



## AGENDA

### VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, April 08, 2019

TIME: 6:00 p.m.

- A. Call to order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of March 11, 2019
2. Public Hearing—Lee's Contracting Variance Request
3. Action—Lee's Contracting Variance Request
4. Recommendation—Preliminary Plat - Van Handel Homestead - Extra Territorial Review
5. Unfinished Business
6. Items for Future Agenda
7. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 April 4, 2019

## MINUTES OF THE PLAN COMMISSION MEETING MARCH 11, 2019

### Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

### Roll Call

PRESENT: Bill Van Berkel  
Larry Van Lankvelt  
Kent Taylor  
Todd Verboomen  
President Vanden Berg

EXCUSED: Richard Schevers

ALSO PRESENT: Administrator Fenlon, Community Development Director Moes

### Public Appearance for Items Not on the Agenda

None

### Approve Minutes from the Plan Commission Meeting of February 11, 2019

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Approve the Minutes of February 11, 2019*

All Ayes— Motion Carried

### Public Hearing—500 Moasis Drive

*Moved by Commissioner Van Berkell, seconded by Commissioner Van Lankvelt to Enter into Public Hearing*

All Ayes— Motion Carried

Director Moes advised this is for a conversion from Commercial to Industrial zoning at 500 Moasis Drive. Staff is recommending approval.

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkell to Exit Public Hearing*

All Ayes— Motion Carried

### Action—Conditional Use Request for 500 Moasis Drive

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Approve the Conditional Use Request for 500 Moasis Drive*

All Ayes— Motion Carried

### Recommendation—Creekview Park Trail

Administrator Fenlon presented the drawing of the Creekview Park Trail. The Park Planning Commission has already approved.

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to recommend to the Village Board to Approve the Creekview Park Trail as presented*

All Ayes— Motion Carried

### Recommendation—Legion Park Field 3 Fence

Administrator Fenlon advised the Fences are ready to be installed at Legion Park Field.

*Moved by Commissioner Verboomen, seconded by Commissioner Van Lankvelt to recommend to the Village Board to approve the Legion Park Field 3 Fence as presented.*

**Unfinished Business**

None

**Items for Future Agenda**

None

**Adjournment**

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Adjourn the Plan Commission Meeting at 6:13 p.m.*

All Ayes— Motion Carried

**VILLAGE OF LITTLE CHUTE**

---

By: Michael Vanden Berg, Village President

---

Attest: Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE**  
**Notice of Public Hearing**

Notice is hereby given that a Public Hearing will be held by the Plan Commission to consider request for variance from the Chapter 44-Zoning Ordinance, in the Village of Little Chute, Outagamie County, Wisconsin.

The request is for property located at: 1540 Buchanan Street  
Owner/Applicants: Lee's Contracting / Skyler Witalison PE (Mach IV Engineering

Described as: LOT 1 CSM 7573

Applicant requests a variance of landscape and pavement setback requirements of the Zoning Code.

Minimum pavement setback is 10 feet. Current setbacks of pavements are as little as 0 feet. The property is located in area zoned ID - Industrial District.

**Sec. 44-53. - ID industrial district.**

**(e) Dimensional requirements.**

(3) Setbacks.

d. A landscaped strip not less than ten feet in depth shall be required along any lot line adjacent to a street. Except for accessways, such strip shall be continuous for the entire length of the lot line adjacent to the street.

**Sec. 44-193. - Landscaping and buffer requirements.**

**(d) Landscape plan requirements.**

**(e) Landscape standards.**

(1) *Lot line landscaping.*

b. *ID districts.* Lot line landscape strips required in ID districts shall be planted with a minimum of one shade tree and three shrubs per 40 linear feet of frontage, excluding driveway openings.

Notice is further given that the said meeting is open to the public and that the applicants and any other persons interested may appear and be heard for or against the granting of variance by this Commission.

If you have any questions, please contact the Zoning Administrator at (920)423-3870.

**DATE OF HEARING:** April 8<sup>th</sup>, 2019

**TIME OF HEARING:** 6:00 P.M.

**PLACE OF HEARING:** Village Hall Board Room

108 West Main Street Little Chute, WI 54140

Laurie Decker, Village Clerk

Run: March 27<sup>th</sup> & April 3<sup>rd</sup>, 2019

Any person wishing to attend who, because of a disability, requires special accommodations, should contact the Village Clerk, 108 W. Main St., Little Chute, (920) 423-3851, at least 48 hours prior to the meeting so that arrangements may be made.



# **Little Chute**

ESTABLISHED 1848

**APPLICATION FOR HEARING REQUEST FOR VARIANCE OF THE ZONING CODE**

PROPERTY APPEAL SITE ADDRESS 1540 Buchanan Street, Little Chute, WI 54140

APPLICANT Lee's Contracting (Dave Vanden Heuvel)

ADDRESS/ZIP 1540 Buchanan Street

TELEPHONE 920-788-6442

CITY/ZIP Little Chute, WI 54140

FAX

Email address [dvh@leescfi.com](mailto:dvh@leescfi.com) (Dave, at Lee's); [switalison@mach-iv.com](mailto:switalison@mach-iv.com) (Engineer)

**Appellant named above, files herewith this application for variance from regulations of the zoning code.**

**Description of variance requested and reasons for appeal:**

## Request exemption from 10' Landscape setback along SW corner of project parcel (along

Eisenhower Street). Exemption is requested for existing pavement. Existing pavement needs

to remain to allow access to existing building. See attached Exhibit for photos.

Alterations to remaining project site are proposed to maintain compliance with the 10% Minimum

## Green Space Requirement.

*Attach any and all documentation to this application which applicant wishes to be reviewed at hearing.*

Scale drawings of proposed and existing paving and structures showing all heights and setbacks from property lines as well as percentage of lot coverage MUST be included with application for variance.

**Applicant or their representative should attend hearing to answer questions of the review board or commission.**

Appellant herewith requests to fix a time for public hearing within as short a reasonable time as possible to give proper notice of such hearing as well as due notice to parties of interest.

**I CERTIFY THAT THIS APPLICATION AND ANY ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND ACCURATE IN ACCORDANCE WITH ALL APPLICABLE CODES.**

**APPLICANT SIGNATURE**

DATE 3/12/2019

**NON REFUNDABLE, HEARING APPLICATION FEE of \$175.00 must accompany application at time of submittal.**

**Date received and Village person receiving application**

Sec. 44-518 Applications for Hearings.

- (a) **Time of Appeal.** Appeals shall be filed within thirty (30) days after the date of receipt of the written decision or order from which the appeal is taken by filing in duplicate a notice of appeal with the Village Clerk. The date of receipt of the decision shall not be counted in determining the time for filing of the appeal. Sundays and holidays shall be counted, except if the last day falls on a Saturday, Sunday or legal holiday, the time for filing shall be extended to the next secular day.
- (b) **Who May Appeal.** Appeals or applications to the Board may be made by:
  - (1) The owner, mortgagee, purchaser under a land contract, optionee or occupant under a written lease for one (1) year or more of the property for which relief is sought.
  - (2) Any officer (other than the Zoning Administrator), department, board or bureau affected by a decision or order of the Zoning Administrator.
  - (3) Any person aggrieved and whose use and enjoyment of property within the Village is directly and adversely affected by a decision or order of the Building Inspector, Zoning Administrator or the requested Board action.
- (c) **Appeal and Application Forms.** Every appeal or application shall be made upon forms furnished by the Village Clerk which have been approved by the Board of Appeals. A scale drawing shall accompany each form showing the location and size of the property, existing improvements, all abutting properties and improvements thereon and change or addition requested. The applicant or appellant shall provide all information requested on the form and any additional information requested in writing by the Chairperson or Secretary of the Board of Appeals which is necessary to inform the Board of the facts of the appeal. Failure to supply such information shall be grounds for dismissal of the appeal or application.
- (d) **Filing Appeal or Application.** The appellant or applicant shall file the required appeal form in duplicate with the Village Clerk. The Village Clerk shall deliver one (1) copy to the Zoning Administrator or other officer or body from whose decision an appeal is taken. Upon receipt of an appeal, the Zoning Administrator or other officer or body responsible for the original determination shall transmit to the Secretary of the Board of Appeals all notes or papers relating to the order or decision from which the appeal is being taken.
- (e) **Election to Have Appeal or Application Handled as a Contested Case.** The applicant or appellant may elect to have the appeal or application handled as a contested case. The appeal or application form shall explain that a contested case includes the right of all parties to cross-examine witnesses, to object to improper evidence and to have a record of the proceedings made by a court reporter or qualified stenographer or by tape recording. Election to have the matter treated as a contested case must be made in writing at the time of filing of the appeal or application.
- (f) **Fee.** All appeals and applications filed with the Village Clerk shall be accompanied by payment of a required fee of One Hundred Seventy-five Dollars (\$175.00). If the appellant or an applicant elects the contested-case method, he or she shall also pay the amount determined by the Board of Appeals to cover the additional administrative costs involved.
- (g) **Insufficient Notice.** No appeal or application shall be considered by the Board of Appeals unless it is made on the required form. Upon receipt of any communication purporting to be an appeal or application, the Village Clerk shall supply the applicant with the proper forms which must be filed within ten (10) days, in addition to the thirty (30) days specified in Subsection (a), in order to be considered by the Board of Appeals.

Google Maps 1225 Eisenhower Dr



Image capture: Oct 2016 © 2019 Google

Google Maps



Work

Google Maps



Imagery ©2019 Data SIO, NOAA, U.S. Navy, NGA, GEBCO, IBCAO, Landsat / Copernicus, Google, Map data ©2019 Google 20 ft

Work



# EISENHOWER DRIVE

**\*Not a survey\***

1 inch = 50 feet

0 40 80 160 240 320 400 480  
Feet



Village  
of  
Little Chute

# SITE PLAN VARIANCE REQUEST

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION  
METAL BUILDINGS

**Schuh**  
Established 1976

LEE'S CONTRACTING & FABRICATING, INC.

