsistent or conflicting with neighboring uses for reasons of smoke, dust, odors, noise, vibration, lighting, health hazards or possibility of accident.

Sec. 44-123. Validity of conditional use permit.

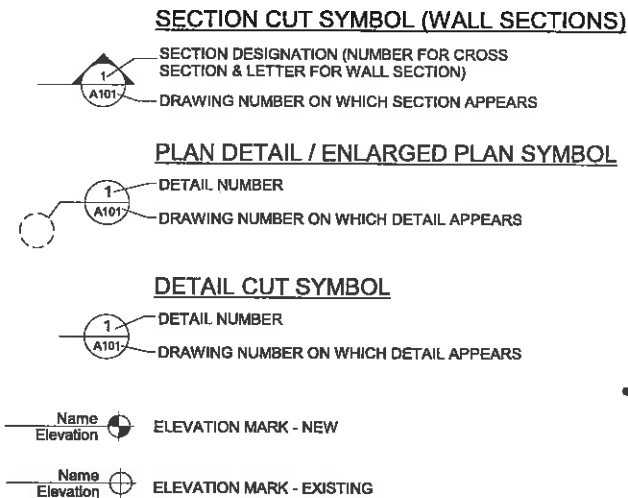
Where the plan commission or village board has approved or conditionally approved an application for a conditional use, such approval shall become null and void within 12 months of the date of the commission's or board's action unless the use is commenced, construction is underway or the current owner possess a valid building permit under which construction is commenced within six months of the date of issuance and which shall not be renewed unless construction has commenced and is being diligently persecuted. Approximately 45 days prior to the automatic revocation of such permit, the zoning administrator shall notify the holder by certified mail of such revocation. The plan commission or village board may extend such permit for a period of 90 days for justifiable cause, if application is made to the village at least 30 days before the expiration of said permit.

Sec. 44-124. Complaints regarding conditional uses.

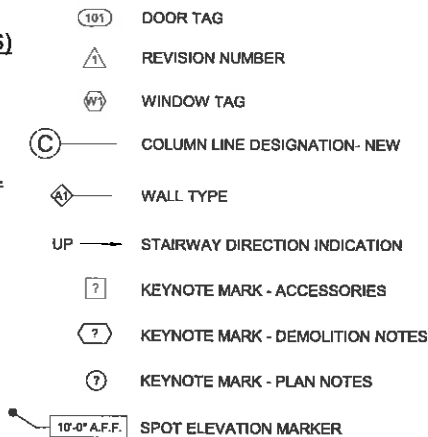
The plan commission or village board shall retain continuing jurisdiction over all conditional uses for the purpose of resolving complaints against all previously approved conditional uses. Such authority shall be in addition to the enforcement authority of the zoning administrator to order the removal or discontinuance of any unauthorized alterations of an approved conditional use, and the elimination, removal or discontinuance of any violation of a condition imposed prior to or after approval or violation of any other provision of this Code. Upon written complaint by any citizen or official, the plan commission or village board shall initially determine whether said complaint indicates a reasonable probability that the subject conditional use is in violation of either one or more of the standards set forth in section 44-119, or a condition of approval or other requirement imposed hereunder. Upon reaching a positive initial determination, a hearing shall be held upon notice as provided in section 44-118. Any person may appear at such hearing and testify in person or represented by an agent or attorney. The plan commission or village board may, in order to bring the subject conditional use into compliance with the standards set forth in section 44-119 or conditions previously imposed by the plan commission or village board modify existing conditions upon such use and impose additional reasonable conditions upon the subject conditional use. Additionally, the offending party may be subjected to a forfeiture as set forth in section 1-12. In the event that no reasonable modification of such conditional use can be made in order to ensure that standards in section 44-119(a) and (b) will be met, the plan commission or village board may revoke the subject conditional approval and direct the zoning administrator and the village attorney to seek elimination of the subject use. Following any such hearing, the decision of the plan commission or village board shall be furnished to the current owner of the conditional use, in writing, stating the reasons therefore. An appeal from a decision of the plan commission or village board under this section may be taken to the board of appeals.

	EARTH		FINISHED LUMBER
	COMPACTED FILL		RIGID INSULATION
	GRAVEL FILL		BATT INSULATION
	CERAMIC TILE		DRYWALL
	POURED CONCRETE		STEEL
	CONCRETE BLOCK		PRECAST CONCRETE
	CONCRETE BLOCK FILLED		ACOUSTIC TILE
	FACE BRICK		BITUMINOUS PAVING
	STONE		EXISTING WALL TO BE REMOVED
	ROUGH LUMBER		EXISTING WALL TO REMAIN
	PLYWOOD		CONSTRUCT NEW WALL

REFERENCE SYMBOLS



DRAWING SYMBOLS



PROJECT DATA	
COVERING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	II-B
OCCUPANCY CLASSIFICATION	FACTORY (F-1) / STORAGE (S-1) / BUSINESS (B)
LOCAL ZONING AUTHORITY	CITY OF LITTLE CHUTE
BUILDING SPRINKLED	YES
BUILDING AREA:	
FIRST FLOOR - EXISTING:	15,124 S.F.
BASEMENT - EXISTING:	872 S.F.
TOTAL:	15,996 S.F.
AREA OF ALTERATION:	2,250 S.F.

NOTE:
THE INTENT AND MEANING OF THE CONSTRUCTION DOCUMENTS IS THAT THE CONTRACTOR UNDER THE TERMS OF THE CONTRACT SHALL TAKE ALL ACTIONS NECESSARY AND REQUIRED TO PROVIDE ALL LABOR, MATERIALS, SUPPLIES, EQUIPMENT, TRANSPORTATION, FACILITIES AND APPURTENANCES WHICH ARE INDICATED OR REASONABLY IMPLIED BY EACH DRAWING AND EACH SECTION OF THE SPECIFICATIONS, ALL OF WHICH ARE COLLECTIVELY NECESSARY AND REQUIRED FOR THE CONSTRUCTION OF THE DESCRIBED STRUCTURES AND FACILITIES.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK

IMPORTANT NOTES:
INFORMATION SHOWN ON THESE DRAWINGS (FOR PLUMBING, HVAC AND ELECTRICAL) IS FOR GENERAL DESIGN INTENT/BIDDING PURPOSES ONLY.

ALL CONTRACTORS TO COMPLY WITH ALL LOCAL/STATE CODES AND ORDINANCES.

ALL PLUMBING, HVAC AND ELECTRICAL CONTRACTORS ARE RESPONSIBLE FOR DESIGN, STATE SUBMITTAL AND ALL FEES/PERMITS ASSOCIATED WITH THESE TRADES FOR COMPLETION OF WORK OUTLINED.

IMPORTANT CONTRACTORS NOTES:
ALL CONTRACTORS TO SUBMIT DESIGN/BUILD (PLUMBING, HVAC AND ELECTRICAL) DRAWINGS FOR OWNER REVIEW PRIOR TO STARTING WORK.

