



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, March 11, 2019

TIME: 6:00 p.m.

- A. Call to order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of February 11, 2019
2. Public Hearing—500 Moasis Drive
3. Action—Conditional Use Request for 500 Moasis Drive
4. Recommendation—Creekview Park Trail
5. Recommendation—Legion Park Field 3 Fence
6. Unfinished Business
7. Items for Future Agenda
8. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 March 11, 2019

MINUTES OF THE PLAN COMMISSION MEETING FEBRUARY 11, 2019

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
Larry Van Lankvelt
Kent Taylor
Richard Schevers
Todd Verboomen
President Vanden Berg

ALSO PRESENT: Administrator Fenlon, Community Development Director Moes

Public Appearance for Items Not on the Agenda

None

Approve Minutes from the Plan Commission Meeting of January 14, 2019

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Approve the Minutes of January 14, 2019

All Ayes– Motion Carried

Discussion/Recommendation—Little Chute Area School District Parking Lot Renovation

School Superintendent, Mr. Dave Bots introduced Mr. Dan St. Pierre, Engineer from Point of Beginning Company. Mr. St. Pierre went over the layout plans showing changes proposed for the Little Chute School Parking Lot. Commissioner Van Lankvelt asked about snow plowing problems with Peninsulas being raised and was informed that it shouldn't be an issue.

Moved by Commissioner Verboomen, seconded by Commissioner Van Lankvelt to Approve the Little Chute Area School District Parking Lot Renovation as presented

All Ayes– Motion Carried

Discussion/Recommendation—Industrial Park Parking

Director Moes went over the recommendations on issues with Parking in the Industrial Park. Director Moes is recommending having a Public Hearing so the business owners are notified of what changes will be made.

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Recommend to the Village Board to hold a Public Hearing on changes to the Industrial Park Parking.

All Ayes– Motion Carried

Discussion/Recommendation—Evergreen Drive Signage

Director Moes advised the Plan Commission that directional signage is needed on Evergreen Drive. This is for discussion only and getting the Plan Commissions support and any recommendations moving forward.

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Adjourn the Plan Commission Meeting at 6:43 p.m.

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
PLAN COMMISSION
NOTICE OF PUBLIC HEARING**

CONDITIONAL USE REQUEST

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on March 11, 2019 at 6:00 p.m. by the Village Plan Commission, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Applicant requests a conditional use permit for manufacturing. The property is currently zoned; CH – Commercial Highway District. The requested use falls under special exception uses 44-51 (d) Special exception uses and structures (2) Light manufacturing uses, including packaging, bottling, storage (excluding self-storage warehouses or miniwarehouses), and laboratory uses.

Address: 500 MOASIS DRIVE

Parcel # 260129603

Legal Description: COM S1927.25FT OF NW COR SEC15 T21N R18E E568.05FT NE141.36FT E49.57FT TO POB N493FT TO S R/O/W HY 41 NE261.53FT S506.26 FT W261.20FT TO BEG LESS RD PRT SW NW

Property Owner: J&S ELIPTICON BUILDINGS LLC

Applicant: Dale Hulce (Keller)

DATE OF HEARING: March 11, 2019

TIME OF HEARING: 6:00 p.m.

PLACE OF HEARING: Village Hall

Board Room

108 West Main Street

Little Chute, WI 54140

Publish: March 2, 2019

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

Village of Little Chute Application for CONDITIONAL USE UNDER CHAPTER 44 ZONING CODE

Application fee \$125.00

Date filed _____

The undersigned owner(s) of the property herein described hereby petition for a Conditional Use under the Village of Little Chute Zoning Ordinance Chapter 44, in the Village of Little Chute, Outagamie County, Wisconsin

Property location: 500 Moasis Drive

Legal Description: COM S1927.25FT OF NW COR SEC15 T21N R18E
E568.05FT NE141.36FT E49.57FT TO POB N493FT TO S
R/O/W HY 41 NE261.53FT S506.26 FT W261.20FT TO
BEG LESS RD PRT SW NW DR DIST 1.95AC

Current Zoning Classification: Commercial Highway District

Petitioner(s) request permission be granted for the following conditional use(s):

Light manufacturing

Petitioner(s) reason(s) for requesting the above described conditional use are as follows:

Moving away from Appleton closer to corporate office which is across the parking lot. Would like to keep the business in Little Chute.

Attach Surveys, building plans, drainage plans, site plans, statements of days & hours of operation, estimates of additional traffic generated, statements regarding effect on neighboring properties and any other additional information which may assist in determining that the proposed use is appropriate that such use is not hazardous, harmful, offensive or adverse to the environment or the value of the neighborhood or the community.

Owner(s) Name(s) J&S Properties

Owner(s) Address 2450 Theresa Ave Appleton WI 54914

Phone Numbers 920-470-1886

APPLICANT(S) Signature(s) *Dare Helen*

Date Signed 2/7/19

Article IV: Conditional Uses

Sec. 44-113. Purpose.

The development and execution of this article is based upon the division of the village into districts, within which districts the use of land and buildings, and bulk and location of buildings and structures in relation to the land, are mutually compatible and substantially uniform. However, there are certain uses which, because of their unique characteristics, cannot be properly classified as unrestricted permitted uses in any particular district, without consideration, in each case, of the impact of those uses upon neighboring land or public facilities, and of the public need for the particular use of a particular location. Such uses, nevertheless, may be necessary or desirable to be allowed in a particular district provided that due consideration is given to location, development and operation of such uses. Such uses are classified as conditional uses.

Sec. 44-114. Authority of the plan commission and village board; requirements.

(a) The plan commission or village board may authorize the zoning administrator to issue a conditional use permit after review and public hearings. The village board shall have sole authority to approve conditional uses for multifamily developments whenever a conditional use permit is required. The village board shall prior to holding a public hearing on a conditional use, refer the requested use to the plan commission for review and recommendation. The plan commission may authorize all other conditional uses. Prior to authorization of the zoning administrator to issue a conditional use permit, the board or commission (whichever has jurisdiction), shall hold a public hearing to review the requested use and shall determine that such conditional use and involved structure are found to be in accordance with the purpose and intent of this chapter, and are further found not to be hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community. The issuance of a conditional use permit shall specify the period of time for which effective, the name of the permittee, the location and legal description of the affected premises, permitted hours and days of operation if specified, and any other restrictions or regulations imposed so that the standard of this article may be complied with. Prior to the granting of a conditional use the board or the commission shall make findings based upon evidence presented that the standards herein prescribed are being complied with.

(b) Any development within 500 feet of the existing or proposed rights-of-way of freeways, expressways and within one-half mile of their existing or proposed interchange or turning lane rights-of-way shall be specifically reviewed by the highway agency that has jurisdiction over the traffic way. The plan commission or village board shall request such review and await the highway agency's recommendation for a period not to exceed 20 days before taking final action.

(c) Conditions such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operation control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the plan commission or village board upon its finding that these are necessary to fulfill the purpose and intent of this chapter.

(d) Compliance with all other provisions of this chapter, such as lot width and area, yards, height, parking, loading, traffic, highway access and performance standards shall be required of all conditional uses.

Sec. 44-115. Initiation of conditional use.

Any person, firm, corporation or organization having a freehold interest or a possessory interest entitled to exclusive possession, or a contractual interest which may become a freehold interest, or an exclusive possessory interest, and which is specifically enforceable in the land for which a conditional use is sought may file an application to use such land for one or more of the conditional uses in the zoning district in which such land is located.

Sec. 44-116. Application.

(a) *Required application materials.* An application for a conditional use shall be filed in duplicate on a form prescribed by the village. Such applications shall be forwarded to the plan commission or village board on receipt by the zoning administrator. Such applications shall include where applicable.

(1) A statement, in writing, by applicant and adequate evidence showing that the proposed conditional use shall conform to the standards set forth in section 44-119.

(2) Names and addresses of the applicant, owner of the site, architect, professional engineer, contractor and all property owners of record within 100 feet.

(3) Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees and the zoning district within which the subject site lies.

