



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, April 08, 2019

TIME: 6:00 p.m.

- A. Call to order
 - B. Roll Call
 - C. Public Appearance for Items Not on the Agenda
-
- 1. Approval of Minutes from the Plan Commission Meeting of March 11, 2019
 - 2. Public Hearing—Lee’s Contracting Variance Request
 - 3. Action—Lee’s Contracting Variance Request
 - 4. Recommendation—Preliminary Plat - Van Handel Homestead - Extra Territorial Review
 - 5. Unfinished Business
 - 6. Items for Future Agenda
 - 7. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 April 4, 2019

MINUTES OF THE PLAN COMMISSION MEETING MARCH 11, 2019

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
Larry Van Lankvelt
Kent Taylor
Todd Verboomen
President Vanden Berg
EXCUSED: Richard Schevers

ALSO PRESENT: Administrator Fenlon, Community Development Director Moes

Public Appearance for Items Not on the Agenda

None

Approve Minutes from the Plan Commission Meeting of February 11, 2019

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to
Approve the Minutes of February 11, 2019*

All Ayes— Motion Carried

Public Hearing—500 Moasis Drive

*Moved by Commissioner Van Berkel, seconded by Commissioner Van Lankvelt to Enter into Public
Hearing*

All Ayes— Motion Carried

Director Moes advised this is for a conversion from Commercial to Industrial zoning at 500 Moasis Drive.
Staff is recommending approval.

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Exit Public Hearing

All Ayes— Motion Carried

Action—Conditional Use Request for 500 Moasis Drive

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Approve the
Conditional Use Request for 500 Moasis Drive*

All Ayes— Motion Carried

Recommendation—Creekview Park Trail

Administrator Fenlon presented the drawing of the Creekview Park Trail. The Park Planning Commission has already approved.

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to recommend to the
Village Board to Approve the Creekview Park Trail as presented*

All Ayes— Motion Carried

Recommendation—Legion Park Field 3 Fence

Administrator Fenlon advised the Fences are ready to be installed at Legion Park Field.

*Moved by Commissioner Verboomen, seconded by Commissioner Van Lankvelt to recommend to the
Village Board to approve the Legion Park Field 3 Fence as presented.*

Unfinished Business

None

Items for Future Agenda

None

Adjournment

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Adjourn the
Plan Commission Meeting at 6:13 p.m.*

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

VILLAGE OF LITTLE CHUTE
Notice of Public Hearing

Notice is hereby given that a Public Hearing will be held by the Plan Commission to consider request for variance from the Chapter 44-Zoning Ordinance, in the Village of Little Chute, Outagamie County, Wisconsin.

The request is for property located at: 1540 Buchanan Street
Owner/Applicants: Lee's Contracting / Skyler Witalison PE (Mach IV Engineering

Described as: LOT 1 CSM 7573

Applicant requests a variance of landscape and pavement setback requirements of the Zoning Code.

Minimum pavement setback is 10 feet. Current setbacks of pavements are as little as 0 feet. The property is located in area zoned ID - Industrial District.

Sec. 44-53. - ID industrial district.

(e) Dimensional requirements.

(3) Setbacks.

- d. A landscaped strip not less than ten feet in depth shall be required along any lot line adjacent to a street. Except for accessways, such strip shall be continuous for the entire length of the lot line adjacent to the street.

Sec. 44-193. - Landscaping and buffer requirements.

(d) Landscape plan requirements.

(e) Landscape standards.

(1) Lot line landscaping.

- b. *ID districts.* Lot line landscape strips required in ID districts shall be planted with a minimum of one shade tree and three shrubs per 40 linear feet of frontage, excluding driveway openings.

Notice is further given that the said meeting is open to the public and that the applicants and any other persons interested may appear and be heard for or against the granting of variance by this Commission.

If you have any questions, please contact the Zoning Administrator at (920)423-3870.

DATE OF HEARING: April 8th, 2019

TIME OF HEARING: 6:00 P.M.

PLACE OF HEARING: Village Hall Board Room
108 West Main Street Little Chute, WI 54140

Laurie Decker, Village Clerk

Run: March 27th & April 3rd, 2019

Any person wishing to attend who, because of a disability, requires special accommodations, should contact the Village Clerk, 108 W. Main St., Little Chute, (920) 423-3851, at least 48 hours prior to the meeting so that arrangements may be made.



APPLICATION FOR HEARING REQUEST FOR VARIANCE OF THE ZONING CODE

PROPERTY APPEAL SITE ADDRESS 1540 Buchanan Street, Little Chute, WI 54140

APPLICANT Lee's Contracting (Dave Vanden Heuvel)

ADDRESS/ZIP 1540 Buchanan Street TELEPHONE 920-788-6442

CITY/ZIP Little Chute, WI 54140 FAX _____

Email address dvh@leescfi.com (Dave, at Lee's); switalison@mach-iv.com (Engineer)

Appellant named above, files herewith this application for variance from regulations of the zoning code.

Description of variance requested and reasons for appeal:

Request exemption from 10' Landscape setback along SW corner of project parcel (along
Eisenhower Street). Exemption is requested for existing pavement. Existing pavement needs
to remain to allow access to existing building. See attached Exhibit for photos.

Alterations to remaining project site are proposed to maintain compliance with the 10% Minimum
Green Space Requirement.

Attach any and all documentation to this application which applicant wishes to be reviewed at hearing.

Scale drawings of proposed and existing paving and structures showing all heights and setbacks from property lines as well as percentage of lot coverage MUST be included with application for variance.

Applicant or their representative **should** attend hearing to answer questions of the review board or commission.


Appellant herewith requests to fix a time for public hearing within as short a reasonable time as possible to give proper notice of such hearing as well as due notice to parties of interest.

I CERTIFY THAT THIS APPLICATION AND ANY ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND ACCURATE IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE 

DATE 3/12/2019

NON REFUNDABLE, HEARING APPLICATION FEE of \$175.00 must accompany application at time of submittal.

Date received and Village person receiving application 3-13-19 

- (a) **Time of Appeal.** Appeals shall be filed within thirty (30) days after the date of receipt of the written decision or order from which the appeal is taken by filing in duplicate a notice of appeal with the Village Clerk. The date of receipt of the decision shall not be counted in determining the time for filing of the appeal. Sundays and holidays shall be counted, except if the last day falls on a Saturday, Sunday or legal holiday, the time for filing shall be extended to the next secular day.
- (b) **Who May Appeal.** Appeals or applications to the Board may be made by:
 - (1) The owner, mortgagee, purchaser under a land contract, optionee or occupant under a written lease for one (1) year or more of the property for which relief is sought.
 - (2) Any officer (other than the Zoning Administrator), department, board or bureau affected by a decision or order of the Zoning Administrator.
 - (3) Any person aggrieved and whose use and enjoyment of property within the Village is directly and adversely affected by a decision or order of the Building Inspector, Zoning Administrator or the requested Board action.
- (c) **Appeal and Application Forms.** Every appeal or application shall be made upon forms furnished by the Village Clerk which have been approved by the Board of Appeals. A scale drawing shall accompany each form showing the location and size of the property, existing improvements, all abutting properties and improvements thereon and change or addition requested. The applicant or appellant shall provide all information requested on the form and any additional information requested in writing by the Chairperson or Secretary of the Board of Appeals which is necessary to inform the Board of the facts of the appeal. Failure to supply such information shall be grounds for dismissal of the appeal or application.
- (d) **Filing Appeal or Application.** The appellant or applicant shall file the required appeal form in duplicate with the Village Clerk. The Village Clerk shall deliver one (1) copy to the Zoning Administrator or other officer or body from whose decision an appeal is taken. Upon receipt of an appeal, the Zoning Administrator or other officer or body responsible for the original determination shall transmit to the Secretary of the Board of Appeals all notes or papers relating to the order or decision from which the appeal is being taken.
- (e) **Election to Have Appeal or Application Handled as a Contested Case.** The applicant or appellant may elect to have the appeal or application handled as a contested case. The appeal or application form shall explain that a contested case includes the right of all parties to cross-examine witnesses, to object to improper evidence and to have a record of the proceedings made by a court reporter or qualified stenographer or by tape recording. Election to have the matter treated as a contested case must be made in writing at the time of filing of the appeal or application.
- (f) **Fee.** All appeals and applications filed with the Village Clerk shall be accompanied by payment of a required fee of One Hundred Seventy-five Dollars (\$175.00). If the appellant or an applicant elects the contested-case method, he or she shall also pay the amount determined by the Board of Appeals to cover the additional administrative costs involved.
- (g) **Insufficient Notice.** No appeal or application shall be considered by the Board of Appeals unless it is made on the required form. Upon receipt of any communication purporting to be an appeal or application, the Village Clerk shall supply the applicant with the proper forms which must be filed within ten (10) days, in addition to the thirty (30) days specified in Subsection (a), in order to be considered by the Board of Appeals.