SHEET INDEX

T-1.0 TITLE SHEET
T-2.0 GENERAL NOTES

ARCHITECTURAL
A-0.0 LIFE SAFETY PLAN
A-1.0 OVERALL FIRST FLOOR PLAN, DOOR SCHED., WALL TYPES, FIRST FLOOR DEMOLITION PLAN
A-2.0 EXTERIOR ELEVATIONS, BUILDING SECTION

Keller
PLANNERS • ARCHITECTS • BUILDERS

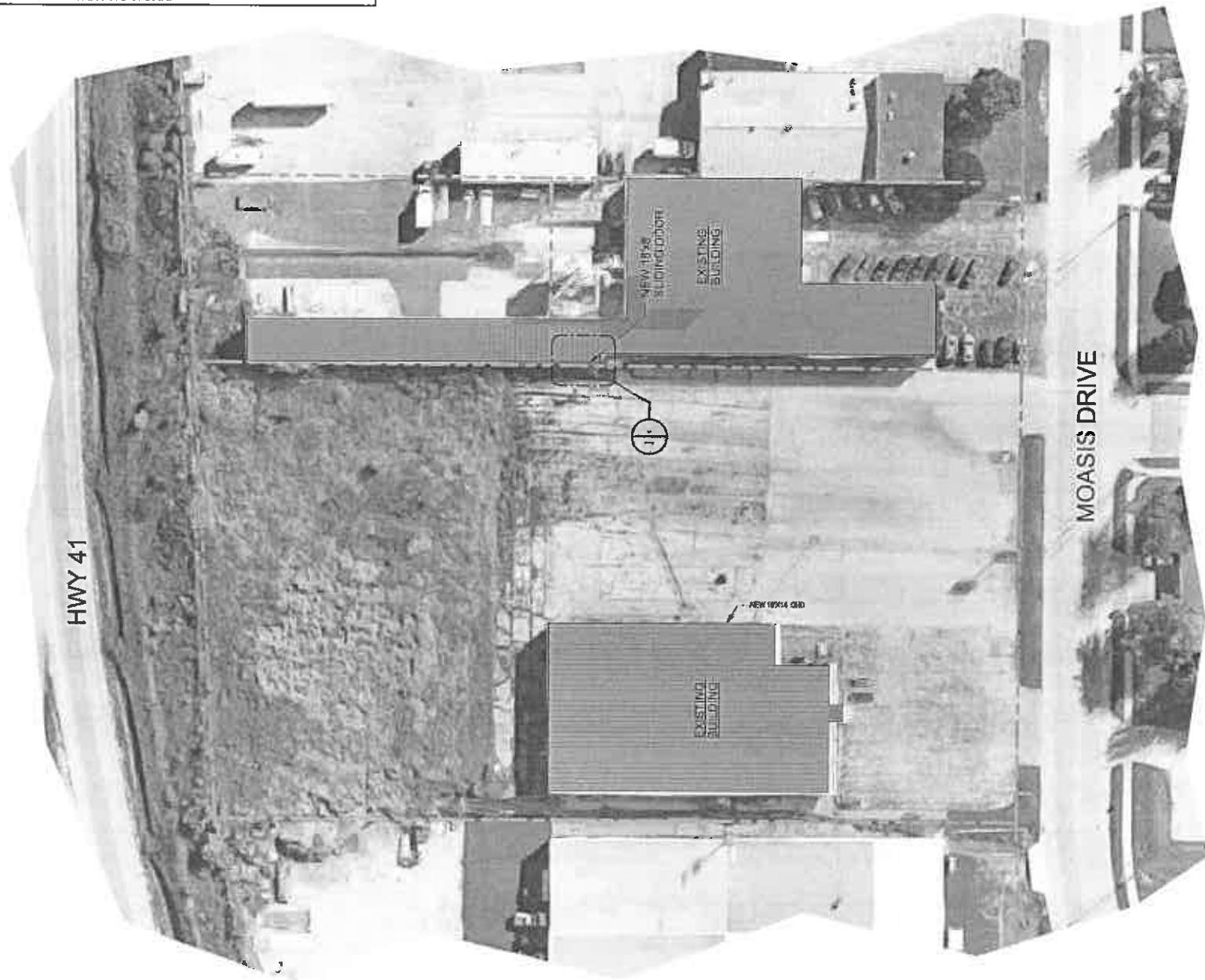
FOK CITYES
K216 State Road 55
P.O. Box 620
Keshena, WI 54130
PHONE (920) 766-1795 / 1-800-236-2534
FAX (920) 766-5004

MADISON
711 Lodi Dr.
Sun Prairie, WI 53180
PHONE (608) 318-1336
FAX (608) 318-2337

MILWAUKEE
W258 N1505
Oakdale Rd
Carmel, WI 53022
PHONE (262) 250-9710
FAX (262) 250-9740

WAUSAU
5602 18th Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com



BUILDING ADDITION & ALTERATIONS FOR: J&S PROPERTIES

500 MOASIS DRIVE, LITTLE CHUTE, 54140

BUILDING ADDITION & ALTERATIONS FOR:
J&S PROPERTIES
500 MOASIS DRIVE, LITTLE CHUTE,
54140

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REVISIONS

PROJECT MANAGER:
D. HULCE

DESIGNER:
S. KLESSIG

DRAWN BY:
B.G.

EXPEDITOR:
A. COHEN

SUPERVISOR:
R. LILLIE

PRELIMINARY NO:

CONTRACT NO: 71012

DATE: 02-11-2019

SHEET: **T1.0**

02-11-2019

WISCONSIN

WISCONSIN

0' 20' 40' 80' 160'

CONCEPTUAL SITE PLAN

1" = 40'-0"

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

NORTH

DIVISION 01 - GENERAL CONDITIONS

GENERAL CONDITIONS

- Do not deviate from original bid documents without Keller, Inc., permission.
- Subcontractor is to follow all manufacturer recommendations, industry standards, and comply with all current building and ADA codes.
- Subcontractor is to attend all jobsite meetings as requested.
- Do not deviate from the Interior and Exterior Material Selection Form without prior approval.
- Subject to Keller, Inc.'s determination, material or systems with verbiat feature(s) may be allowed as a substitution. Substitution request must be submitted to Keller, Inc., for approval.
- Material delivered to the jobsite must be stored in a location per Keller, Inc.'s instructions.
- Subcontractor is responsible for proper material storage and protection of materials on the jobsite.
- All material deliveries and handling are the responsibility of the Subcontractor, including all loading and material unloading/loading.
- No subcontractor shall begin application or installation of their materials until substrates have been properly prepared. Notify Keller, Inc., of unsatisfactory conditions prior to proceeding.
- Do not install damaged products.
- All layout necessary for the proper completion of work is the responsibility of the respective trades. Control points will be provided for reference.
- Subcontractor shall verify all public and private utilities on site prior to commencement of work. Subcontractor is responsible for maintaining a clean working daily.
- All subcontractors are responsible for any trucking or equipment that leaves any debris or mud outside of the project limits by either their forces or delivery trucking.
- Subcontractor is responsible for final clean up and disposal of all materials related to their scope of work at project completion.

DIVISION 04 - MASONRY

0410 - MASONRY SPECIFICATIONS (1.1.2)

SUBMITTALS

- Mock ups will be required based on the complexity of the project and at the owner's discretion. Samples: Unit masonry examples of adequate size showing the full range of colors and textures available for each different exposed masonry unit as requested.

SCHEDULE

CMU / BRICK / STONE / CULTURED STONE

- All exterior CMU to include Dry Block additive unless painted.
- All exterior CMU to be sealed unless painted.

MORTAR / GROUT

- All exterior mortar to include Dry Block additive.

REINFORCING / TIES

- All reinforcing bar to be Grade 60 ASTM A 615.
- Ties to be D410 with vee tie.
- Joint reinforcing to be galvanized carbon steel per plan.

FLASHINGS

- Flashings as specified on plan or proposal.
- 2" wide, 20 ga. stainless steel drip flashing, furnished with a smooth, factory-formed hemmed edge for installation safety and uniform appearance. Not required at lintels, i.e. Above windows and doors.
- 40 mil Pierre - Berrier (or equal) base flashing adhered to foundation.
- Weeps to be vertical call vent style - color to match mortar.
- Mortar net

INSULATION

- When required, insulation to be foamed in place.

BILLS / LINTELS

- Per plan, Request for Quotation, and Interior & Exterior Material Selection Form.

MISCELLANEOUS STEEL

- Per plan and Request for Quotation

INSTALLATION

- Vertical lines not to vary more than 1/4" on 20' nor 1/2" maximum total.
- Horizontal lines not to vary more than 1/4" on 20' nor 1/2" maximum total.
- All masonry units to be clean and free from chips - concealed out edges where possible.
- All masonry units to achieve a uniform blend of color variations.
- Completely fill all spaces between masonry units and yellow metal frames with mortar.
- Fill masonry unit cores with grout as indicated on the plan.
- Tool all exposed mortar joints or as indicated on the plan.
- Control joint to be installed per NCMA standards.
- Mason to apply backer rod and caulk at all control joints.