1540 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

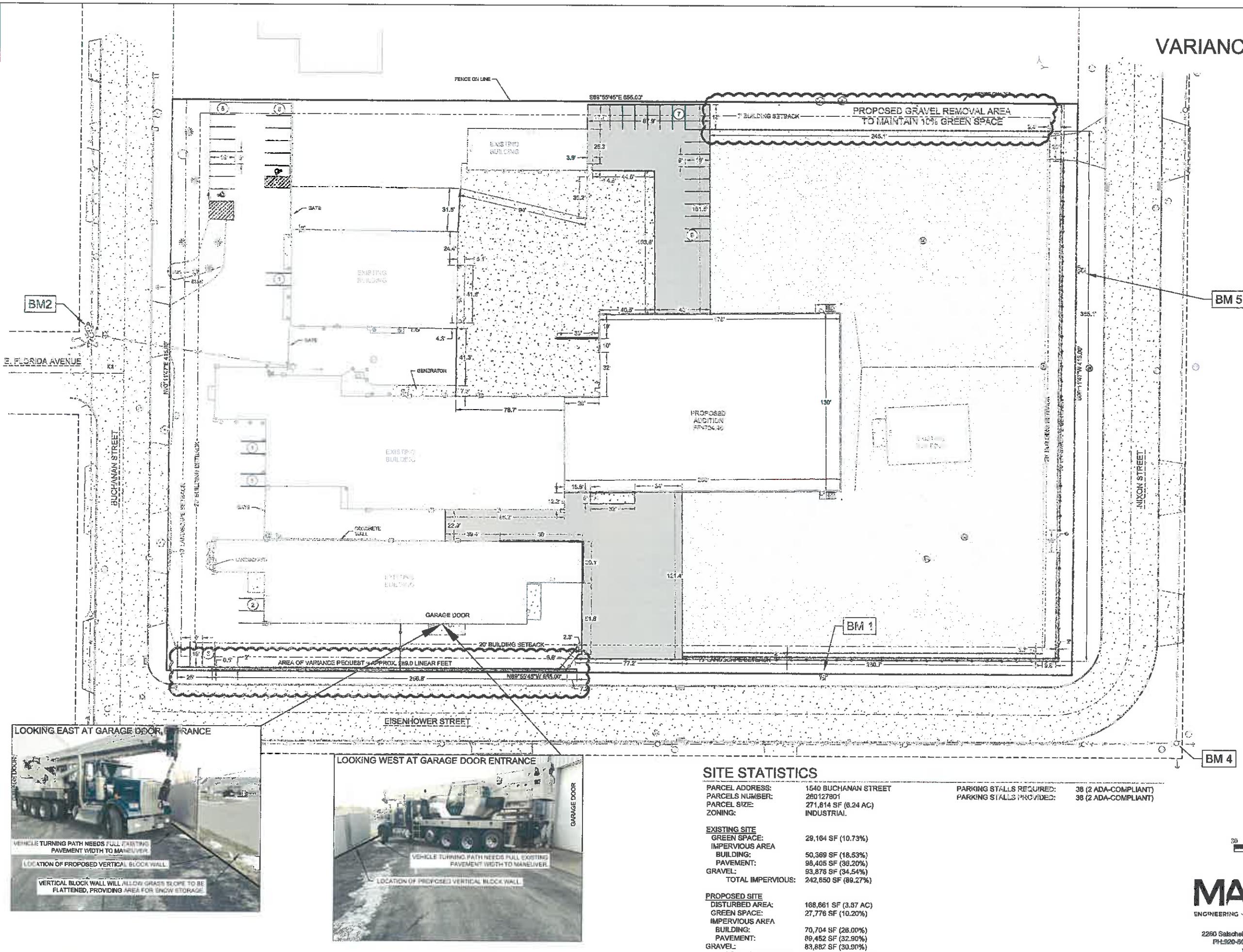
PROJECT:

1540 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

V1.0



**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2250 Salscheider Court Green Bay, WI 54313  
PH: 920-569-5785; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1677-01-18

# COVER SHEET

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION

**Schub**  
CONSTRUCTION, INC.

State ID# 080999

All the plans/electrical blue prints are the exclusive property of Schub Construction, Inc., and are bound with the contract. Copying, reprinting, and/or using these blue prints may be copied, reproduced, or other use may not be made without the consent of Schub Construction, Inc. Return upon request.

LEE'S CONTRACTING & FABRICATING, INC.

1540 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

PROJECT:

PROJECT NO.:

SHEET NO.:

C0.1

## Benchmarks

Label	Elevation	Description
BM 1	719.75	HYDRANT - TAG BOLT
BM 2	724.20	HYDRANT - SOUTHWEST BOLT
BM 3	719.75	HYDRANT - TAG BOLT
BM 4	719.91	RAILROAD SPIKE IN POWER POLE #5-40
BM 5	719.58	HYDRANT - TAG BOLT

## LEGAL DESCRIPTION

ALL OF LOT 1 OF CERTIFIED SURVEY MAP #7573 AS RECORDED IN VOLUME 46, PAGE 7573, DOCUMENT #2139136, WITHIN SECTION 15, T.21N, R.18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

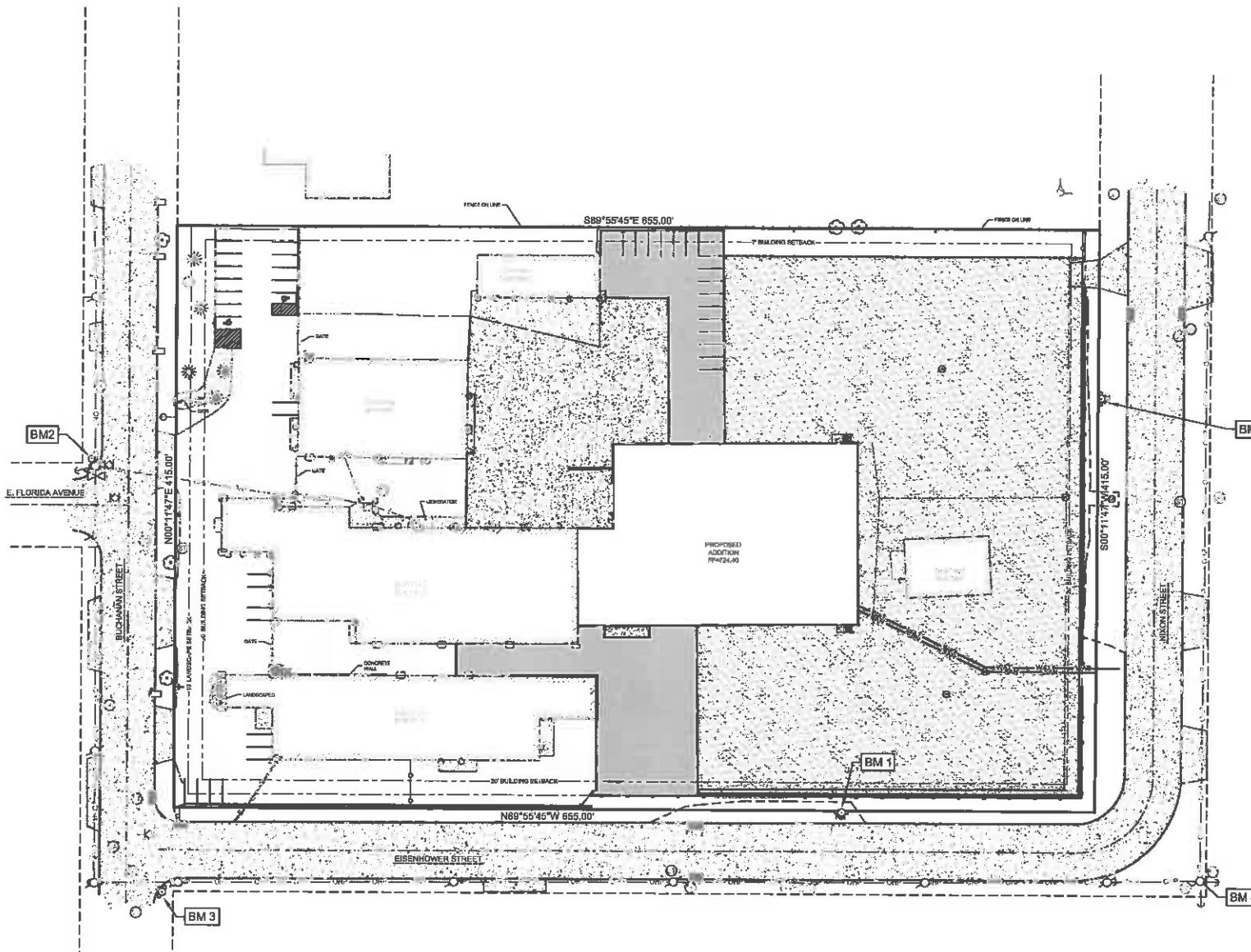
## CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN

## LOCATION MAP

1540 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

NOT TO SCALE

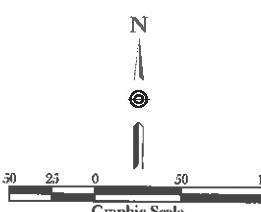


## CIVIL GENERAL NOTES:

1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING, LLC - OCTOBER 2018.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. UTILITY LOCATES PER DIGGERS HOTLINE WEB REQUEST #20184208054
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.

18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.