Google Maps 1225 Eisenhower Dr



Image capture: Oct 2016 © 2019 Google



Imagery ©2019 Google, Map data ©2019 Google 20 ft

Work

Google Maps



Imagery ©2019 Data SIQ, NOAA, U.S. Navy, NGA, GEBCO, IBCAO, Landsat / Copernicus, Google, Map data ©2019 Google 20 ft

Work



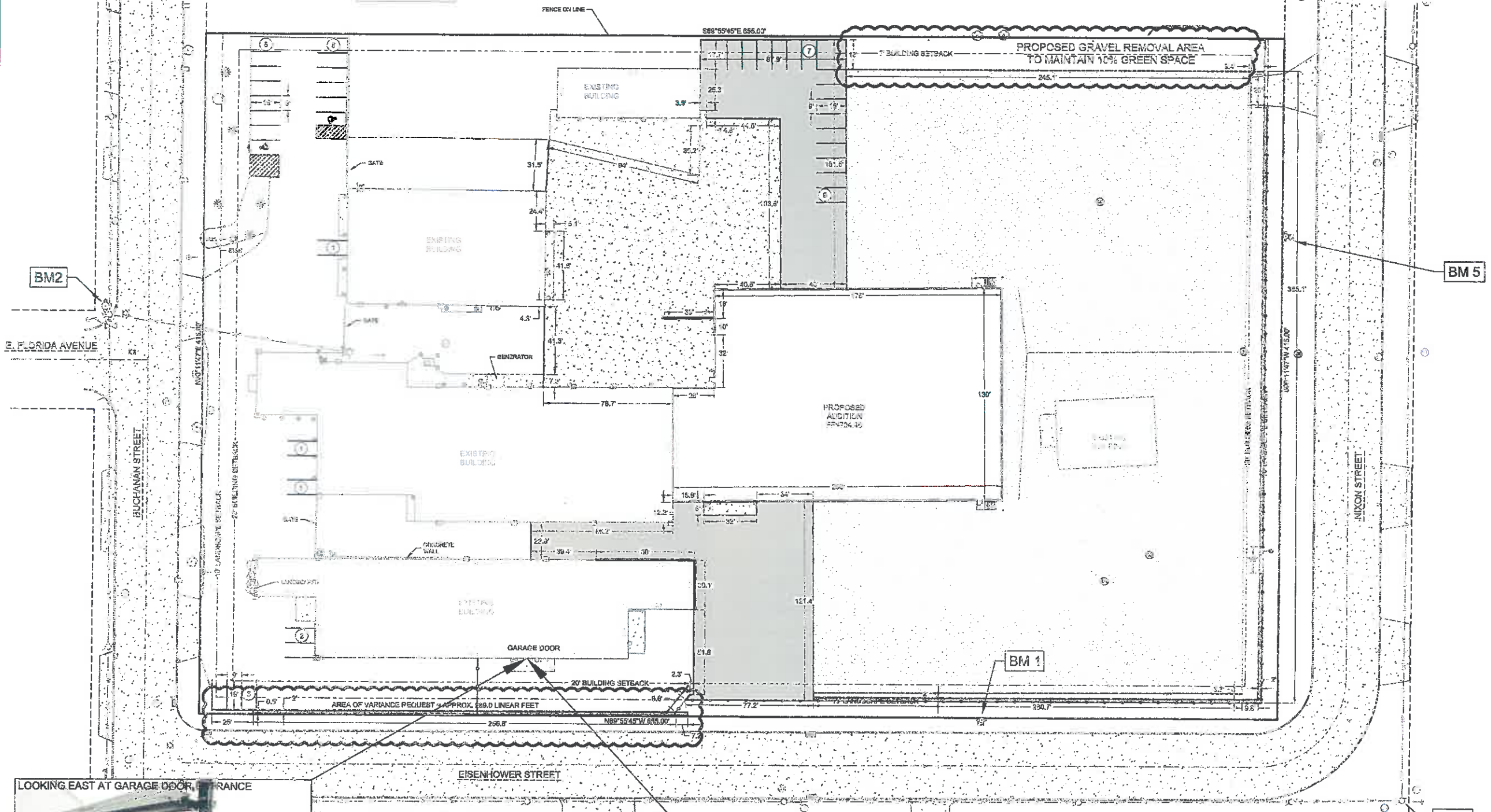
Not a survey

1 inch = 50 feet



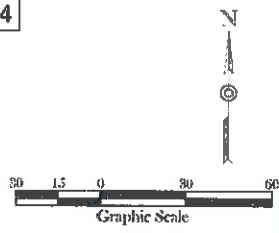
Village
of
Little Chute

SITE PLAN VARIANCE REQUEST



SITE STATISTICS

PARCEL ADDRESS:	1540 BUCHANAN STREET	PARKING STALLS REQUIRED:	38 (2 ADA-COMPLIANT)
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EXISTING SITE			
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TOTAL IMPERVIOUS:	244,038 SF (89.80%)		



MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salschelder Court Green Bay, WI 54313
PH: 920-569-5785; Fax: 920-569-6767
www.mach-iv.com
Project Number: 1677-01-18

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS



State ID# 680499
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PROJECT: **LEE'S CONTRACTING & FABRICATING, INC.**
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

V1.0

COVER SHEET

Benchmarks		
Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT

LEGAL DESCRIPTION

ALL OF LOT 1 OF CERTIFIED SURVEY MAP #7573 AS RECORDED IN VOLUME 46, PAGE 7573, DOCUMENT #2139136, WITHIN SECTION 15, T.21N, R.18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN



LOCATION MAP

1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

CIVIL GENERAL NOTES:

1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING, LLC. - OCTOBER 2018.
2. SURVEY VERTICAL DATUM IS NAVD83.
3. UTILITY LOCATES PER DIGGERS HOTLINE WEB REQUEST #20184208054
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
19. FOR NOTES SHOWN THUS, "①", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

EXISTING		PROPOSED	
CABLE PEDESTAL		EVERGREEN SHRUB	
ELECTRIC METER		EVERGREEN TREE	
ELECTRIC PEDESTAL		TREE	
GUY WIRE		TREE SHRUB	
LIGHT POLE		BUILDING OVERHANG	
POWER POLE		UNDERGROUND CABLE	
GAS METER		OVERHEAD WIRE	
GAS VALVE		UNDERGROUND ELECTRIC	
BOLLARD		GAS	
HANDICAP PARKING		LANDSCAPE	
SANITARY CLEANDOUT		FENCE	
SANITARY MANHOLE		GUARDRAIL	
CATCH BASIN		CENTERLINE	
CULVERT		CURB	
DOWNSPOUT		PARKING STRIPE	
INLET		SANITARY SEWER	
INLET 2' X 2'		CULVERT	
STORM CLEANDOUT		STORM SEWER	
STORM MANHOLE		FIBER OPTIC	
FIBER OPTIC PEDESTAL		WOOD LINE	
SIGN		RETAINING WALL	
FIRE HYDRANT		WATERMAIN	
WATER SHUT OFF		CONTOUR MAJOR	
WATER VALVE		CONTOUR MINOR	

ABBREVIATIONS

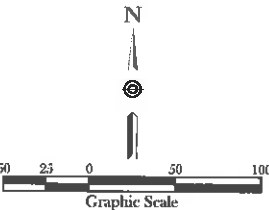
AEW	APRON END WALL	mm	MILLIMETER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N	NORTH
BM	BENCHMARK	NE	NORTHEAST
C	CABLE	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CI	CURB INLET	OHP	OVER HEAD POWER
CMP	CORRUGATED METAL PIPE	O.L.	OUTLOT
CO	CLEAN OUT	PSI	POUNDS PER SQUARE INCH
CSM	CERTIFIED SURVEY MAP	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	R	RADIUS
DOT	DEPARTMENT OF TRANSPORTATION	RAD	RADIUS
E	EAST	RCP	REINFORCED CONCRETE PIPE
EL	ELECTRIC (BURIED)	REQ	REQUIRED
ELEV	ELEVATION	S	SOUTH
FDM	FACILITIES DEVELOPMENT MANUAL	SA	SANITARY
F.F.E.	FIRST FLOOR ELEVATION	SAN	SANITARY
F.L.	FLOW LINE	SCHD	SCHEDULE
FO	FIBER OPTIC	S.D.	SUMP DEPTH
FT	FEET	SQ	SQUARE
G	GAS	ST	STORM
G.F.E.	GROUND FLOOR ELEVATION	STM	STORM
GR	GRADE	T	TELEPHONE
HDP	HIGH DENSITY POLYETHYLENE	T/C	TOP OF CURB
INL	INLET	U.S.H.	UNITED STATES HIGHWAY
INV	INVERT	V	VARIES
M	METER	W	WEST
MAX	MAXIMUM	WAT	WATER
MIN	MINIMUM	WI	WISCONSIN
		W&DOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



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2280 Salschelder Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
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Project Number: 1577-01-18

PROJECT: LEE'S CONTRACTING & FABRICATING, INC.

