



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, August 10, 2020

TIME: 6:00 p.m.

- A. Call to order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the August 10th Plan Commission meeting at 6 PM by following the link here:

<https://www.gotomeet.me/JamesFenlon/august-10th-plan-commission>

Call-in Information: +1 (872) 240-3212 Access code: 596-263-181

For further details please refer to additional information for the Plan Commission Meeting immediately following agenda.

1. Approval of Minutes from the Plan Commission Meeting of July 13, 2020
2. Public Hearing—3639 Don DeGroot Drive
3. Recommendation/Action—Home Occupation Request for 3639 Don DeGroot
4. Recommendation—1215 Buchanan Street Rezoning Request
5. Recommendation—Cobblestone Hotel Site Plan
6. Recommendation—North Evergreen Pond Home Site Plan
7. Recommendation—CSM Little Chute North Estates Outlot 4
8. Unfinished Business
9. Items for Future Agenda
10. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 August 6, 2020



Information for the Plan Commission Meeting – August 10th, 2020 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the August 10th Plan Commission Meeting at 6 PM by following the link here: <https://www.gotomeet.me/JamesFenlon/august-10th-plan-commission>
2. **Call-in Information:** United States: [+1 \(872\) 240-3212](tel:+18722403212) **Access Code:** 596-263-181
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE PLAN COMMISSION MEETING JULY 13, 2020

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by Trustee Van Lankvelt

Roll Call

PRESENT: Todd Verboomen
Bill Van Berkel
Larry Van Lankvelt
Kent Taylor
Richard Schevers
EXCUSED: President Vanden Berg

STAFF PRESENT: Administrator Fenlon, Community Development Director Kittel

Public Appearance for Items Not on the Agenda

None

Approve Minutes from the Plan Commission Meeting of July 1, 2020

Moved by Commissioner Van Berkel, seconded by Commissioner Schevers to Approve the Minutes from the Plan Commission Meeting of July 1, 2020

Roll Call Votes

Todd Verboomen	Abstain
Richard Schevers	Aye
Larry Van Lankvelt	Aye
Bill Van Berkel	Aye
Kent Taylor	Aye

Ayes 4, Abstain (Verboomen)—Motion Carried

Discussion—Short Term Rentals in the Village of Little Chute

Director Kittel gave the Plan Commission information on adopting or regulating Short Term Rentals in the Village of Little Chute. The Plan Commission would like more information on State and County regulations before they make a recommendation to the Board.

Recommendation—Conditional Use Permit for Multifamily Development on a Commercial Highway Zoned Parcel

Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to Recommend to the Board to Approve a Conditional Use Permit for Multifamily Development on a Commercial Highway Zoned Parcel

Roll Call Votes

Richard Schevers	Aye
Larry Van Lankvelt	Aye
Bill Van Berkel	Aye
Kent Taylor	Aye
Todd Verboomen	Aye

All Ayes— Motion Carried

Recommendation—Certified Survey Map for 2140 Bohm Drive

Moved by Commissioner Schevers, seconded by Commissioner Taylor to Recommend to the Board the Approval of the CSM for 2140 Bohm Drive

Roll Call Votes

Larry Van Lankvelt	Aye
Kent Taylor	Aye
Todd Verboomen	Aye
Richard Schevers	Aye
Bill Van Berkel	Aye

All Ayes– Motion Carried

Recommendation—Certified Survey Map for 3317 and 3315 Buchanan Road

Moved by Commissioner Van Berkel, seconded by Commissioner Verboomen to Recommend to the Board the Approval of the CSM for 3317 & 3315 Buchanan Road

Roll Call Votes

Bill Van Berkel	Aye
Kent Taylor	Aye
Todd Verboomen	Aye
Richard Schevers	Aye
Larry Van Lankvelt	Aye

All Ayes– Motion Carried

Recommendation—Certified Survey Map for North Evergreen Pond Homes

Moved by Commissioner Taylor, seconded by Commissioner Schevers to Recommend to the Board the Approval of the CSM for North Evergreen Pond Homes

Roll Call Votes

Kent Taylor	Aye
Todd Verboomen	Aye
Richard Schevers	Aye
Larry Van Lankvelt	Aye
Bill Van Berkel	Aye

All Ayes– Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to Adjourn the Plan Commission Meeting at 6:38 p.m.

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
PLAN COMMISSION
NOTICE OF PUBLIC HEARING**

CONDITIONAL USE REQUEST

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on August 10, 2020 at 6:00 p.m. by the Plan Commission, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Owner requests a conditional use permit for a home-based occupancy, more specifically to operate a preschool with before and after care included in the owner's residence under the name MUDDY PUDDLES NATURE SCHOOL. The property is Zoned; RC-Residential single-family District in the Village of Little Chute, Outagamie County, Wisconsin.

Address: 3639 Don Degroot Drive
Parcel # 260451918
Legal Description: LOT 8 LITTLE CHUTE NORTH ESTATES

Current Owner: Maria Gonnering
Applicant: Maria Gonnering

DATE OF HEARING: August 10, 2020
TIME OF HEARING: 6:00 p.m.
PLACE OF HEARING: Village Hall
Board Room
108 West Main Street
Little Chute, WI 54140

Publish: August 5, 2020

STATE OF WISCONSIN AFFIDAVIT OF PUBLICATION

August 5, 2020
VILLAGE OF LITTLE CHUTE
PLAN COMMISSION
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WNAXLP

CHAD BREWER
Notary Public
State of Wisconsin

Laurie Hammen

being duly sworn doth depose and say that he/she is an authorized representative of the **TIMES-VILLAGER**, a weekly newspaper published by News Publishing Co., Inc. at **Kaukauna, Wisconsin, in Outagamie County**, and that an advertisement of which the annexed is a true copy, taken from said paper, was published therein on:

08/05/2020

SIGNED

Laurie A Hammen

DATED

08/06/2020

[Signature]

Notary Public, State of Wisconsin

My Commission Expires

4/25/2023

of Lines 34

of Weeks Published 1

Publication Fee \$ 37.78

Proof of Publication \$ 1.00

Total \$ 38.78

Village of Little Chute
REQUEST FOR PLAN COMMISSION

ITEM DESCRIPTION: Home Occupation for 3639 Don Degroot Dr

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/6/2020

ADMINISTRATOR'S REVIEW/COMMENTS: No Comments *JPF*

EXPLANATION:

An application for a Home Occupation for 3639 Don Degroot dr. has been received. This application is to operate a preschool (home childcare) type of business out of a home located at 3639 Don Degroot Dr. This property is a newly constructed Single-Family Dwelling that has had some well thought out design to allow for this use in a safe manner. These would include an entry, classroom area a well-placed bathroom and a fenced in back yard. The primary purpose of this property is as a single-family dwelling and the entry area is framed to be a 3rd car garage and is easily converted over and the "classroom" is essentially an additional living room. Per Sec 44-126 this type of use is allowed provided the occupation is no more than 30 percent of the dwelling which this will not. The operator will be following all state requirements to operate such a business and will not exceed 12 children in attendance. There will be limited traffic from this and only in the morning for drop off and afternoon for pick up. All pick up and drop off will be able to utilize the drive way for momentary parking to prevent the road from being blocked.

RECOMMENDATION:

Approve the Home Occupation for 3639 Don Degroot Dr.

VILLAGE OF LITTLE CHUTE
APPLICATION FOR HOME OCCUPATION PERMIT

SITE ADDRESS 3639 Don Degroot Drive Kaukauna WI 54130
PROPERTY OWNER(S) Maria Gommerung
ADDRESS/ZIP same as above TELEPHONE 920-428-4696
CITY/ZIP _____ FAX _____

OCCUPANT/APPLICANT(S) _____
BUSINESS/CORPORATION NAME (IF APPLICABLE) Muddy Puddles Nature School
ADDRESS same as above TELEPHONE _____
CITY/ZIP _____ FAX _____

DESCRIBE IN DETAIL ALL EXISTING USES AND OF ADDITIONAL USES BEING PROPOSED FOR THIS LOCATION
APPLICANT MAY INCLUDE ANY ATTACHMENTS SUCH AS MAPS, DRAWINGS, PLANS, LEASE DOCUMENTS, ETC.
-COMPLETE DETAILS OF ALL USES MUST BE INCLUDED, OMISSIONS SHALL BE CAUSE FOR DENIAL OR REVOCATION-

Private Nature based preschool with before & after
care included

DESCRIBE ALL HOURS OF OPERATION FOR EXISTING AND PROPOSED COMMERCIAL NON-RESIDENTIAL USES
7am - 5pm Monday - Friday

DESCRIBE ALL AREAS (1ST FLOOR, 2ND FLOOR, BASEMENT, ETC.) AND INCLUDE THE ACTUAL SQUARE FOOT AREA WHICH
WILL BE USED FOR ANY PROPOSED COMMERCIAL/BUSINESS USES.

Classroom is attached on First Floor & backyard.

ZONING DISTRICT RC LOT SIZE 95 x 180 ICR
OF STORIES 1 BASEMENT ☒ YES ☐ NO BUILDING HEIGHT 10' TOTAL FLOOR AREA 700 Sq Ft
TOTAL # OF EMPLOYEES PROPOSED (IF APPLICABLE) 1 NUMBER OF ON SITE PARKING STALLS 5

I CERTIFY THAT THIS APPLICATION AND ANY ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE,
COMPLETE IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE Maria Gommerung DATE 7/23/2020
OWNER SIGNATURE Maria Gommerung DATE 7/23/2020
OCCUPANCY APPROVED BY _____ DATE ____/____/____
OCCUPANCY DENIED BY _____ DATE ____/____/____

"PLAT OF SURVEY" 20-381

7/22/2020

3639

DON DEGROOT
DR

36
LITTLE CHUTE
NORTH ESTATES

37
LITTLE CHUTE
NORTH ESTATES

HAMMEN CT. (60')

30'

30'

12' UTILITY EASEMENT
AS PER PLAT

25' BUILDING SETBACK
AS PER PLAT

30'

10
LITTLE CHUTE
NORTH
ESTATES

9
LITTLE CHUTE
NORTH
ESTATES

DR. (60')

DON DEGROOT

30'

S00°01'30"W
7.10'

15' DRAINAGE EASEMENT
AS PER PLAT

N57°25'35"E
16.5'±

107.52'

S88°49'07"E 55.13'

N75°22'08"E 16.68'

MG

17,218 SQ.FT.±
[0.3952 ACRES±]

8
LITTLE CHUTE
NORTH
ESTATES

7
LITTLE CHUTE
NORTH
ESTATES

OUTLOT 1
LITTLE CHUTE
NORTH ESTATES

N38°27'42"W
55.2'±

N62°04'52"E
167.64'

3 FT

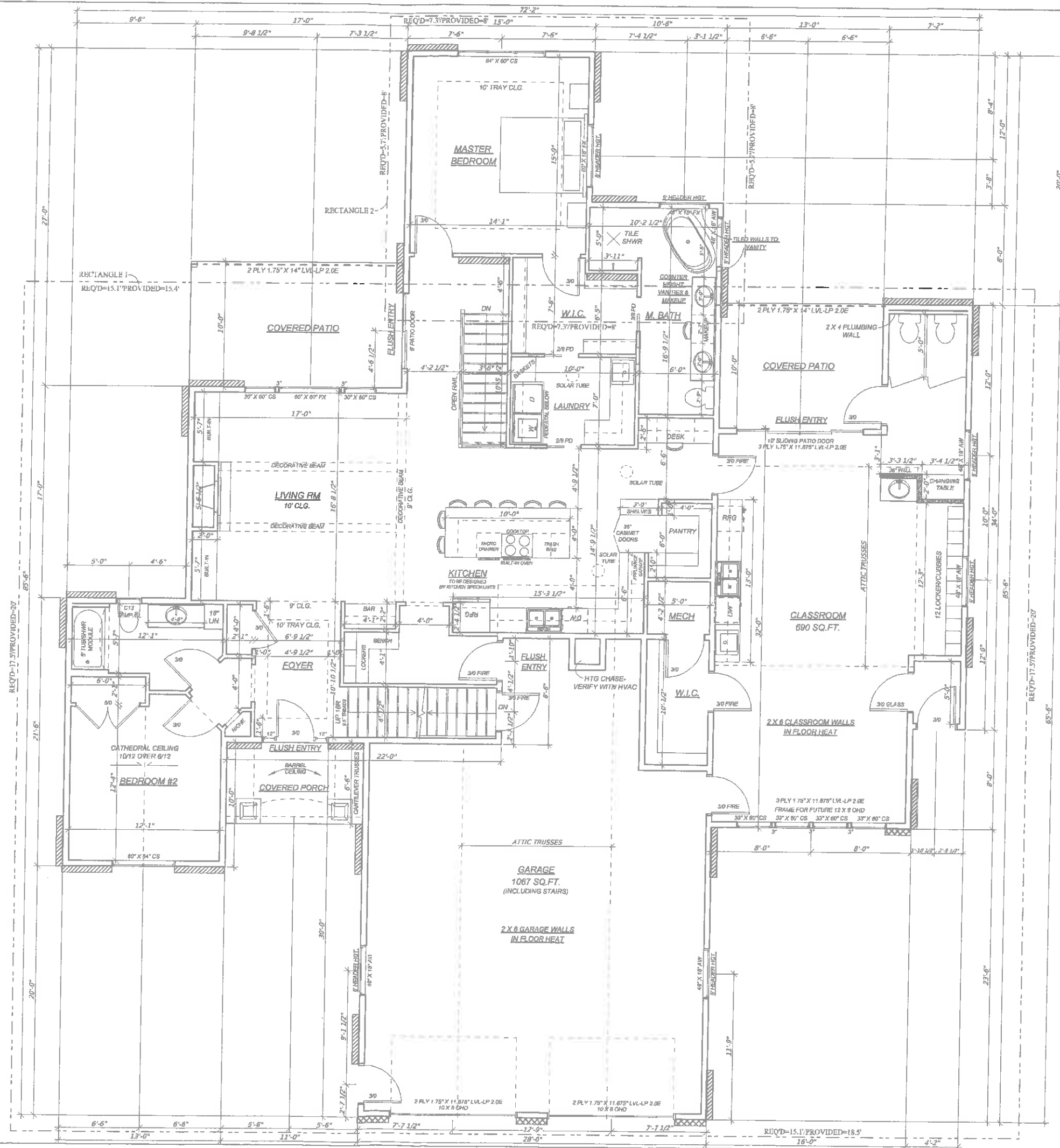
12' UTILITY EASEMENT
AS PER PLAT

25' BUILDING SETBACK
AS PER PLAT

S37°55'08"E 1.87'

GRAPHIC SCALE:





Rectangle 1		Wall Ht: 9'	Eave to Ridge Ht: 15'	Max. Opening Ht: 6'-8"	Wind Category: C
			Intermittent Method (LIR, DWB, WSP, SFB, GB, PCP) and # of panels per Table 321.25-1 Min. Panel width (Table 321.25-G)=	Continuous Method (CS-WSP, CS-SFB) and total length required per Table 321.25-2 Min. panel width (Table 321.25-H)= 30'	PF Method (see Figure 321.25-A). Indicate number of PF panels 16'-24" wide provided. Min. PF width (Fig. 321.25-A)= 18"
		Long side	Short Side	Long side	Short Side
Roof and ceiling only				15.1'	4
One floor, roof and ceiling				15.1'	4
Two floors, roof and ceiling				15.1'	4

Rectangle 2		Wall Ht: 9'	Eave to Ridge Ht: 15'	Max. Opening Ht: 6'-8"	Wind Category: C
			Intermittent Method (LIR, DWB, WSP, SFB, GB, PCP) and # of panels per Table 321.25-1 Min. Panel width (Table 321.25-G)=	Continuous Method (CS-WSP, CS-SFB) and total length required per Table 321.25-2 Min. panel width (Table 321.25-H)= 30'	PF Method (see Figure 321.25-A). Indicate number of PF panels 16'-24" wide provided. Min. PF width (Fig. 321.25-A)= 18"
		Long side	Short Side	Long side	Short Side
Roof and ceiling only				5.7'	7.3'
One floor, roof and ceiling				5.7'	7.3'
Two floors, roof and ceiling				5.7'	7.3'

ALL WALLS UNLESS NOTED OTHERWISE

FINAL DESIGN TALL WALL SYSTEMS BY THE SUPPLIER

CONTRACTOR'S PRECEDENCE

ALL DIMENSIONS FRAMED WINDOW GLASS

FLOOR SYSTEM OVERHANG SO SHEETED WITH FOAM OR VERIFY FOAM HEAT LOSS

179

BRACED

ALL DIMENSIONS ARE THE PROPERTY OF THE PROVIDER AND NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE PROVIDER

CONTRACTOR TO CHECK AND VERIFY ALL WORK AND TO ACHIEVE

W3630 SEYMOUR (920) morganbomind

Project Name and Address

GONN

Client

GONN

Drawn by

GONNERING FT. CO.