19. FOR NOTES SHOWN THUS, SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.



## ABBREVIATIONS

AEW	APRON END WALL	MM	MILLIMETER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N	NORTH
BM	BENCHMARK	NE	NORTHEAST
C	CABLE	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CI	CURB INLET	OHP	OUTLINE HEAD POWER
CMP	CORRUGATED METAL PIPE	QI	OUTLET HEAD POWER
CO	CLEAN OUT	PSI	POUNDS PER SQUARE INCH
CSM	CERTIFIED SURVEY MAP	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	R	RADIUS
DOT	DEPARTMENT OF TRANSPORTATION	RCP	REINFORCED CONCRETE PIPE
E	EAST	REQ	REQUIRED
E	ELECTRIC (BURIED)	S	SOUTH
EL	ELEVATION	SA	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SAN	SANITARY
FFE	FIRST FLOOR ELEVATION	SCHD	SCHEDULE
F.L.	FLOW LINE	S.D.	SUMP DEPTH
FO	FIBER OPTIC	SQ	SQUARE
FT	FEET	ST	STORM
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIABLES
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MIN	MINIMUM	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

## DIGGERS HOTLINE

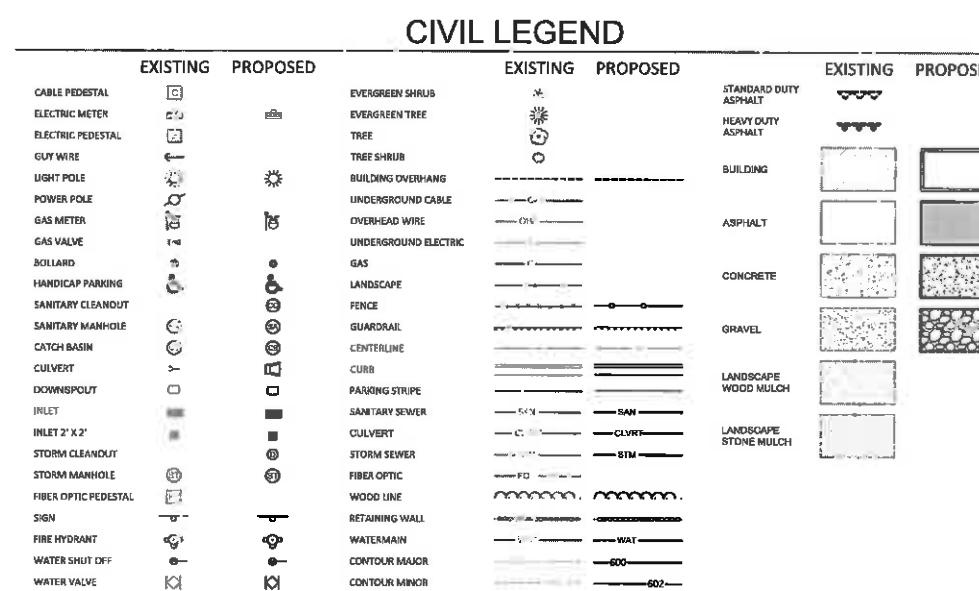
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 8 WORK DAYS NOTICE BEFORE YOU EXCAVATE

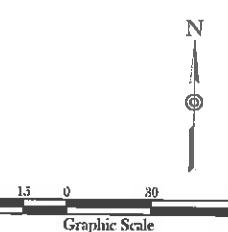
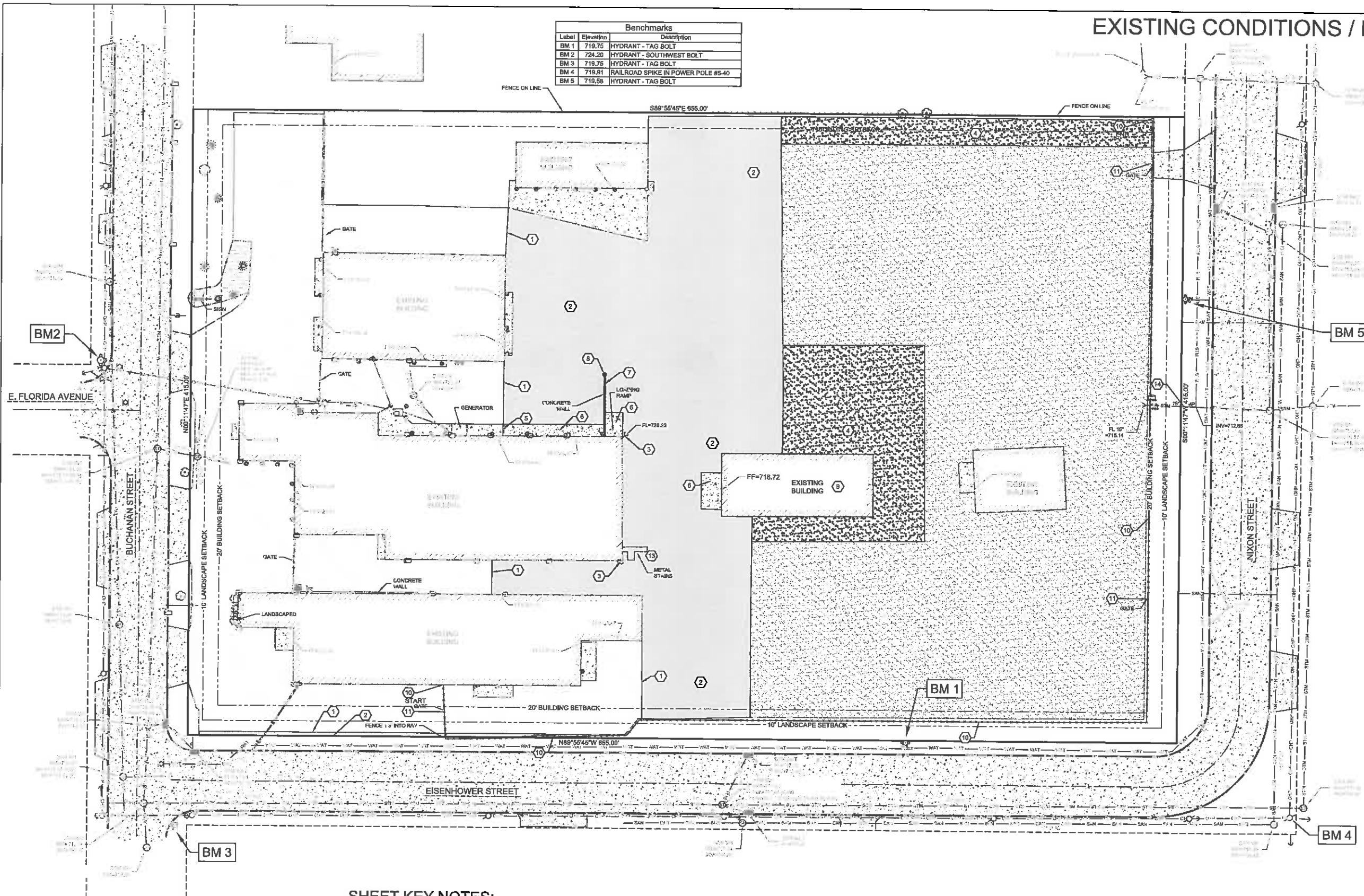
THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2280 Salschelder Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1577-01-18



# EXISTING CONDITIONS / DEMOLITION



PROJECT: LEE'S CONTRACTING & FABRICATING, INC.

150 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

PROJECT NO.:

SHEET NO.:

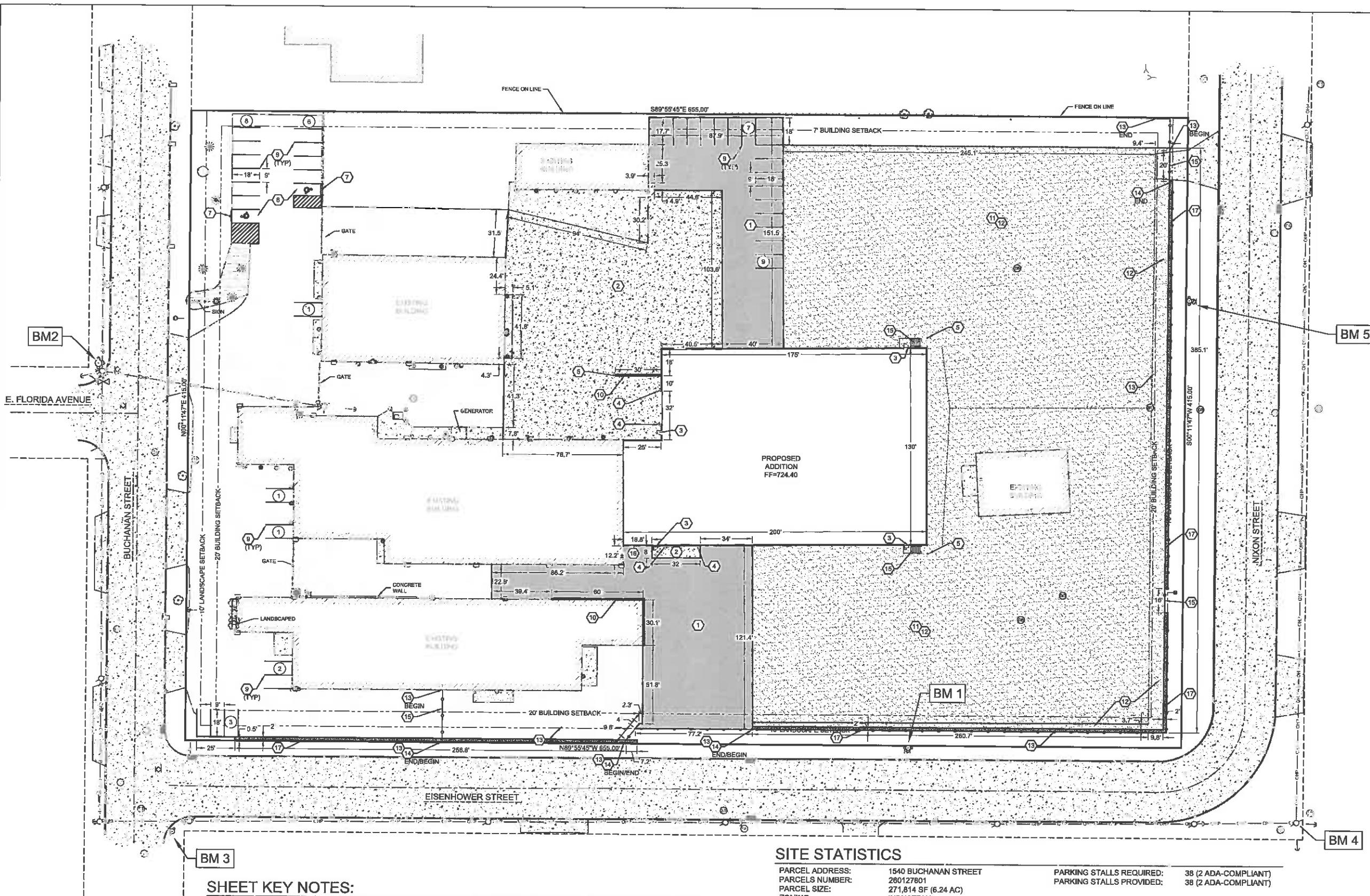
C1.0

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION  
METAL BUILDINGS  
**Schuh**  
CONSTRUCTION, INC.  
State ID# 680499  
Notice: These plans/estimates are the sole property of Schuh Construction, Inc., and are loaned with their understanding. Plans/estimates may not be copied, reproduced, or other wise used or distributed without the consent of Schuh Construction, Inc. Return upon request.