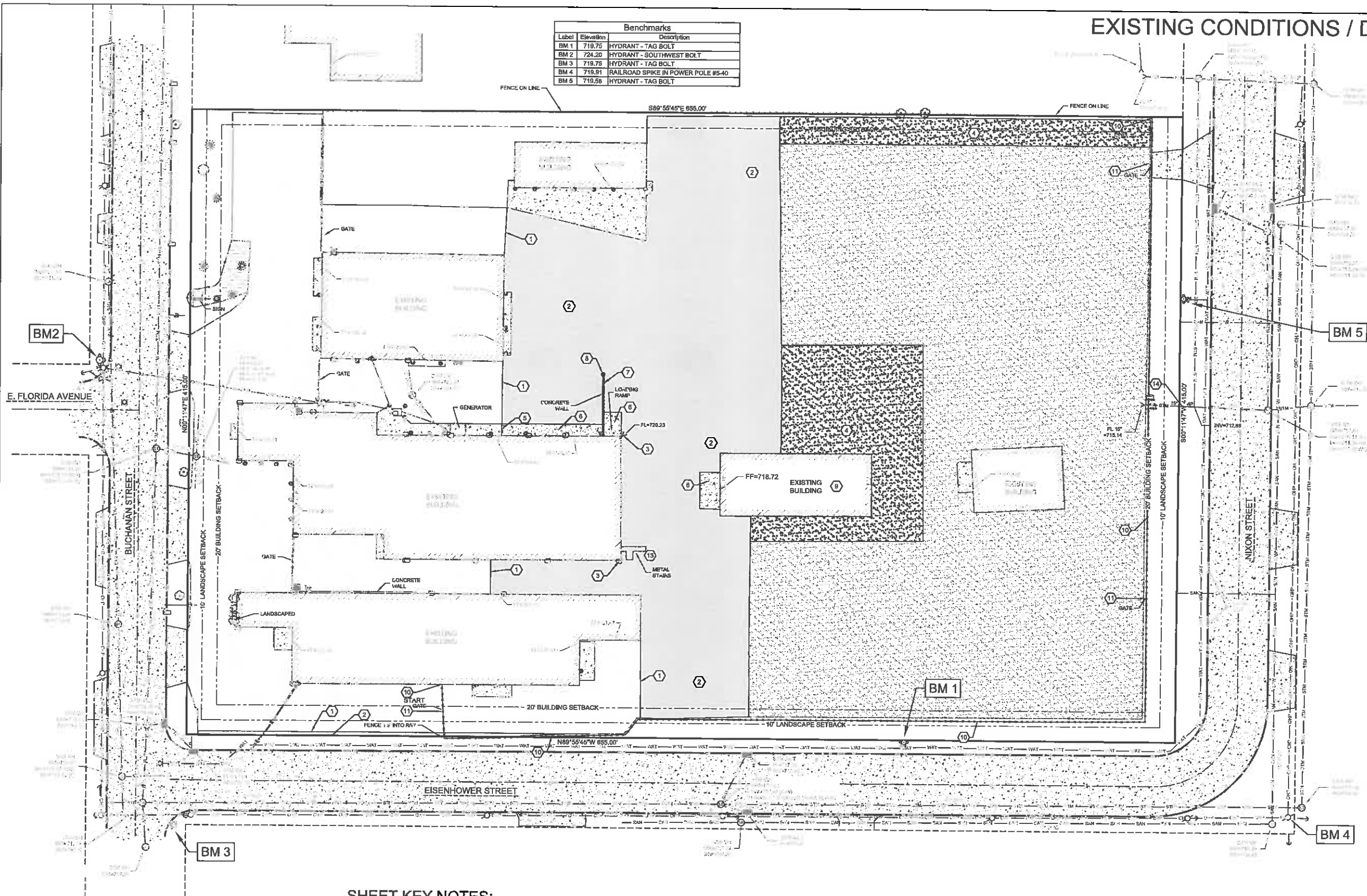
PROJECT NO.:

SHEET NO.:

C0.1

EXISTING CONDITIONS / DEMOLITION

Benchmarks		
Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT



SHEET KEY NOTES:

- | | |
|--|--|
| 1 SAW CUT ASPHALT | 10 REMOVE/SALVAGE FENCE |
| 2 REMOVE ASPHALT | 11 REMOVE/SALVAGE GATE |
| 3 RECONNECT ROOF DRAIN OUTLET TO PROPOSED STORM SEWER SYSTEM | 12 REMOVE/SALVAGE METAL STAIRS |
| 4 REMOVE / SALVAGE GRAVEL | 13 REMOVE STORM SEWER PIPE TO EXISTING JUNCTION, PREPARE PIPES FOR MANHOLE CONSTRUCTION. |
| 5 SAW CUT CONCRETE | |
| 6 REMOVE CONCRETE | |
| 7 REMOVE CONCRETE RETAINING WALL AND FOUNDATION | |
| 8 REMOVE BOLLARD | |
| 9 RAZE BUILDING (BY OTHERS) | |

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS

Schuh
CONSTRUCTION, INC.
Established 1976

State ID# 680499
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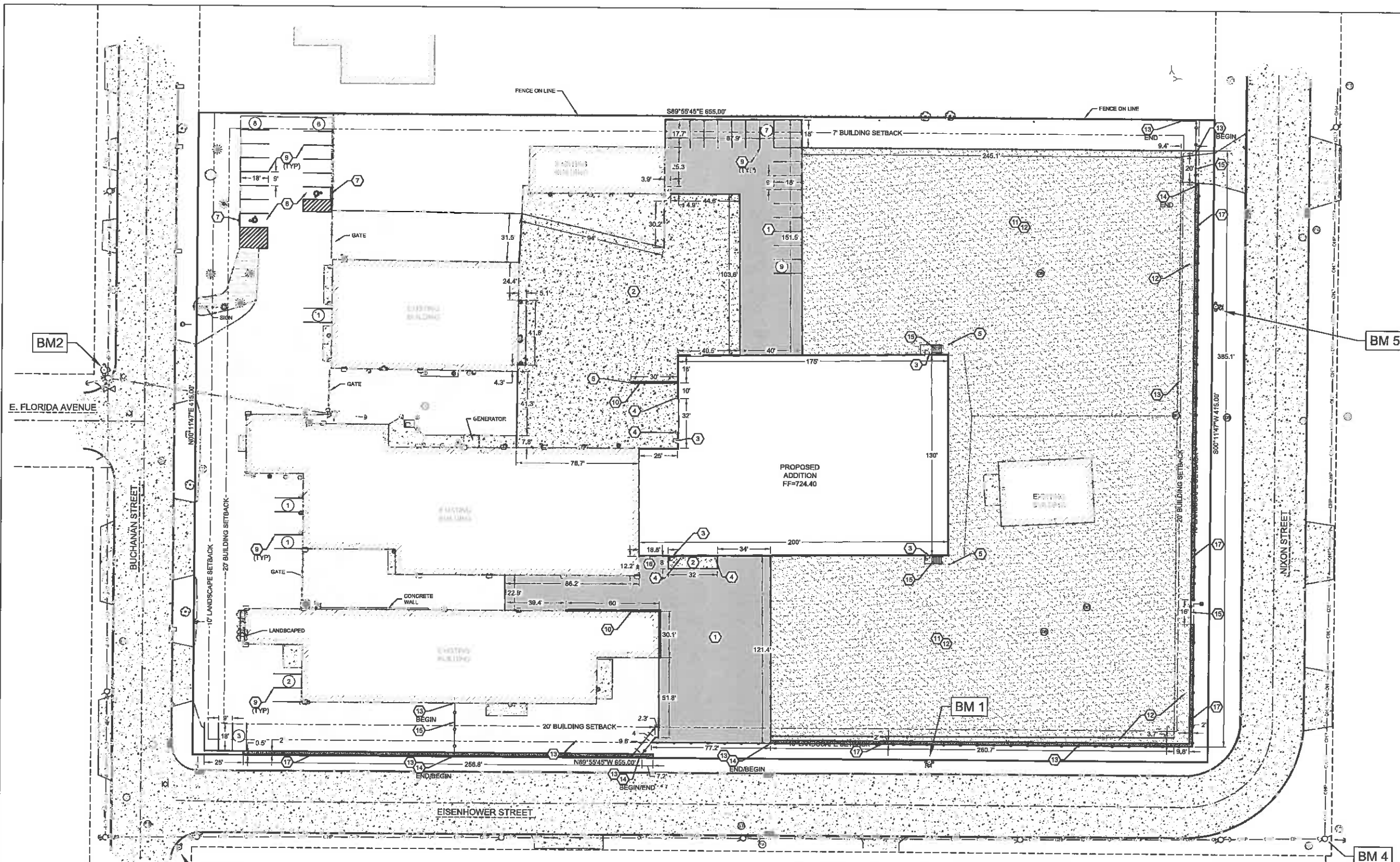
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SITE PLAN