(4) Plat of survey prepared by a registered land surveyor showing all of the information required for a building permit and existing and proposed landscaping.

(5) Additional information as may be required by the plan commission or village board or other boards, commissions or officers of the village. The village board may require such other information as may be necessary to determine and provide for an enforcement of this chapter, including:

- a. A plan showing contours and soil types;
- b. High-water mark and groundwater conditions;
- c. Bedrock, vegetative cover, specifications for areas of proposed filling, grading, and lagooning;
- d. Location of buildings, parking areas, traffic access, driveways, walkways, open spaces and landscaping;
- e. Plans of buildings, sewage disposal facilities, water supply systems and arrangements of operations.

(6) Fee receipt in the amount of \$125.00.

(b) *Conditional use permits granted to applicant only.* All applications for conditional use permits shall be in writing and shall be signed by the real estate property owner. The conditional use permit, if and when granted, shall inure to the benefit of the real estate and any successor in title to ownership of that real estate.

(c) *Plans.* In order to secure information upon which to base its recommendation, the plan commission or village board, in making its determination, may require the applicant to furnish, in addition to the information required for a building permit, the following information:

- (1) A plan of the area showing contours, soil types, high-water mark, groundwater conditions, bedrock, slope and vegetation cover;
- (2) Location of buildings, parking areas, traffic access, driveways, walkways, open spaces, landscaping, lighting;
- (3) Plans for buildings, sewage disposal facilities, water supply systems and arrangements of operations;
- (4) Specifications for areas of proposed filling, grading, lagooning or dredging;
- (5) Other pertinent information necessary to determine if the proposed use meets the requirements of this chapter.

Sec. 44-117. Hearing on application.

All requests for conditional uses shall be to the plan commission or the village board can, on its own motion, apply conditional uses when applications for rezoning come before it. Nothing in this chapter shall prohibit the village board, on its own motion, from referring the request for conditional use to the plan commission. Upon receipt of the application and statement referred to in section 44-116, the plan commission or village board shall hold a public hearing on each application for a conditional use at such time and place as shall be established by such commission or the village board. The hearing shall be conducted and a record of the proceedings shall be preserved in such a manner and according to such procedures, as the plan commission or village board shall, by rule, prescribe from time to time.

Sec. 44-118. Notice of hearing on application; approval by the plan commission or village board.

Notice of the time, place and purpose of such public hearing shall also be sent to the applicant, the zoning administrator, members of the plan commission or village board, and the owners of record as listed in the office of the village assessor who are owners of property in whole or in part situated within 100 feet of the boundaries of the properties affected, said notice to be sent at least five days prior to the date of such public hearing. Failure to comply with this provision shall not, however, invalidate any previous or subsequent action on the application. The notification shall include the date and time that the matter will be discussed and acted upon by the commission or village board. The plan commission or village board shall hold said hearing not later than 60 days from the date that the conditional use petition has been presented to the village. The plan commission or village board may also mail copies of the application and notice of the plan commission or village board public hearing thereon to any other interested persons as determined from time to time by the plan commission or village board.

Sec. 44-119. Standards.

No application for a conditional use shall be granted by the plan commission or village board on appeal unless such commission or board shall find that the following conditions are present:

- (1) That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (2) That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- (3) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- (5) That the conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- (6) That the proposed use does not violate floodplain regulations governing the site.
- (7) That, when applying the above standards to any new construction of a building or an addition to an existing building, the plan commission or village board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.
- (8) That, in addition to passing upon a conditional use permit, the plan commission or village board shall also evaluate the effect of the proposed use upon the following:
 - a. The maintenance of safe and healthful conditions.
 - b. The prevention and control of water pollution including sedimentation.
 - c. The existing topographic and drainage features and vegetative cover on the site.
 - d. The location of the site with respect to floodplain and floodways of rivers and streams.
 - e. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
 - f. The location of the site with respect to existing or future access roads.
 - g. The need of the proposed use for a shoreland location.
 - h. Its compatibility with uses on adjacent land.
 - i. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Sec. 44-120. Approval or denial of conditional use permit.

(a) *Plan commission or village board action.* The plan commission or village board may approve, disapprove, or approve subject to stipulated conditions and safeguards a request for a conditional use permit. If the plan commission or village board shall disapprove of an application, it shall state fully in its record its reasons for doing so. Such reasons shall take into account the factors stated in section 44-119 or such of them as may be applicable to the action of disapproval and the particular regulations relating to the conditional use requested, if any.

(b) *Denial.* When the decision of denial of a conditional use application is made, the plan commission or village board shall furnish the applicant, in writing when so requested, those standards that are not met and enumerate reasons used in determining that each standard was not met.

Sec. 44-121. Appeals.

Any action of the plan commission or village board in granting or denying a conditional use permit may be appealed to the board of appeals, if a written request for an appeal is filed within ten days after the date of action in granting or denying the permit. Such request for appeal shall be signed by the applicant or by the owners of at least 20 percent of the land area immediately adjacent extending 100 feet therefrom or by the owners of 20 percent or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land. The request shall be filed with the zoning administrator who shall submit it to the board of appeals at its next meeting, together with any documents and other data used by the plan commission or village board in reaching its decision. The board of appeals may consider the matter forthwith, refer the matter to a subsequent meeting or set a date for a public hearing thereon. In the event the board of appeals elects to hold a public hearing, notice thereof shall be given by mail to the known owners of the land immediately adjacent thereto and directly opposite any street frontage of the lot or parcel in question and by publication of a Class 1 notice in the official newspaper at least ten days before the date of the hearing. The board of appeals may either affirm or reverse in whole or in part the action of the plan commission or village board and may finally grant or deny the application for a conditional use permit.

Sec. 44-122. Conditions and guarantees.

The following provisions shall apply to all conditional uses:

(1) *Conditions.* Prior to the granting of any conditional use, the plan commission or village board may stipulate such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the conditional use as deemed necessary to promote the public health, safety and general welfare of the community, and to secure compliance with the standards and requirements specified in section 44-119. In all cases in which conditional uses are granted, the plan commission or village board shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated in connection therewith are being and will be complied with. Such conditions may include specifications for, without limitation because of specific enumeration:

- a. Landscaping;
- b. Type of construction;
- c. Construction commencement and completion dates;
- d. Sureties;
- e. Lighting;
- f. Fencing;
- g. Operational control;
- h. Hours of operation;
- i. Traffic circulation;
- j. Deed restrictions;
- k. Access restrictions;
- l. Setbacks and yards;
- m. Type of shore cover;
- n. Specified sewage disposal and water supply systems;
- o. Planting screens;
- p. Piers and docks;
- q. Increased parking; or
- r. Any other requirements necessary to fulfill the purpose and intent of this chapter.

(2) *Site review.* In making their decisions, the plan commission or village board shall evaluate each application and may request assistance from any source, which can provide technical assistance. The commission or board may review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems and the proposed operation/use.

(3) *Alteration of conditional use.* No alteration of a conditional use shall be permitted unless approved by the plan commission or village board.

(4) *Architectural treatment.* Proposed architectural treatment will be in general harmony with surrounding uses and the landscape. To this end, the plan commission or village board may require the use of certain general types of exterior construction materials and/or architectural treatment.

(5) *Sloped sites; unsuitable soils.* Where slopes exceed six percent and/or where a use is proposed to be located on areas indicated as having soils which are unsuitable or marginal for development, on-site soil tests and/or construction plans shall be provided which clearly indicate that the soil conditions are adequate to accommodate the development contemplated and/or that any inherent soil condition or slope problems will be overcome by special construction techniques. Such special construction might include, among other techniques, terracing, retaining walls, oversized foundations and footings, drain tile, etc.

(6) *Conditional uses to comply with other requirements.* Conditional uses shall comply with all other provisions of this chapter such as lot width and area, yards, height, parking and loading. No conditional use permit shall be granted where the proposed use is deemed to be inconsistent or conflicting with neighboring uses for reasons of smoke, dust, odors, noise, vibration, lighting, health hazards or possibility of accident.