**MACH**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-lv.com  
Project Number: 1577-01-18

# SITE PLAN



## SHEET KEY NOTES:

- ① HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C6.0
- ② HEAVY DUTY CONCRETE PAVEMENT; SEE DETAIL B SHEET C6.0
- ③ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- ④ PIPE BOLLARD - 6"; SEE DETAIL C SHEET C6.0
- ⑤ PIPE BOLLARD - 10"; SEE DETAIL C SHEET C6.0
- ⑥ ADA HANDICAP STALL
- ⑦ ADA HANDICAP SIGN; SEE DETAIL D SHEET C6.0
- ⑧ EXTERIOR ACCESS STAIRS; REFER TO ARCHITECTURAL DRAWINGS
- ⑨ 4" WIDE WHITE PAINT STRIPE
- ⑩ CONCRETE RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- ⑪ RE-GRADE EXISTING GRAVEL; SEE SHEET C4.0 FOR ELEVATIONS
- ⑫ HEAVY DUTY GRAVEL; SEE DETAIL E SHEET C6.0
- ⑬ 6'-0" VERTICAL SLAT FENCE, VARIABLE HEIGHT TO MATCH VERTICAL FENCE AFFIXED TO BARRIER BLOCK WALL; SEE ARCHITECTURAL DRAWINGS
- ⑭ 8' VERTICAL SLAT FENCE AFFIXED TO CONCRETE BARRIER BLOCK WALL; SEE ARCHITECTURAL DRAWINGS
- ⑮ 6'-0" VERTICAL SLAT GATE, VARIABLE HEIGHT TO MATCH VERTICAL FENCE AFFIXED TO BARRIER BLOCK WALL; SEE ARCHITECTURAL DRAWINGS
- ⑯ PROPANE FUEL STORAGE RACK
- ⑰ CONCRETE BARRIER BLOCK WALL, STACKABLE BLOCKS EACH 2'W x 2'H x 6'L; SEE SHEET C4.0 FOR TOP ELEVATIONS

## SITE STATISTICS

PARCEL ADDRESS: 1540 BUCHANAN STREET  
 PARCELS NUMBER: 260127801  
 PARCEL SIZE: 271,814 SF (6.24 AC)  
 ZONING: INDUSTRIAL

PARKING STALLS REQUIRED: 38 (2 ADA-COMPLIANT)  
 PARKING STALLS PROVIDED: 38 (2 ADA-COMPLIANT)

EXISTING SITE  
 GREEN SPACE: 29,164 SF (10.73%)  
 IMPERVIOUS AREA  
 BUILDING: 50,369 SF (18.53%)  
 PAVEMENT: 98,405 SF (36.20%)  
 GRAVEL: 93,876 SF (34.54%)  
 TOTAL IMPERVIOUS: 242,850 SF (89.27%)

PROPOSED SITE  
 DISTURBED AREA: 168,661 SF (3.87 AC)  
 GREEN SPACE: 27,776 SF (10.20%)  
 IMPERVIOUS AREA  
 BUILDING: 70,704 SF (26.00%)  
 PAVEMENT: 89,452 SF (32.90%)  
 GRAVEL: 83,882 SF (30.90%)  
 TOTAL IMPERVIOUS: 244,038 SF (89.80%)

Graphic Scale  
 0 10 20 60

PROJECT: Lee's Contracting & Fabricating, Inc.  
 1540 BUCHANAN STREET  
 LITTLE CHUTE, WI 54140

PROJECT NO.:

SHET NO.:

C2.0

DESIGN / BUILD  
 GENERAL CONTRACTING  
 STEEL FABRICATION  
 METAL BUILDINGS

**Schuh**  
 CONSTRUCTION, INC.

State ID# 680499  
 Notice: These plans/estimates, etc. are the exclusive property of Schuh Construction, Inc., and are loaned with full understanding. Plans/estimates, etc. may not be copied, reproduced, or given to anyone, and may not be used without the consent of Schuh Construction, Inc. Return upon request.

**MACH** IV

ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313

PH: 920-569-5765; Fax: 920-569-5767

www.mach-iv.com

Project Number: 1577-01-18

# UTILITY PLAN

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION

**Schuh**  
CONSTRUCTION, INC.

State ID# 680499

Notice: These plans/electroline files are the exclusive property of Schuh Construction, Inc., and are leased under license. Any electroline files may not be copied or reproduced in any other way, nor may they be made available to anyone other than the client. Schuh Construction, Inc. reserves the right to cancel the lease if the client fails to pay the agreed upon rent.

LEE'S CONTRACTING & FABRICATING, INC.

150 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

PROJECT NO.:

Graphic Scale

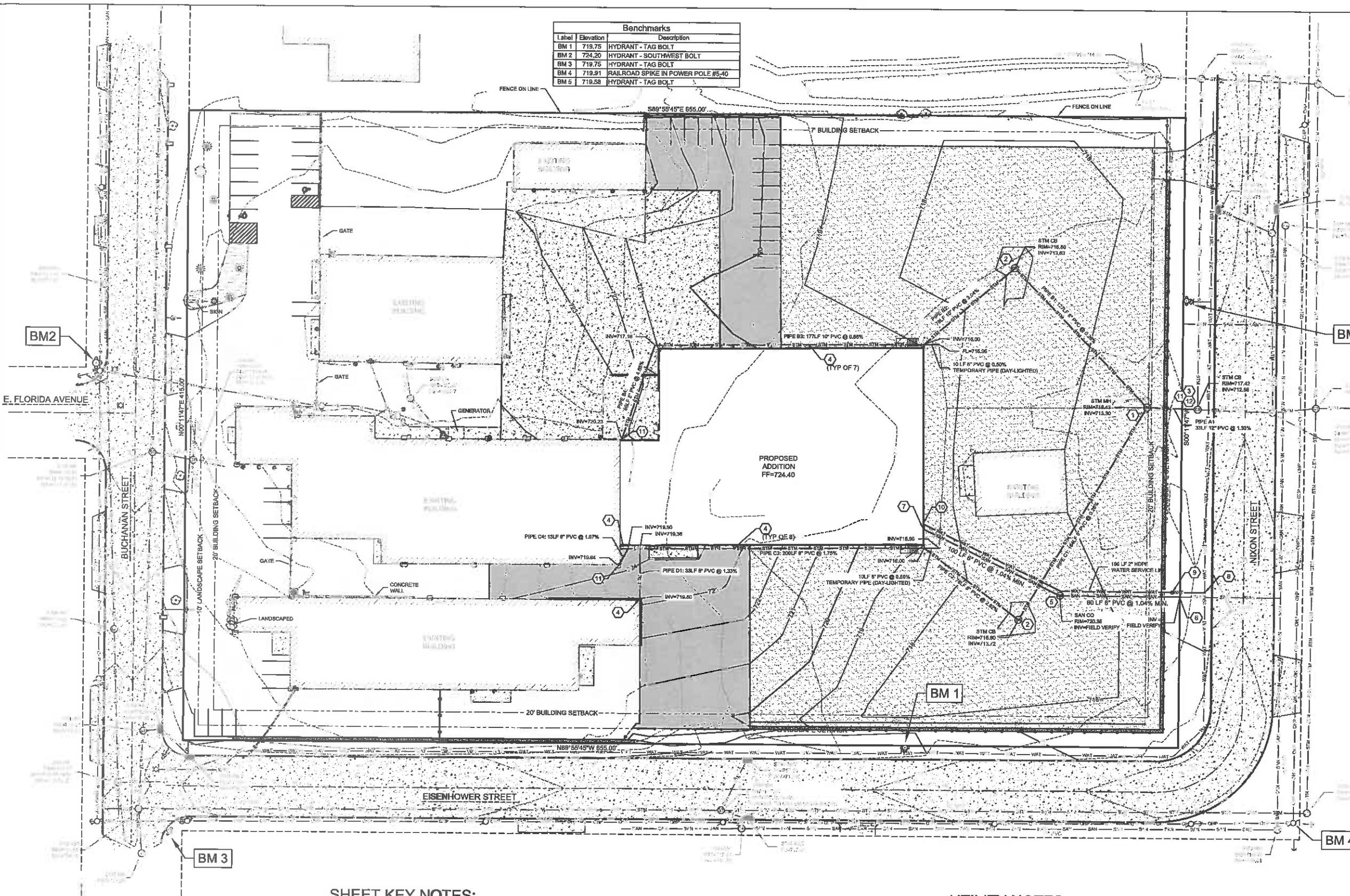
30 15 0 30 60

Graphic Scale

PROJECT NO.:

SHEET NO.

C3.0



**MACH**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767  
www.mach-lv.com  
Project Number:1577-01-18

# GRADING PLAN

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION

**Schuh**  
CONSTRUCTION, INC.

State ID# 680499  
Notice: These plans/coordinates shall  
be the exclusive property of Schuh  
Construction, Inc., and are loaned  
with that understanding.  
Plans/coordinates may not be  
copied or electronically transferred  
and may not be made available to  
anyone outside the control of Schuh Construction, Inc.  
Return upon request.