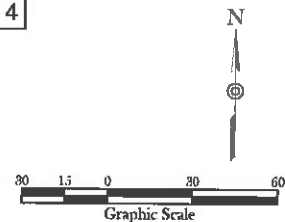


SHEET KEY NOTES:

- 1 HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C6.0
- 2 HEAVY DUTY CONCRETE PAVEMENT; SEE DETAIL B SHEET C6.0
- 3 STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- 4 PIPE BOLLARD - 6"; SEE DETAIL C SHEET C6.0
- 5 PIPE BOLLARD - 10"; SEE DETAIL C SHEET C6.0
- 6 ADA HANDICAP STALL
- 7 ADA HANDICAP SIGN; SEE DETAIL D SHEET C6.0
- 8 EXTERIOR ACCESS STAIRS; REFER TO ARCHITECTURAL DRAWINGS
- 9 4" WIDE WHITE PAINT STRIPE
- 10 CONCRETE RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- 11 RE-GRADE EXISTING GRAVEL; SEE SHEET C4.0 FOR ELEVATIONS
- 12 HEAVY DUTY GRAVEL; SEE DETAIL E SHEET C6.0
- 13 6'-8" VERTICAL SLAT FENCE, VARIABLE HEIGHT TO MATCH VERTICAL FENCE AFFIXED TO BARRIER BLOCK WALL; SEE ARCHITECTURAL DRAWINGS
- 14 8" VERTICAL SLAT FENCE AFFIXED TO CONCRETE BARRIER BLOCK WALL; SEE ARCHITECTURAL DRAWINGS
- 15 6'-8" VERTICAL SLAT GATE, VARIABLE HEIGHT TO MATCH VERTICAL FENCE AFFIXED TO BARRIER BLOCK WALL; SEE ARCHITECTURAL DRAWINGS
- 16 PROPANE FUEL STORAGE RACK
- 17 CONCRETE BARRIER BLOCK WALL, STACKABLE BLOCKS EACH 2'W x 2'H x 6'L; SEE SHEET C4.0 FOR TOP ELEVATIONS

SITE STATISTICS

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STEEL FABRICATION

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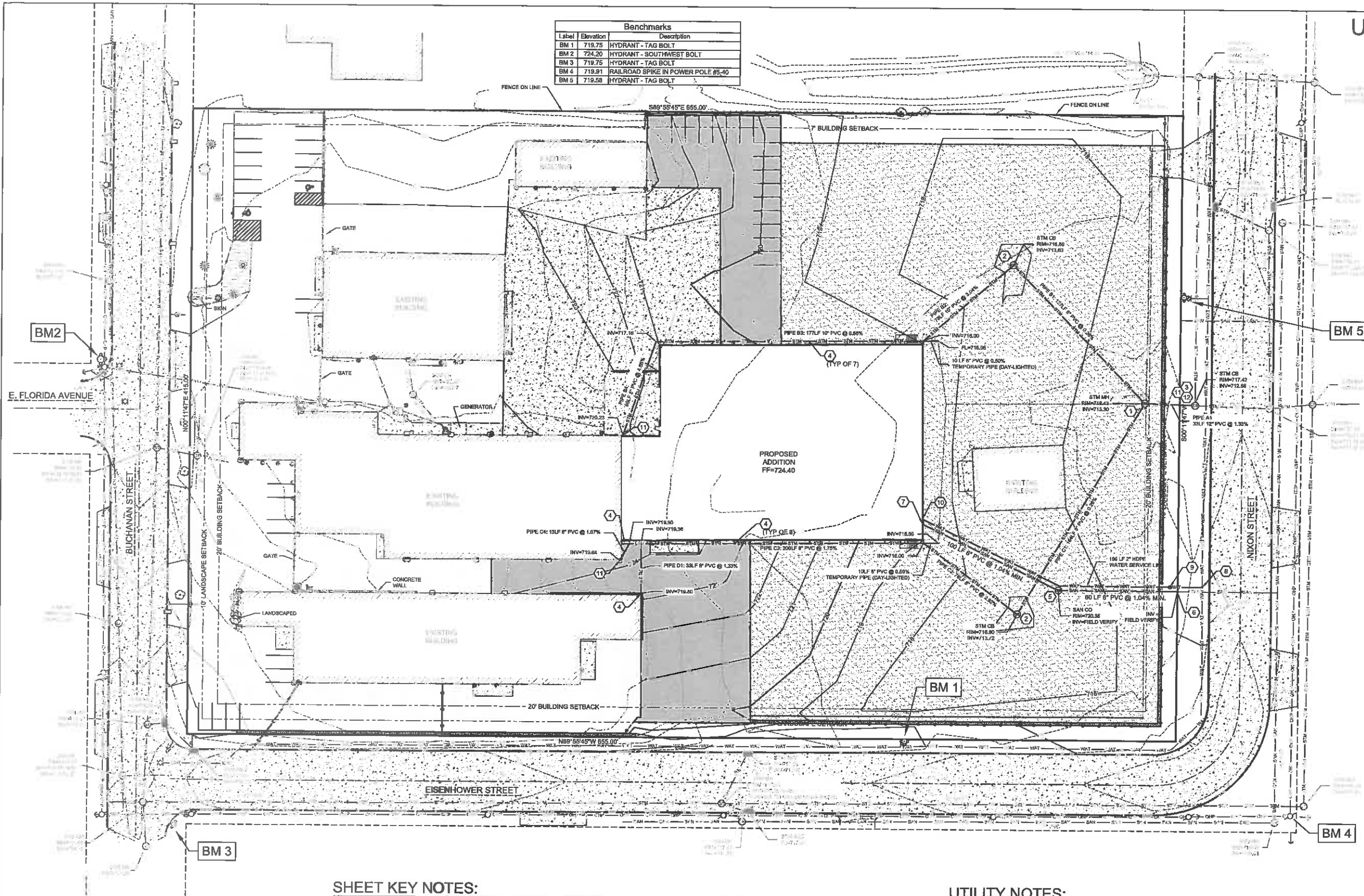
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1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

UTILITY PLAN

Benchmarks		
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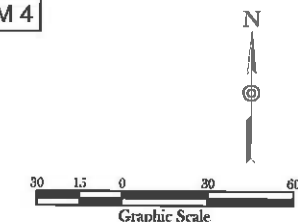


SHEET KEY NOTES:

- ① STORM SEWER MANHOLE - 36" DIAMETER, SEE DETAIL F SHEET C6.0
- ② STORM SEWER CATCH BASIN - 36" DIAMETER, SEE DETAIL G SHEET C6.0
- ③ STORM SEWER CATCH BASIN - 60" DIAMETER, SEE DETAIL H SHEET C6.0
- ④ ROOF DRAIN CONNECTION LINE, SEE DETAIL H SHEET C6.0. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
- ⑤ SANITARY CLEANOUT, SEE DETAIL I SHEET C6.0. CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- ⑥ CONNECT TO EXISTING SANITARY SEWER STUB; FIELD VERIFY INVERT
- ⑦ COORDINATE CONNECTION OF SANITARY SEWER LATERAL WITH BUILDING PLUMBER
- ⑧ WATER SERVICE LATERAL, WET TAP WITH SADDLE AND SLEEVE; SEE DETAIL J, SHEET C6.0
- ⑨ WATER SHUT-OFF VALVE, SEE DETAIL J; SHEET C6.0
- ⑩ COORDINATE CONNECTION OF WATER SERVICE LATERAL WITH BUILDING PLUMBER
- ⑪ CONNECT TO EXISTING STORM PIPE
- ⑫ CONSTRUCT MANHOLE OVER EXISTING STORM SEWER PIPES

UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.