Sec. 44-123. Validity of conditional use permit.

Where the plan commission or village board has approved or conditionally approved an application for a conditional use, such approval shall become null and void within 12 months of the date of the commission's or board's action unless the use is commenced, construction is underway or the current owner possess a valid building permit under which construction is commenced within six months of the date of issuance and which shall not be renewed unless construction has commenced and is being diligently prosecuted. Approximately 45 days prior to the automatic revocation of such permit, the zoning administrator shall notify the holder by certified mail of such revocation. The plan commission or village board may extend such permit for a period of 90 days for justifiable cause, if application is made to the village at least 30 days before the expiration of said permit.

Sec. 44-124. Complaints regarding conditional uses.

The plan commission or village board shall retain continuing jurisdiction over all conditional uses for the purpose of resolving complaints against all previously approved conditional uses. Such authority shall be in addition to the enforcement authority of the zoning administrator to order the removal or discontinuance of any unauthorized alterations of an approved conditional use, and the elimination, removal or discontinuance of any violation of a condition imposed prior to or after approval or violation of any other provision of this Code. Upon written complaint by any citizen or official, the plan commission or village board shall initially determine whether said complaint indicates a reasonable probability that the subject conditional use is in violation of either one or more of the standards set forth in section 44-119, or a condition of approval or other requirement imposed hereunder. Upon reaching a positive initial determination, a hearing shall be held upon notice as provided in section 44-118. Any person may appear at such hearing and testify in person or represented by an agent or attorney. The plan commission or village board may, in order to bring the subject conditional use into compliance with the standards set forth in section 44-119 or conditions previously imposed by the plan commission or village board modify existing conditions upon such use and impose additional reasonable conditions upon the subject conditional use. Additionally, the offending party may be subjected to a forfeiture as set forth in section 1-12. In the event that no reasonable modification of such conditional use can be made in order to ensure that standards in section 44-119(a) and (b) will be met, the plan commission or village board may revoke the subject conditional approval and direct the zoning administrator and the village attorney to seek elimination of the subject use. Following any such hearing, the decision of the plan commission or village board shall be furnished to the current owner of the conditional use, in writing, stating the reasons therefore. An appeal from a decision of the plan commission or village board under this section may be taken to the board of appeals.

МАТЕРИАЛЫ ИЗДЕЛИЯ, ИСПОЛЬЗУЕМЫЕ

EARTH	FINISHED LUMBER
COMPACTED FILL	RIGID INSULATION
GRAVEL FILL	BATT INSULATION
CERAMIC TILE	DRYWALL
POURED CONCRETE	STEEL
CONCRETE BLOCK	PRECAST CONCRETE
CONCRETE BLOCK FILLED	ACOUSTIC TILE
FACE BRICK	BITUMINOUS PAVING
STONE	EXISTING WALL TO BE REMOVED
ROUGH LUMBER	EXISTING WALL TO REMAIN
PLYWOOD	CONSTRUCT NEW WALL

NOTE:
THE INTENT AND MEANING OF THE CONSTRUCTION DOCUMENTS IS THAT THE CONTRACTOR UNDER THE TERMS OF THE CONTRACT SHALL TAKE ALL ACTIONS NECESSARY AND REQUIRED TO PROVIDE ALL LABOR, MATERIALS, SUPPLIES, EQUIPMENT, TRANSPORTATION, FACILITIES AND APPURTENANCES WHICH ARE INDICATED OR REASONABLY IMPLIED BY EACH DRAWING AND EACH SECTION OF THE SPECIFICATIONS, ALL OF WHICH ARE COLLECTIVELY NECESSARY AND REQUIRED FOR THE CONSTRUCTION OF THE DESCRIBED STRUCTURES AND FACILITIES.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK

IMPORTANT NOTES:
INFORMATION SHOWN ON THESE DRAWINGS (FOR PLUMBING, HVAC AND ELECTRICAL) IS FOR GENERAL DESIGN INTENT/BIDDING PURPOSES ONLY.

ALL CONTRACTORS TO COMPLY WITH ALL LOCAL/STATE CODES AND ORDINANCES.

ALL PLUMBING, HVAC AND ELECTRICAL CONTRACTORS ARE RESPONSIBLE FOR DESIGN, STATE SUBMITTAL AND ALL FEES/PERMITS ASSOCIATED WITH THESE TRADES FOR COMPLETION OF WORK OUTLINED.

IMPORTANT CONTRACTORS NOTES:
ALL CONTRACTORS TO SUBMIT DESIGN/BUILD (PLUMBING, HVAC AND ELECTRICAL) DRAWINGS FOR OWNER REVIEW PRIOR TO STARTING WORK.

SHEET INDEX

T-1.0	TITLE SHEET
T-2.0	GENERAL NOTES
ARCHITECTURAL	
A-0.0	LIFE SAFETY PLAN
A-1.0	OVERALL FIRST FLOOR PLAN, DOOR SCHED., WALL TYPES, FIRST FLOOR DEMOLITION PLAN
A-2.0	EXTERIOR ELEVATIONS, BUILDING SECTION



Keller
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WISCONSIN

J & S PROPERTIES
500 MOASIS DRIVE, LITTLE CHUTE,
54140

BUILDING ADDITION & ALTERATIONS FOR:

"COPYRIGHT NOTICE"
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed or otherwise made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS

PROJECT MANAGER: D. HULCE
DESIGNER: S. KLESSIG
DRAWN BY: B.G.
EXPEDITOR: A. COHEN
SUPERVISOR: R. LILLIE
PRELIMINARY NO:

CONTRACT NO: 71012
DATE: 02-11-2019
SHEET: T1.0

02-11-2019

REFERENCE SYMBOLS

DRAWING SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)
SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
DRAWING NUMBER ON WHICH SECTION APPEARS

PLAN DETAIL / ENLARGED PLAN SYMBOL
DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