PROTECTION

- Cold weather protection is the responsibility of the mason.
- Any damaged product caused by weather is the responsibility of the mason.
- Projects where new work areas adjoin an existing building will require the masonry contractor to protect the existing building.
- Mason is responsible for damage caused to other trades due to mason's negligence.
- Mason to protect masonry units from mud splash until sealed or painted.

DIVISION 06 - WOOD & PLASTICS

0620 - CABINET SPECIFICATIONS (1.5.1)

SUBMITTALS

- Submit one set of elevation and layout shop drawings including backer requirements within (2) weeks of subcontract award.
- Submit (3) sets of final approved shop drawings.

SCHEDULE

- Plastic laminate
- Whisper, Formica, or equal to be minimum .050 inches in thickness.
- Cabinet interiors to be melamine per Interior & Exterior Material Selection Form.

EDGE TYPE

- Laminate edge to match horizontal and / or vertical surfaces as specified.
- PVC edge will be combined through a substitution request.
- Backsplash profile to be similar throughout.
- Applied backsplash to be caulked to the horizontal surface.

SOLID SURFACE

- Corian or equal to be 1/2" solid material not including substrate.
- Corian, Silestone, or equal natural surface to be 3/4" solid material and a total of 1 1/4" including substrate.

DRAWERS & DOORS

- Standard drawers to have a 75 pound total bearing capacity.
- Heavy duty roll outs to bear 100 pound minimum at full extension.
- Hinges to be fully concealed.
- Hinges to be Easy Release with 180 degree swing.

HARDWARE

- Hardware per Interior & Exterior Material Selection Form
- Wire pulls to be 3" minimum.
- Cut in, supply, and install plastic grannets as required.

SUPPORTS & BACKER

- Horizontal work surface supports to be steel L brackets or angled
- Laminated brackets which allow for clearance of knee space.
- Bathroom vanity supports to have moulded panels that conceal plumbing.

WOOD CASEWORK

- Solid wood material for door and drawer fronts.

TOE KICKS

- Cabinet subcontractor to finish and install toe kicks to match vertical surface.

INSTALLATION

- Cabinet Subcontractor is responsible for all field verification.
- Cabinet installer responsible for cutting in all sink holes and grannets.
- Installation by properly trained and certified personnel only.
- Cabinet installer required to supply venting slots for all decisions as required.
- Damage caused to other finishes by the installer is subject to back charge.

PROTECTION

- Protect cabinet vertical and horizontal surfaces from damage during construction.
- Correct all deficiencies in Cabinet Work that do not comply with requirements.
- Protect adjacent construction from damage related to Cabinet work.

DIVISION 07 - THERMAL & MOISTURE PROTECTION

0710 - INSULATION SPECIFICATIONS (1.7.2.1)

SUBMITTALS

- With Original Price Proposal: List Product and Manufacturer, and depth of blown in insulation required to achieve specified R-Value.

MANUFACTURERS

- CertainTeed Fiberglas insulation or Equal.

SCHEDULE

BATT INSULATION

- Batt insulation to be Fiberglass.
- R-Values per plan and Request for Quotation.
- Insulation at interior walls designated for sound to match stud widths.

BLOWN IN INSULATION

- Blown in material to be loose fiberglass.
- R-Value per plan and Request for Quotation.

VAPOR BARRIER

- Vertical surfaces to be 6 mil polyethylene
- Horizontal (bottom cord of trusses) to be 8 mil polyethylene.
- All joints to be taped.
- Vapor Barrier to be stapled or adhered to framing

EAVE VENTS

- Size to match truss spacing.
- Eave vents to be placed between each truss at low side eave.
- Eaves to be insulated up to, and around eave vents at the energy head.

INSTALLATION

- Close off all open cavities.
- Fill all voids.
- Installation by properly trained and certified personnel only.
- Seal joints adjacent to all other trades penetrations to create an air tight seal.
- Install eave relief on trusses every 300 ft per NAIMA recommendations.

PROTECTION

- Protect all insulation material from weather damage prior to, and after installation.
- Protect adjacent construction from damage related to insulation work.

0720 - EXTERIOR INSULATED FINISH SYSTEM

SUBMITTALS

- Submit a texture sample as requested - minimum sample size to be 24" x 24"

MANUFACTURERS

- Dryvit, Parox, Stowe, or equal

SCHEDULE

BASE

- Expanded polystyrene
- 1 1/2" thickness minimum unless otherwise specified
- 3/4" thickness minimum behind any grooves
- Foam to be mechanically fastened to substrate

REINFORCING

- Glass fiber mesh to be compatible with finished surface requirements
- High impact mesh required at the first 36" above finished grade

FINISH SYSTEM

- System to provide equalized pressure
- To be a complete system that prevents water intrusion and eliminates any incidental moisture that does occur

TRIM ACCESSORIES

- Base Flashing to allow for proper drainage
- Window returns to be of similar material as the body
- One piece control joint with V shaped slot and removable strip

INSTALLATION

- Install backs, back-wrap or edge-wrap mesh at all terminations
- Install substrate without gaps and in a running bond pattern
- Base any board irregularities
- Apply base coat and fully embed mesh
- Apply primer coat only after base coat is completely dry
- Apply finish coat per specified finish and color
- Install all materials per manufacturer's recommendations
- Expansion joints to be installed at any building or substrate expansion and where EFS abuts dissimilar materials or per manufacturer's recommendations
- Expansion joints to be caulked by the EFS subcontractor
- On continuous runs, expansion joints to be installed at 75' o.c. maximum

PROTECTION

- Weather protection is the responsibility of the Subcontractor.
- Any damaged product caused by weather is the responsibility of the subcontractor prior to installation
- Correct all deficiencies that do not comply with project requirements

0730 - SHINGLE / ALUMINUM SOFFIT SPECIFICATIONS (1.7.3.1)

MANUFACTURERS

- SHINGLE ROOF - CertainTeed or equal per material selection form
- ALUMINUM SOFFIT - Fibrex or equal per material selection form

SCHEDULE

ASPHALT SHINGLE

- Fiberglass based, self-sealing laminate architectural, class A asphalt
- Shingle with 30 year minimum guarantee.
- Provide matching starter strip, hip, and ridge shingles.
- Shingles to be nailed with #11 hot dipped galvanized roofing nails.

SUBSTRATE

- 15# felt paper to be applied and secured to prevent wind damage.
- A water shield as required by code to be provided between, truss closed surfaced, self-sealing

FLASHINGS

- Valley Flashing to be selected from standard manufacturer's colors
- Edge Flashing to be pre-painted aluminum to match fascia color.
- Fascia Flashing to be Fibrex I, pre-painted aluminum. Fascia greater than 10" to be .032 aluminum

SOFFIT

- Fibrex CV 3-16 aluminum or equal.
- Overhang soffit to be .032 aluminum for lengths less than 48"
- Canopy soffits to be .032 Peterson aluminum or equal for lengths greater than 48"
- All soffit trim to match material and color

GUTTERS

- Gutters to be seamless .5" K style roll formed unless otherwise specified
- Gutters to be minimum .032 aluminum coil stock

DOWNSPOUTS

- Downspouts to be closed pre-manufactured aluminum to match gutter color unless otherwise specified.
- Downspout size to be determined by subcontractor
- Final location to be field verified

MISCELLANEOUS

- Any penetrations to be caulked with asphalt fluxus roof cement
- Stop flashing to be .002 galvanized steel to roof / wall

ROOF VENTS

- Continuous ridge vent to be CertainTeed shingle vent or equal
- Where ridge vent length is insufficient for venting, alternate venting Required. Subcontractor to provide venting options.

INSTALLATION

- Do not shingle through valleys
- Install all products per manufacturer's recommendations
- Use A Water shield to be installed per state and local requirements and at all roof penetrations
- Installation by properly trained and certified personnel only
- All penetrations to be sealed by the roofer to ensure weather tightness
- Damage caused by the installer to other finishes are subject to backcharge
- Material to be installed parallel and true

PROTECTION

- Weather protection is the responsibility of the Subcontractor.
- Any damaged product caused by weather is the responsibility of the Roofing / Soffit contractor prior to installation.
- Projects where new work areas adjoin an existing building will require the Roofing contractor to protect the existing building.
- Leave one bundle of the selected shingle on the jobsite.
- Correct all deficiencies that do not comply with project requirements.
- Subcontractor is responsible for any damage caused by fasteners not disposed of properly.