☐ PRELIMINARY FOR PRESENTATION NOT FOR BIDDING

☐ PRICE FOR BIDDING PURPOSES NOT FOR CONSTRUCTION

☒ FINAL VERIFY PLAN DATE & CONTRACTORS PRIOR TO 2020 MORGAN BOMIND

REVISIONS

2/26/20

1/4" = 1'-0"

M.L.B.

Village of Little Chute
REQUEST FOR PLAN COMMISSION RECOMMENDATION

ITEM DESCRIPTION: 1215 Buchanan Rezone from RC to CH

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/6/2020

ADMINISTRATOR'S REVIEW/COMMENTS: No Comments 

EXPLANATION:

1215 Buchanan street has been for sale by the previous occupant and owner Home Church for some time. Recently a potential buyer has approached the owner of this property to purchase and utilize as a Occupational Therapy type clinic specializing in sensory issues. Due to the current zoning this use is not allowed, and this property could only be utilized in a limited sense. This property is near the fringe of a residential area with properties just north of this being zoned CH. It is near County "OO" and would make sense for this property to be zoned CH. Changing the zoning would allow for the use as a Clinic, the current building/lot has the required parking for this use and would only require some minor remodeling for this use. The prospective buyers are willing to add a fence/plantings (arborvitaes) to provide as a buffer between this lot and the neighboring lots. At this Time no property owners have contacted staff about any concerns. The proposed use would have a low traffic impact on the area and would be equivalent in many regards to the previous use of this property.

RECOMMENDATION:

Recommend the board approve of the rezoning of 1215 Buchanan from RC to CH provided:
-any residents concern that may come up can be addressed
-either a fence or plantings are placed on the boarder of the property



Receipt No. 11.021128
Fee \$175

To: Board of Trustees, Village of Little Chute, Outagamie County, WI

Applicant: HOPE CHURCH
1215 BUCHANAN ST.
LITTLE CHUTE, WI

Applicant named above, files herewith this Request for a change in Zoning of the following described property:

BUYER IS DOING OCCUPATIONAL THERAPY DEALING WITH SENSORY ISSUES, FOCUSING ON FINE MOTOR SKILLS, VISUAL + PERCEPTUAL SKILLS, CORE STRENGTH, BILATERAL COORDINATION AND SENSORY - MOTOR INTEGRATION.

Applicant herewith requests the Village Board to change zoning of the above-described property

from: RESIDENTIAL BUSINESS District

to: COMMERCIAL HIGHWAY District

Signed: [Signature] Dated: 7/15/2020

Attach a Scale Map (1" = 100') showing the area requested to be rezoned including all areas within 300 feet of the area requested. Attach a list of owners' names and addresses of all properties lying within 100 feet of the area proposed to be rezoned. Attach any documents the applicant may wish to include which may be of guidance or interest to the Village Board and Plan Commission.

(See reverse)

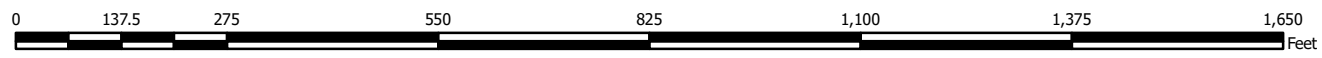
Proposed Zoning

5

Legend

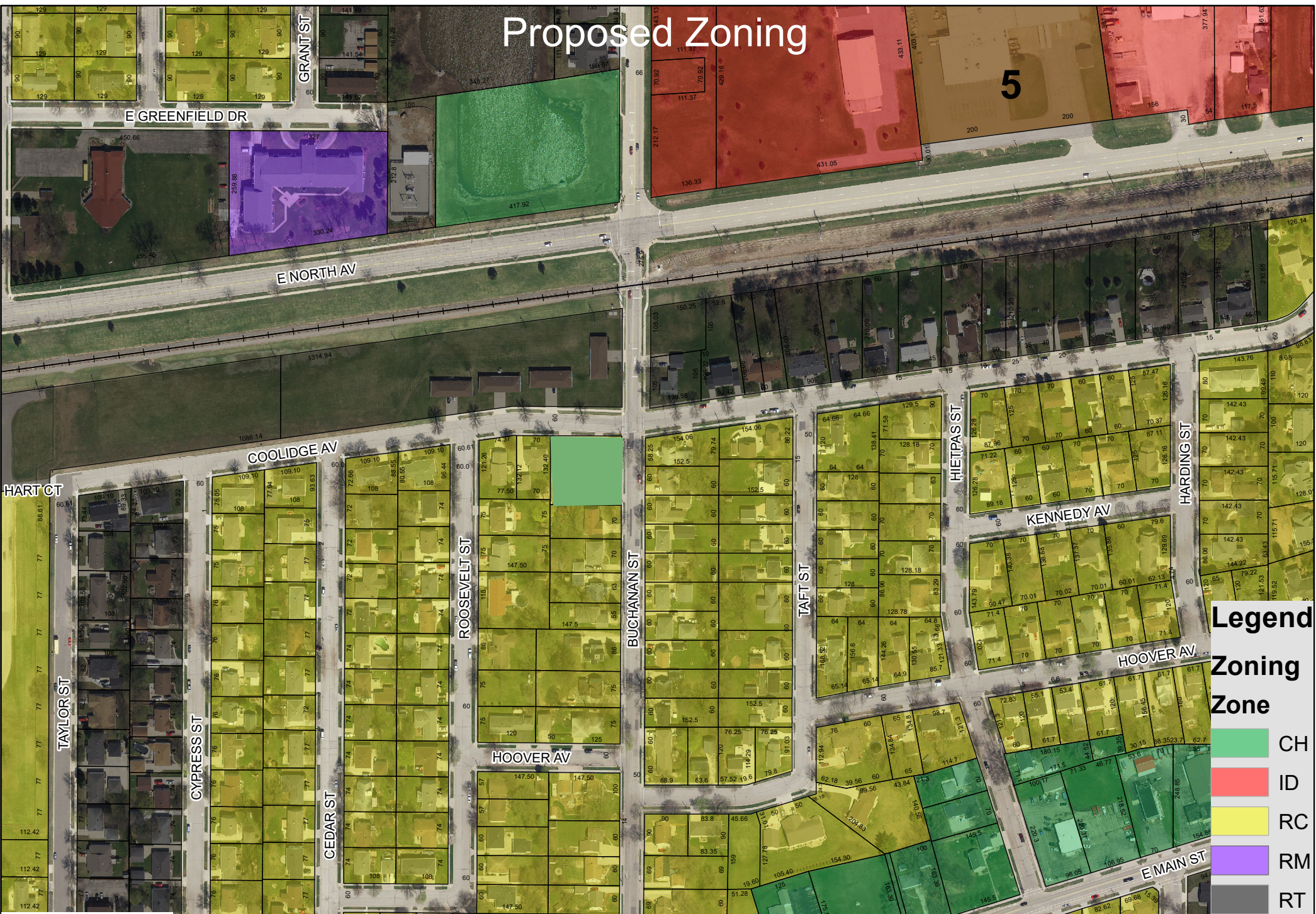
Zoning Zone

- CH
- ID
- RC
- RM
- RT



Not a survey

1 inch = 250 feet



Village of Little Chute
REQUEST FOR Plan Commission Recommendation

ITEM DESCRIPTION: Site Plan For Downtown Hotel

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/6/2020

ADMINISTRATOR'S REVIEW/COMMENTS: NO COMMENTS



EXPLANATION:

The site plan for the Downtown Hotel is ready to go through the final process of approval. Attached to this report is the updated site plan for the proposed Cobblestone Hotel. From the comments during the conditional use process the Developers have updated their plans to ensure the following was addressed:

- sight tight 6ft PVC(vinyl) type fence with proper landscape/10 ft buffer
- lighting not shining on Residential properties
- Fence not to block/hinder sight from any Residential driveways to road (safety)
- Fox Valley Metro Police review plan to address any safety concerns
- Fire department review plans to address any public safety concerns
- 5ft set back from sidewalk on west side

Please note that there was not an easement created for ingress/egress with Jets Pizza due to reworking the access to the Hotel. The new plan provides for ample access to the Hotel and no longer needs the additional access from the Jets Pizza parcel.

In addition, the dumpster area was moved to be away from the residential properties. Fox Valley Metro Police Department and the Fire Department have reviewed the plans to ensure this site will be safe and accessible to emergency vehicles. The exterior façade of the Hotel has gone to the Design Review Board (DRB) with the DRB adding a recommendation for a gable style roof line be added to the canopy as well as the "bump out" portions of the roof line and the portions where the stone goes to the roof line. Currently the Hotel façade is being worked on to comply with the recommendations of the DRB.

All comments from staff have been addressed with the only item remaining to be completed is a recorded easement for the stormwater.

RECOMMENDATION:

To recommend the Village Board approves the site plan for the Hotel with conditions of:

- Stormwater Easement is to be recorded with the County
- The Façade is updated with the Design Review Boards recommendations

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EXCEL
ARCHITECTS • ENGINEERS • SURVEYORS
Always a Better Plan
100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

COLLABORATION
BriMark
Builders, LLC

PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
LITTLE CHUTE, WISCONSIN

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 23, 2020

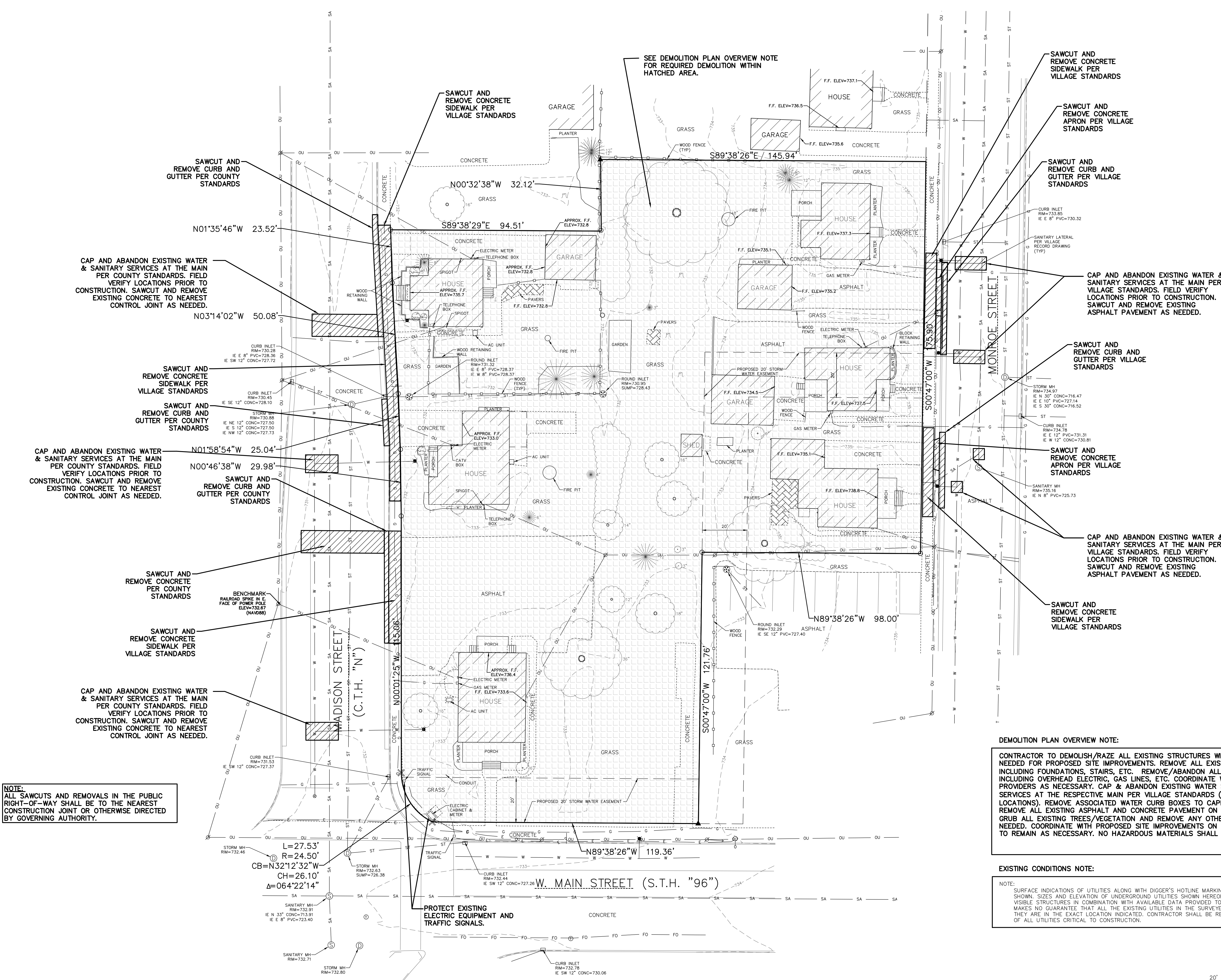
REVISIONS

JOB NUMBER

1969120

SHEET NUMBER

C1.0



DEMOLITION PLAN OVERVIEW NOTE:

CONTRACTOR TO DEMOLISH/RAZE ALL EXISTING STRUCTURES WITHIN THE PROPERTY LIMITS AS NEEDED FOR PROPOSED SITE IMPROVEMENTS. REMOVE ALL EXISTING BUILDING FEATURES INCLUDING FOUNDATIONS, STAIRS, ETC. REMOVE/ABANDON ALL EXISTING UTILITIES AS NEEDED INCLUDING OVERHEAD ELECTRIC, GAS LINES, ETC. COORDINATE WITH APPROPRIATE UTILITY PROVIDERS AS NECESSARY. CAP & ABANDON EXISTING WATER SERVICES AND SANITARY SERVICES AT THE RESPECTIVE MAIN PER VILLAGE STANDARDS (SEE PLAN FOR APPROXIMATE LOCATIONS). REMOVE ASSOCIATED WATER CURB BOXES TO CAPPED SERVICES. SAWCUT AND REMOVE ALL EXISTING ASPHALT AND CONCRETE PAVEMENT ON SITE AS NECESSARY. CLEAR AND GRUB ALL EXISTING TREES/VEGETATION AND REMOVE ANY OTHER MISCELLANEOUS ITEMS AS NEEDED. COORDINATE WITH PROPOSED SITE IMPROVEMENTS ON C1.1. PROTECT ITEMS SCHEDULED TO REMAIN AS NECESSARY. NO HAZARDOUS MATERIALS SHALL BE STORED ON SITE.

EXISTING CONDITIONS NOTE:

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.