DETAIL CUT SYMBOL
DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

ELEVATION MARK
ELEVATION MARK - NEW
ELEVATION MARK - EXISTING

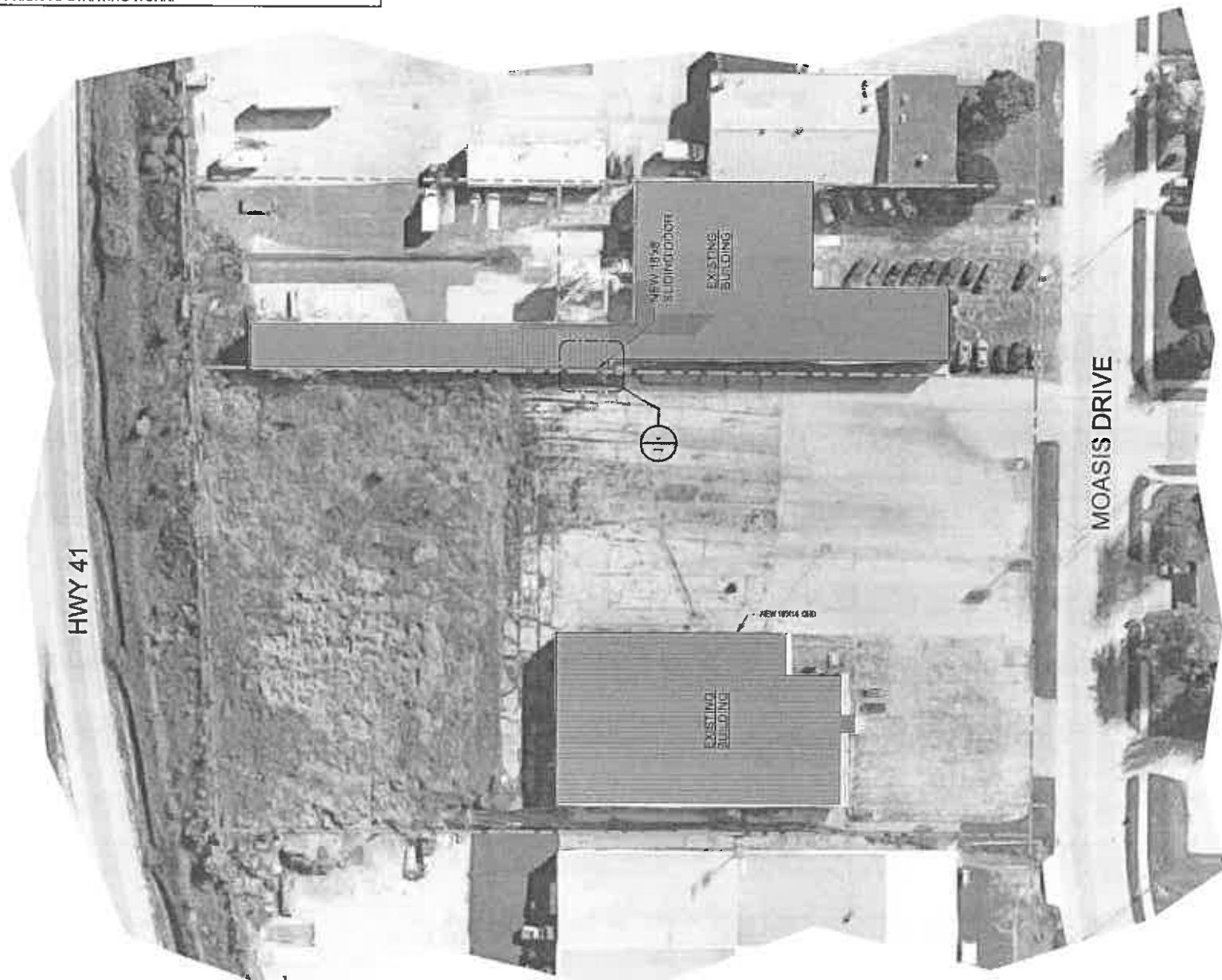
- (101) DOOR TAG
- ⚠ REVISION NUMBER
- WT WINDOW TAG
- (C) COLUMN LINE DESIGNATION - NEW
- WT WALL TYPE
- UP STAIRWAY DIRECTION INDICATION
- KEYNOTE MARK - ACCESSORIES
- KEYNOTE MARK - DEMOLITION NOTES
- KEYNOTE MARK - PLAN NOTES
- 10'-0" A.F.F. SPOT ELEVATION MARKER

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	II-B
OCCUPANCY CLASSIFICATION	FACTORY (F-1)/STORAGE (S-1) / BUSINESS (B)
LOCAL ZONING AUTHORITY	CITY OF LITTLE CHUTE
BUILDING SPRINKLED	YES
BUILDING AREA:	
FIRST FLOOR - EXISTING:	15,124 S.F.
BASEMENT - EXISTING:	672 S.F.
TOTAL:	15,796 S.F.
AREA OF ALTERATION:	2,250 S.F.

BUILDING ADDITION & ALTERATIONS FOR:

J & S PROPERTIES

500 MOASIS DRIVE, LITTLE CHUTE, 54140



CONCEPTUAL SITE PLAN

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.



WISCONSIN

DIVISION 01 - GENERAL CONDITIONS

GENERAL CONDITIONS

- Do not deviate from original bid documents without Keller, Inc. permission.
- Subcontractor is to follow all manufacturer recommendations, industry standards, and comply with all current building and ADA codes.
- Subcontractor is to attend all jobsite meetings as requested.
- Do not deviate from the Interior and Exterior Material Selection Form without prior approval.
- Subject to Keller, Inc.'s determination, material or systems with vendor feature(s) may be allowed as a substitution. Substitution request must be submitted to Keller, Inc. for approval.
- Material delivered to the jobsite must be stored in a location per Keller, Inc. instructions.
- Subcontractor is responsible for proper material storage and protection of materials on the jobsite.
- All material deliveries and handling are the responsibility of the Subcontractor, including all hoisting and material unloading/loading.
- No subcontractor shall begin application or installation of their materials until substrates have been properly prepared. Notify Keller, Inc. of unsatisfactory conditions prior to proceeding.
- Do not install damaged products.
- All layout necessary for the proper completion of work is the responsibility of the respective trades. Control tools will be provided for reference.
- Subcontractor shall verify all public and private utilities on site prior to commencement of work.
- Subcontractor is responsible for maintaining a clean worksite daily.
- All subcontractors are responsible for any trucking or equipment that leaves any debris or mud outside of the project limits by either trucks or delivery trucks.
- Subcontractor is responsible for final clean up and disposal of all materials related to their scope of work at project completion.

DIVISION 04 - MASONRY**0420 - MASONRY SPECIFICATIONS (14.20)**

SUBMITTALS

A Mod-ups will be required based on the complexity of the project and at the owner's discretion. Samples: Unit masonry samples of adequate size showing the full range of colors and textures available for each different exposed masonry unit as requested.

SCHEDULE**CAR / BRICK / STONE / CULTURED STONE**

- All exterior CMU to include Dry Block additive unless painted.
- All exterior CMU to be sealed unless painted.

MORTAR / GROUT

- All exterior mortar to include Dry Block additive.

REINFORCING / TIES

- All reinforcing bar to be Grade 60 ASTM A 615.
- Ties to be 1/4" dia. wire tie.
- Joint reinforcing to be galvanized carbon steel per plan.

FLASHINGS

- Flashings as specified on plan or proposal.
- Formed hemmed edge for installation safety and uniform appearance.

Not required at windows, etc. Above windows and doors

- 40 mil Perma - Barrier (or equal) base flashing adhered to foundation.
- Weeps to be vertical cell vent style - color to match mortar.

MORTAR

- When required, insulation to be seated in place.

BILLS / LINTELS

- Per plan, Request for Quotation, and Interior & Exterior Material Selection Form.

MISCELLANEOUS STEEL

- Per plan and Request for Quotation

INSTALLATION

A Vertical lines not to be more than 1/4" on 20' or 1/2" maximum total.
 B Horizontal lines not to be more than 2" on 20' or 1/2" maximum total.
 C All masonry cuts to be clean and free from chips - conceal cut edges where possible.
 D Mix masonry units to achieve a uniform blend of color variations.
 E Color variations to be concealed by matching with adjacent masonry units or mortar.
 F Mortar joint with excess grout as indicated on the plan.
 G Tool all exposed mortar joints as are indicated on the plan.
 H Control joint to be installed per NCMA standards.
 I Mason to protect masonry units from mud splash until sealed or painted.

PROTECTION

A Cold weather protection is the responsibility of the mason.
 B Any damaged product caused by weather is the responsibility of the mason.
 C Provide new or new areas adjacent an existing building will require the masonry contractor to prevent lines and dust from new cutting from entering the existing building.
 D Mason is responsible for damage caused to other trades due to mason's negligence.
 E Mason to protect masonry units from mud splash until sealed or painted.

DIVISION 06 - WOOD & PLASTICS**0620 - CABINET SPECIFICATIONS (18.20)**

SUBMITTALS

A Submit one set of elevation and layout shop drawings including backer requirements within 2 weeks of subcontract award.

B Submit (3) sets of final approved shop drawings.

SCHEDULE**PLASTIC LAMINATE**

- Wainscot, Formica, or equal to be minimum .850 inches in thickness.
- Cabinet interiors to be melamine per Interior & Exterior Material Selection Form.

EDGE TYPE

- Laminate edge to match horizontal and / or vertical surfaces as specified.
- PVC edge will be considered through a substitution request.
- Backsplash profile to be similar throughout.
- Applied backsplash to be caulked in the horizontal surface.

SOLID SURFACE

- Corian or equal to be .75" solid material not including substrate.
- Corian, Silestone, or equal natural surface to be .334" solid material and a total of 1 1/4" including substrate.

DRAWERS & DOORS

- Standard drawers to have a 75 pound total bearing capacity.
- Heavy duty roll out to be 100 pound minimum of all extension.
- Hinges to be fully concealed.
- Hinges to be Easy Release with 180 degree swing.

HARDWARE

- Hardware per Interior & Exterior Material Selection Form.
- Wife pulls to be 3" minimum.
- Cut-in, supply, and install plastic grommets as required.