0740 - VINYL / CEMENT BOARD SIDING SPECIFICATIONS (1.7.4)

MANUFACTURERS

- VINYL SIDING - Varifarm Ashton Heights or equal per material selection form
- CEMENT BOARD SIDING - CertainTeed Weatherboards or equal per material selection form
- COMPOSITE SIDING - LP SmartSide or equal per material selection form

SCHEDULE

VINYL SIDING

- Extruded Polyvinyl chloride .042" minimum with lifetime warranty.
- Coefficient of linear thermal expansion per ASTM standards or better.
- Vinyl siding to be nailed with 1 1/2" hot dipped galvanized roofing nails.

COMPOSITE SIDING

- Exterior Grade phenolic resin saturated paper overlay laminated in EPA Registered zinc borate preservative treated engineered wood.
- Exposed edges sealed for moisture.

CEMENT BOARD SIDING

- Cement, fly ash, and cellulose fiber complying with ASTM C 1186 Type A Grade II minimum 5/16" thick.
- Siding to have a flame spread index of 0, Flammability Strength of 1450 psi, UV resistant, and Coefficient of Thermal Expansion of less than 1 x 10^-5/inch/inch/degree F

TRIM

- Corners, J channel, and window / door trim to match siding color unless otherwise specified in the material selection form.
- All trim pieces to be of the same material as the siding unless specified otherwise.
- Outside corners to overlap siding by 1" minimum.

FLASHING

- All flashing required to provide a weather tight seal to include siding to sills, Windows, doors, etc.
- Aluminum Flashing to be .032" profile per plan.
- All edges to be blunt and free from burrs.
- Final color per material selection form.

INSTALLATION

- Touch up all cut edges on siding and trim.
- Install all products per manufacturer's recommendations
- Use trim details as shown on plans.
- Installation by properly trained and certified personnel only
- All openings and penetrations to be sealed by the siding subcontractor to ensure weather tightness
- Damage caused by the installer to other finishes are subject to backcharge
- Material to be installed parallel and true

PROTECTION

- Weather protection is the responsibility of the Subcontractor.
- Any damaged product caused by weather is the responsibility of the Siding contractor prior to installation.
- Projects where new work areas adjoin an existing building will require the Siding contractor to protect the existing building.
- Correct all deficiencies that do not comply with project requirements.
- Subcontractor is responsible for any damage caused by fasteners not disposed of properly.

0750 - EPDM ROOF SPECIFICATIONS (1.7.5)

SUBMITTALS

- With Original Price Proposal: List proposed Product and Manufacturer of EPDM System. Any substitution requests must be submitted with original proposal.

MANUFACTURERS

- Acceptable Manufacturers: Curtile Sys Tec, Firestone Building Products, Johns Manville.

SCHEDULE

EPDM MEMBRANE

- 80 mil fully adhered membrane per plan and proposal.
- Or
- 80 mil or 45 mil ballasted per plan and proposal.
- Fasteners per manufacturer's recommendation.
- Comply with all local building codes.
- Assembly to have UL class A Fire Hazard Classification

BONDING AGENT

- Neoprene based - compatible with all applicable substrates.
- Lap Splices: EPDM based compatible with EPDM membrane.

VAPOR RETARDER

- Small vapor barrier required at canvess or freezer applications
- Or as indicated per plan and specification.

ROOF INSULATION

- Polyisocyanurate closed cell foam with black glass reinforcing.
- Minimum 1" layer per plan.
- EPS foam to be installed with dens deck to maintain UL Class A Fire Hazard Classification.

METAL ACCESSORIES

- Continuous metal edge termination to be aluminum, water tight, and with no exposed fasteners.
- Parapet cap flashings to be .032 minimum aluminum with reuses
- Pitch toward the roof.

MATERIALS - GENERAL REQUIREMENTS

- Materials to be compliant with ASTM D 4857

INSTALLATION

- Install roofing, flashing, insulation, and accessories in accordance with the manufacturers recommendations.
- Installation by properly trained and certified personnel only.
- All surface preparations per EPDM manufacturer's recommendations.

PROTECTION

- Protect membrane roofing system from damage and wear during remainder of construction.
- When remaining construction will not affect or endanger roofing, inspect roofing for deterioration and damage.
- Correct all deficiencies in membrane that do not comply with requirements.
- Protect adjacent property, vehicles, and persons from damage related to roofing work.

DIVISION 08 - DOORS & WINDOWS

0810 - OVERHEAD SECTIONAL DOORS (1.8.1)

MANUFACTURERS

- SECTIONAL DOOR - Overhead Door Corporation, EZ Therm, or equal
- OPERATORS - Liftmaster or equal

SCHEDULE

SECTIONAL DOOR

- 26 gauge galvanized steel panel
- Doors to be minimum 1 5/8" thick with weatherlight joints
- End stile to be minimum 1 3/4" gauge galvanized steel riveted to outside face
- Center stiles to be minimum 1 3/4" gauge galvanized steel riveted to outside face
- Insulated doors to have an R-Value of 15 or better
- Final color and style per material selection form
- Reinforcement for hardware attachments and applicable wind loads

COMPONENTS

- Door track to be 3" galvanized for all doors 12" wide, 12" high, or larger
- Hardware to be galvanized steel, heavy duty hinges, and free floating hardened
- Steel ball bearing rollers
- Counterbalance to be helically wound high tensile torsion springs with tapered drums and galvanized cables
- Weatherstrips to seal all sides of the door
- Bottom astragal to be compression fit and replaceable
- Lines in door sections to be insulated and sealed for weather tightness

OPERATOR

- 1/2 hp minimum with push button control station per manufacturer's
- Recommendations for door sizes
- Operator eyes A safety necessary as required by code
- Remotes as requested

INSTALLATION

- All required backing to be supplied and installed by the Overhead Door subcontractor
- Install all products per manufacturer's recommendations
- Field verify all dimensions
- Installation by properly trained and certified personnel only
- Operator Eyes A safety necessary as required by code
- Damage caused by the installer to other finishes are subject to backcharge
- Install all material plumb and true, free from any warp and twist
- Remove any adhered signage from doors immediately after installation

PROTECTION

- Weather protection is the responsibility of the Subcontractor.
- Any damaged product caused by weather is the responsibility of the subcontractor prior to installation
- Correct all deficiencies that do not comply with project requirements

0820 - ALUMINUM STOREFRONTS (1.8.2)

SUBMITTALS

- Submit (1) electronic copy of shop drawings within (2) weeks of subcontract award.

MANUFACTURERS

- ALUMINUM FRAMING - Kawneer, Tubelite, or equal per material selection form
- GLAZING - Okonada Building Envelope or equal

SCHEDULE

FRAMING

- Alloy and temper aluminum per manufacturer recommendation
- Doors to be standard 1 1/2" thick.
- Rails and sills to be minimum 3.2mm thick.
- Rail and stile size per RFG - Bottom rail to be ADA compliant
- Aluminum frame to be thermally broken meeting a minimum U-factor of .85
- 6.5 U/ft^2 x sq ft Fahrenheit
- Painted frames to be 70% PVDF with a 10 year fade and chalk warranty

HARDWARE

- Closer to be LCN 1461 or equal
- Weatherstrips to be standard manufacturer pile
- Threshold to be standard aluminum ADA compliant
- Entry hardware per code requirements
- Hinges to be one pair of 4 1/2" ball bearing unless specified otherwise

GLAZING

- Gaskets to be extruded EPDM rubber standard compression type
- Glazing to have low-E coating standard
- Glazing to be tempered as required
- Solar gain to be .88 maximum
- Glass tint as specified in the material selection form
- Annealed glass to consist of 2 layers minimum 1/8" each

FLASHING

- Extruded sill flashing with end dams to match frame color - set in sealant
- Frames to be sealed with Thermo-Dynonic caulk or equal
- Framing members to be wrapped with breatherfelt to match the storefront material as required.