CIVIL EXISTING SITE AND DEMOLITION PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
LITTLE CHUTE, WISCONSIN

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 23, 2020

REVISIONS

CB1 JULY 2, 2020

CB3 JULY 24, 2020

JOB NUMBER

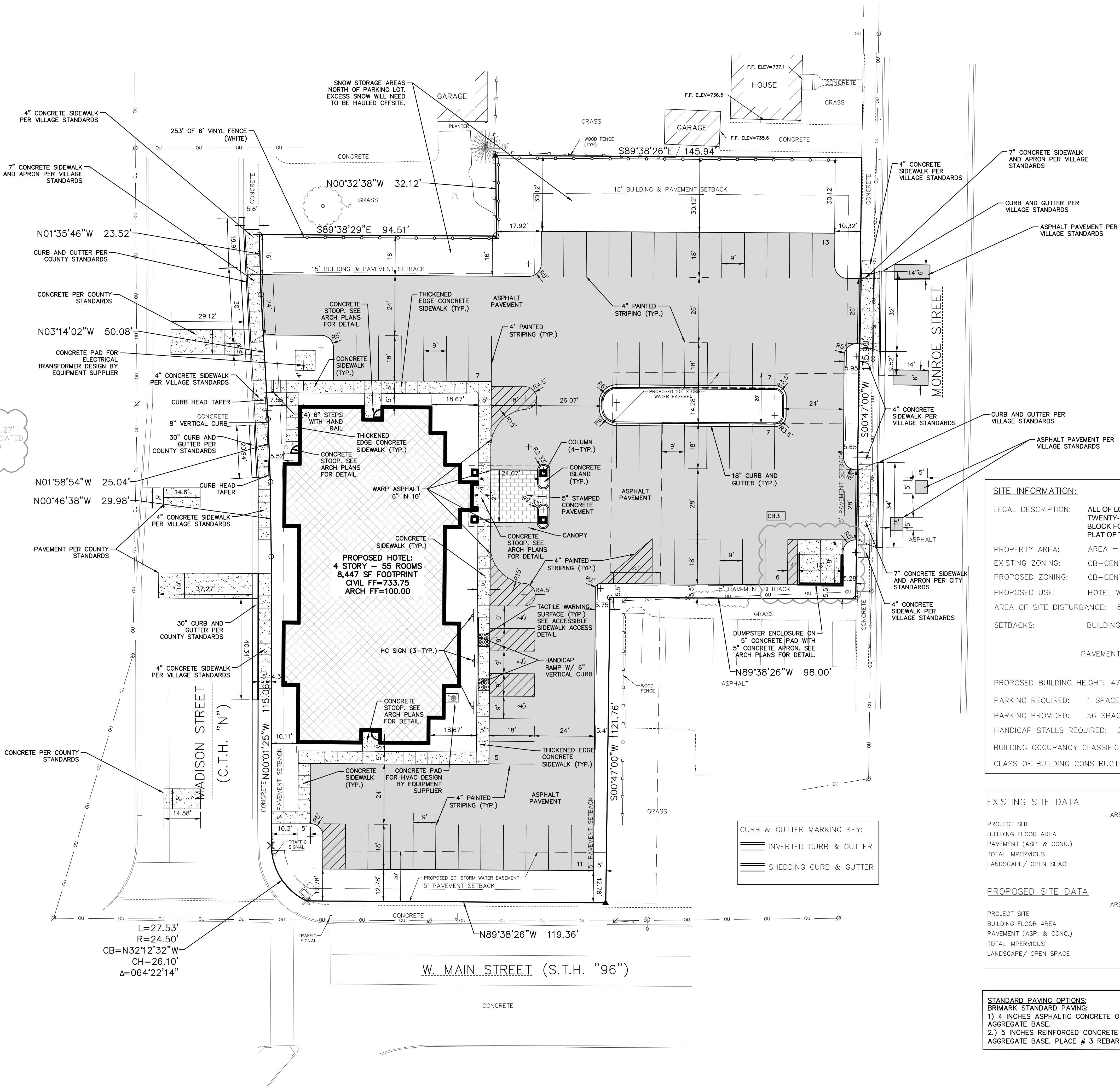
1969120

SHEET NUMBER

C1.1

CB3

BUILDING WAS SHIFTED 3.27'
EAST ALONG WITH ASSOCIATED
SIDEWALKS, CANOPY AND
PARKING LOT.



CIVIL SITE PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
LITTLE CHUTE, WISCONSIN

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE	JUNE 23, 2020
REVISIONS	
CB1	JULY 2, 2020
CB3	JULY 24, 2020

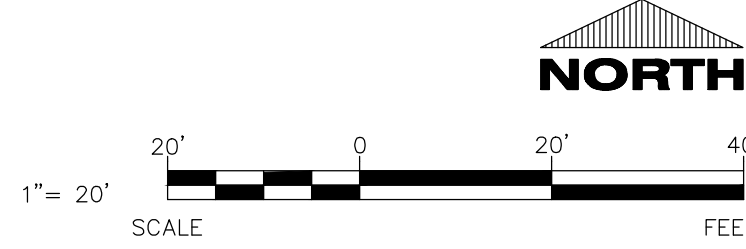
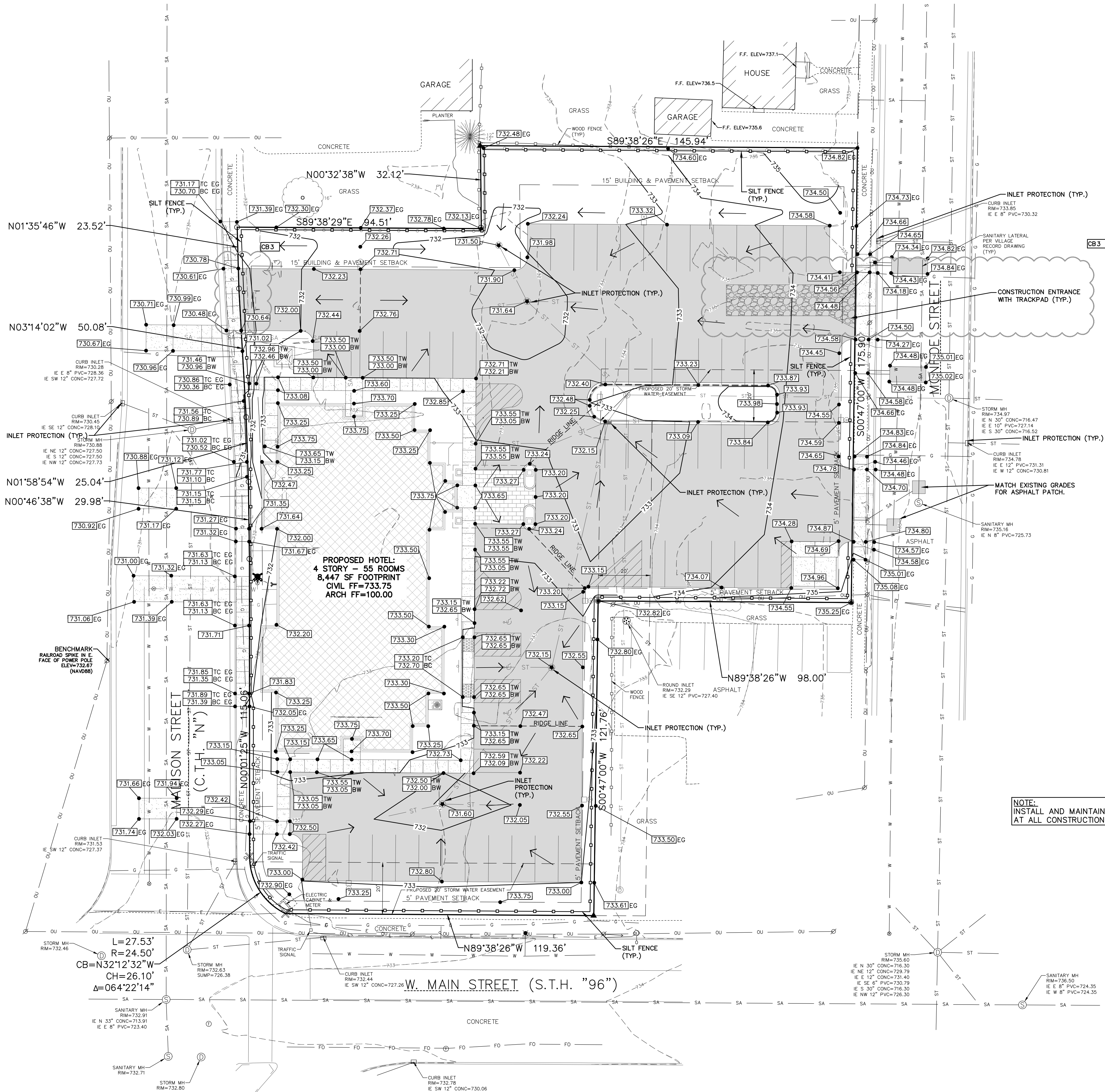
JOB NUMBER

1969120

SHEET NUMBER

C1.2

CB3
GRADING WAS REVISED WITHIN
THE PROPERTY LINES FOR THE
BUILDING SHIFTING EAST 3.27'
AND DUMPSTER RELOCATION.



CIVIL GRADING AND EROSION CONTROL PLAN



EXCEL

ARCHITECTS • ENGINEERS • SURVEYORS

Always a Better Plan

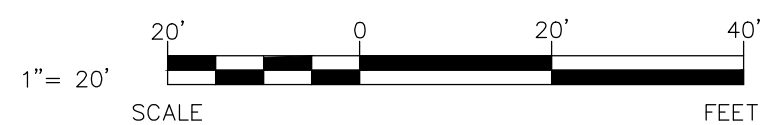
100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com



NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
LITTLE CHUTE, WISCONSIN

C1.3

© EXCEL ENGINEERING, INC.



CIVIL UTILITY PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
LITTLE CHUTE, WISCONSIN