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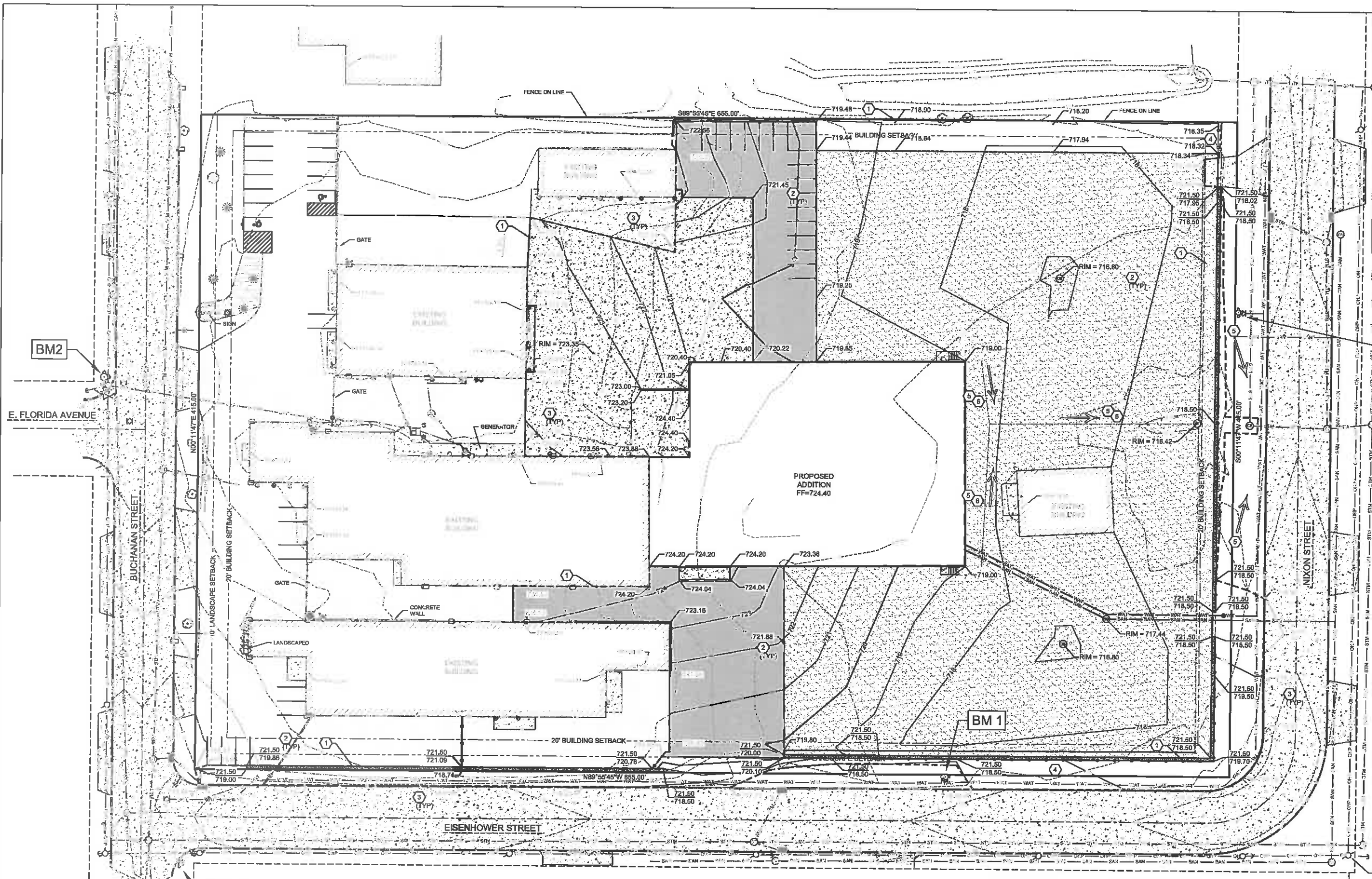
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C3.0

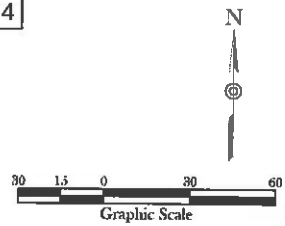
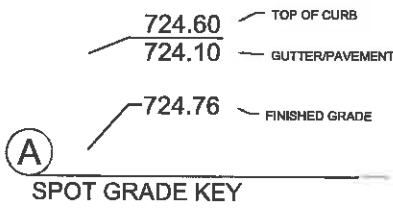
1540 BUCHANAN STREET
LITTLE CHUTE, WI 54140

GRADING PLAN



Benchmarks		
Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT

- SHEET KEY NOTES:**
- ① CONSTRUCTION / GRADING LIMITS
 - ② SPOT GRADE - PROPOSED (BLACK TEXT); SEE DETAIL A THIS SHEET
 - ③ SPOT GRADE - MATCH EXISTING (GRAY TEXT); SEE DETAIL A THIS SHEET
 - ④ EMERGENCY OVERFLOW LOCATION
 - ⑤ FLOW ARROW - GRADE TO DRAIN
 - ⑥ TEMPORARY DRAINAGE SWALE



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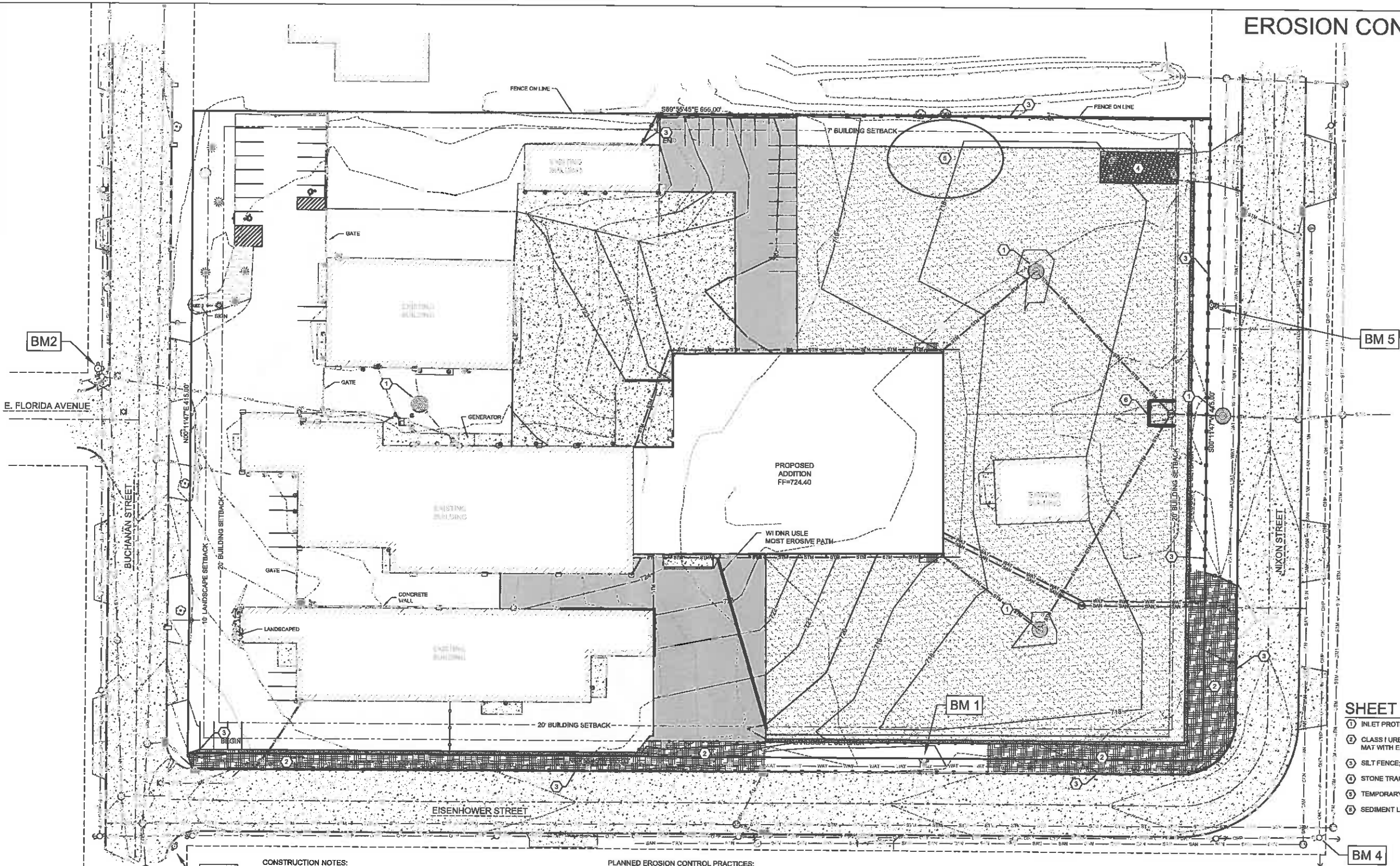
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SHEET NO.:

C4.0

EROSION CONTROL PLAN



CONSTRUCTION SEQUENCE:

- FALL 2018 TO SPRING 2019
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS AND STORM WATER MANAGEMENT PLAN.
 - STRIP TOPSOIL WITHIN GRADING LIMITS
 - ROUGH GRADE SITE
 - CONSTRUCT BUILDING
 - INSTALL SITE UTILITIES
 - INSTALL BASE COURSE
 - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
 - INSTALL PAVEMENT
 - RE-SEED ANY UN-VEGETATED AREAS
 - REMOVE EROSION CONTROL BMP'S UPON SITE STABILIZATION

CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDING AND MULCH AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WIDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WIDNR TECHNICAL STANDARD (1081).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

PLANNED EROSION CONTROL PRACTICES:

1. SILT FENCE (TECH. STANDARD 1058)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. INLET PROTECTION (TECH. STANDARD 1060)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. DUST CONTROL (TECH. STANDARD 1060)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. STOCKPILED TOPSOIL/TEMPORARY FILL PILES
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDING AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALE FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1067)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. EROSION CONTROL MATS (TECH. STANDARD 1063)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. DEWATERING (TECH. STANDARD 1081)
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDING AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDING AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

SHEET KEY NOTES:

- ① INLET PROTECTION; SEE DETAIL A SHEET C5.1
- ② CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL B SHEET C5.1
- ③ SILT FENCE; SEE DETAIL C SHEET C5.1
- ④ STONE TRACKING PAD; SEE DETAIL D SHEET C5.1
- ⑤ TEMPORARY STOCKPILE LOCATION
- ⑥ SEDIMENT LOG; SEE DETAIL E SHEET C5.1



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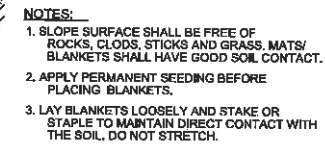
C5.0

**DESIGN / BUILD
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OUTLET
METAL BUILDINGS



2. INLETS ON PRIVATE PROPERTY SHALL RECEIVE INLET PROTECTION TYPE B OR C (DEPENDANT ON CASTING TYPE), FOR INLETS IN PAVED AREAS, AND INLET PROTECTION TYPE A IN UN-PAVED AREAS.