LEE'S CONTRACTING & FABRICATING, INC.

150 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

PROJECT:

150 BUCHANAN STREET

LITTLE CHUTE, WI 54140

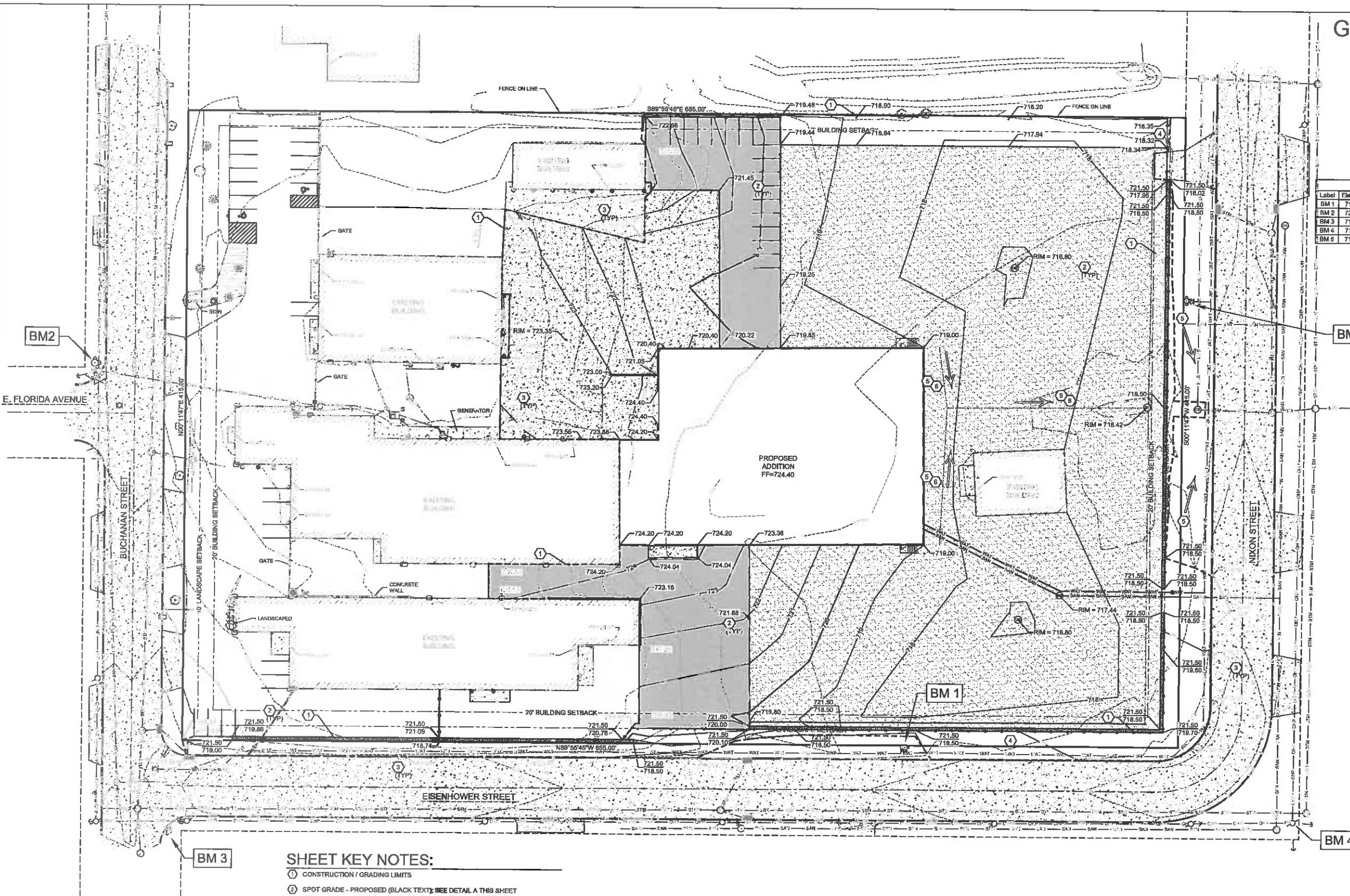
PROJECT NO.:

150 BUCHANAN STREET

LITTLE CHUTE, WI 54140

SHEET NO.:

C4.0



724.60 — TOP OF CURB  
724.10 — GUTTER/PAVEMENT  
724.76 — FINISHED GRADE  
A SPOT GRADE KEY

**MACH**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1577-01-18

## EROSION CONTROL PLAN

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION

**ACQUA  
CONSTRUCTION INC.**  
Established 1978

State ID# 68049

These photo/electric files  
evaluate property of Schub  
Cotton, Inc., and are located  
at their headquarters.  
Photo/electric files may not be  
reproduced, or other use  
may be made without the  
consent of Schub Cotton, Inc.  
Write upon request.

LEE'S CONSTRUCTION & FABRICATION, INC.

LEE'S CONVENIENCE  
1540 BUCHANAN STREET

### PROJECT NO.:

SET NO.:

C5.0

**EROSION CONTROL PLAN**

**CONSTRUCTION NOTES:**

- TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
- ALL EXCAVATED AREA NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDRP TECH. STANDARD 1058.

**PLANNED EROSION CONTROL PRACTICES:**

- SILT FENCE (TECH. STANDARD 1058)  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREA OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.

**Maintenance Plan:**

- ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNATED.

**Legend:**

- INLET
- CLASS. MAT. V.
- SILT FENCE
- STONE
- TEMP.
- SEDIMENT

## CONSTRUCTION SEQUENCE:

FALL 2018 TO SPRING 2019

- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WI-DNR TECHNICAL STANDARDS AND STORM WATER MANAGEMENT PLAN.
- STRIP TOPSOIL WITHIN GRADING LIMITS
- ROUGH GRADE SITE
- CONSTRUCT BUILDING
- INSTALL SITE UTILITIES
- INSTALL BASE COURSE
- TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- INSTALL PAVEMENT
- RE-SEED ANY UN-VEGETATED AREAS
- REMOVE EROSION CONTROL BMP'S UPON SITE STABILIZATION

## CONSTRUCTION NOTI

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1069).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE Dewatering IS NOT ANTICIPATED, HOWEVER SHOULD Dewatering BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

#### PLANNED EROSION CONTROL PRACTICE

- 1. SILT FENCE (TECH. STANDARD 1058)**  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
- 2. INLET PROTECTION (TECH STANDARD 1060)**  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
- 3. DUST CONTROL (TECH STANDARD 1068)**  
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
- 4. STOCKPILED TOPSOIL/TEMPORARY FILL PILES**  
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
- 5. TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1057)**  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
- 6. EROSION CONTROL MATS (TECH. STANDARD 1053)**  
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
- 7. DEWATERING (TECH STANDARD 1061)**  
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

## MAINTENANCE PLAN

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.6 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF  $\frac{1}{2}$  FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SALT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE INTO ADJACENT PROPERTIES SHALL BE SWEEP OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG DLG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL  
2260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767  
[www.mach-iv.com](http://www.mach-iv.com)  
Project Number: 4571-01-16

C5.0

# EROSION CONTROL DETAILS

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION  
METAL BUILDINGS

**Sculth**  
CONSTRUCTION, INC.  
Engineering • Surveying • Environmental

State ID# 680499

Notice: These plans/electronic files are the exclusive property of Sculth Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied or reproduced in any manner or for any use other than the conduct of business within the control of Sculth Construction, Inc. Return upon request.