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 23, 2020

REVISIONS

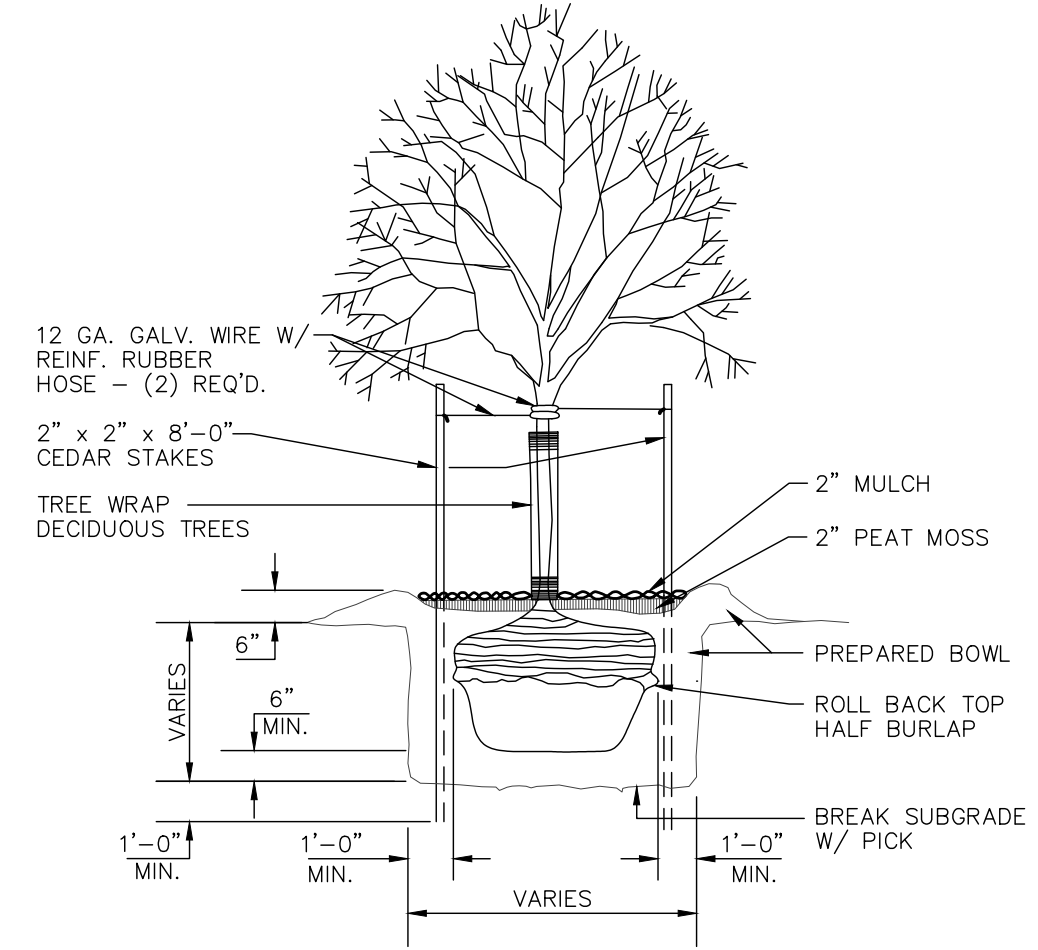
CB3 JULY 24, 2020

JOB NUMBER

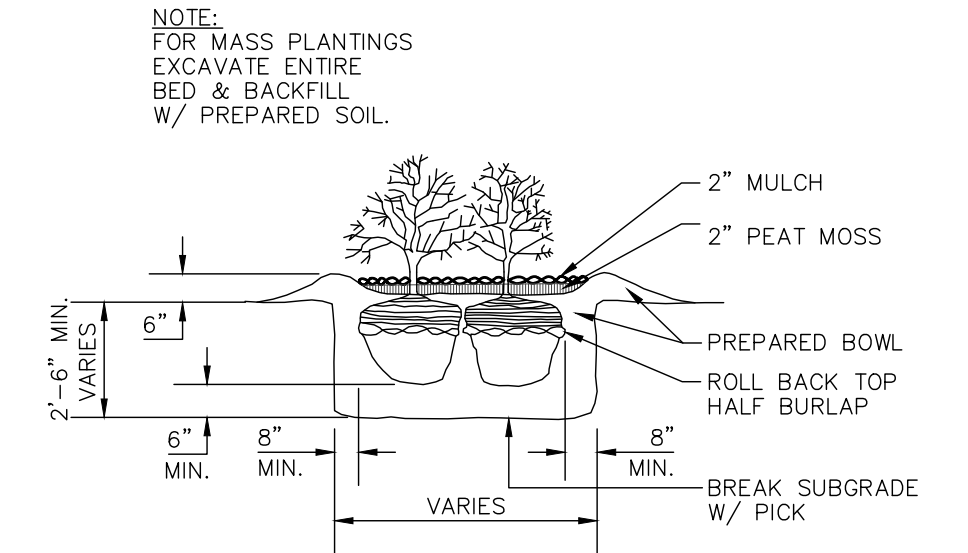
1969120

SHEET NUMBER

C1.4

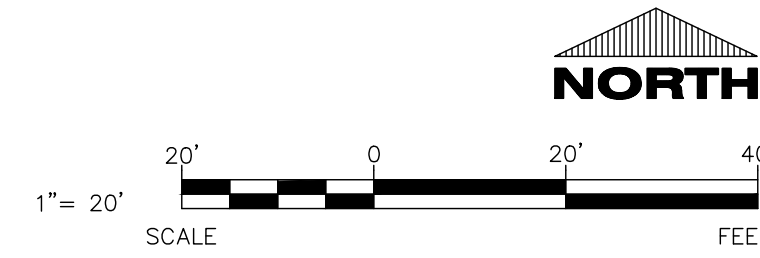


TREE PLANTING DETAIL
NO SCALE



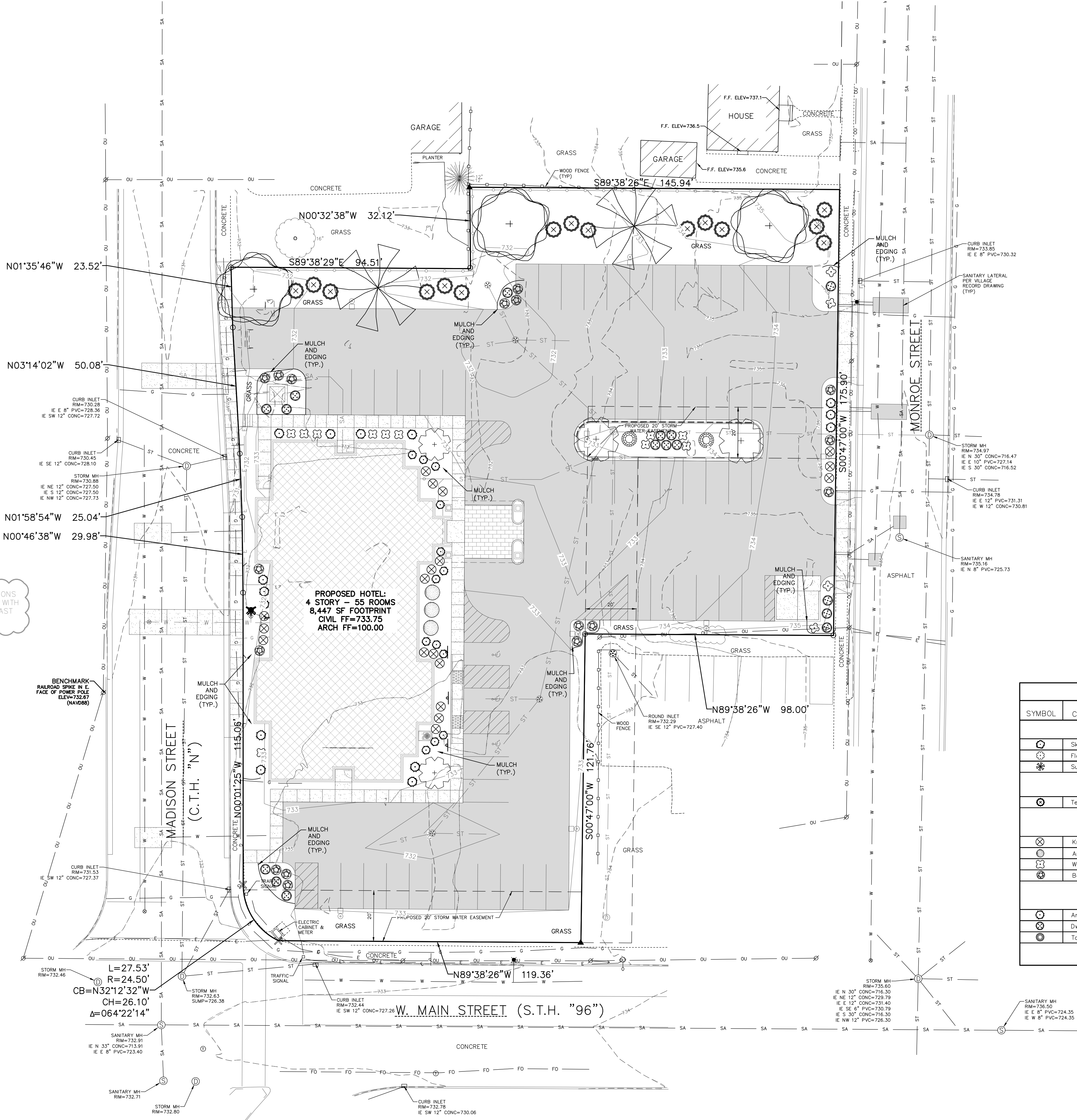
SHRUB PLANTING DETAIL
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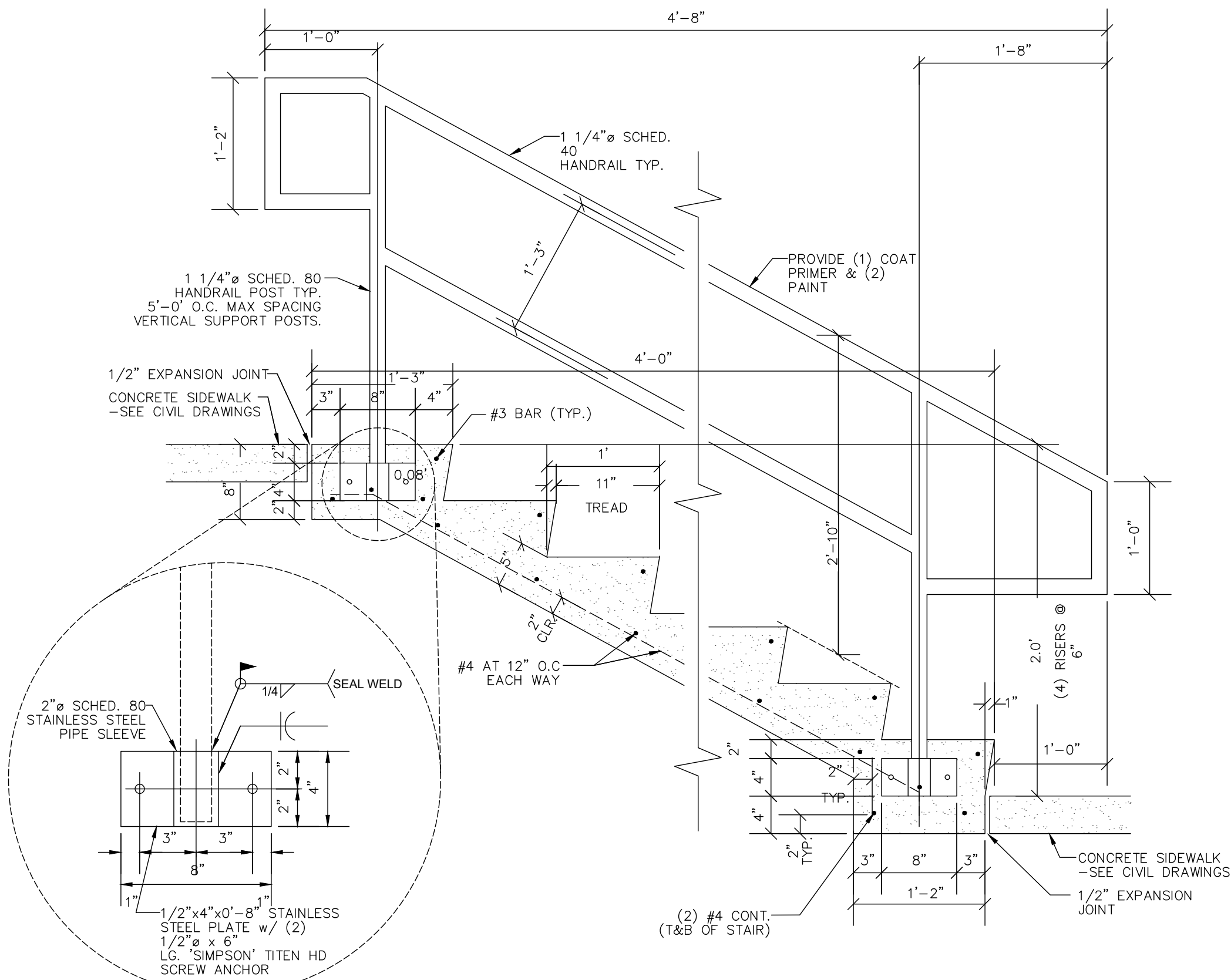
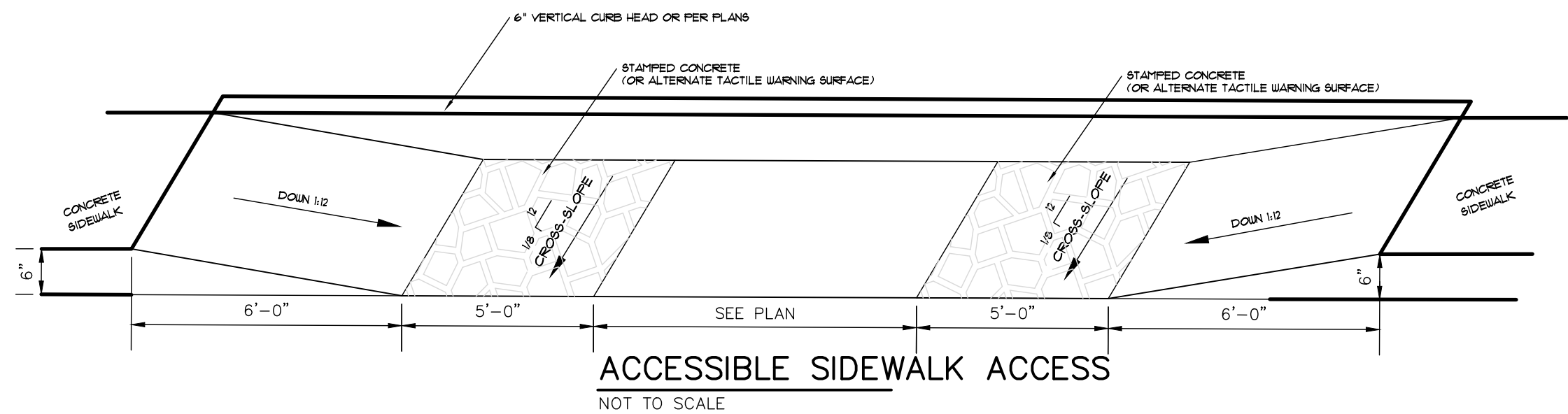
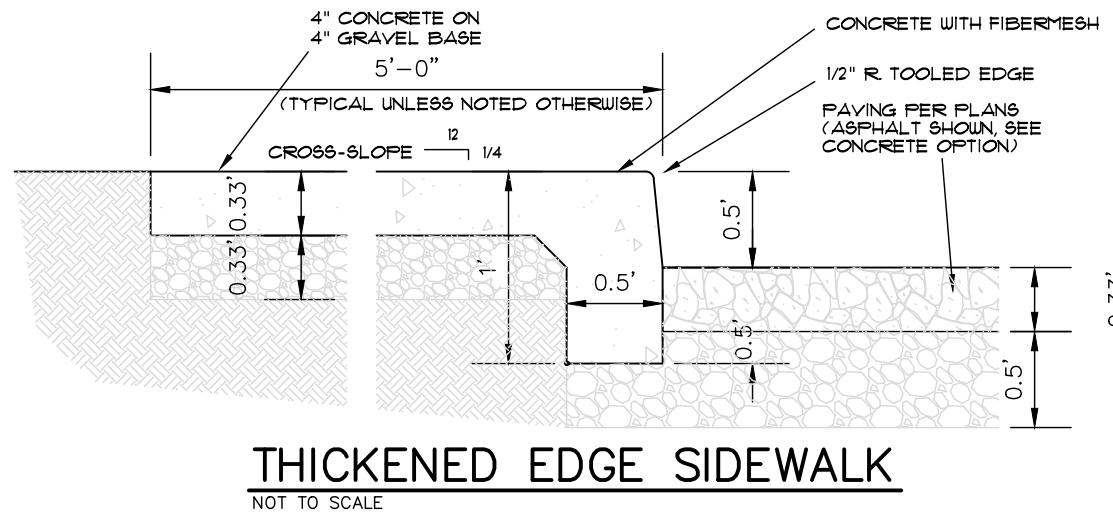
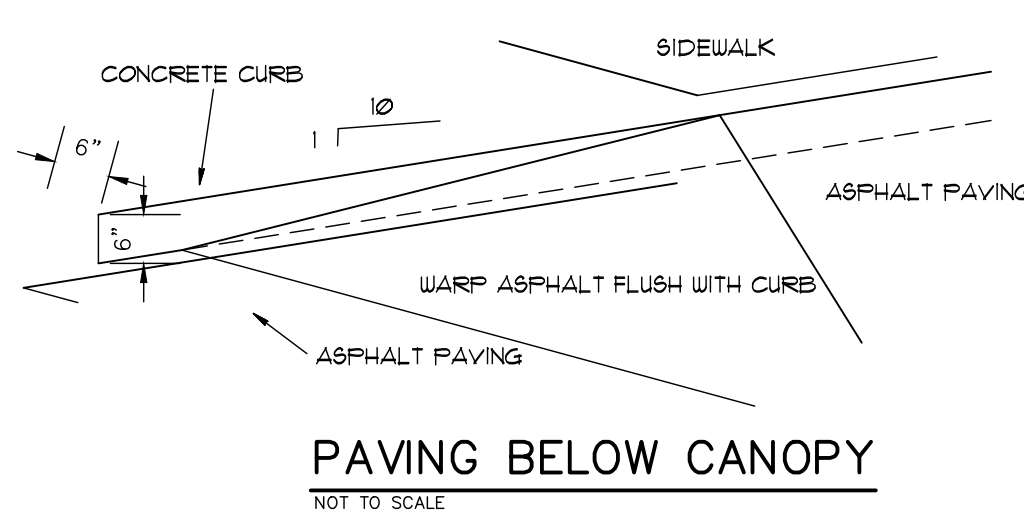
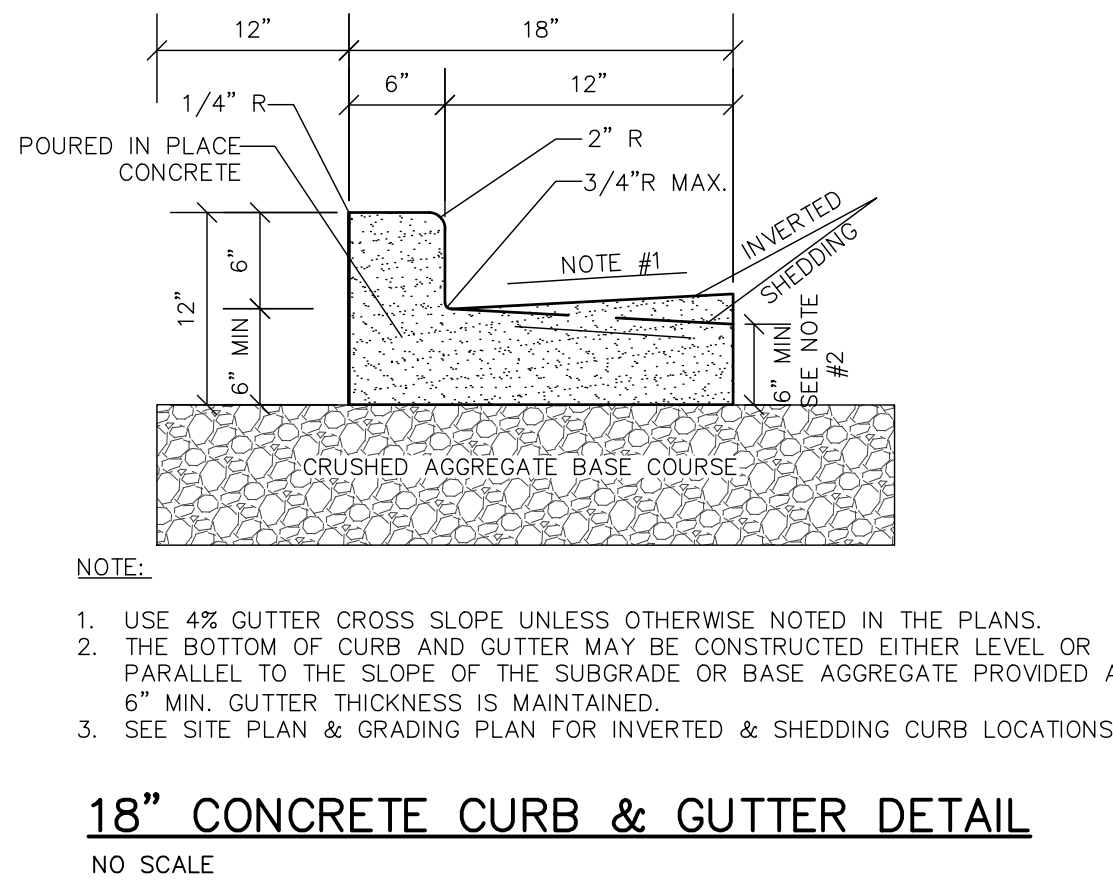
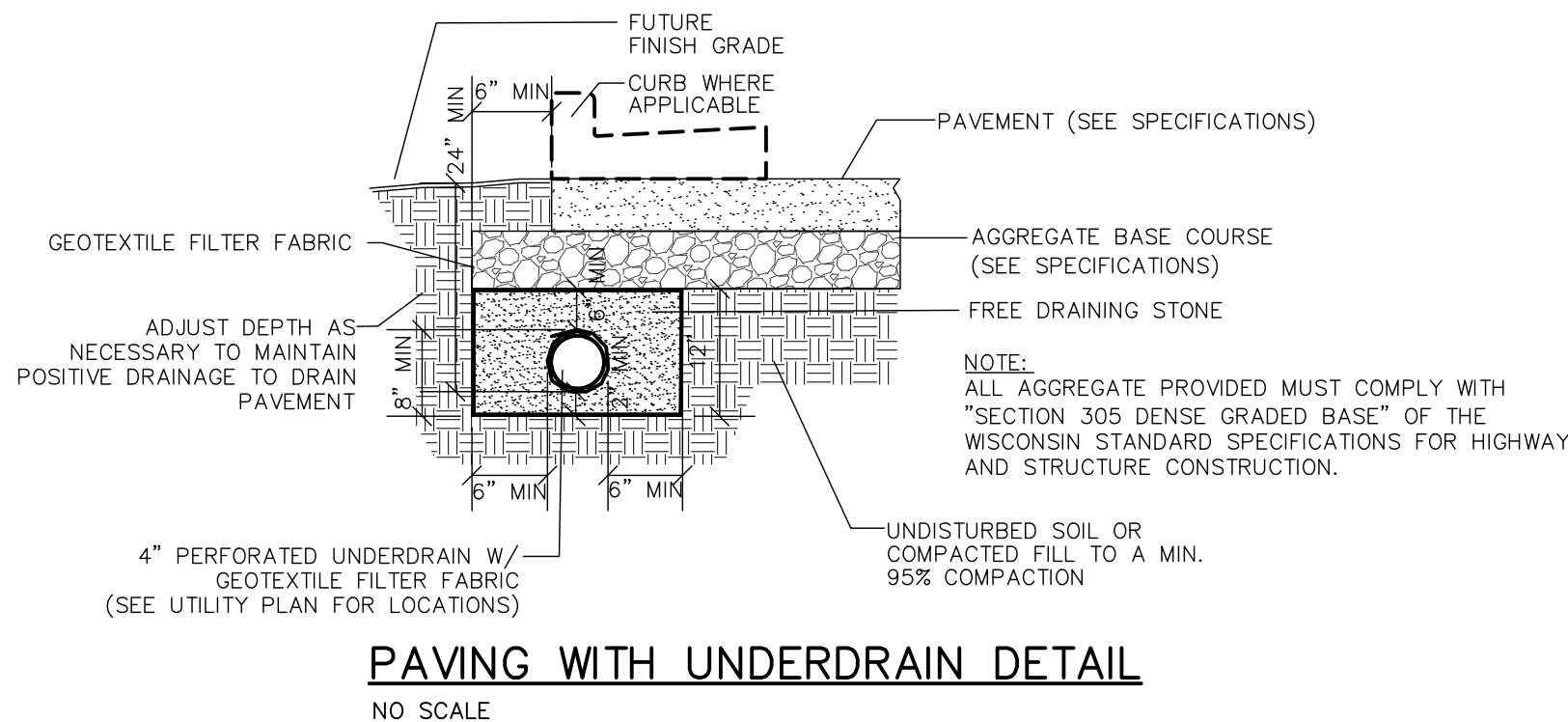
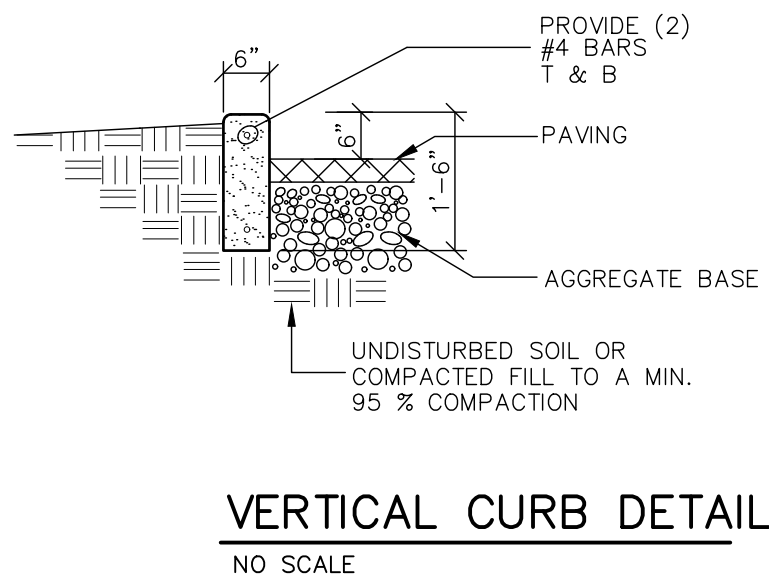
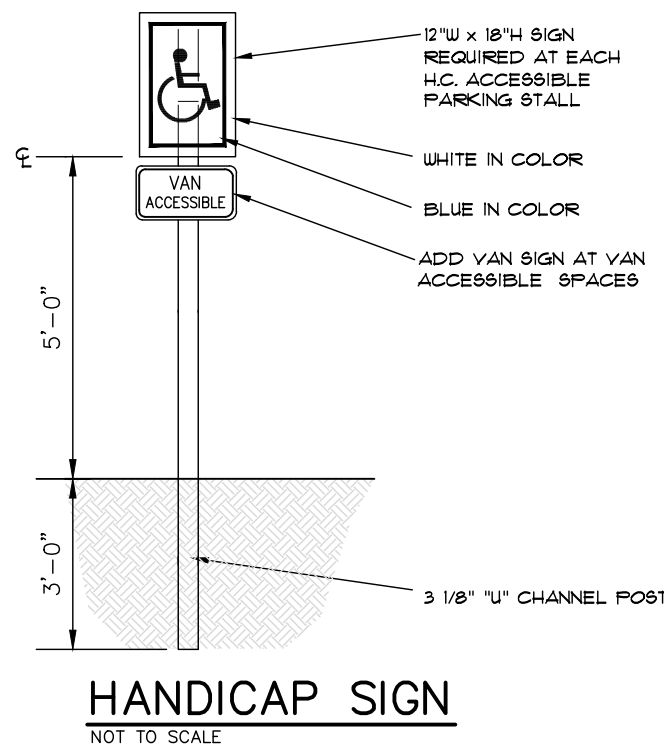