SUPPORTS & BACKERS

- Horizontal wall surface supports to be steel L brackets or angled Laminated brackets which allow for clearance of knee swing.
- Bathroom vanity supports to have modesty panels that conceal plumbing.

WOOD CASEWORK

- Solid wood material for door and drawer fronts.

TOE KICKS

- Cabinet subcontractor to finish and install toe kicks to match vertical surface.

INSTALLATION

A Cabinet Subcontractor is responsible for all field verification.

B Cabinet installer responsible for cutting in all sink holes and grommets.

C Installation by properly trained and certified personnel only.

D Cabinet installer required to supply venting slots for air circulation as required.

E Damage caused to other finishes by the installer is subject to back charges.

PROTECTION

A Protect cabinet vertical and horizontal surfaces from damage during construction.

B Correct all deficiencies in Cabinet Work that do not comply with requirements.

C Protect adjacent construction from damage related to Cabinet work.

DIVISION 07 - THERMAL & MOISTURE PROTECTION**0710 - INSULATION SPECIFICATIONS (1.7.20)**

SUBMITTALS

A With Original Price Proposal: List Product and Manufacturer, and depth of blown-in insulation required to achieve specified R-Value.

MANUFACTURERS

A Carnefied Fiberglas insulation or Equal.

SCHEDULE

BATT INSULATION

- Batt insulation to be Fiberglas.
- R-Values per plan and Request for Quotation.
- Insulation at interior walls designated for sound to match stud widths.

BLOWN IN INSULATION

- Brown in material to be loose fiberglass.
- R-Value per plan and Request for Quotation.

VAPOR BARRIER

- Vertical surfaces to be 6 mil polyethylene.
- Horizontal (bottom cord of trusses) to be 8 mil polyethylene.
- All joints to be taped.
- Vapor Barrier to be stapled or adhered to framing.

EAVE VENTS

- Size to match truss spacing.
- Eave vents to be placed between each truss at low side soave.
- Eaves to be insulated up to, and around soave vents at the energy heat.

INSTALLATION

- Close off all open cavities.
- Fit all voids.
- Installation by properly trained and certified personnel only.
- Seal joints adjacent to all other trades penetrations to create an air tight seal.
- Install all caulk routers on trusses every 300 ft per NAMA recommendations.

PROTECTION

A Protect all insulation material from weather damage prior to, and after installation.

B Protect adjacent construction from damage related to insulation work.

0740 - EXTERIOR INSULATED FINISH SYSTEM**SUBMITTALS**

A Submit a texture sample as requested - minimum sample size to be 24" x 24".

MANUFACTURERS

A Dryvit, Parco, Soltex, or equal

SCHEDULE**BASE**

- Expanded polystyrene
- 1 1/2" thickness minimum unless otherwise specified
- 3/4" thickness minimum behind any grooves.
- Foam to be mechanically fastened to substrate

REINFORCING

- Glass fiber mesh to be compatible with finished surface requirements
- High impact mesh required in the first 3" above finished grade

FINISH SYSTEM

- System to provide equivalent pressure
- To be a complete system that prevents water intrusion and eliminates any incidental moisture that does occur

TRIM ACCESSORIES

- Base Flashing to allow for proper drainage
- Window returns to be of semi-gloss as the body
- One piece corner joint with V shaped slot and removable strip

INSTALLATION

- Install tracks, back-wrap or edge-wrap mesh at all terminations
- Install substrate without gaps and in a running bond pattern
- Rap any board irregularities
- Apply base coat and edge-wrap mesh
- Apply exterior edge-wrap base coat is completely dry
- Install all joints per manufacturer's recommendations
- Expansion joints to be installed at any building or substrate expansion and where EIFS abuts exterior materials or per manufacturer's recommendations
- Expansion joints to be caulked by the EIFS subcontractor
- On continuous runs, expansion joints to be installed at 70% o.c. maximum

PROTECTION

A Weather protection is the responsibility of the Subcontractor.

B Any damaged product caused by weather is the responsibility of the Subcontractor prior to installation.

C Correct all deficiencies that do not comply with project requirements

0750 - EPDM ROOF SPECIFICATIONS (1.7.55)**SUBMITTALS**

A With Original Price Proposal: List proposed Product and Manufacturer of EPDM System. Any substitution requests must be submitted with original proposal.

MANUFACTURERS

A Acceptable Manufacturers: Carlisle Syn-Tec, Firestone Building Products, Johns Manville.

SCHEDULE

EPDM MEMBRANE

- 80 mil fully adhered membranes per plan and proposal.
- Or
- 60 mil or 45 mil butted per plan and proposal.
- Fasteners per manufacturer's recommendation.
- Comply with all local building codes.
- Assembly to have UL class A Fire Hazard Classification

BONDING AGENT

- Neoprene based - compatible with all applicable substrates.
- Lap Splices: EPDM based compatible with EPDM membrane.

VAPOR RETARDER

- Small vapor barrier required at cansew or freezer applications
- Or as indicated per plan and specification.

ROOF INSULATION

- Polyisocyanurate closed cell foam with black glass reinforcing.
- Thickness / taper per plan.
- EPS foam to be isolated with dens deck to maintain UL Class A Fire Hazard Classification.

METAL ACCESSORIES

- Continuous metal edge termination to be aluminum, water tight, and with no exposed fasteners.
- Permit cap flashing to be .032 minimum aluminum with reverse pitch toward the roof.

TRIM ACCESSORIES

- Corner beads to be zinc coated steel or formed plastic
- Window returns to have tear away head controls
- One piece control joint with V shaped slot and removable strip
- Roofing channel to be galvanized, hot shaped, 25 gauge minimum, and of a depth per plan

JOINT TREATMENT

- Provide paper or glass fiber reinforcing tape per manufacturer's recommendation
- Use joint compound complying with seal manufacturer's specifications
- Joint to be compatible with surface finish type

FINISHES

- Final color and style per material selection form.

INSTALLATION

A Board to be hung plumb and true

B Board to be hung a minimum of 3/8" off the floor

C Board to be held 1/4" below deck above and screwed no deeper than 1/2" from top plate

D Feather out drywall inside and outside corners a minimum of 24" each way

E Finish walls a minimum of 3" above finished ceiling height

F Drywall to a maximum of 1" from the floor

G Damage caused to adjacent exterior finishes are subject to backcharge

H Any access to have metal joists at a maximum of 30" o.c. or per plan

I Control joints per ASTM C840 Standard

K Plaster to be applied to a minimum of 1/4" thick

L Drywall to be applied to a maximum of 1/2" thick

M Drywall to be applied to repair imperfections after first coat of primer, prior to taping.

N Drywall finish to be consistent and complete to all wall opening edges and corners

O Drywall subcontractor to provide and install all required fire and sound insulation

PROTECTION

A Weather protection is the responsibility of the Subcontractor.

B Any damaged product caused by weather is the responsibility of the subcontractor prior to installation.

C Correct all deficiencies that do not comply with project requirements

D Prevent texture finishes from coming in contact with adjacent surfaces not indicated to receive texture finish

DIVISION 08 - DOORS & WINDOWS**0830 - OVERHEAD SECTIONAL DOORS (1.8.56)****MANUFACTURERS**

A SECTIONAL DOOR - Overhead Door Corporation, EZ Thermo, or equal

B OPERATORS - LiftMaster or equal

SCHEDULE**SECTIONAL DOOR**

- 26 gauge galvanized steel panel
- Doors to be minimum 1 5/8" thick with weathering joints
- End stiles to be minimum 13 gauge galvanized steel riveted to outside face
- Center stiles to be minimum 16 gauge galvanized steel riveted to outside face
- Insulated doors to have an R-value of 15 or better
- Final color and style per material selection form
- Reinforcement for hardware attachments and applicable wind loads

COMPONENTS

- Door track to be galvanized for all doors 12' wide, 12' high, or larger
- Hardware to be galvanized steel, heavy duty hinges, and free floating hardened steel ball bearing rollers
- Countersbalance to be helically wound high tensile torsion springs with tapered drums and galvanized cables
- Weatherstripping to be 1/4" wide on the side of the door
- Belt drive motor to be replaceable or replaceable
- Door to be insulated and sealed for weather tightness

OPERATOR

- % min. with push button control station per manufacturer's recommendations
- Recommendations for door sizes
- Electronic eye & safety accessories as required by code
- Remotes as required

INSTALLATION

A All required bedding to be supplied and installed by the Overhead Door subcontractor

B Install all products per manufacturer's recommendations

C Fiber optic alignment

D Installation by properly trained and certified personnel only

E Operator track to be set by the Overhead Door subcontractor

F Damages caused by the installer to other finishes are subject to backcharge

G Install all material plumb and true, free from warp and twist

H Remove any damaged signage from doors immediately after installation

PROTECTION

A Weather protection is the responsibility of the Subcontractor.