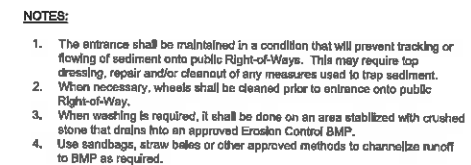
(B) SOIL STABILIZATION

3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL, DO NOT STRETCH.

EROSION CONTROL MAT FOR SLOPE INSTALLATION



6. CONSTRUCTION, OPERATION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH WDMR CONSERVATION PRACTICE STANDARD 1056.



NOTES:

1. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public Right-of-Ways. This may require top dressing, repair and/or cleanup of any measures used to trap sediment.
2. When necessary, wheels shall be cleaned prior to entrance onto public Right-of-Way.
3. When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved Erosion Control BMP.
4. Use sandbags, straw bales or other approved methods to channelize runoff to BMP as required.



1 $\frac{1}{8}$ " X 1 $\frac{1}{8}$ " X 48" WOODEN STAKES ARE RECOMMENDED FOR 20" SEDIMENT LOGS®

E 1 1/8" X 1 1/8" X 48" WOODEN STAKES ARE RECOMMENDED FOR CURLEX® SEDIMENT LOGS®.

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C5.1

SITE DETAILS

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METAL BUILDINGS

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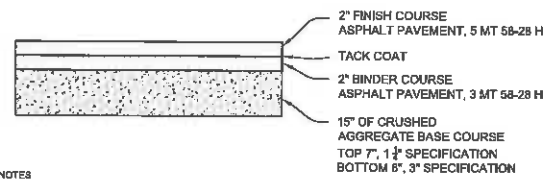
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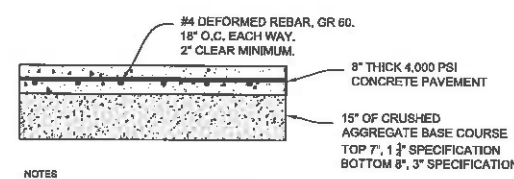
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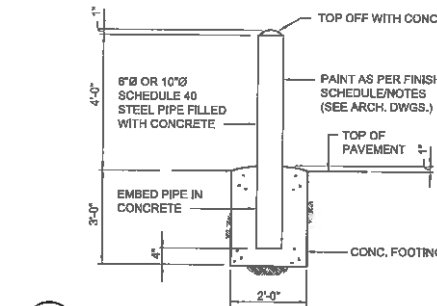
NOTES:
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

A
HEAVY DUTY ASPHALT PAVEMENT

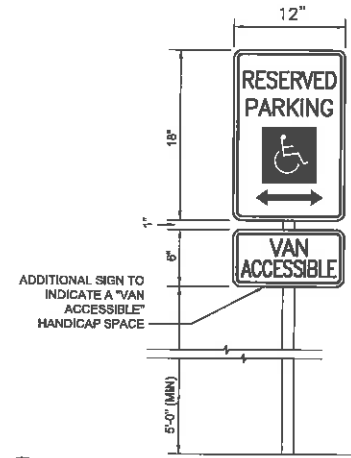


NOTES:
1. CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.
2. CONCRETE SHALL RECEIVE A BROOMED FINISH.