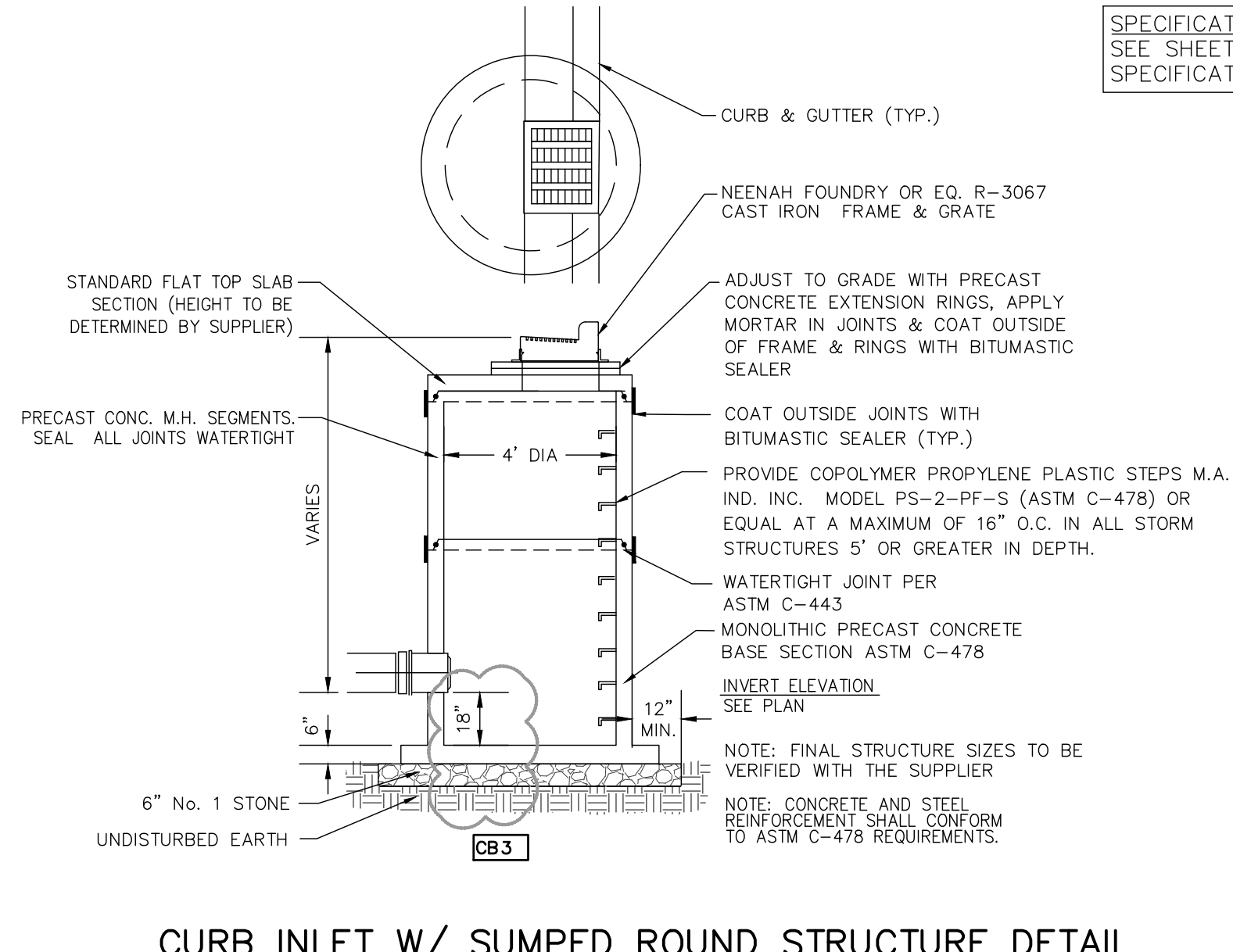
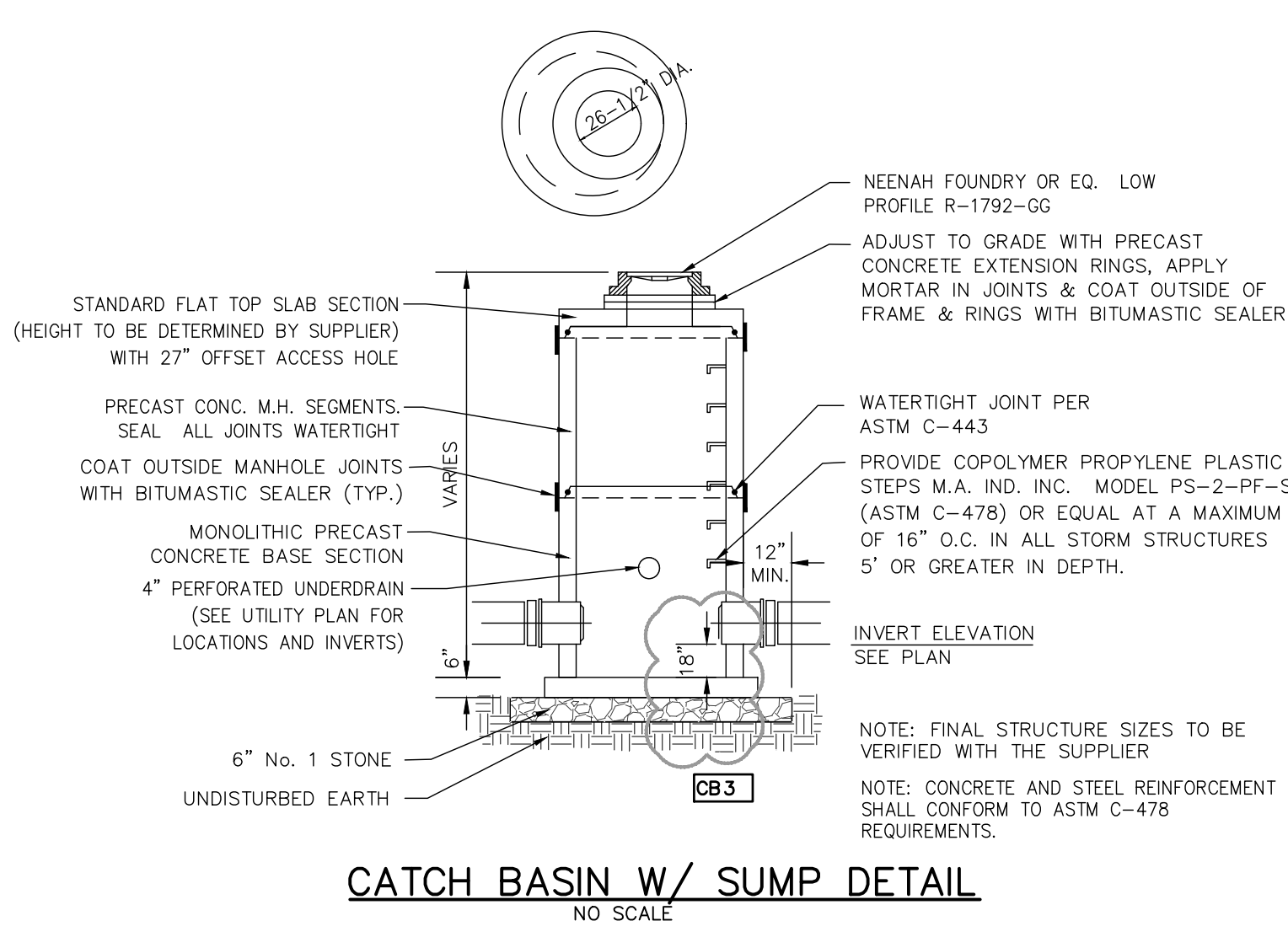
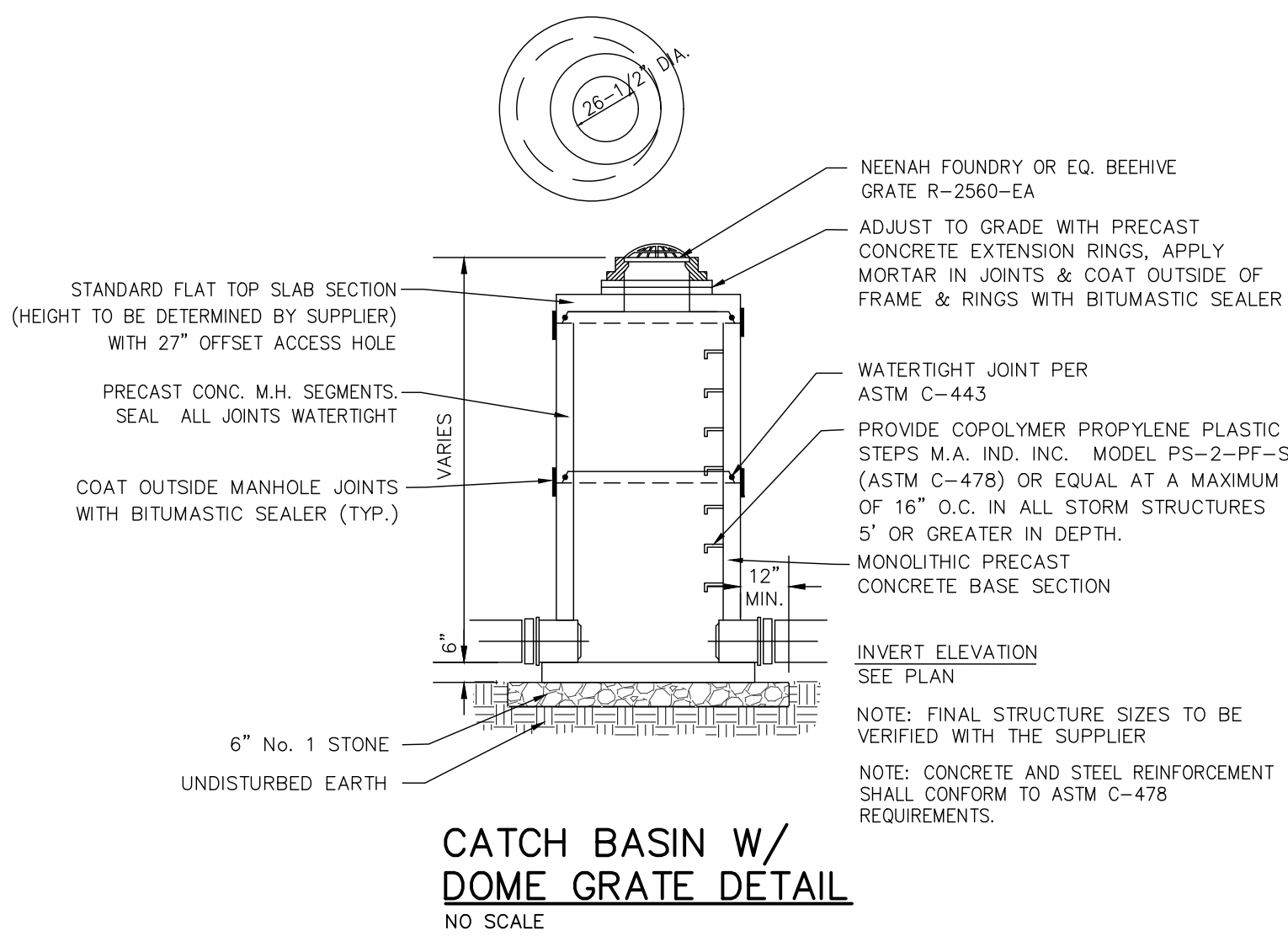
LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	2.5"	3
☼	Flowering Crabapple (Spring Snow)	Malus x hybrid (Spring Snow)	2"	4
☼	Sugar Maple	Acer saccharum	3"	2
EVERGREEN TREES				
☉	Techny Arborvitae	Thuja occidentalis	42"-48"	15
DECIDUOUS SHRUBS				
☼	Knock Out Roses	Rosa Rodrazz	24"	18
☼	Arrowwood Viburnum	Viburnum dentatum	30"-36"	3
☼	Weigela Carnaval	Weigela Florida 'cortalor'	24"	15
☼	Barberry Golden	Berberis thunbergii aurea	24"	17
EVERGREEN SHRUBS				
☉	Andorra Juniper	Juniperus horizontalis 'Plumosa'	12"-15"	27
☉	Dwarf Norway Spruce	Picea abies 'Pumila'	2"	17
☉	Taunton Yew	Tauntonii	24"	2