B Any damaged product caused by weather is the responsibility of the subcontractor prior to installation

C Prevent all damage to doors that are in contact with adjacent requirements

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PROTECTION

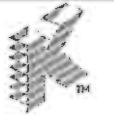
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B Any damaged product caused by weather is the responsibility of the subcontractor prior to installation

C Prevent all damage to doors that are in contact with adjacent requirements

PROTECTION

A Weather protection is the responsibility of



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BUILDING ADDITION & ALTERATIONS FOR:

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54140

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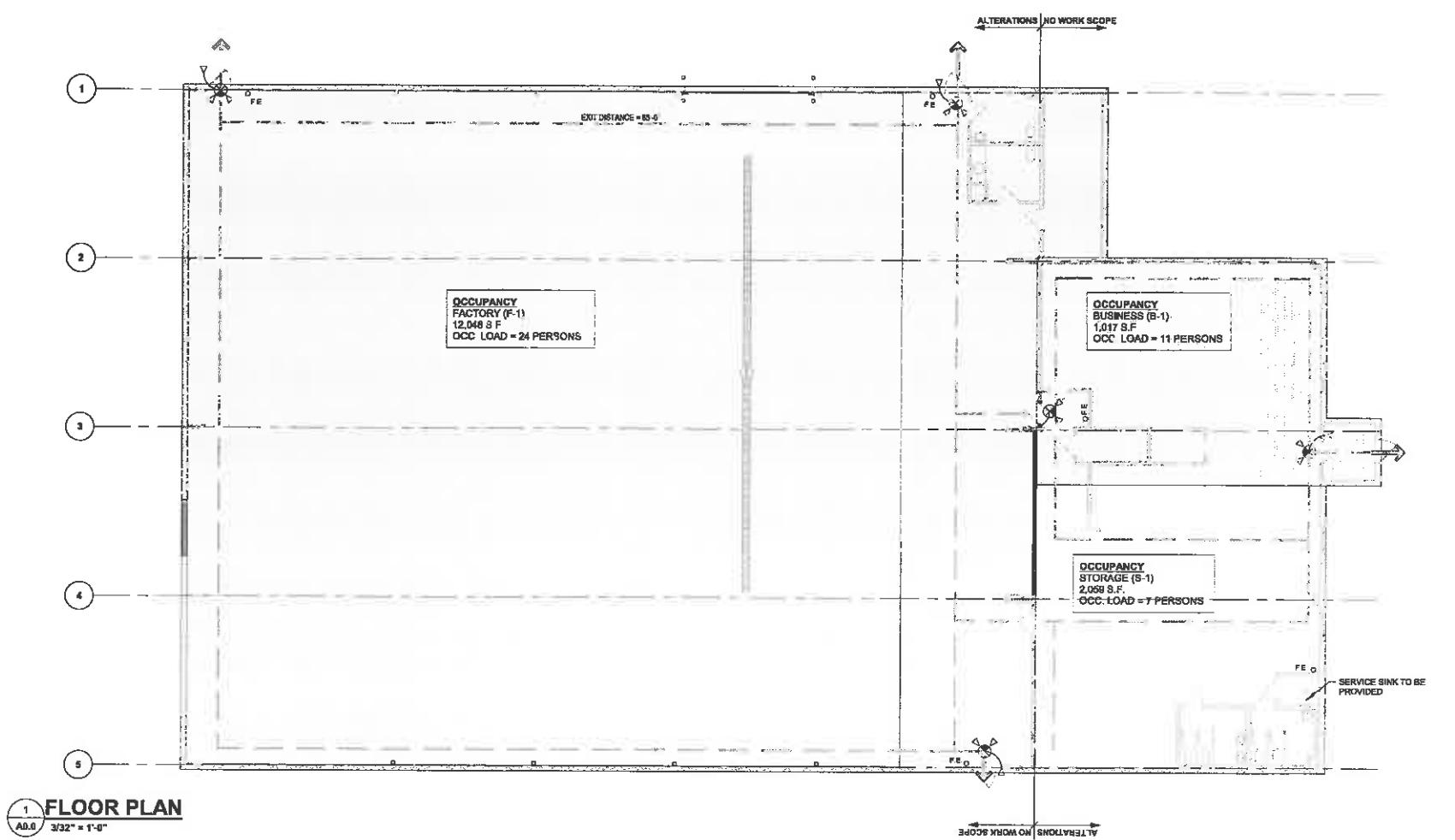
EXPEDITOR:
A. COHEN

SUPERVISOR:
R. LILLIE

PRELIMINARY NO:

CONTRACT NO:
71012
DATE:
02-11-2019

SHEET:
A0.0



CODE STUDY		2015 IBC/SPS 362 WI Commercial Building Code	
CODE REFERENCE			
CITY/ COUNTY:	CITY OF LITTLE CHUTE / OUTAGAMIE COUNTY		
CLOSEST INTERSECTION:	500 MOAISI DRIVE		
DIRECTION FROM INTERSECTION:	SOUTHWEST		
SEWER TYPE:	PUBLIC		
FACILITY USE:	FACTORY (F-1)		
SCOPE OF WORK:	ALTERATIONS & CHANGE OF USE		
BUILDING OCCUPANCY TYPE:	FACTORY (F-1) / STORAGE (S-1)/BUSINESS (B)	SECTION 304.1	
CONSTRUCTION TYPE:	B-B		
BUILDING SPRINKLED:	FULLY SPRINKLED		
NO. OF PERSONS EMPLOYED:	Varies		
NO. OF PERSONS (PUBLIC):	Varies		
HANDICAP ACCESSIBILITY:	YES		
FIRST FLOOR (EXISTING):	15,120 SF		
BASEMENT (EXISTING):	872 SF (UNOCCUPIED)		
TOTAL EXISTING BUILDING AREA:	15,992 SF		
AREA OF ALTERATION:	2,259 SF		

OCCUPANCY LOAD CALCS.					
ROOM/SPACE	USE PER TABLE 1004.1.1	RM. AREA	SQL. FT. AREA/OC.	OCCUPANT LOAD	
OFFICE	BUSINESS (B)	1,017 S.F.	100 GROSS	11 PERSONS	
FACTORY	STORAGE (S-1)	12,048 S.F.	500 GROSS	24 PERSONS	
STORAGE	STORAGE (S-1)	2,059 S.F.	300 GROSS	7 PERSONS	
				42 PERSONS	
				TOTAL BLDG. OCCUPANT LOAD	

EGRESS WIDTH CALCS.					
ROOM/SPACE	USE CLASS, OR OCCUPANCY	OCC. LOAD	STAIR WIDTH	REQ. STAIR WIDTH	REQ. EGRESS COMP. FACTOR
FIRST FLOOR	F-1/B-1	42 PERS.	3'00C.	—	.270CC.
BASEMENT	UNOCCUPIED	—	—	—	—
			REQ. EGRESS WIDTH - FIRST FLR.	42 (TOTAL OCC. LOAD) x .270CC. = 8.4"	
			ACTUAL WIDTH PROVIDED - FIRST FLR.	87.5"	
			MAX EXIT DIST.	25 FEET (TOTAL)	MAX ALLOWED 250 FT/100 FT. (COM)

PLUMBING FIXTURE REQUIREMENT						
(PER SECTION 29.02, TABLE 2902.1 AND WORKSHEET 5F-1)						
OCCUPANCY		WATER CLOSETS		LAVATORIES	TUBSHOWER	D. FOUNTAINS
TYPE	# PEOPLE	FACTORS	# FIX. (M)	# FIX. (F)	FACTOR	# FIX. FACTOR
BUSINESS (B)	11	1 PER 25 FOR 1ST 50	.22	.22	.14	.11
FACTORY F-1/STORAGE (S-1)	31	1 PER 100	.005	.005	1/100	.31

** PER 342.2902 (1) (a) 2 - WHERE OTHER ARRANGEMENTS ARE MADE TO PROVIDE DRINKING WATER, DRINKING FOUNTAINS ARE NOT REQUIRED.