INSTALLATION

- Fill all voids and shim spaces with insulation
- Install all products per manufacturer's recommendations
- Field verify all dimensions
- Installation by properly trained and certified personnel only
- All openings and penetrations to be sealed by the aluminum storefront subcontractor to assure weather tightness
- Damage caused by the installer to other finishes are subject to back charge
- Provide separation where aluminum frames will contact dissimilar materials
- Install all material plumb and true, free from any warp and twist
- Clean aluminum framing and remove excess sealant after installation
- Remove any adhered signage from glazing immediately after installation

PROTECTION

- Weather protection is the responsibility of the Subcontractor.
- Any damaged product caused by weather is the responsibility of the aluminum storefront subcontractor prior to installation
- Projects where new work areas adjoin an existing building will require the aluminum storefront subcontractor to protect the existing building.
- Correct all deficiencies that do not comply with project requirements

DIVISION 09 - FINISHES

0910 - DRYWALL / PLASTER (1.9.2)

MANUFACTURERS

- Georgia - Pacific, National Gypsum Co., United States Gypsum, or equal

SCHEDULE

GYPSUM BOARD

- 5/8" thickness unless otherwise specified or as required for rated assemblies
- Board to be of maximum lengths to reduce and butt joints
- Board to be a minimum 48" wide
- Water-resistant board adjacent to showers and as indicated
- Edges to be tapered unless otherwise specified
- Board to be compatible with final finish

<





CODE STUDY		2015 IBC/SPS 362 WI Commercial Building Code
		CODE REFERENCE
CITY/COUNTY:	CITY OF LITTLE CHUTE / OUTAGAME COUNTY	
CLOSEST INTERSECTION:	500 MOASIS DRIVE	
DIRECTION FROM INTERSECTION:	SOUTHWEST	
SEWER TYPE:	PUBLIC	
FACILITY USE:	FACTORY (F-1)	
SCOPE OF WORK:	ALTERATIONS & CHANGE OF USE	
BUILDING OCCUPANCY TYPE:	FACTORY (F-1) / STORAGE (S-1)/BUSINESS (B)	SECTION 304.1
CONSTRUCTION TYPE:	II-B	
BUILDING SPRINKLED:	FULLY SPRINKLED	
NO. OF PERSONS EMPLOYED:	Varies	
NO. OF PERSONS (PUBLIC):	Varies	
HANDICAP ACCESSIBILITY:	YES	
FIRST FLOOR (EXISTING):	15,120 SF	
BASEMENT (EXISTING):	872 SF (UNOCCUPIED)	
TOTAL EXISTING BUILDING AREA:	15,992 SF	
AREA OF ALTERATION:	2,259 SF	

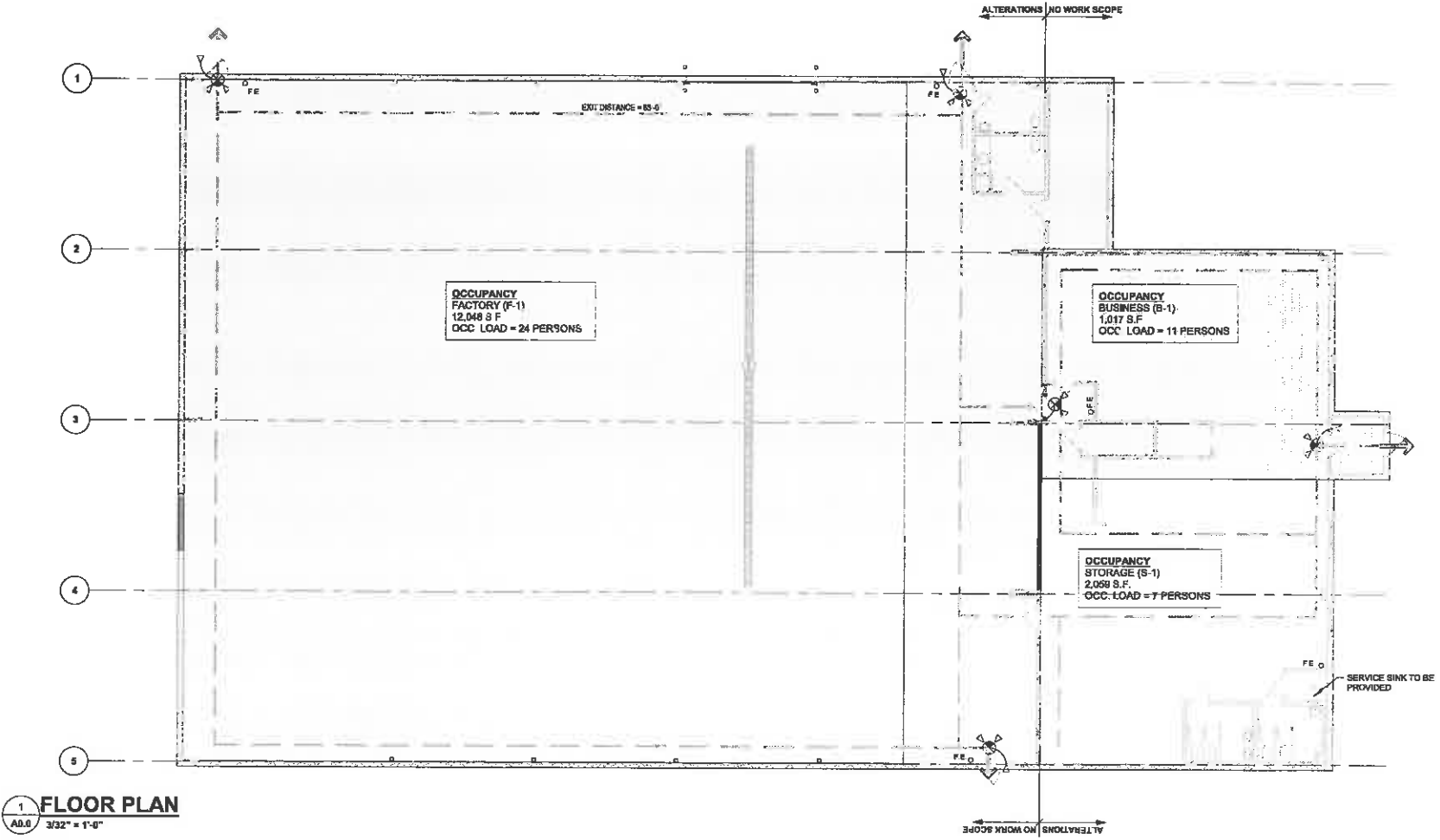
OCCUPANCY LOAD CALCS.				
ROOM/SPACE	USE PER TABLE 1004.1.1	RM. AREA	SQ. FT. AREA/OCC.	OCCUPANT LOAD
OFFICE	BUSINESS (B)	1,017 S.F.	100 GROSS	11 PERSONS
FACTORY	STORAGE (S-1)	12,048 S.F.	500 GROSS	24 PERSONS
STORAGE	STORAGE (S-1)	2,059 S.F.	300 GROSS	7 PERSONS
TOTAL BLDG. OCCUPANT LOAD				42 PERSONS
EGRESS WIDTH CALCS.				
ROOM/SPACE	USE CLASS. OR OCCUPANCY	OCC. LOAD	STAIR WIDTH FACTOR	REQ. STAIR WIDTH
FIRST FLOOR	F-1/BI S-1	42 PER.	.37/OCC.	27'0"OCC.
BASEMENT	UNOCCUPIED	-	-	-
REQ. EGRESS WIDTH - FIRST FLR		42 (TOTAL OCC. LOAD) x .27'0"OCC. = 8.4'		
ACTUAL WIDTH PROVIDED - FIRST FLR		87.5'		
MAX. EXIT DIST.		85 FEET (TOTAL)	MAX. ALLOWED	250 FT./100 FT. (COM)

PLUMBING FIXTURE REQUIREMENT									
OCCUPANCY		WATER CLOSETS		LAVATORIES		TUBS/HOWERS		D. FOUNTAINS	
TYPE	# PEOPLE	FACTORS(S)	# FIX. (M)	# FIX. (F)	FACTOR	# FIX.	FACTOR	# FIX.	# FIX.
BUSINESS (B)	11	1 PER 25 FOR 1ST 50	.22	.22	1/40	.25	N/A	N/A	1/100
FACTORY F-STORAGE (S-1)	31	1 PER 100	.05	.05	1/100	.31	N/A	N/A	1/400
COMPLIANCE CHECK		MEN	WOMEN	LAVATORIES	TUBS/HOWERS	D. FOUNTAINS	OTHER		
		URINALS	W. C.'S	W. C.'S					
REQUIRED		-	1	1	1 (EA)	N/A	1	(1) SERV. SINK REQ'D.	
PROVIDED		-	1	1	1 (EA)	N/A	1	(1) SERV. SINK PRV'D.	