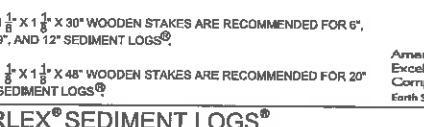
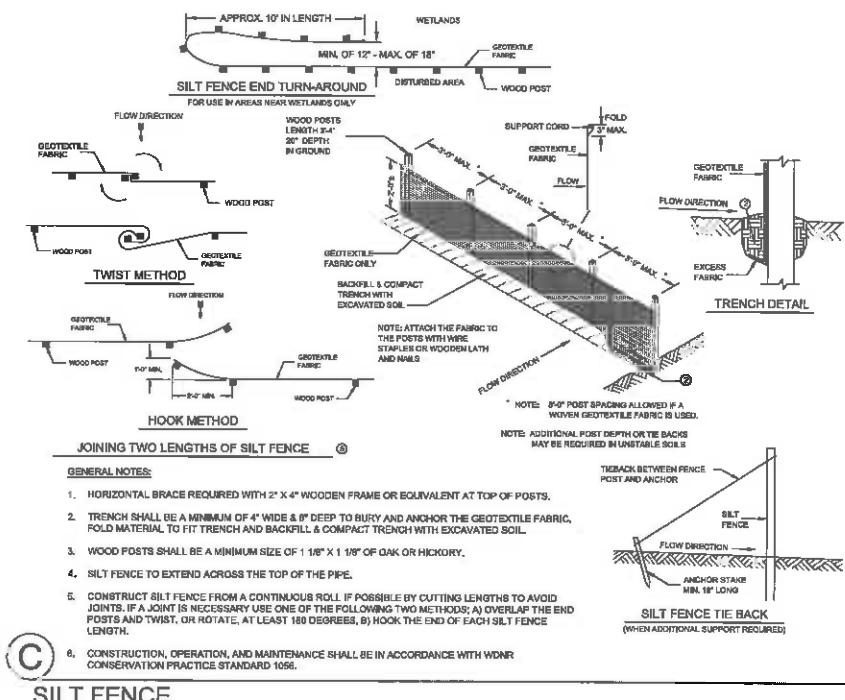
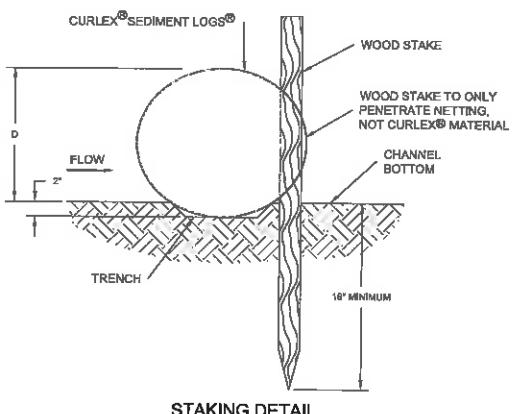
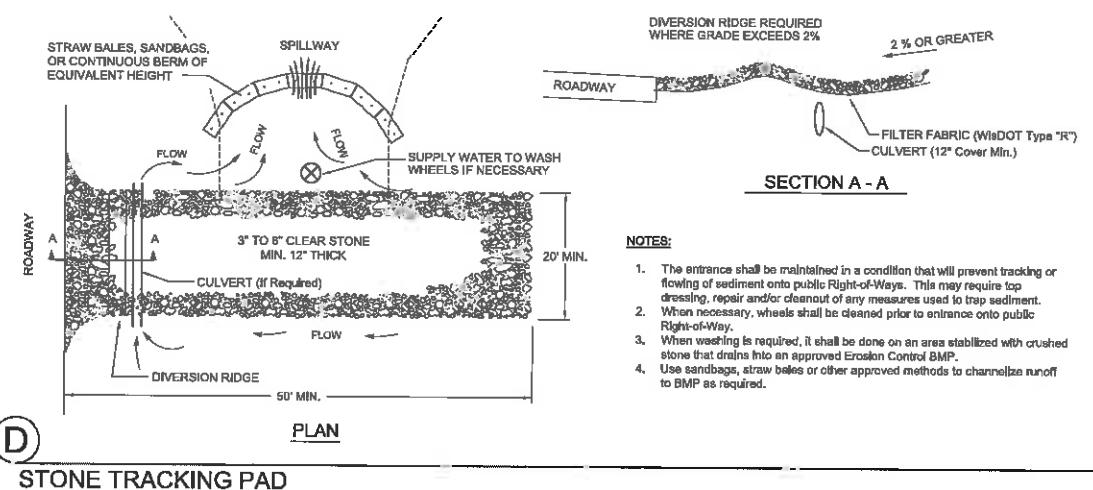
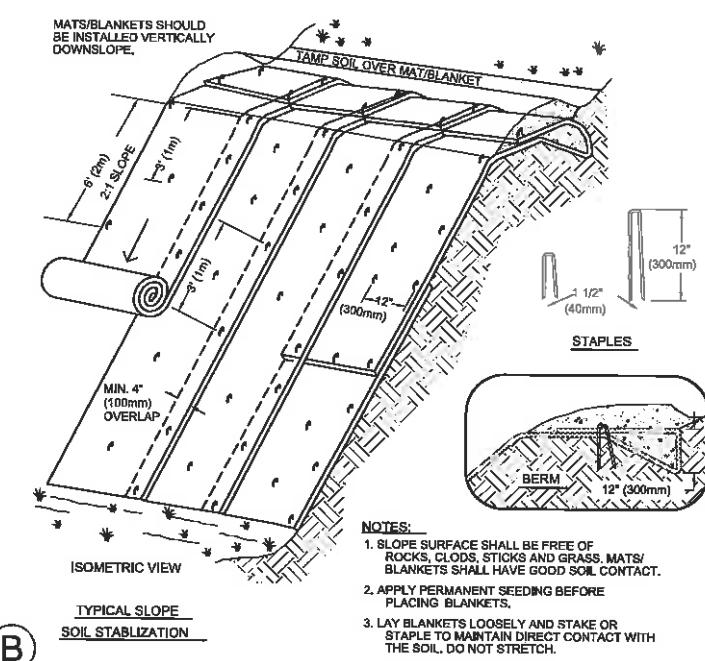
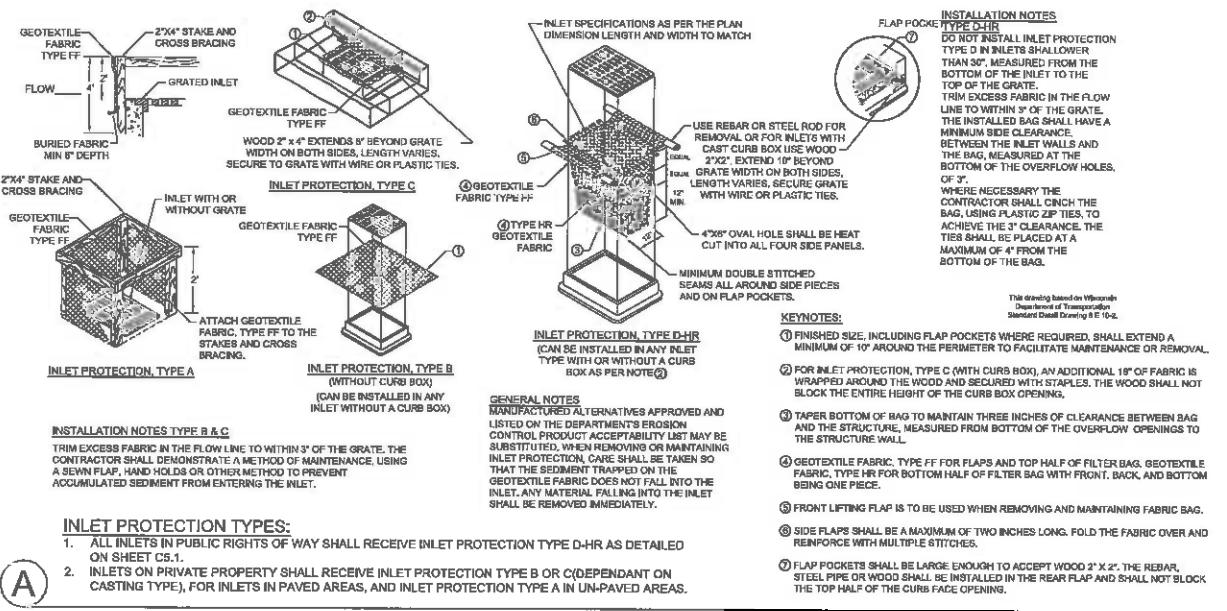
LEE'S CONTRACTING & FABRICATING, INC.

PROJECT:  
1540 BUCHANAN STREET  
LITTLE CHUTE, WI 54140

PROJECT NO.:

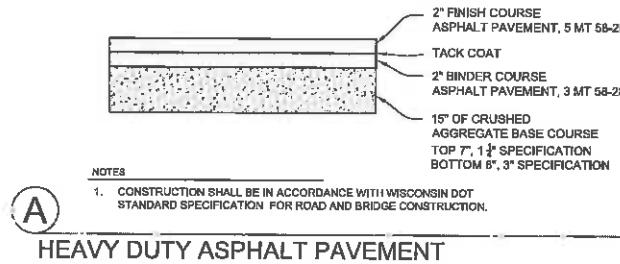
SHEET NO.:

C5.1

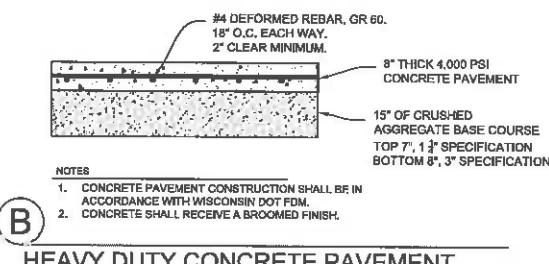


**MACH**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

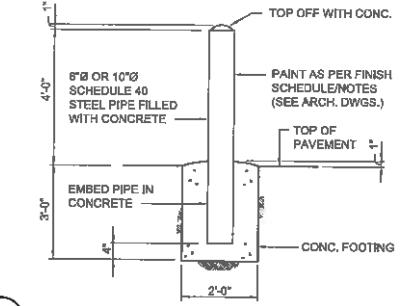
2260 Salscholder Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-fv.com  
Project Number: 1577-01-18