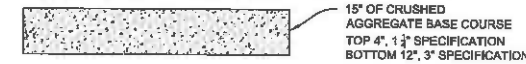
B
HEAVY DUTY CONCRETE PAVEMENT



C
PIPE BOLLARD

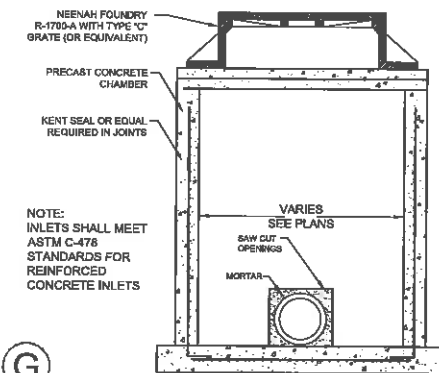


D
ADA HANDICAP SIGN

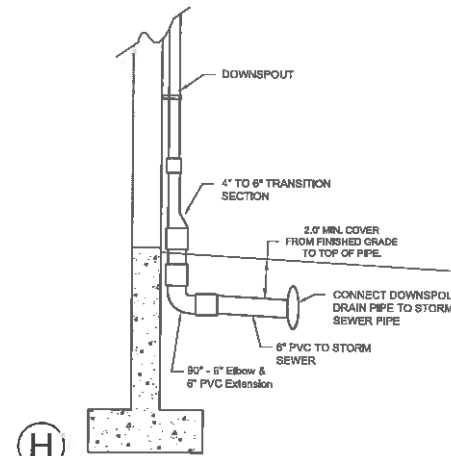


NOTES:
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

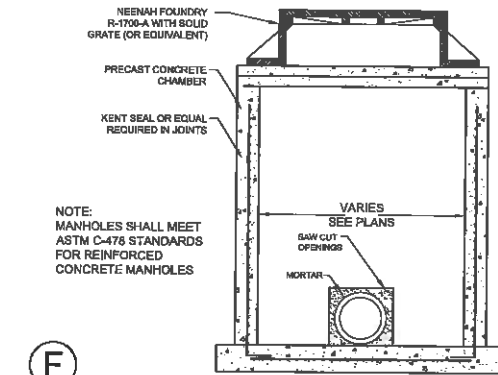
E
HEAVY DUTY GRAVEL



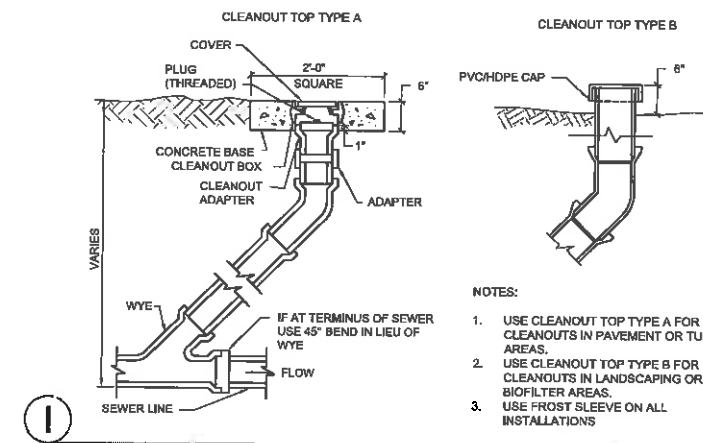
G
STORM SEWER CATCH BASIN



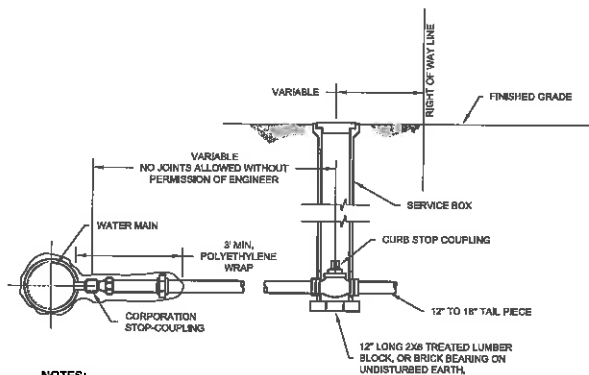
H
DOWNSPOUT CONNECTION



F
STORM SEWER MANHOLE



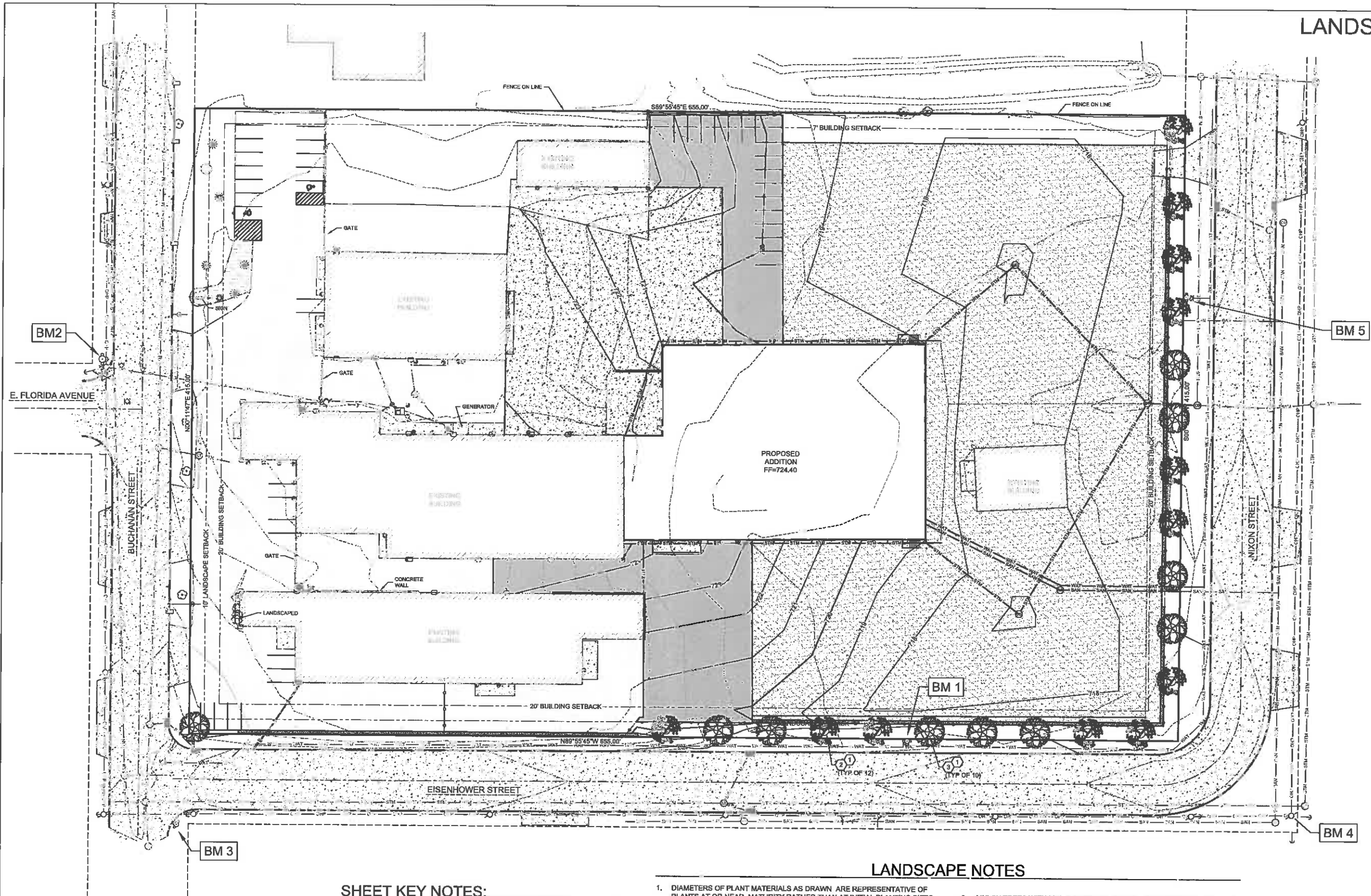
I
CLEANOUT



NOTES:
1. WATER SERVICE CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.
2. DISTANCE FROM CURB STOP TO RIGHT OF WAY LINE VARIES BY MUNICIPALITY. CONTRACTOR SHALL CONTACT LOCAL PUBLIC WORKS/WATER DEPARTMENT TO COORDINATE CURB STOP PROXIMITY TO RIGHT OF WAY LINE.
3. PROVIDE FROST PROTECTION ON SERVICE BOX IN ACCORDANCE WITH STATE STANDARDS.
4. PIPE MATERIAL SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARD. IF NO STANDARD IS PRESENT, PIPE SHALL BE EITHER TYPE K COPPER, OR SDR 9 PE.

J
WATER SERVICE CONNECTION

LANDSCAPE PLAN



SHEET KEY NOTES:

- ① 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH
- ② HONEY LOCUST (GLEDISIA TRIACANTHOS); 2.5" TRUNK CALIPER MINIMUM
- ③ AUTUMN BLAZE MAPLE (ACER X FREEMANII); 2.5" TRUNK CALIPER MINIMUM

LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH WDot No. 40 GRASS MIX.

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APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Van Handel Homestead

Parent Parcel # 200008307, 200008308, 200008700

Number of Lots: 26

☒ Preliminary Plat ☐ Final Plat ☐ CSM

Will deed restrictions be recorded? ☐ Yes ☒ No

Property Owner Information:

Name: Van Handel Homestead, LLC, Vanessa A. Mills

Telephone Number: (920) 217-5926

Mailing Address: N2120 Buchanan Rd, Kaukauna, WI 54130

Surveyor Information:

Name: James R. Sehloff, Davel Engineering & Environmental, Inc

Telephone Number: (920) 830-6562

email: jim@davel.pro

Engineer Information:

Name: John Davel, Davel Engineering & Environmental, Inc

Telephone Number: (920) 830-6563

email: john@davel.pro

Required for plat review:

☒ Lot Layout (4 full size copies) and (24) 11" x 17" copies

☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies

☒ Drainage plan (4 full size copies) and (2) 11" x 17" copies

☐ Pavement Design Catalog (3 copies)

☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☐ Proposed CSM (24) copies

☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☒ Preliminary Plat \$100.00 plus \$5.00 per lot. ☐ Final Plat \$50.00 plus \$2.00 per lot. ☐ CSM \$50.00 /lot fee.

Amount of Fees submitted: \$ 230.00

Signature of Applicant Van Handel

Date 3-11-19

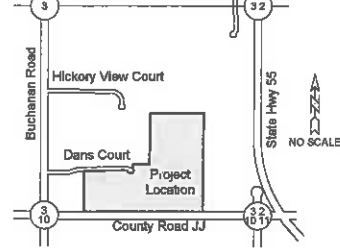
Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

Preliminary Plat of Van Handel Homestead

Part of Lot 1 and all of Lot 2 of CSM 7316 being part of the Southwest 1/4 of Southwest 1/4 and unplatted land located in part of the Southeast 1/4 of the Southwest 1/4 of Section 03, Township 21 North, Range 18 East, Town of Vandebrook, Outagamie County, Wisconsin

LOCATION MAP

SE 1/4 SEC 3, T 21 N, R 18 E,
TOWN OF VANDENBROOK
OUTAGAMIE COUNTY, WI



Bearings are referenced to the South line of the Southeast 1/4, Section 03, T21N, R18E, assumed to bear S89°28'01"W, base on the Outagamie County Coordinate System.

Owner/Developer
Van Handel Homestead, LLC
Vanessa A. Mills
N2120 Buchanan Road
Kaukauna, WI 54130

LEGEND

—OH—OH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base
—E—E—	Underground Electric	□	Clean Out / Curb Stop / Pull Box
—D—D—	Underground Gas Line	○	Telephone Pedestal
—T—T—	Underground Telephone	○	Deciduous Tree
—	Treeline	○	3/4" Rebar Found
—	Wetlands	○	Government Corner
—	Index Contour	○	Benchmark
—	Intermediate Contour	○	Asphalt Pavement
		○	Concrete Pavement
		○	Gravel

SUPPLEMENTARY DATA

Total Area = 1,430,129 SF 32.8312 acres
R/W Area = 180,448 SF 3.8834 acres
Net Area = 1,269,881 SF 29.1478 acres
Number of Lots = 24
Average lot size = 47,000 SF
Typical lot dimension = 150' x 313'
Lineal feet of street = 2,268 LF
Existing zoning = General Ag
Proposed zoning = Residential Single Family
Approving Authorities
Town of Vandebrook
Outagamie County Planning
Village of Little Chute (extrajurisdictional)
Objecting Authorities
Department of Administration

NOTES

- Utility and Drainage Easements will be shown on Final Plat
- Outlot 1 is for Storm water management and will be owned equally among lots within the subdivisions
- Outlot 2 will be transferred to the adjacent land owner