** PER 362.2902 (1) (a) 2 - WHERE OTHER ARRANGEMENTS ARE MADE TO PROVIDE DRINKING WATER, DRINKING FOUNTAINS ARE NOT REQUIRED.

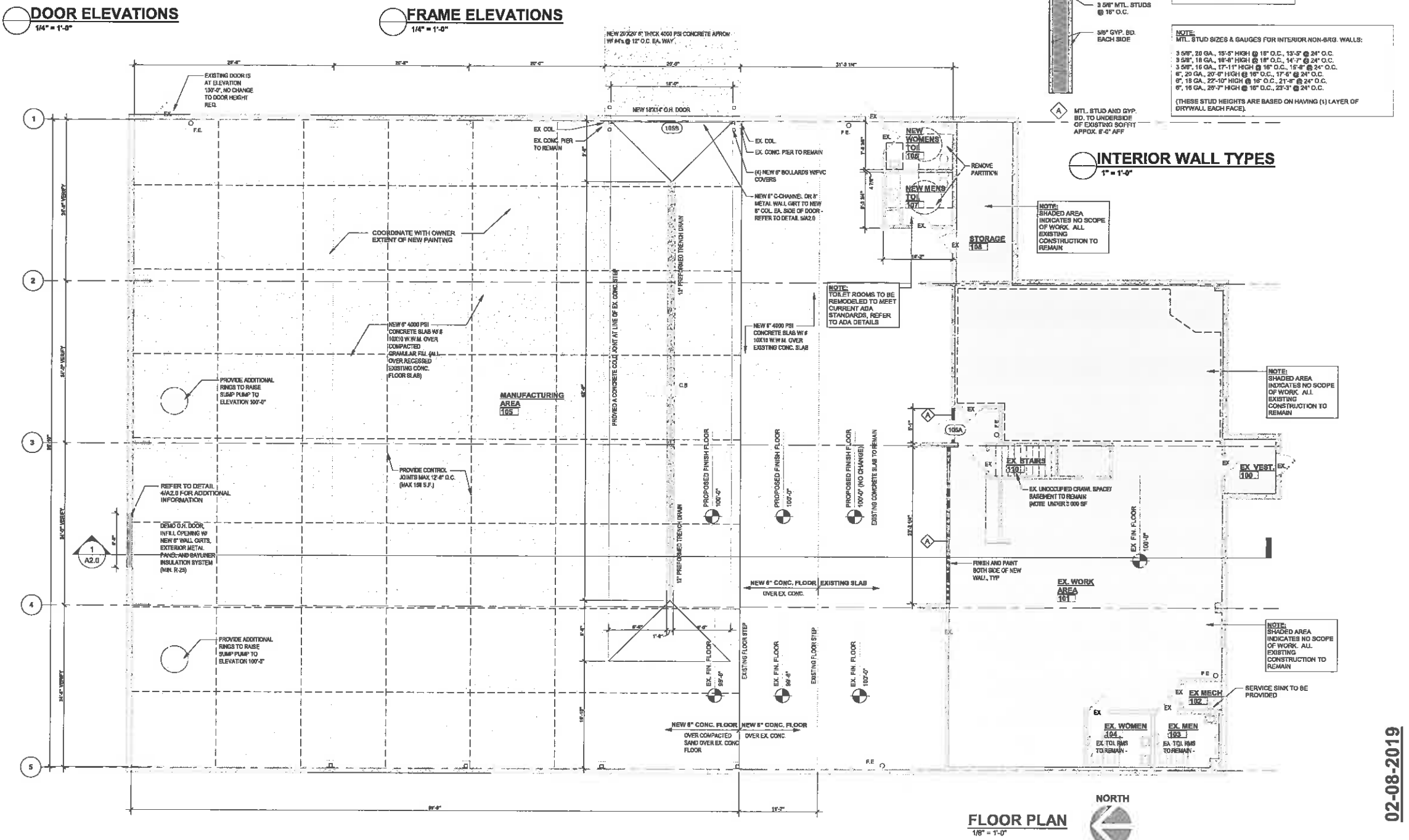
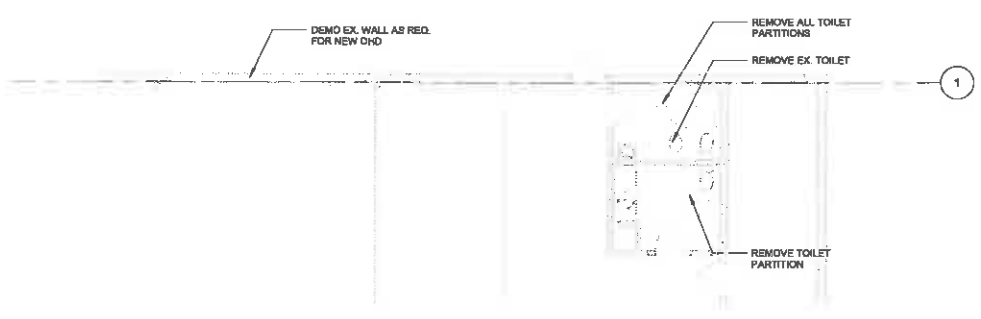
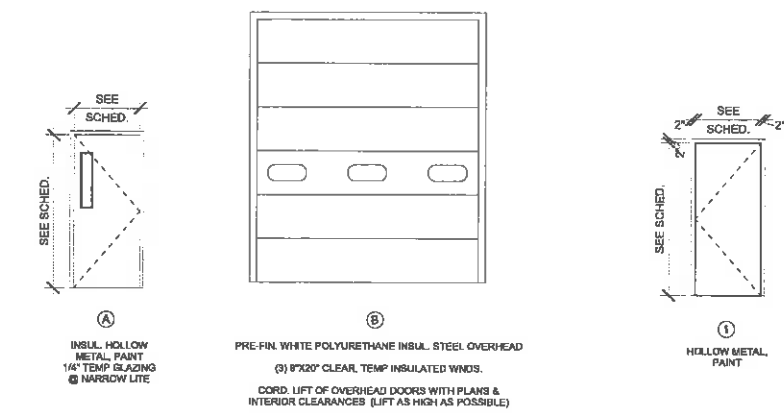
EMERGENCY LIGHTING NOTES:		FIRE EXTINGUISHER NOTES:	
1. ELECTRICAL CONTRACTOR TO INSTALL EMERGENCY LIGHTING THAT PROVIDES A MINIMUM OF 1 FOOT-CANDLE (11 LUX) OF LIGHT AT THE WALKING SURFACE ALONG THE PATH OF EGRESS (CODE SECTION 1006.2). • PER SECTIONS 1006.3, THIS SYSTEM SHALL BE PROVIDE EMERGENCY LIGHTING POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES. • PER SECTIONS 1006.4, THE PERFORMANCE OF THE SYSTEM SHALL PROVIDE AN INITIAL LIGHT ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE AND THAT AT ANY POINT ALONG THE PATH, THE MINIMUM ILLUMINATION SHALL BE 0.1 FOOT CANDLE.		• FIRE EXTINGUISHERS SHALL BE PROVIDED, AT A MINIMUM, TO MEET IBC 908 REQUIREMENTS. IBC 908 REFERENCES SECTION 908 OF THE IFC, WHEN TABLE 908.2(1) INDICATES THE MINIMUM REQUIREMENTS FOR FIRE EXTINGUISHER PLACEMENT, EACH SHALL BE PLACED SO THAT THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER IS 75 FT., AND THE MAXIMUM FLOOR AREA PER 2-A UNIT IS 300 S.F. A TYPICAL 4-A TYPE EXTINGUISHER WOULD COVER 6,000 S.F. • GENERAL CONTRACTOR SHALL COORDINATE ANY ADDITIONAL LOCAL REQUIREMENTS WITH THE LOCAL FIRE DEPARTMENT OFFICIALS.	
2. ELECTRICAL CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING BALLASTS ON CEILING LIGHT FIXTURES ALONG PATH OF EGRESS AS REQUIRED TO MINIMIZE THE NUMBER OF SINGLE PURPOSE EMERGENCY LIGHT FIXTURES. THESE SHALL BE COORDINATED DIRECTLY BETWEEN THE ELECTRICAL CONTRACTOR AND THEIR SUPPLIER SO THAT THE HIGHEST LUMEN OUTPUT EMERGENCY BALLAST AVAILABLE IS PROVIDED IN THE FIXTURES THAT ARE DUAL-PURPOSED FOR EMERGENCY LIGHTING.		HAZARDOUS MATERIAL NOTE: • THERE WILL BE NO HAZARDOUS MATERIALS IN QUANTITIES GREATER THAN ALLOWED BY TABULAR VALUES IN SECTION 414 STORED IN BUILDING, SO NO CONTROL AREAS ARE REQUIRED.	
3. ELECTRICAL CONTRACTOR SHALL PROVIDE A PHOTOMETRIC PLAN SHOWING THE EMERGENCY LIGHTING FIXTURE LAYOUT FOR REVIEW BY THE ARCHITECT PRIOR TO ORDERING FIXTURES. IF THE CONTRACTOR CANNOT PROVIDE SUCH A PLAN, THIS MAY BE COORDINATED THROUGH THE ARCHITECT AT AN ADDITIONAL COST TO THE CONTRACTOR.		HAZARDOUS MATERIAL NOTE: • THERE WILL BE NO HAZARDOUS MATERIALS IN QUANTITIES GREATER THAN ALLOWED BY TABULAR VALUES IN SECTION 414 STORED IN BUILDING, SO NO CONTROL AREAS ARE REQUIRED.	
4. THE ARCHITECT/SUPERVISING PROFESSIONAL IS RESPONSIBLE ONLY FOR VERIFYING COMPLIANCE OF THE EMERGENCY LIGHTING SYSTEM, AS WELL AS COORDINATING ANY ADDITIONAL REQUIREMENTS FROM THE LOCAL AND STATE INSPECTORS.		AUTOMATIC SPRINKLER NOTE: ENTIRE BUILDING TO BE EQUIPPED WITH AN APPROVED, SUPERVISED, AUTOMATIC FIRE SPRINKLER SYSTEM. THIS SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 BY THE FIRE SPRINKLER CONTRACTOR.	