HEAVY DUTY ASPHALT PAVEMENT



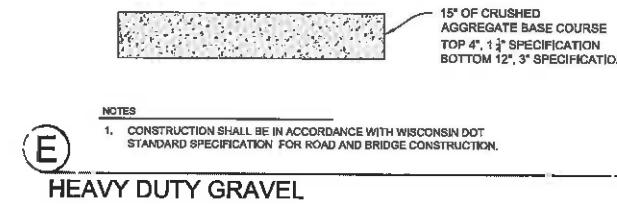
HEAVY DUTY CONCRETE PAVEMENT



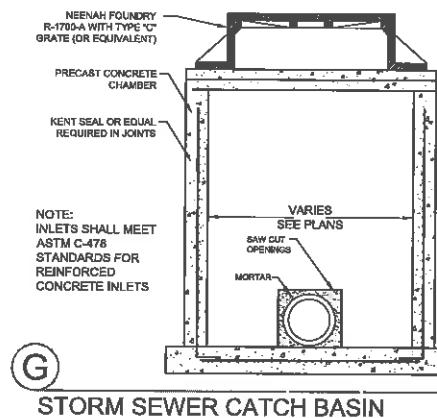
PIPE BOLLARD



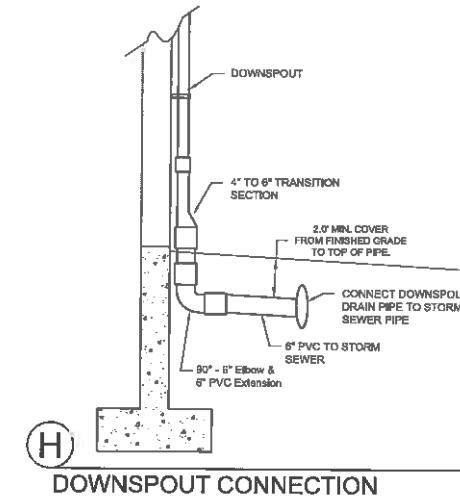
ADA HANDICAP SIGN



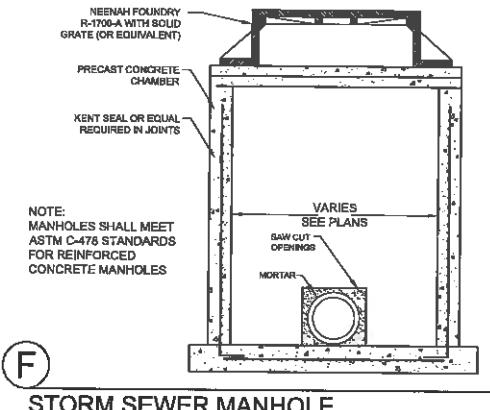
HEAVY DUTY GRAVEL



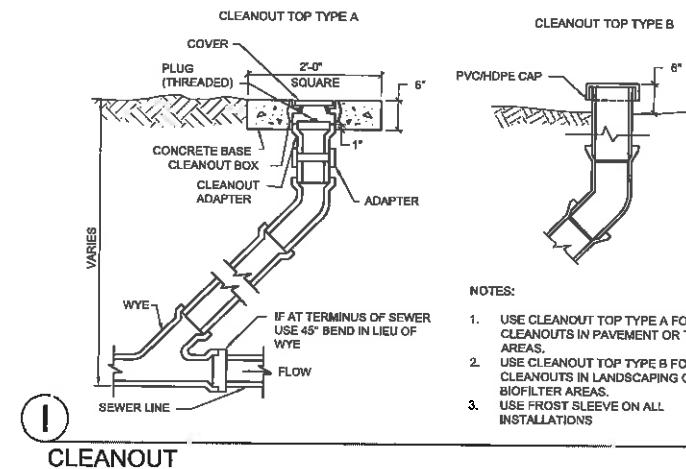
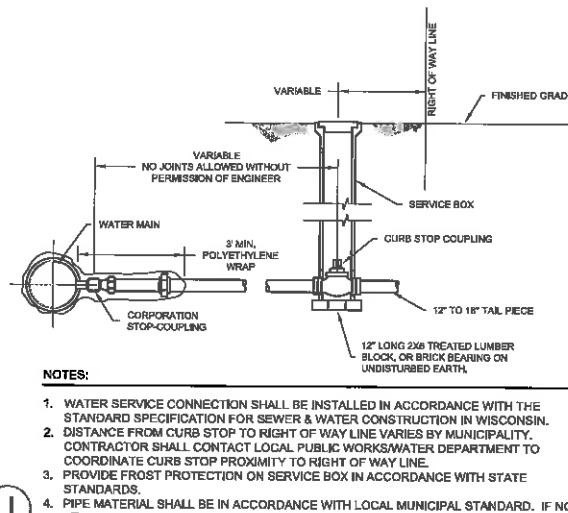
STORM SEWER CATCH BASIN



DOWNSPOUT CONNECTION

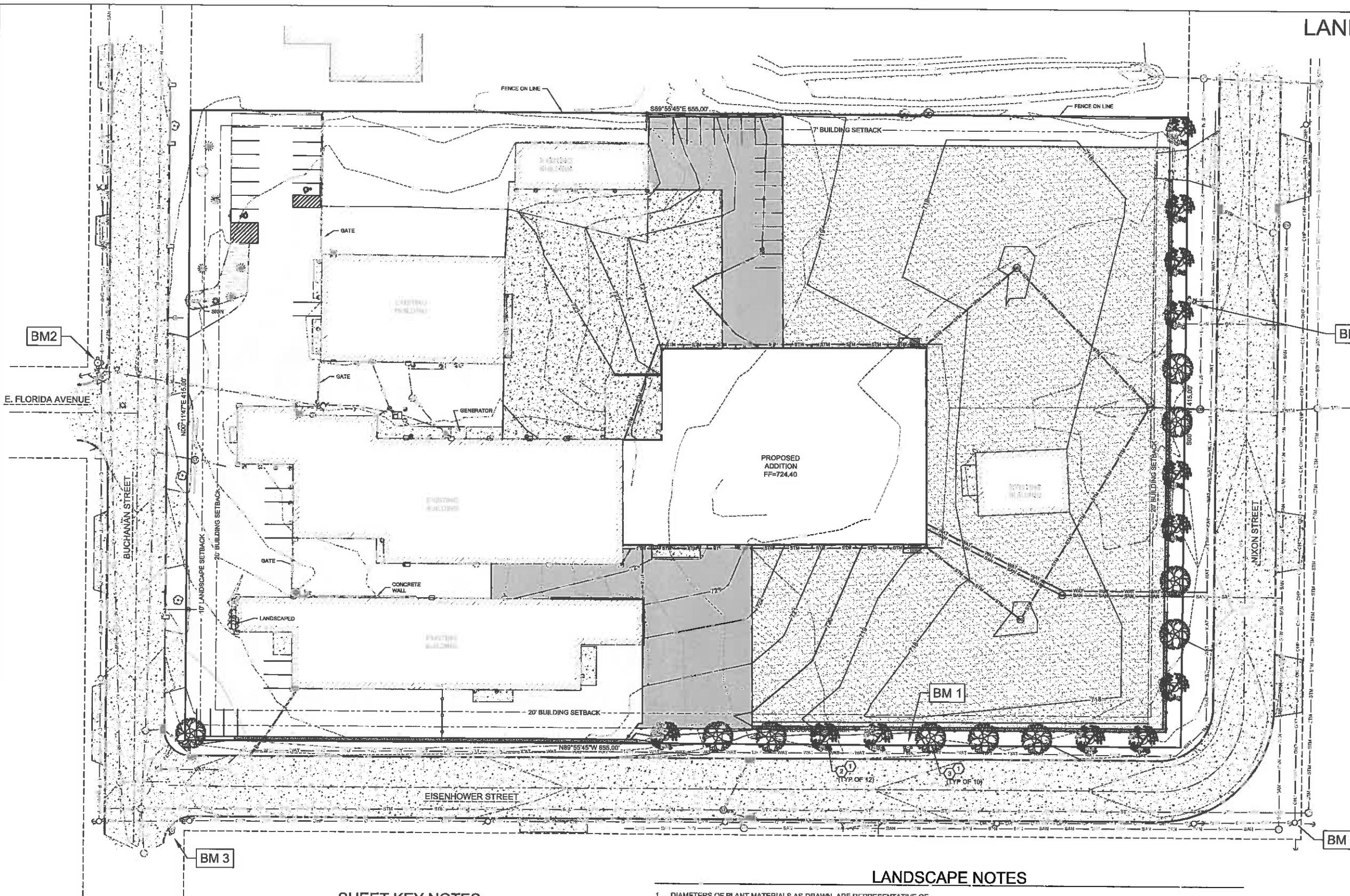


STORM SEWER MANHOLE



WATER SERVICE CONNECTION

# LANDSCAPE PLAN



## LANDSCAPE NOTES

### SHEET KEY NOTES:

- ① 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH
- ② HONEY LOCUST (GLEIDITIA TRIACANTHOS); 2.5" TRUNK CALIPER MINIMUM
- ③ AUTUMN BLAZE MAPLE (ACER X FREEMANII); 2.5" TRUNK CALIPER MINIMUM

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR Maturity RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.

Graphic Scale

PROJECT NO.: 1540 BUCHANAN STREET, LITTLE CHUTE, WI 54140

SHEET NO.: L1.0

2260 Salesholder Court Green Bay, WI 54313

**MACH**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1577-01-18

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION  
METAL BUILDING SYSTEMS

**Schuh**  
CONSTRUCTION INC.

Established 1978  
Quality is our goal. Integrity is our strength.  
State ID# 680499

Waller: These plans/drawings are the exclusive property of Schuh Construction, Inc. and are loaned with full understanding.

Plans/Drawings may not be copied, reproduced, or distributed in any manner or in whole or in part without the consent of Schuh Construction, Inc.

Return upon request.



## APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Van Handel Homestead

Parent Parcel # 200008307, 200008308, 200008700

Number of Lots: 26

Preliminary Plat  Final Plat  CSM

Will deed restrictions be recorded?  Yes  No

### Property Owner Information:

Name: Van Handel Homestead, LLC, Vanessa A. Mills

Telephone Number: (920) 217-5926

Mailing Address: N2120 Buchanan Rd, Kaukauna, WI 54130

### Surveyor Information:

Name: James R. Sehloff, Davel Engineering & Environmental, Inc

Telephone Number: (920) 830-6562

email: jim@davel.pro

### Engineer Information:

Name: John Davel, Davel Engineering & Environmental, Inc

Telephone Number: (920) 830-6563

email: john@davel.pro

### Required for plat review:

Lot Layout (4 full size copies) and (24) 11" x 17" copies

Topographic survey (4 full size copies) and (2) 11" x 17" copies

Drainage plan (4 full size copies) and (2) 11" x 17" copies

Pavement Design Catalog (3 copies)

Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

Proposed CSM (24) copies

Plat restrictions or covenants to be recorded (3 copies)

### Filing Fees:

Preliminary Plat \$100.00 plus \$5.00 per lot.  Final Plat \$50.00 plus \$2.00 per lot.  CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 230.00

Signature of Applicant Van Handel

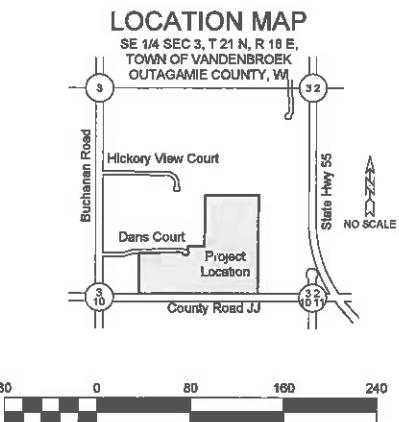
Date 3-11-19

Submit to: Director of Community Development  
108 W Main Street, Little Chute, Wisconsin 54140  
(920)423-3870 jim@littlechutewi.org

# Preliminary Plat of Van Handel Homestead

Part of Lot 1 and all of Lot 2 of CSM 7316 being part of the Southwest 1/4 of Southwest 1/4 and  
unplatted land located in part of the Southeast 1/4 of the Southwest 1/4 of Section 03, Township 21  
North, Range 18 East, Town of Vandenbroek, Outagamie County, Wisconsin

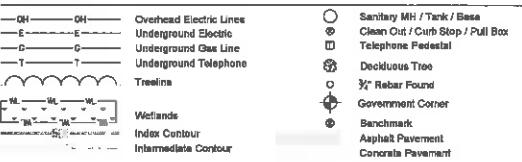
## LOCATION MAP



Bearings are referenced to the South line of the  
Southeast 1/4, Section 03, T21N, R18E,  
assumed to bear S89°28'01"W, base on the  
Outagamie County Coordinate System.