EMERGENCY LIGHTING NOTES:

- ELECTRICAL CONTRACTOR TO INSTALL EMERGENCY LIGHTING THAT PROVIDES A MINIMUM OF 1 FOOT-CANDLE (1 LUX) AT THE WALKING SURFACE ALONG THE PATH OF EGRESS AS REQUIRED TO MINIMIZE THE NUMBER OF STEPS TO THE EMERGENCY LIGHTING FIXTURES. THESE SHALL BE COORDINATED DIRECTLY BETWEEN THE ELECTRICAL CONTRACTOR AND THEIR SUPPLIER SO THAT THE HIGHEST LUMEN OUTPUT EMERGENCY BALAST AVAILABLE IS PROVIDED IN THE FIXTURES THAT ARE DUAL-PURPOSED FOR EMERGENCY LIGHTING.
- ELECTRICAL CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING BALLASTS OR CIRCUIT LIGHT FIXTURES ALONG PATH OF EGRESS AS REQUIRED TO MINIMIZE THE NUMBER OF STEPS TO THE EMERGENCY LIGHTING FIXTURES. THESE SHALL BE COORDINATED DIRECTLY BETWEEN THE ELECTRICAL CONTRACTOR AND THEIR SUPPLIER SO THAT THE HIGHEST LUMEN OUTPUT EMERGENCY BALAST AVAILABLE IS PROVIDED IN THE FIXTURES THAT ARE DUAL-PURPOSED FOR EMERGENCY LIGHTING.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A PHOTOMETRIC PLAN SHOWING THE EMERGENCY LIGHTING FIXTURE LAYOUT FOR REVIEW BY THE ARCHITECT AND LOCAL INSPECTOR. IF THE ELECTRICAL CONTRACTOR CANNOT PROVIDE SUCH A PLAN, THIS MAY BE COORDINATED THROUGH THE CONTRACTOR AT AN ADDITIONAL COST TO THE CONTRACTOR.
- THE ARCHITECT/SUPERVISING PROFESSIONAL IS RESPONSIBLE ONLY FOR VERIFYING COMPLIANCE OF THE EMERGENCY LIGHTING SYSTEM, AS WELL AS COORDINATING ANY ADDITIONAL REQUIREMENTS FROM THE LOCAL AND STATE INSPECTORS.

- FIRE EXTINGUISHER NOTES:
 - FIRE EXTINGUISHERS SHALL BE PROVIDED, AT A MINIMUM, TO MEET IBC 1001 REQUIREMENTS. IBC 908 REFERENCES SECTION 1005 OF THE IFC, WHEREIN TABLE 1005.1.1 PROVIDES THE NUMBER AND PLACEMENT OF FIRE EXTINGUISHERS. EACH SHALL BE PLACED SO THAT THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER IS 75 FEET. A 4-A TYPE EXTINGUISHER WOULD COVER 6,000 S.F.
 - GENERAL CONTRACTOR SHALL COORDINATE ANY ADDITIONAL LOCAL REQUIREMENTS WITH THE LOCAL FIRE DEPARTMENT OFFICIALS.
- HAZARDOUS MATERIAL NOTE:
 - THERE WILL BE NO HAZARDOUS MATERIALS IN QUANTITIES GREATER THAN ALLOWED BY TABULAR VALUES IN SECTION 414 STORED IN BUILDING, SO NO CONTROL AREAS ARE REQUIRED.

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 - THERE WILL BE NO HAZARDOUS MATERIALS IN QUANTITIES GREATER THAN ALLOWED BY TABULAR VALUES IN SECTION 414 STORED IN BUILDING, SO NO CONTROL AREAS ARE REQUIRED.

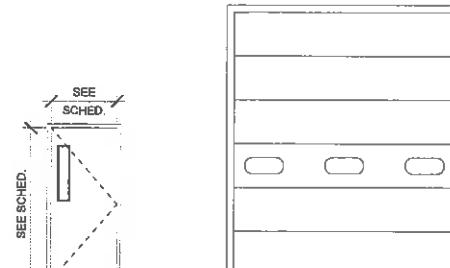
- AUTOMATIC SPRINKLER NOTE:
 - ENTIRE BUILDING TO BE EQUIPPED WITH AN APPROVED, SUPERVISED, AUTOMATIC FIRE SPRINKLER SYSTEM. THIS SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 BY THE FIRE SPRINKLER CONTRACTOR.

LEGEND:	
	FEC
	EXIT/EXIT PATH
	INDICATES EXIT/LIGHT SIGN.
	EMERGENCY EGRESS EXTERIOR BATTERY BACK-UP LIGHT FIXTURE PER: IBC 2008 (1003.2.12)

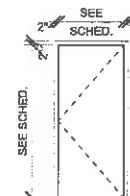
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DOOR SCHEDULE											
DOOR NO.	FROM	TO	HAND	OPENING			FRAME				
				WIDTH	HEIGHT	TYPE	MATL.	FINISH	TYPE	MATL.	FINISH
105A	MANUF. AREA	EX. WORK AREA	RHR	3'-0"	7'-0"	A	H.M.	PAINTED	1	H.M.	PAINTED
105B	EXTERIOR	MANUF. AREA	OHD	18'-0"	14'-0"	S	STEEL	MFR	MFR	MFR	YES
											OPENER



INSUL. HOLLOW METAL, PAINT
1/4" TEMP GLAZING
@ NARROW LITE
PRE-FIN. WHITE POLYURETHANE INSUL. STEEL OVERHEAD
(3) 18" x 20" CLEAR TEMP INSULATED WND.
CORD. LIFT OF OVERHEAD DOORS WITH PLANS &
INTERIOR CLEARANCES (LIFT AS HIGH AS POSSIBLE)