CIVIL LANDSCAPE AND RESTORATION PLAN

CB3
LANDSCAPING LOCATIONS
HAVE BEEN REVISED WITH
BUILDING SHIFTING EAST
3.27'.





SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



ARCHITECTS • ENGINEERS • SURVEYORS

Always a Better Plan

100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

COLLABORATION



PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
LITTLE CHUTE, WISCONSIN

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	JUNE 23, 2020
REVISIONS	
CB1	JULY 2, 2020
CB3	JULY 24, 2020

JOB NUMBER
1969120

SHEET NUMBER
C2.0



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PROJECT INFORMATION

NEW HOTEL FOR:

COBLESTONE HOTEL AND SUITES

LITTLE CHUTE, WISCONSIN

[illegible]

SHEET NUMBER

C2.1

TYPE FF GEOTEXTILE FABRIC

2" x 4" STAKE AND CROSS BRACING

FLOW DIRECTION

24.0"

48.0"

INLET GRATE

FABRIC TO BE TRENCHED TO DEPTH OF 6.0" (MINIMUM)

TYPE FF GEOTEXTILE FABRIC (ATTACHED TO 2" x 4" STAKES AND CROSS BRACING)

24.0"

INLET WITH OR WITHOUT GRATE

INLET PROTECTION TYPE A

TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL)

INLET PROTECTION TYPE B WITHOUT CURB BOX

TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL)

WOOD 2" x 4" EXTENDS 6" BEYOND GRATE WIDTH ON BOTH SIDES, SECURE TO GRATE w/ PLASTIC TIES

INLET PROTECTION TYPE C WITH CURB BOX

TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL)

LENGTH AND WIDTH DIMENSIONS SHALL BE PER PLAN

SIDE FLAP (SEE NOTE #4)

FRONT LIFTING FLAP (SEE NOTE #3)

MINIMUM DOUBLE STITCHED SEAMS ALL AROUND SIDE PIECES AND ON FLAP POCKETS

TYPE FF GEOTEXTILE FABRIC (FRONT, BACK, AND BOTTOM TO BE A SINGLE PIECE OF FF FABRIC)

FLAP POCKET (SEE NOTE #5)

USE REBAR, STEEL PIPE, OR 2" x 4" FOR REMOVAL

4" x 8" OPENINGS w/ ROUNDED CORNERS SHALL BE HEAT CUT (ONE HOLE ON EACH OF THE FOUR SIDES)

TAPER BOTTOM OF BAG TO MAINTAIN 3.0" SEPARATION BETWEEN THE BAG AND THE STRUCTURE AT THE OVERFLOW HOLES.

INLET PROTECTION TYPE D

CAN BE INSTALLED IN CURBS WITH OR WITHOUT BOXES

NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

WISCONSIN DEPT. OF NATURAL RESOURCES

1060

TECHNICAL STANDARD NO.

06/2014

REVISION DATE

NOT TO SCALE

INLET PROTECTION DETAIL

NO SCALE

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL

EROSION MAT SHALL PAID BY THE SQUARE YARD INSTALLED.

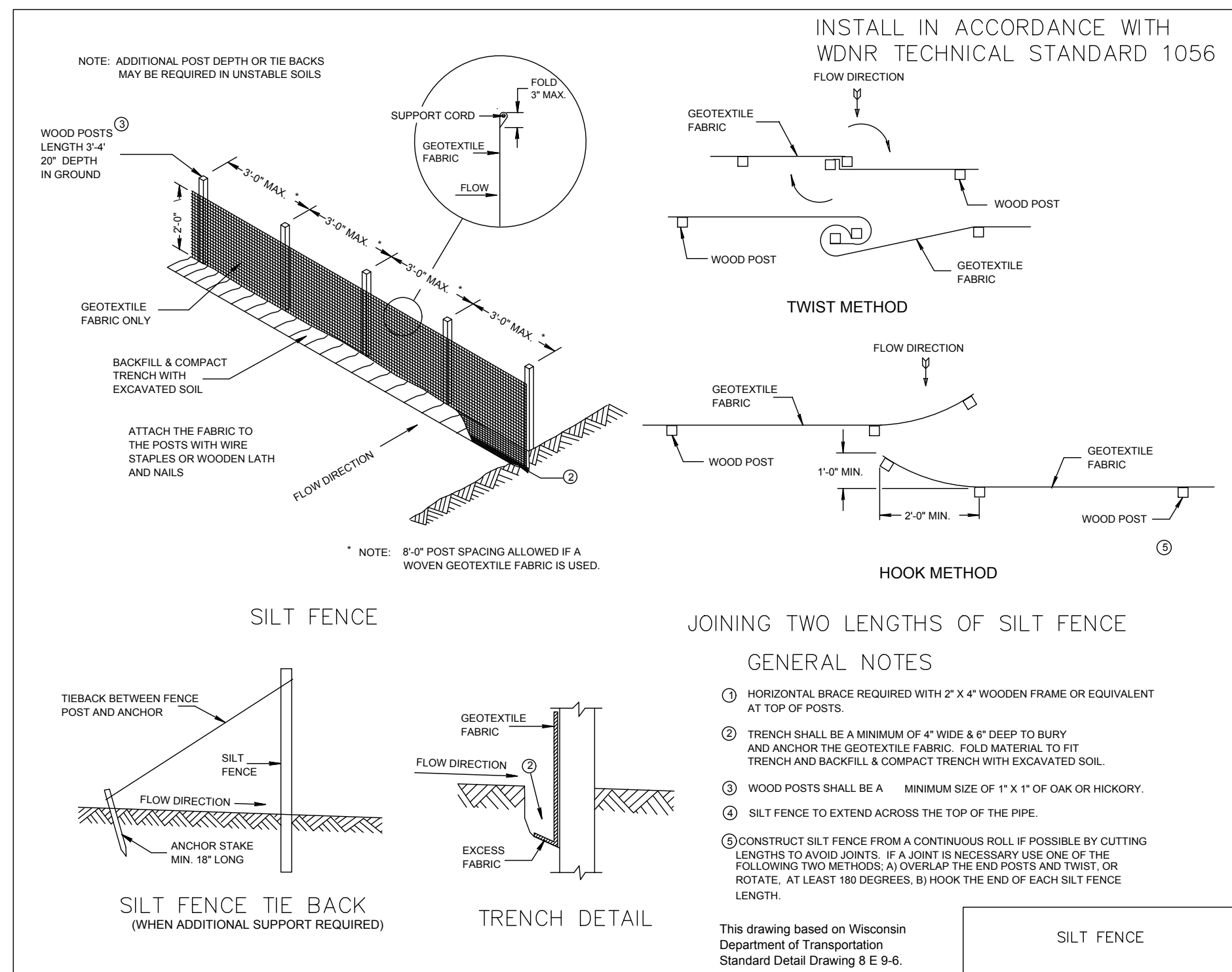
EROSION MAT OVER SEEDING

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3%, AND 50 FEET ON GRADES EXCEEDING 3%.

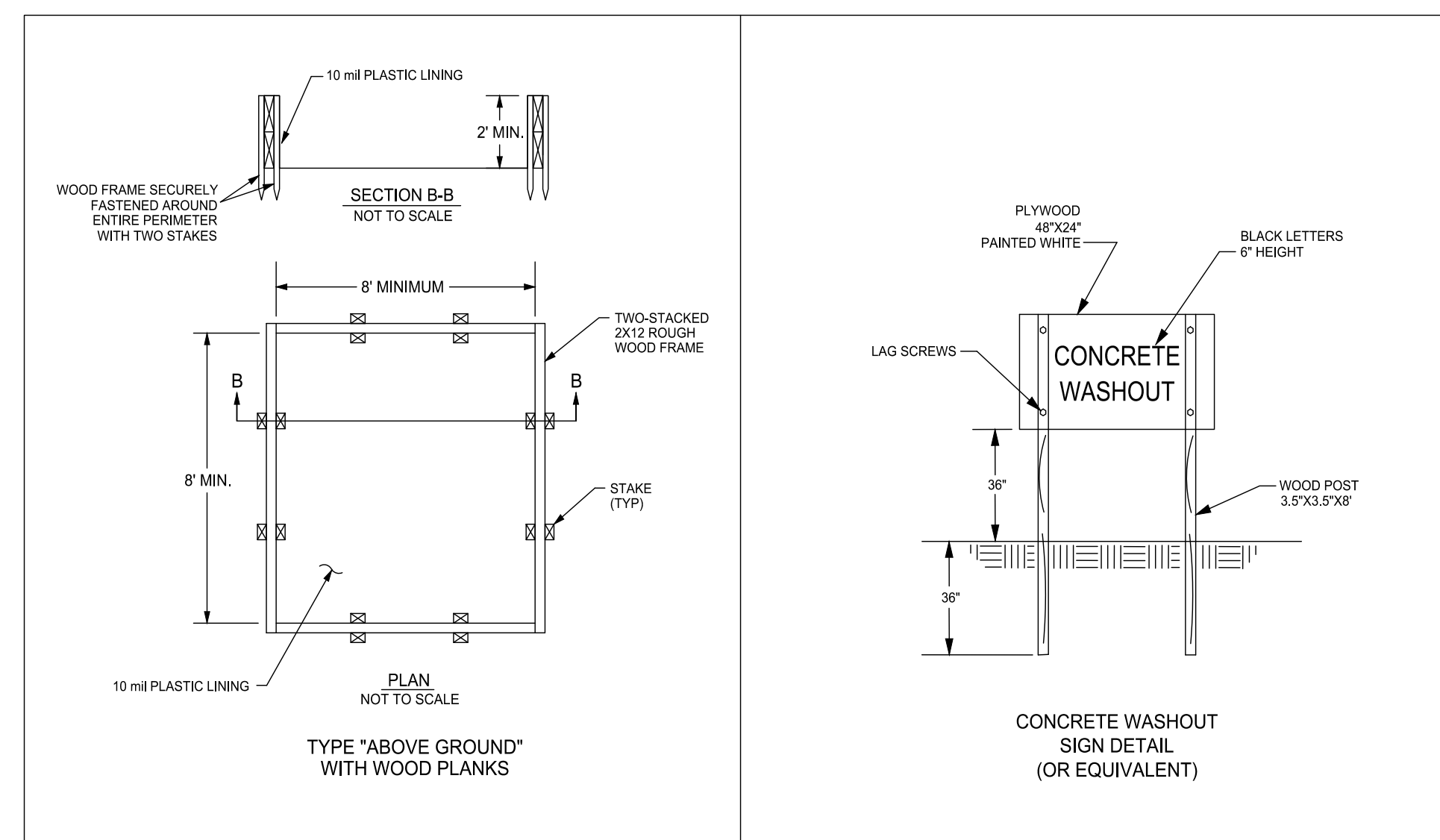
NOTE:
SEE SPECIFICATIONS FOR MATTING TYPE

CHANNEL EROSION MAT DETAIL

NOT TO SCALE



SILT FENCE – INSTALLATION DETAIL
NO SCALE



CONCRETE WASHOUT DETAIL

NO SCALE

CIVIL DETAILS

Village of Little Chute
REQUEST FOR PLAN COMMISSION RECOMMENDATION

ITEM DESCRIPTION: Site Plan for North Evergreen Pond Homes

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/6/2020

ADMINISTRATOR'S REVIEW/COMMENTS: No Comments *JPF*

EXPLENATION:

The site plan for North Evergreen Pond Homes is entering into its final stages and ready to begin the approval process. This site will have 11 Duplexes (22 units) and a private road. The Village will maintain an easement to access the northern portion of the pond and a lift station. At this time comments have been sent out and are in the process of being addressed and are in concern with Unit 13 patio is encroaching on the rear set back along with some comments on drains, drain locations and general drainage of the site. All these issues will be corrected with new plans submitted. The road will be a private road, the Fire department has had reviewed to ensure they can properly access/ serve this development. Currently we are ensuring that all trash collection, snow removal, and mailing are addressed to prevent any possible future issues.

RECOMMENDATION:

For the Plan Commission to Recommend to the Village Board approval of the site plan for North Evergreen Pond Homes with conditions of:

- All staff comments are addressed
- All Village ordinances are met or exceeded

**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION**

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS
APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS W. EVERGREEN DR., LITTLE CHUTE, WI 54913

LEGAL DESCRIPTION _____

SW 1/4 SEC 8, T 21 N, R 18 E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

PROPERTY OWNER(S) Kurt Coenen TELEPHONE (920) 858-7276

ADDRESS/ZIP 3117 E. Canvasback Appleton, WI 54913 FAX _____

APPLICANT Davel Engineering and Environmental, Inc.

CHECK: ☐ Architect ☒ Engineer ☐ Surveyor ☐ Attorney ☐ Agent ☐ Other

ADDRESS 1164 Province Terrace TELEPHONE (920) 560-6563

CITY/ZIP Menasha, WI 54952 FAX (920) 441-0804

DESCRIBE IN **DETAIL** THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY _____

Multi-family (Duplex) Housing

GROUND FLOOR ELEVATION _____ LOT SIZE _____ FLOOR AREA _____

NUMBER OF STORIES IN BLDG _____ BASEMENT X YES _____ NO BUILDING HEIGHT _____

TOTAL CURRENT EMPLOYEES NA EMPLOYEES ADDED BY EXPANSION NA

IMPERVIOUS SURFACE COVERAGE SQ. FT. 33,391 # OF PARKING SPACES 88

**I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.**

APPLICANT SIGNATURE _____

DATE 7/14/2020

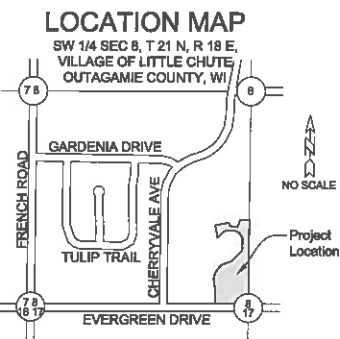
44-387(f)	Site plan review fee	\$300.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

North Evergreen Pond Homes

Village of Little Chute, Outagamie County, WI
For: Kurt Coenen



Project Information

Site Information

Evergreen Drive, Little Chute, WI 54913
CSM 7275, LOT 2
Tax ID #280441203
Current Use: Vacant
Proposed Use: Multi-Family (Duplex) Housing

Site Areas

Proposed Impervious Area	77,391 sf (35.5%)
Proposed Concrete/Driveways	16,223 sf (7.45%)
Proposed Asphalt Roadway	22,467 sf (10.32%)
Proposed Building Footprint	38,701 sf (17.77%)
Lawn and Landscaping	140,409 sf (64.5%)
Total Site Area	217,800 sf (5 Acres)

Building Unit Total = 22 Units

Notes:

- Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version.
- See Drainage & Grading Plan, sheet 1.2, for flow directions.
- Work within Village right of way shall be in conformance with Village requirements.