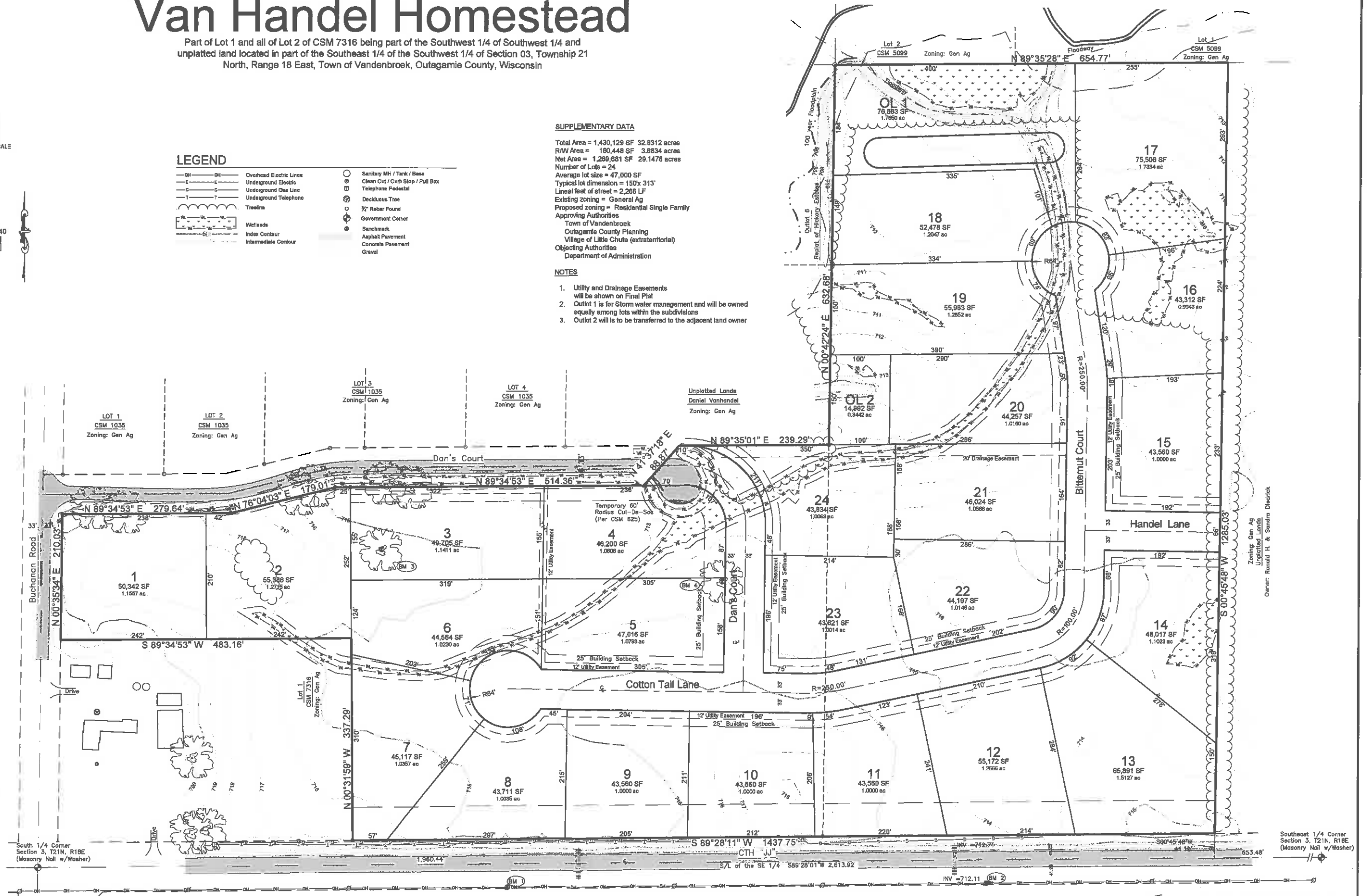
BENCHMARKS (NAVD88)

BM 0	NGS Monument (DF8099) Lau Road R/W Elev 728.25'
BM 1	Nail in Power Pole ±780' E of Buchanan Road/City "JJ" Intersection Elev 715.54'
BM 2	Nail in Power Pole ±800' E of BM 1 Elev 715.08'
BM 3	Nail in 18" Deciduous Tree ±550' ESE of Dams Court/Buchanan Road Intersection Elev 717.76'
BM 4	Nail in 18" Deciduous Tree ±575' E of BM 3 Elev 715.90'

SURVEYOR'S CERTIFICATE

I, James R. Schlorf, do hereby certify that this Preliminary Plat is a correct representation of the land divisions and features, and that I have complied with the preliminary plat requirements for the Town of Vandebrook and Outagamie County.

James R. Schlorf, P.L.S. No. 52882
WI
Date: 02/18/2019
JRS



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Racine Street Menasha, WI 54952
Ph: 920-991-1886 Fax: 920-830-9595
www.davel.pro

File: 5486Plot.dwg
Date: 02/18/2019
Drawn By: JRS
Sheet 1 of 1

2/18/2019 7:42 AM J:\Projects\5486\dwg\Civil 3D\5486Plot.dwg Printed by: jrs

NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
- Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

BENCHMARKS (NAVD88)

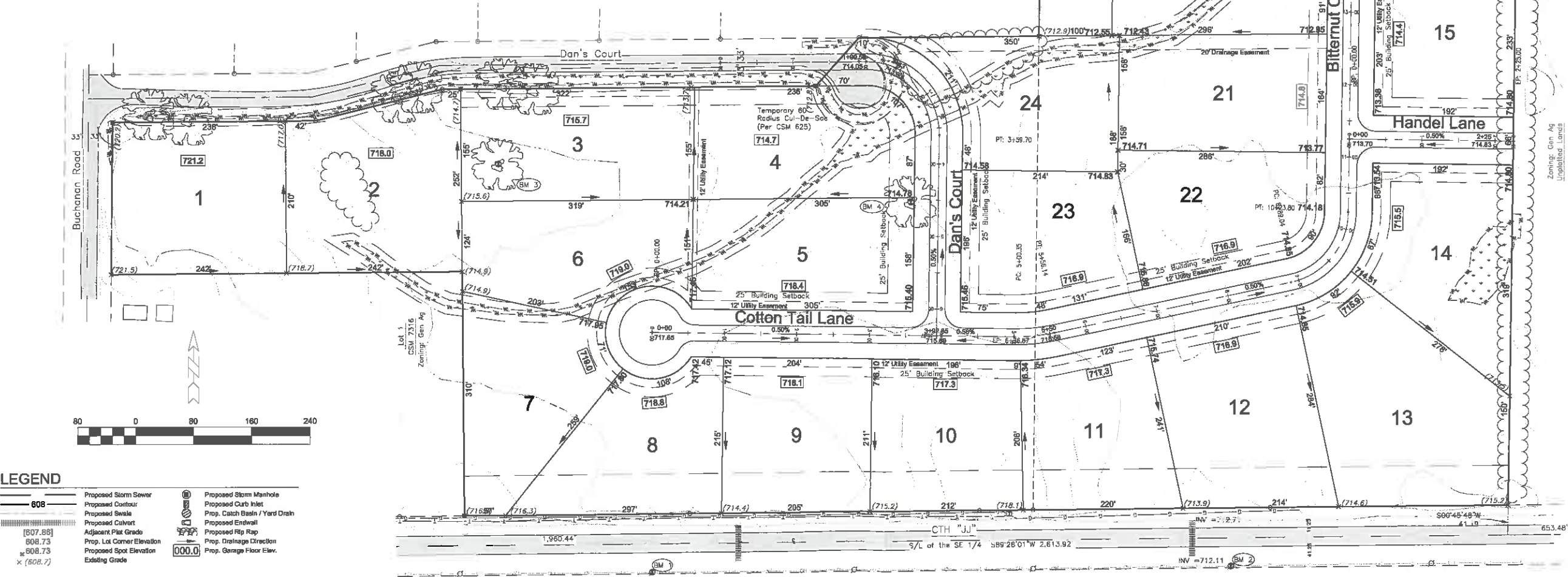
- BM 0 MGS Monument(DR0089)
Lau Road R/W
Elev 728.25'
- BM 1 Nail in Power Pole
±780' E of Buchanan Road/City "JJ" Intersection
Elev 715.54'
- BM 2 Nail in Power Pole
±800' E of BM 1
Elev 715.08'
- BM 3 Nail in 18" Deciduous Tree
±550' ESE of Dens Court/Buchanan Road Intersection
Elev 717.78'
- BM 4 Nail in 18" Deciduous Tree
±575' E of BM 3
Elev 715.90'

DRAINAGE PLAN CERTIFICATION:

I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Outagamie County Subdivision Ordinance and the requirements of the Town of Vandenberg.

John R. Davel, P.E. E-25512

Date



PRELIMINARY 03/08/2019

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DRAINAGE & GRADING PLAN

Van Handel Homestead
Town of Vandenberg, Outagamie County, WI
For: Pat Hietpas

Date: 03/8/2019
Filename: 5486engr.dwg
Author: JRD
Last Saved by: eric
Page 1.2