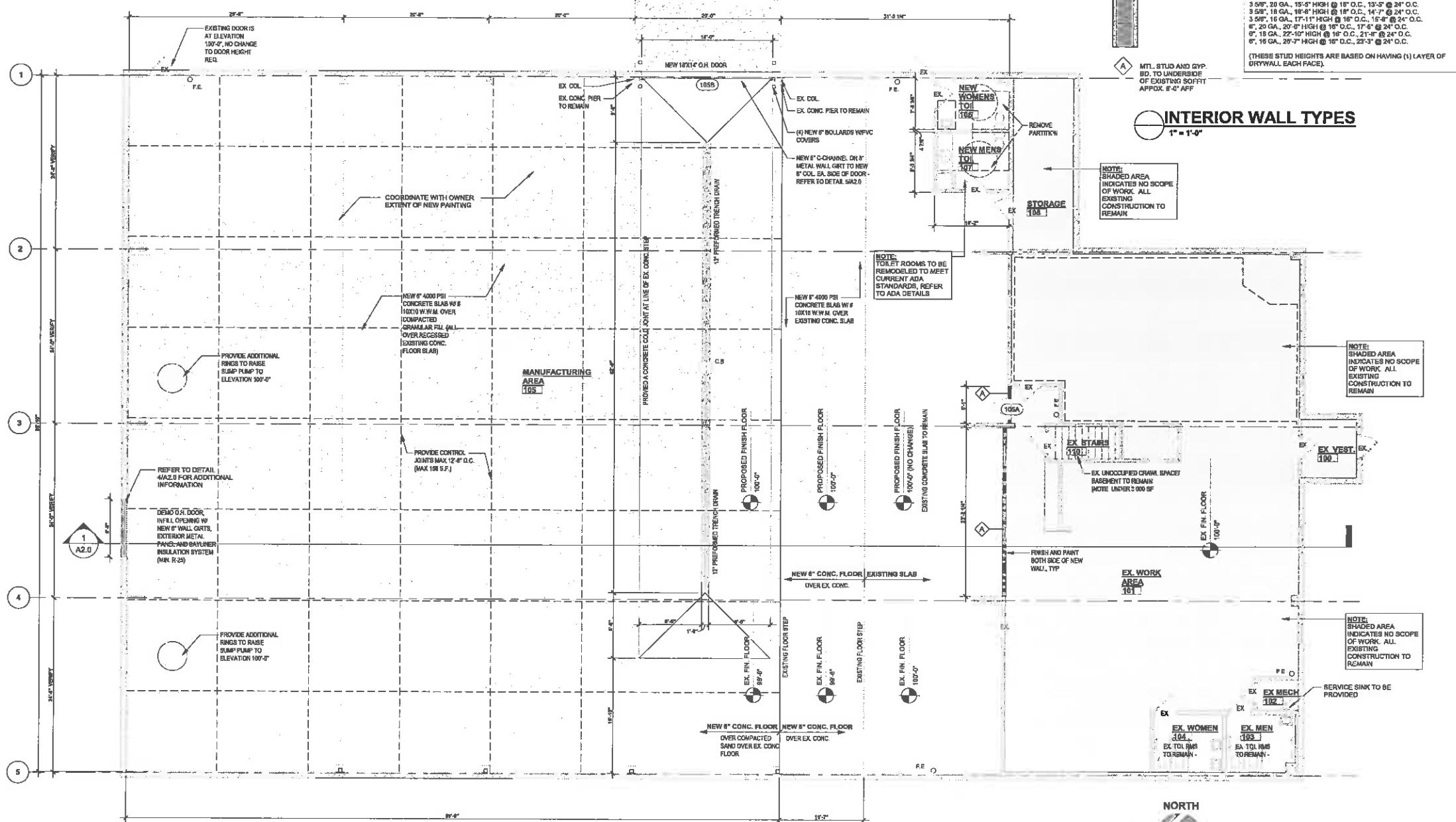


HOLLOW METAL, PAINT

WALL KEY	
	NEW WALLFURRING
	NEW MASONRY VENEER WALL
	NEW COOLER FREEZER WALLS
	NEW FOUNDATION WALL
	TYPICAL EXISTING WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER

DOOR ELEVATIONS

1/4" = 1'-0"





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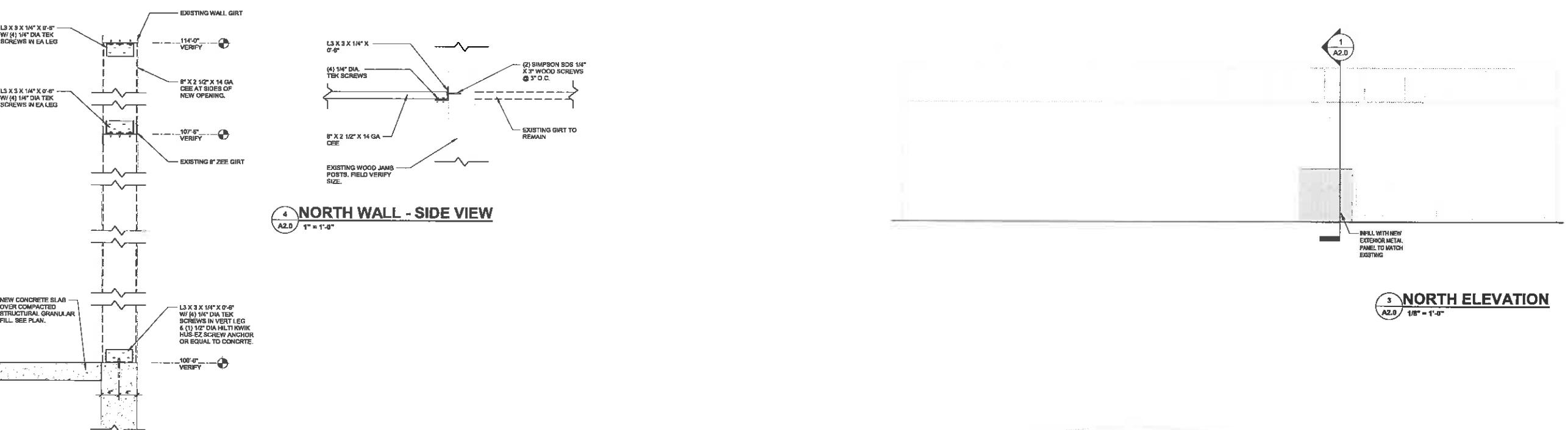
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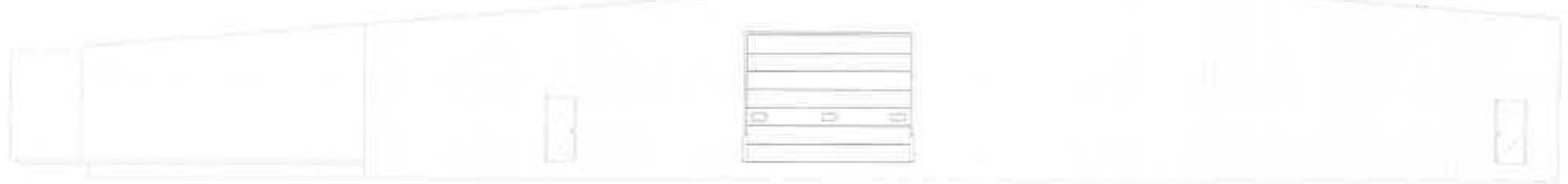
CONTRACT NO.: 71012
DATE: 02-11-2019
SHEET: A2.0

02-11-2019



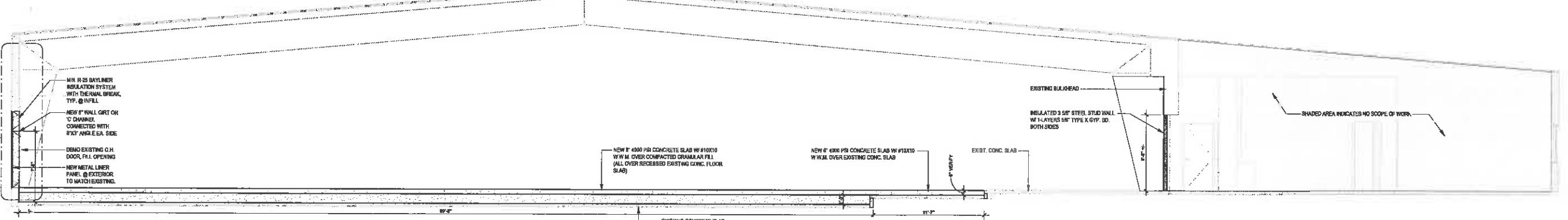
SECTION @ O.H. DOOR - EAST WALL

1'-0"



2 EAST ELEVATION

A2.0 1/8" = 1'-0"



1 BUILDING SECTION

A2.0 3/16" = 1'-0"

NEW 6' 4000 PSI CONCRETE SLAB W/ #10X10
W/W 1/2" OVER COMPACTED GRANULAR FILL
(4' OVER RECESSED EXISTING CONC. FLOOR
SLAB)

EXISTING CONCRETE SLAB

11'-0"

EXISTING BULKHEAD
INSULATED 2 5/8" STEEL STUD WALL
W/ 1-LAYER 5/8" TYPE X GYV. BD.
BOTH SIDES
SHADED AREA INDICATES NO SCOPE OF WORK

EXIST. CONC. SLAB

11'-0"

EXISTING CONCRETE SLAB

11'-0"