Owner / Developer:

Kurt Coenen
3117 East Canvasback Drive
Appleton, WI 54913
Phone: (920) 858-7278
Email: kurtcoenen1@gmail.com

SHEET INDEX:

Sheet	Page
Sewer & Water Cover Sheet	1.0
Topographic Survey	1.1
Drainage and Grading Plan	1.2
Utility Plan Sheet	1.3
Erosion & Sediment Control Plan	1.4
Landscape Plan	1.5
Construction Details	2.1
Construction Details	2.2
Plan & Profile: Alignment 1 - Sta 0+00 to 12+00	3.1
Plan & Profile: Alignment 2 - Sta 0+00 to 12+00	3.2

SITE PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors

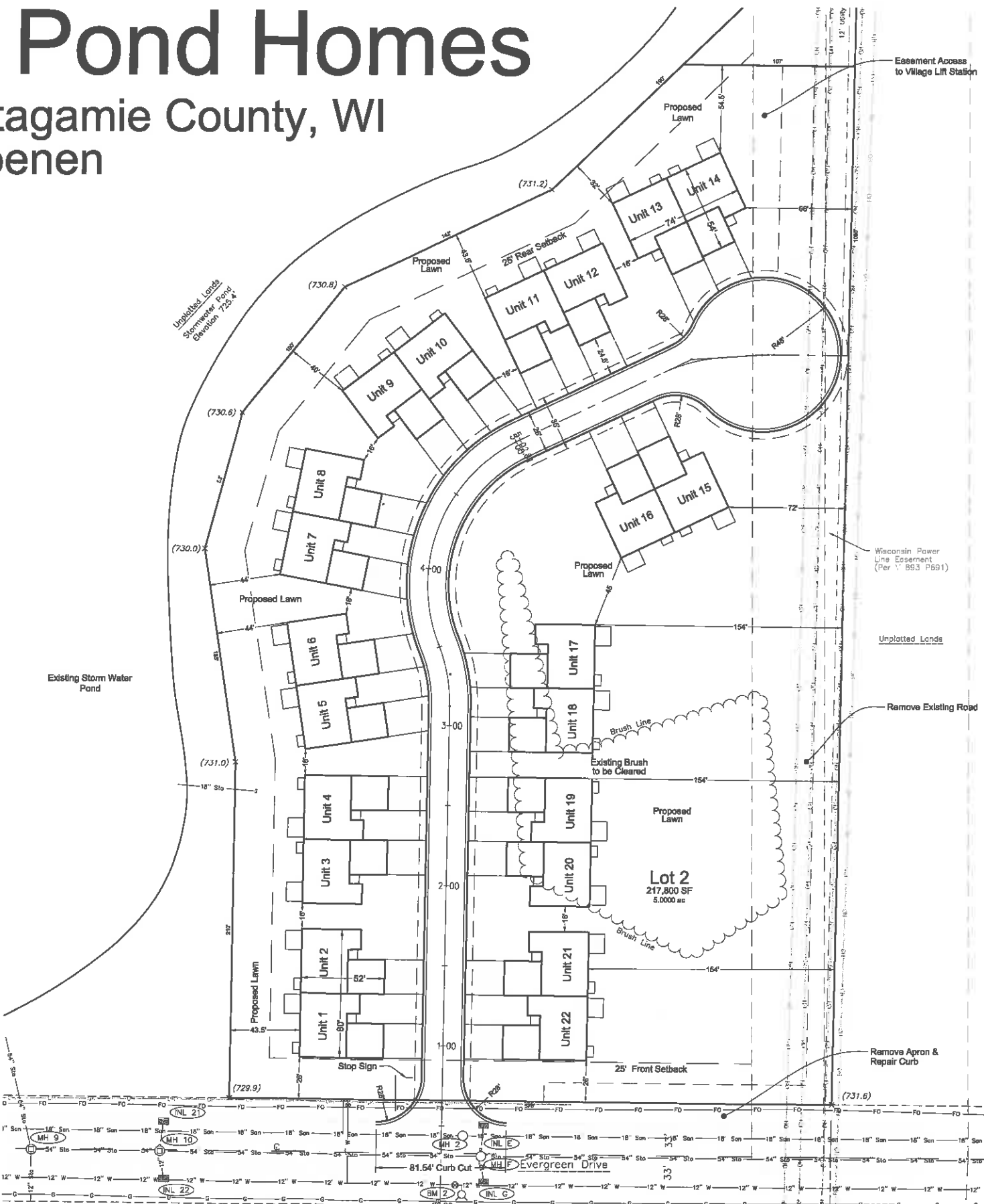
1164 Province Terrace, Menasha, WI 54952
Ph: (920) 991-1886 Fax: (920) 441-0804
www.davelpro

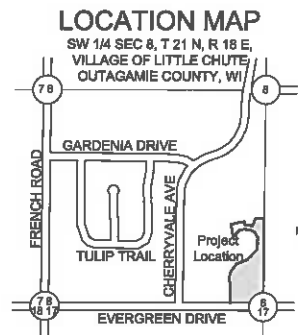
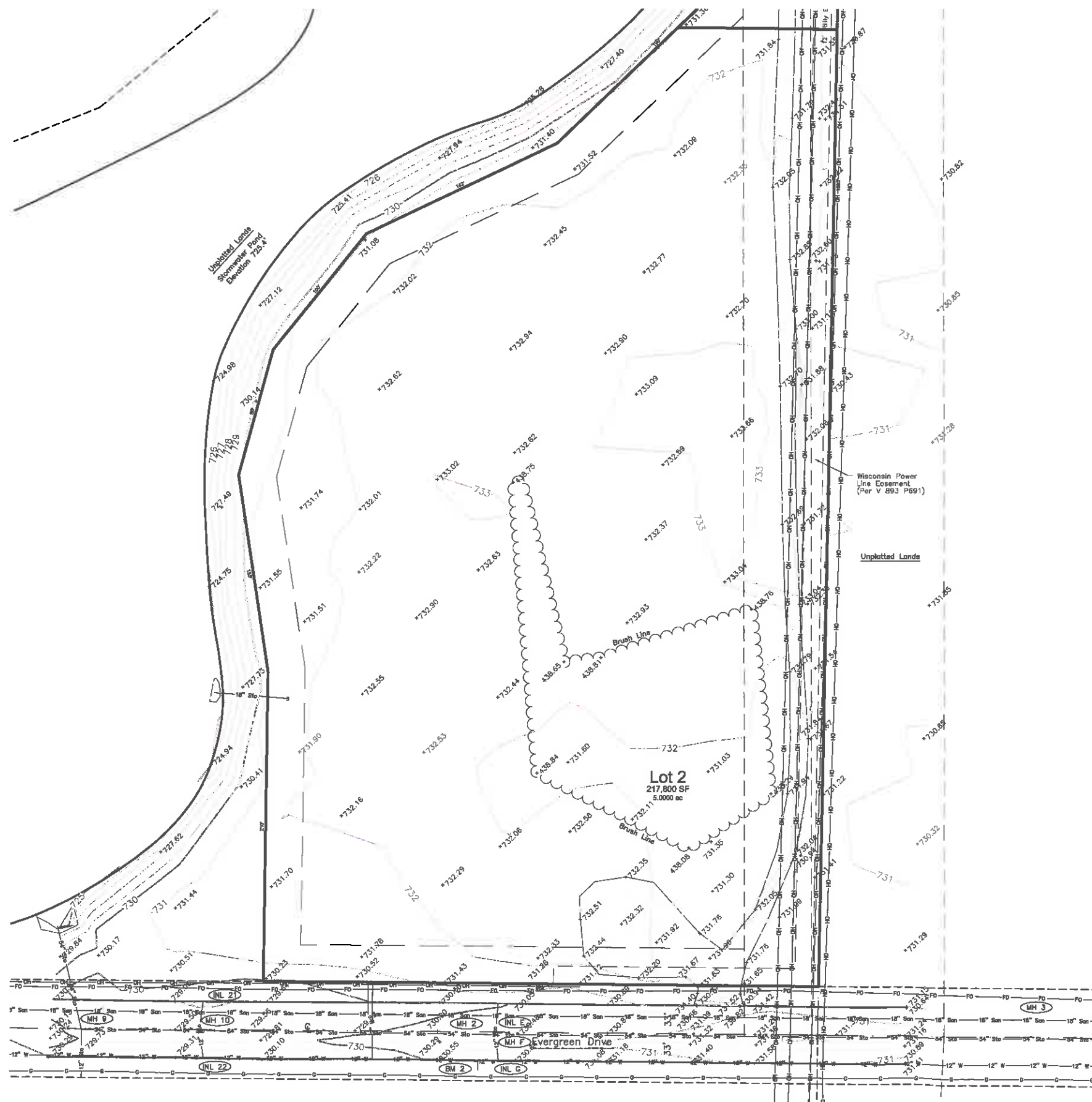


Project Number: 6112
July 15, 2020

LEGEND

San	San	Sanitary MH / Tank / Base	CATV Pedestal
FO	FO	Clean Out / Curb Stop / Pull Box	Gas Regulator
Overhead Electric Lines	Overhead Electric Lines	Storm Manhole	Railroad Signal
Utility Guy Wire	Utility Guy Wire	Inlet	Sign
Sanitary Sewer	Sanitary Sewer	Catch Basin / Yard Drain	Tower / Silo
Storm Sewer	Storm Sewer	Water MH / Well	Post / Guard Post
Underground Electric	Underground Electric	Hydrant	Satellite Dish
Underground Gas Line	Underground Gas Line	Utility Valve	Large Rock
Underground Telephone	Underground Telephone	Utility Meter	Flag Pole
Water Main	Water Main	Utility Pole	Deciduous Tree
Fence - Steel	Fence - Steel	Light Pole / Signal	Coniferous Tree
Fence - Wood	Fence - Wood	Guy Wire	Bush / Hedge
Fence - Barbed Wire	Fence - Barbed Wire	Electric Pedestal	Slump
Wetlands	Wetlands	Electric Transformer	Marsh
Tree Line	Tree Line	Air Conditioner	Soil Boring
Railroad Tracks	Railroad Tracks	Telephone Pedestal	Benchmark
Culvert	Culvert	Telephone Manhole	Asphalt Pavement
Index Contour	Index Contour	Wellheads	Concrete Pavement
Intermediate Contour	Intermediate Contour	Ex Spot Elevation	Gravel
Proposed Storm Sewer	Proposed Storm Sewer	Proposed Sanitary Manhole	Proposed Raducer
Proposed Sanitary Sewer	Proposed Sanitary Sewer	Proposed Storm Manhole	Proposed Plug
Proposed Water Main	Proposed Water Main	Proposed Curb Inlet	Proposed Water MH
Proposed Contour	Proposed Contour	Prop. Catch Basin / Yard Drain	Proposed Tee
Proposed Swale	Proposed Swale	Proposed Endwall	Proposed Cross
Proposed Culvert	Proposed Culvert	Proposed Hydrant	Proposed 90° Bend
		Proposed Valve	Proposed 45° Bend
		Proposed Curb Stop	Proposed 22.5° Bend
		Proposed Cleanout	





Storm Structures

Structure #	Rim	Invert	Size	Material	Direction
MH A	729.76	722.26	54"	RCP	N
		722.26	54"	RCP	E
MH B	722.82	725.08	42"	RCP	S
MH C	729.47	722.67	54"	RCP	W
		722.67	54"	RCP	E
INL D	729.12	725.30	12"	RCP	N
INL E	729.94	726.16	12"	RCP	S
MH F	730.49	723.14	54"	RCP	W
		723.14	54"	RCP	E
INL G	730.23	726.31	12"	RCP	N

Sanitary Structures

Structure #	Rim	Invert	Size	Material	Direction
MH 1	729.26	711.11	18"	PVC	W
		711.11	18"	PVC	E
MH 2	730.09	710.43	18"	PVC	W
		710.43	18"	PVC	E
MH 3	730.32	710.14	18"	PVC	W
		710.14	18"	PVC	E

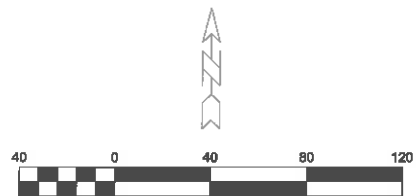
BENCHMARKS (NAD83)

- BM 1: NGS Monument (DE7759)
East R/W of Holland Road
Elev 726.52'
- BM 1: Nail in Westerly of 2 Power Poles
±700' N of Evergreen Drive
Elev 732.82'
- BM 2: Fire Hydrant, Tag Bolt
Southern R/W of Evergreen Drive
Elev 730.57'



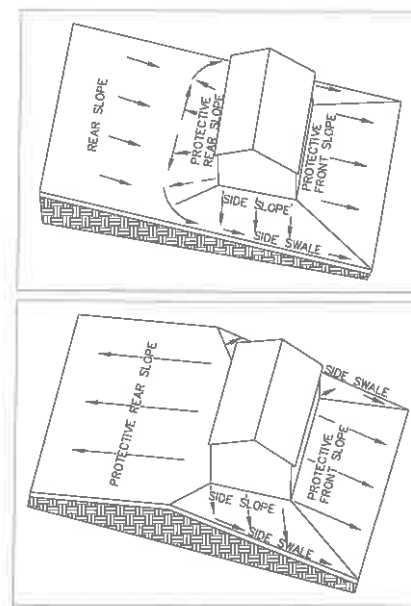
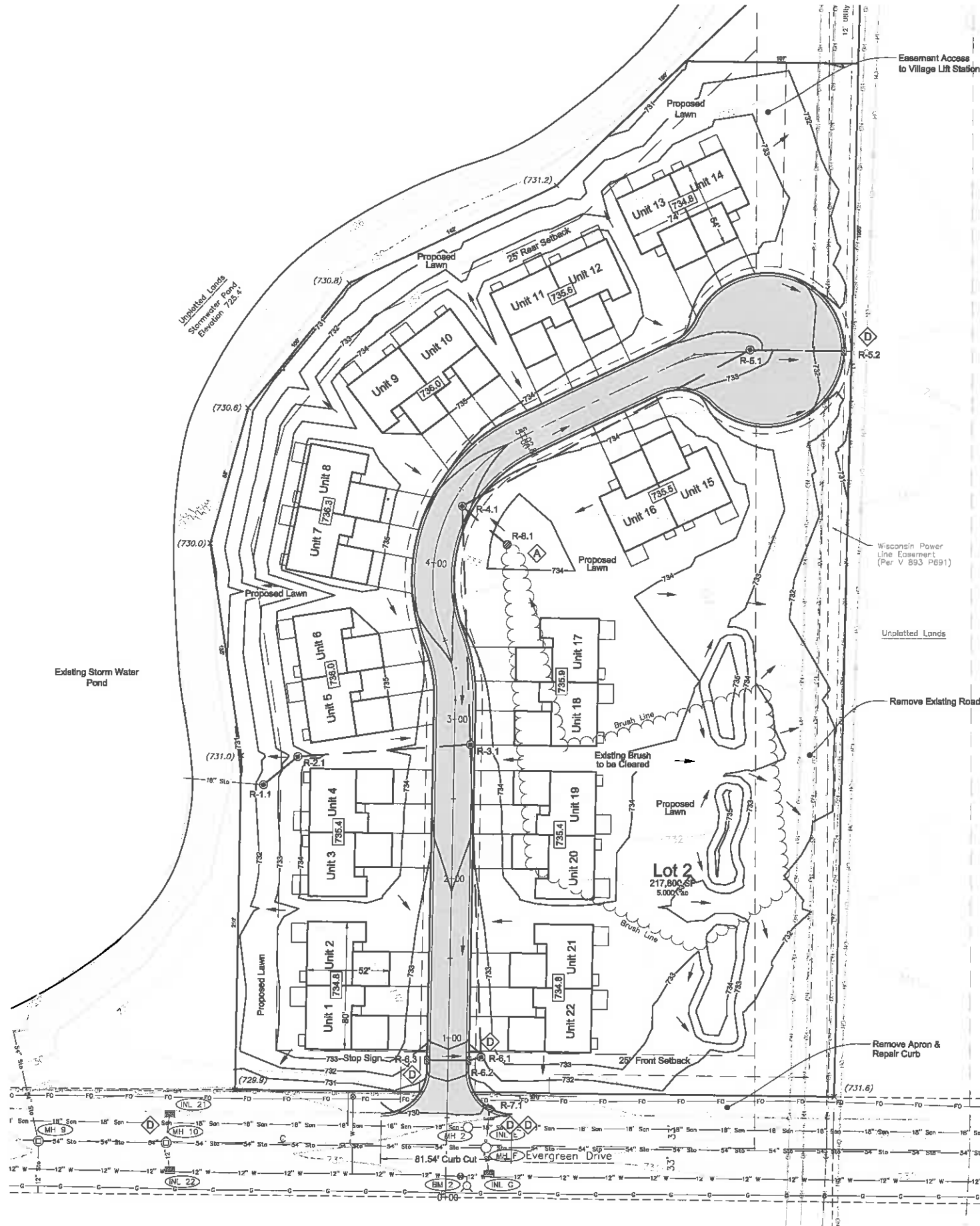
TOPOGRAPHIC SURVEY

CSM 7275, Lot 2
Village of Little Chute, Outagamie County, WI
For: Kurt Coenen



LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
OH	Overhead Electric Line	Storm Manhole	Railroad Signal
UW	Utility Guy Wire	Inlet	Tower / Silo
SS	Sanitary Sewer	Catch Basin / Yard Drain	Satellite Dish
Sto	Storm Sewer	Water MH / Well	Flag Pole
F	Underground Electric	Hydrant	Deciduous Tree
G	Underground Gas Line	Utility Valve	Coniferous Tree
T	Underground Telephone	Utility Meter	Bush / Hedge
W	Water Main	Utility Pole	Stump
o	Fence - Steel	Light Pole / Signal	Marsh
o	Fence - Wood	Guy Wire	Soil Boring
x	Fence - Barbed Wire	Electric Pedestal	Benchmark
W	Wellhead	Electric Transformer	Asphalt Pavement
W	Tree Line	Air Conditioner	Concrete Pavement
W	Railroad Tracks	Telephone Pedestal	Gravel
W	Culvert	Telephone Manhole	
W	Index Contour	Wellhead	
W	Intermediate Contour	Ex Spot Elevation	
608	Proposed Storm Sewer	Proposed Storm Manhole	
608.86	Proposed Contour	Proposed Curb Inlet	
608.73	Proposed Swale	Prop. Catch Basin / Yard Drain	
608.73	Proposed Culvert	Proposed Endwell	
x (608.7)	Adjacent Flat Grade	Proposed Rip Rap	
	Prop. Lot Corner Elevation	Prop. Drainage Direction	
	Proposed Spot Elevation	Prop. Garage Grade or Grade Outside Foundation	
	Existing Grade		



HOUSE ELEVATIONS:

The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.