LEGEND:	
	FIRE EXTINGUISHER/FIRE EXTINGUISHER CABINET - MIN. 10W "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODE.
	EXIT/EXIT PATH
	INDICATES EXIT LIGHT SIGN.
	EMERGENCY EGRESS EXTERIOR BATTERY BACKUP LIGHT FIXTURE PER IBC 2908 (1003.2.11.2)



FLOOR PLAN
A0.0 3/32" = 1'-0"

DOOR SCHEDULE													
DOOR NO.	DOOR		HAND	OPENING		TYPE	FRAME		CLOSER	HARDWARE	REMARKS		
	FROM	TO		WIDTH	HEIGHT		MAT'L	FINISH					
105A	MANUF. AREA	EX. WORK AREA	RHR	3'-0"	7'-0"	A	H.M.	PAINTED	1	H.M.	PAINTED	YES	
105B	EXTERIOR	MANUF. AREA	LHD	15'-0"	14'-0"	B	STEEL	MFR	MFR	MFR	MFR	-	OPENER



Keller
PLANNERS ARCHITECTS/BUILDERS

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N216 State Road 33
P.O. Box 620
Keshena, WI 54130
PHONE (920) 766-5295
1-800-236-2534
FAX (920) 766-5204

MADISON
711 Lake Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
FAX (608) 318-2337

MILWAUKEE
N2500 WISCONSIN
Café/Bar
Carmel, WI 53002
PHONE (262) 250-9770
1-800-236-2534
FAX (262) 250-9742

WAUSAU
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www.kellerbuilds.com

WISCONSIN

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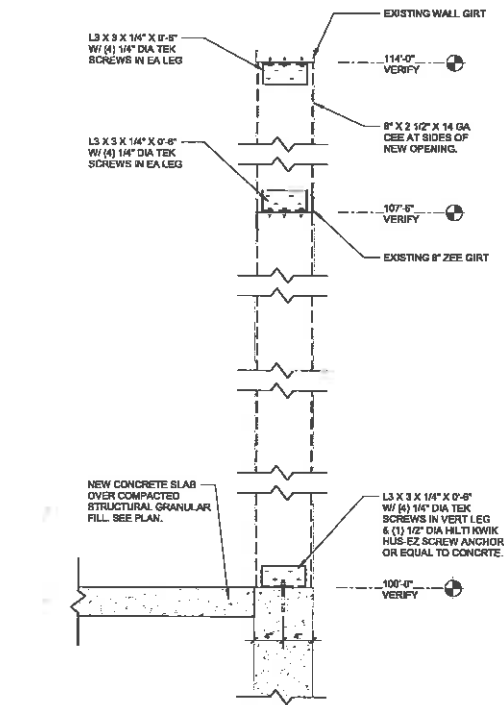
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REVISIONS

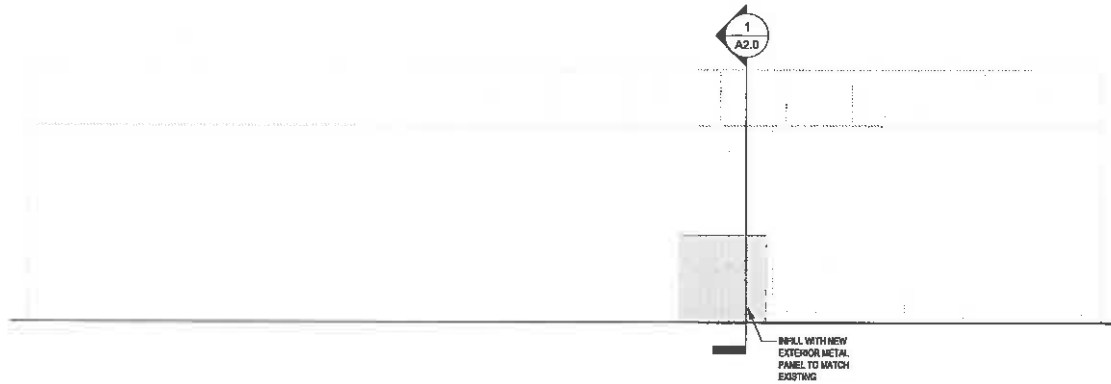
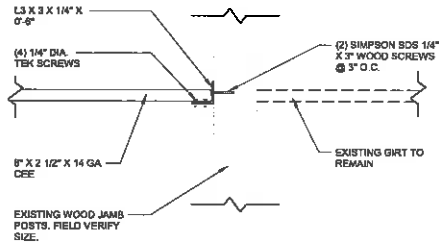
PROJECT MANAGER: D. HULCE
DESIGNER: S. KLESSIG
DRAWN BY: B.G.
EXPEDITOR: A. COHEN
SUPERVISOR: R. LILLIE
PRELIMINARY NO:
CONTRACT NO: 71012
DATE: 02-11-2019
SHEET: **A1.0**