Owner/Developer  
Van Handel Homestead, LLC  
Vanessa A. Mills  
2120 Buchanan Road  
Kaukauna, WI 54130

## LEGEND

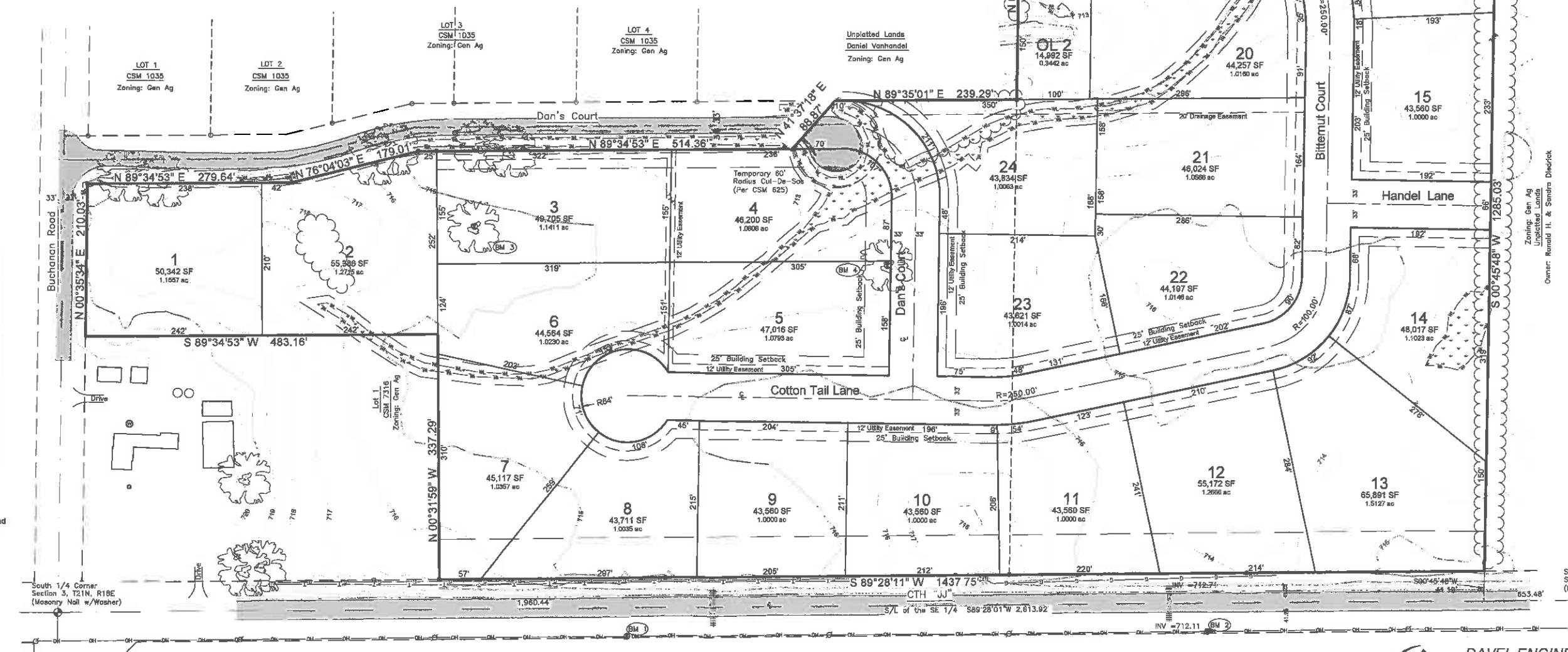


## SUPPLEMENTARY DATA

Total Area = 1,430,129 SF 32.8312 acres  
Raw Area = 180,448 SF 3.6834 acres  
Net Area = 1,289,681 SF 29.1478 acres  
Number of Lots = 24  
Average lot size = 47,000 SF  
Typical lot dimension = 150' x 313'  
Lineal feet of street = 2,268 LF  
Existing zoning = General Ag  
Proposed zoning = Residential Single Family  
Approving Authorities  
Town of Vandenbroek  
Outagamie County Planning  
Village of Little Chute (extraterritorial)  
Objecting Authorities  
Department of Administration

## NOTES

1. Utility and Drainage Easements  
will be shown on Final Plat
2. Outlot 1 is for Storm water management and will be owned  
equally among lots in the subdivisions
3. Outlot 2 will be transferred to the adjacent land owner



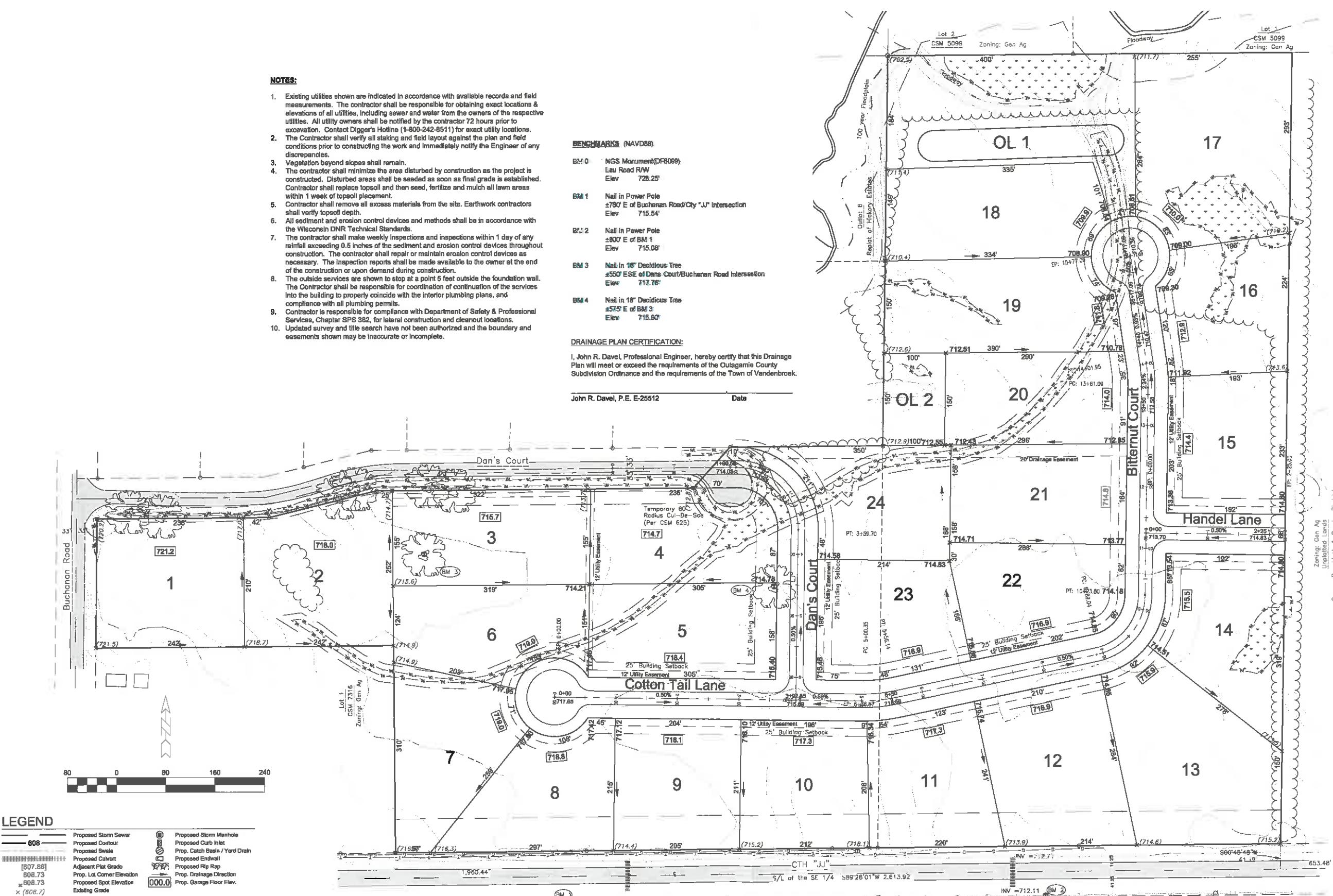
## DRAINAGE & GRADING PLAN

Van Handel Homestead  
Town of Vandenbrook, Outagamie County, WI  
For: Pat Hiepas

PRELIMINARY 03/08/2019

Date: 03/08/2019  
File name: 5486engr.dwg  
Author: JRD  
Last saved by: eric  
Page: 1.2

Zoning: Gen Ag  
Unplotted Lands  
Owner: Ronice H. & Sandra Dietrick



3/8/2019 11:07 AM J:\Projects\5486\dwg\Civil 3D\5486engr.dwg Printed by: eric

## DRAINAGE & GRADING PLAN

Van Handel Homestead  
Town of Vandenbrook, Outagamie County, WI  
For: Pat Hiepas

PRELIMINARY 03/08/2019

Date: 03/08/2019  
File name: 5486engr.dwg  
Author: JRD  
Last saved by: eric  
Page: 1.2