02-08-2019

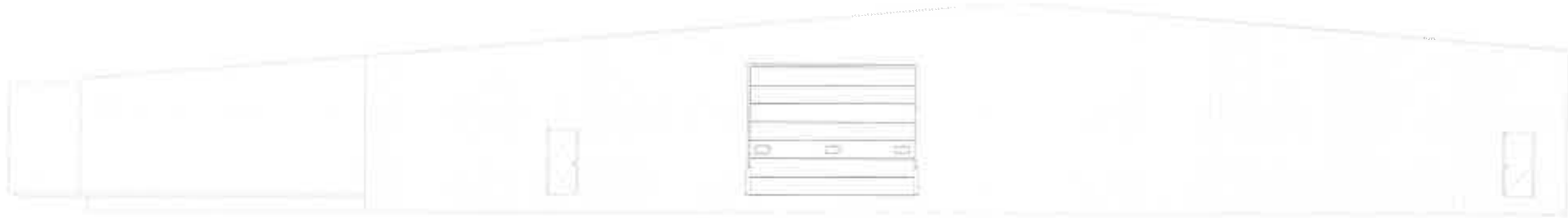


4 NORTH WALL - SIDE VIEW
1" = 1'-0"

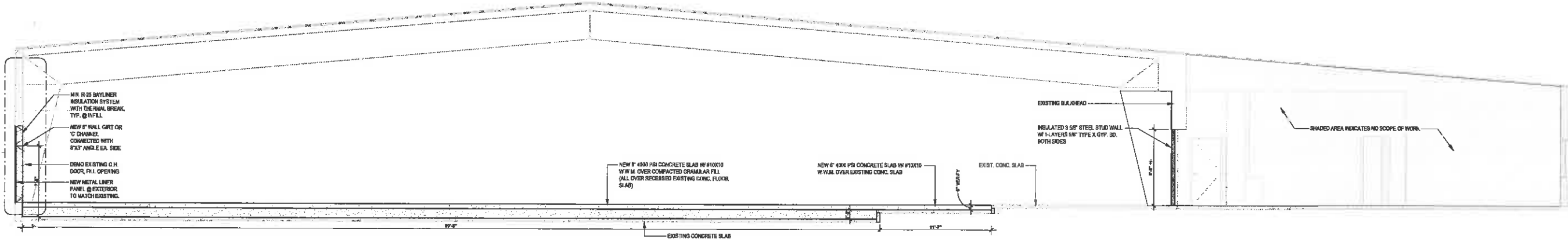
CTION @ O.H. DOOR - EAST WALL
1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 BUILDING SECTION
3/16" = 1'-0"



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WISCONSIN

BUILDING ADDITION & ALTERATIONS FOR:

J&S PROPERTIES

500 MOASIS DRIVE, LITTLE CHUTE,

54140

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REVISIONS

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DESIGNER:

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DRAWN BY:

B.G.

EXPEDITOR:

A. COHEN

SUPERVISOR:

R. LILLIE

PRELIMINARY NO:

CONTRACT NO:

71012

DATE:

02-11-2019

SHEET:

A2.0

02-11-2019

TOPSOIL @ \$605.25 TO FILL = 225 SY
TOPSOIL E-MIX AREA = 485 SY
(1.0' AROUND PATH
(INSIDE & OUTSIDE)) = 389 SY
(1.0' AROUND PLAYGROUND
WALK) = 33 SY
TOTAL = 1132 SY



TITLE
PROJECT
SHEET CONTENTS
VILLAGE OF LITTLE CHUTE, WISCONSIN

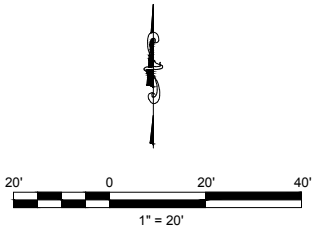
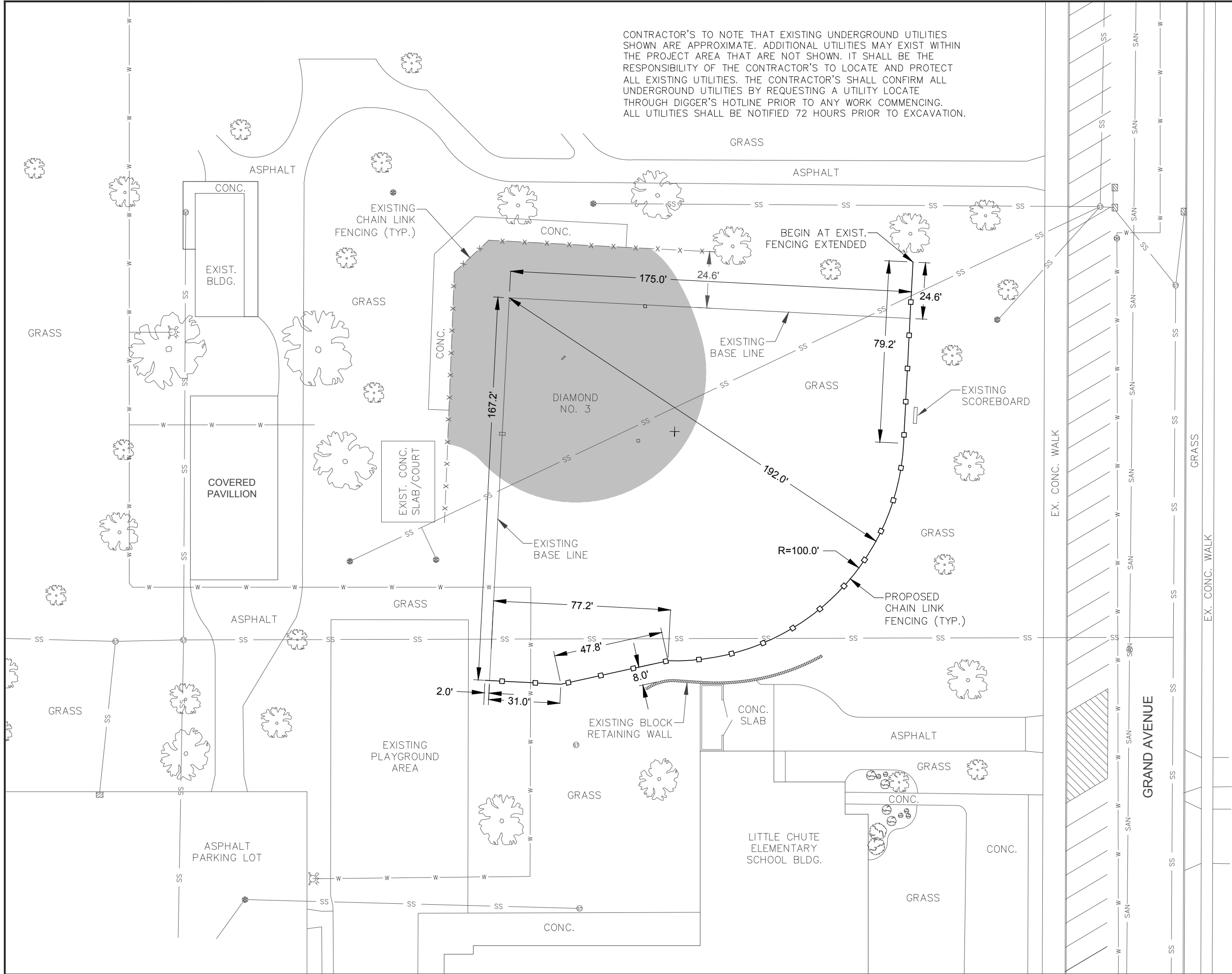
Common
Excavation
Bulb = 50 CY
Path = 607 CY
SW = 51 CY
SWARE = 107 CY
TOTAL =
883 CY
- 50 CY Bulb
825 CY
⇒ 825 CY
2880 FT³
27 = 107 CY

Designed: _____
 Drawn: _____
 Checked: _____
 Approved: _____

PROJECT NUMBER
2019XXX
SHEET REFERENCE NUMBER

X.X

Q:\Dept of Public Works\Engineering Department\2000 - Municipal Projects\Legion Park\10 - DWG\X - Aerial 2018_Clipped_recover.dwg: 2/26/2019 2:29:22 PM: ROBERT OLKIEWICZ: -----



LEGION PARK PROJECT
DIAMOND NO. 3 OUTFIELD FENCE
VILLAGE OF LITTLE CHUTE, WISCONSIN

Designed:
Drawn:
Checked:
Approved:

PROJECT NUMBER
2019002

SHEET REFERENCE NUMBER

DRAFT