NOTES:

























































- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.

















DRAINAGE & GRADING PLAN

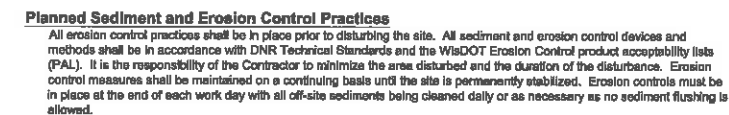
North Evergreen Pond Homes
Village of Little Chute, Outagamie County, WI
For: Kurt Coenen

Date:	07/15/2020
Filename:	6112eng.dwg
Author:	JRD
Last Saved by:	jennifer
Page	1.2



	CATV		Sanitary MH / Tank / Base		CATV Pedestal
	FO		Clean Out / Curb Stop / Pull Box		Gas Regulator
	Overhead Electric Lines		Storm Manhole		Railroad Signal
	Utility Guy Wire		Inlet		Sign
	Sanitary Sewer		Catch Basin / Yard Drain		Tower / Silo
	Storm Sewer		Water MH / Valve		Post / Guard Post
	Underground Electric		Hydrant		Satellite Dish
	Underground Gas Line		Utility Valve		Large Rock
	Underground Telephone		Utility Meter		Flag Pole
	Water Main		Utility Pole		Deciduous Tree
	Fence - Steel		Light Pole / Signal		Coniferous Tree
	Fence - Wood		Guy Wire		Bush / Hedge
	Fence - Barbed Wire		Electric Pedestal		Slump
	Wetlands		Electric Transformer		Marsh
	Trestle		Air Conditioner		Soil Boring
	Railroad Tracks		Telephone Pedestal		Benchmark
	Culvert		Telephone Manhole		Asphalt Pavement
	Index Contour		Wellheads		Concrete Pavement
	Intermedial Contour				Gravel

	60B		Proposed Storm Sewer		Proposed Storm Manhole
	Proposed Contour		Proposed Curb Inlet		Prop. Catch Basin / Yard Drain
	Proposed Swale		Proposed Endwall		Proposed Rip Rap
	Proposed Culvert		Proposed Silt Fence		Proposed Inlet Protection
	Prop. Drainage Direction		Type of Inlet Protection		
	Proposed Tracking Pad				
	Proposed Ditch Check				



- 1) **Temporary Diversion** - Intended to divert runoff to the storm water pond, which will serve as a sediment basin during the construction phase of the project. The swales and berm along the south boundary will be a temporary and permanent diversion. Other temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. There are no temporary diversions proposed with this project. **All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.**
- 2) **Overland Flow**
- a) **Silt Fence** - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
 - i) along the site boundary where runoff will leave the site;
 - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - b) **Sediment Bale Barrier** - Intended to intercept and detain small amounts of sediment from construction operations to prevent sediment from leaving the site. **Sediment Bale Barriers are not to be used in areas of channelized flow. All Sediment Bale Barriers shall be installed and maintained in accordance with DNR Technical Standard 1055.** Sediment Bale Barriers may be used in place of silt fence around soil stockpiles.
 - c) **Mulching and Erosion Mat** - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1032 and 1033 and all Mulching with DNR Technical Standard 1068.** In addition to mulching, Erosion Mat is required per plan where slopes are 4:1 or greater with installation per manufacturer specifications.
 - d) **Seeding** - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1038.** Seed mixture 40 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 16th. If required, temporary seedings shall consist of Oak, Red, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1st. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.
- 3) **Inlet Protection Barriers** - Intended to prevent the sedimentation of storm water conveyance structures. **All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060.** As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- 4) **Stone Tracking Pad** - Intended to reduce the amount of sediment transported onto public roads. A tracking pad shall be installed and maintained in accordance with DNR Technical Standard 1057. A tracking pad will be constructed at the site entrance as indicated on the plan.
- 5) **Dust Control** - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.
- 6) **Dewatering BMP** - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.**
- Dewatering BMP (if required)** - Intended to reduce the amount of sediment conveyed as a result of dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.** If dewatering is required, the contractor will need to direct the discharge to The storm water pond.
- 7) **Waste Material** - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Flag work limits. **August 2020.**
- 3) Install all erosion control measures. **August 2020.**
- 4) Strip topsoil from street right of ways. Use topsoil to build landscape permanent and temporary berms along south and east property line. Stabilize swales, berms and any other topsoil stockpiles in accordance with the appropriate WDNR Technical Standard, temporary seeding is required on all disturbed soils if conditions allow. **September 2020.**
- 5) Install sanitary sewers, water mains, and storm sewers. **August 2020**
- 6) Excavate, filling and grading for gravel roads. **August 2020-September 2020.**
- 7) Install gas and electric facilities. **September 2020**
- 8) Restore and stabilize terrace and easement areas no later than one week after final grade is established. No later than **September 15, 2020.** Temporary seeding will be required for disturbed areas that cannot be properly seeded with a permanent seed mix in 2019 growing season.
- 9) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be removed once final site stabilization has occurred.

Note: The dates provided are approximate for proposed construction and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C of the Erosion and Sediment Control Plan (report) or visit <http://dnr.wi.gov/uniform/estormwater/consforms.htm> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, the Village of Little Chute, or the Wisconsin Department of Natural Resources.

Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance:
The Owner's Contractor, yet to be determined.

Inspection and Compliance Enforcement

Village of Little Chute
Wisconsin Department of Natural Resources

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EROSION & SEDIMENT CONTROL PLAN

North Evergreen Pond Homes
Village of Little Chute, Outagamie County, WI
For: Kurt Coenen

For: Kurt Coenen

Date: 07/15/2000

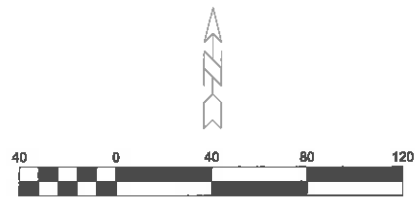
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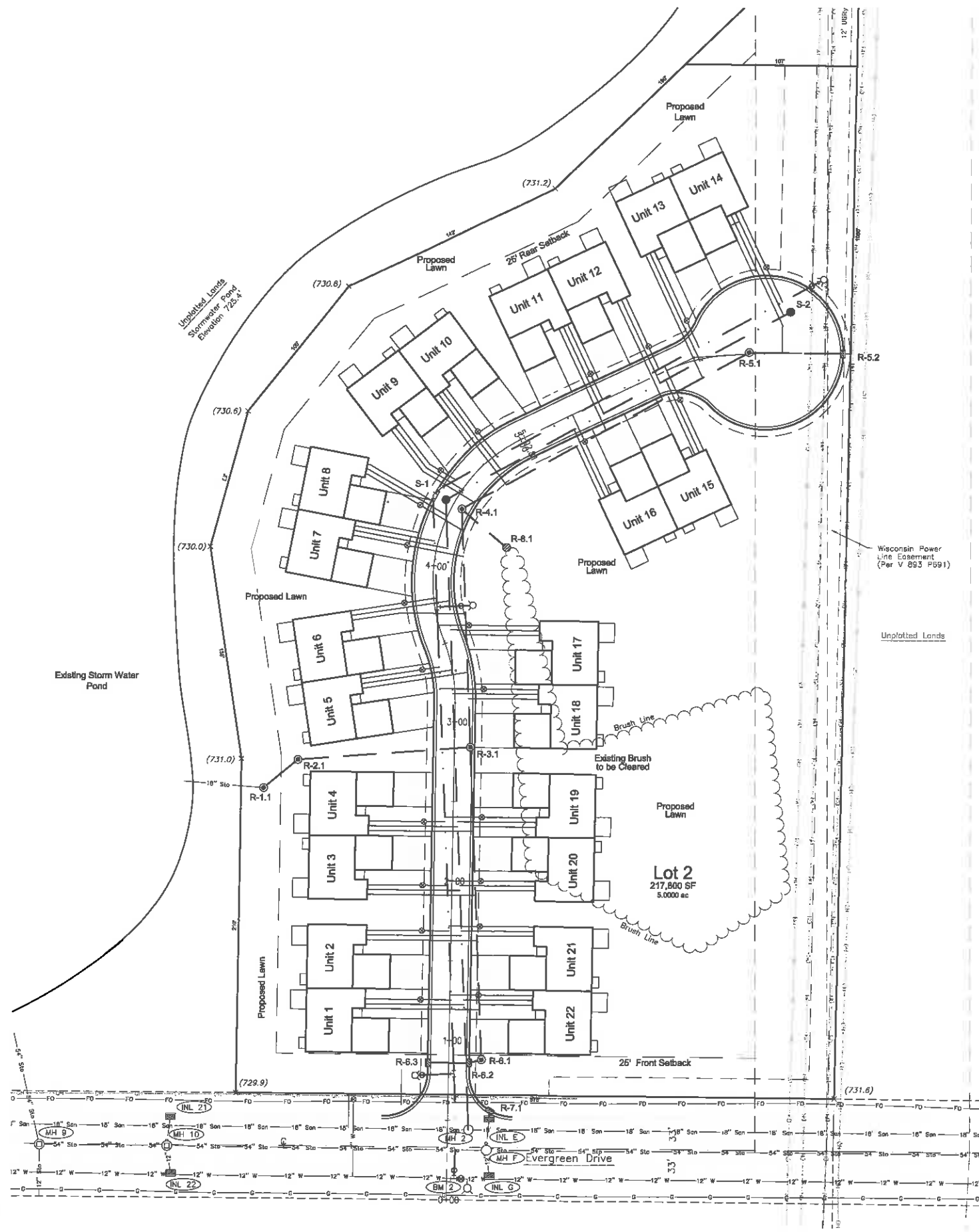
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Page
13



LEGEND

— CATV — CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
— FO — FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
— OH — OH	Overhead Electric Line	Storm Manhole	Retrofitted Signal
— S — S	Sanitary Sewer	Inlet	Sign
— Sto — Sto	Storm Sower	Catch Basin / Yard Drain	Tower / Silo
— C — C	Underground Electric	Water MH / Well	Post / Guard Post
— T — T	Underground Gas Line	Hydrant	Satellite Dish
— W — W	Underground Telephone	Utility Valve	Large Rock
— WL — WL	Water Main	Utility Meter	Flag Pole
— F — F	Fence - Steel	Utility Pole	Deciduous Tree
— F — F	Fence - Wood	Light Pole / Signal	Coniferous Tree
— F — F	Fence - Barbed Wire	Guy Wire	Bush / Hedge
— W — W	Wetlands	Electric Pedestal	Stump
— Tr — Tr	Transect	Electric Transformer	Marsh
— R — R	Railroad Tracks	Air Conditioner	Soil Boring
— C — C	Culvert	Telephone Pedestal	Benchmark
— I — I	Index Contour	Wetlands	Asphalt Pavement
— M — M	Intermediate Contour	Ex Spot Elevation	Concrete Pavement
— P — P	Proposed Storm Sewer	Proposed Sanitary Manhole	Gravel
— S — S	Proposed Sanitary Sewer	Proposed Storm Manhole	Proposed Reducer
— W — W	Proposed Water Main	Proposed Curb Inlet	Proposed Plug
— C — C	Proposed Contour	Prop. Catch Basin / Yard Drain	Proposed Water MH
— S — S	Proposed Swale	Proposed Endwall	Proposed Tee
— C — C	Proposed Culvert	Proposed Hydrant	Proposed Cross
		Proposed Valve	Proposed 90° Bend
		Proposed Curb Stop	Proposed 45° Bend
		Proposed Cleanout	Proposed 22.5° Bend



NOTES:

1. The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
2. Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
3. Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and the 2018 Special Provisions of the Harrison Utilities.
4. Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Little Chute.
5. Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.
6. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
7. The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.
8. The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
9. The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
10. The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.
11. Pipe lengths are measured to center of structure. Endwalls are included in pipe length.
12. Water Pipe shall be PVC C800 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).
13. Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).
14. Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.
15. Sanitary laterals shall be 4" PVC Sch. 40, installed at 1/8" per foot; water laterals shall be 1" HDPE.

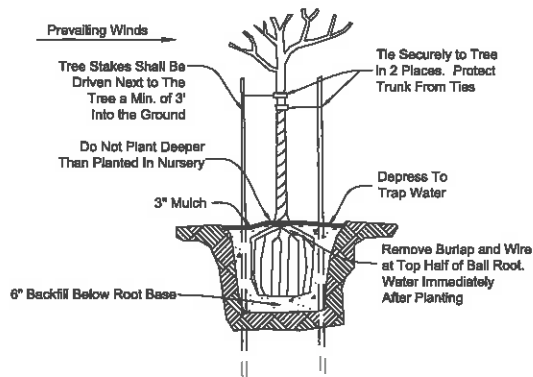
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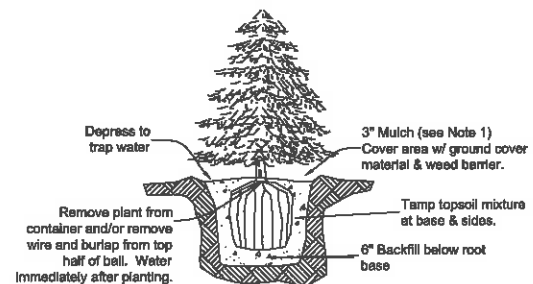
UTILITYPLAN

North Evergreen Pond Homes
Village of Little Chute, Outagamie County, WI
For: Kurt Coenen

Date: 07/15/2020
Filename: 6112eng.dwg
Author: JRD
Last Saved by: jennifer
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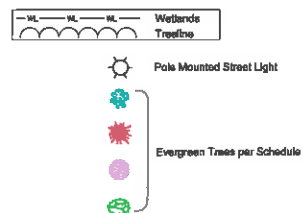


TREE PLANTING DETAILS

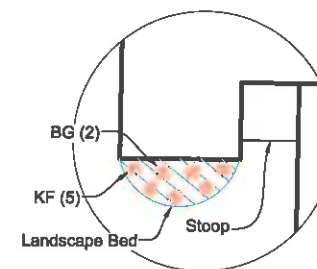


SHRUB PLANTING DETAILS

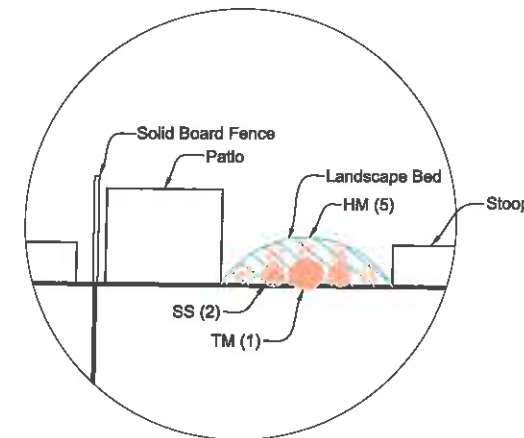
LEGEND



Plant Schedule				
I.D.	Common Name	Latin Name	Planting Size	Qty.
TREES				
PG	White Spruce or Colorado Blue Spruce	<i>Picea glauca / Picea pungens</i>	Refer Note 3	8
TC	Eastern Hemlock	<i>Tsuga canadensis</i>	Refer Note 3	10
PN	Austrian Pine or Eastern White Pine	<i>Pinus nigra / Pinus strobus</i>	Refer Note 4	8
RL	Redmond Linden	<i>Tilia americana 'Redmond'</i>	Refer Note 4	6
SHRUBS				
SS	Spiraea	<i>Spiraea Variety</i>	#3	44
TM	Dense Spreading Yew	<i>Taxus x media 'Densiflora'</i>	#5	22
PERENNIALS & GRASSES				
KF	Feather Reed Grass	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	#1	110
HM	Hosta	<i>Hosta Variety</i>	#1	110
BG	Buxus 'Green Velvet'	<i>Green Velvet Boxwood</i>	#3	44



FOUNDATION DETAIL A



FOUNDATION DETAIL B

Landscape Notes:

1. Trees: All Trees to be staked. Trees in turf area or seeded area to have 3" dia. circle of shredded hardwood mulch at 3" depth and shovel out edge separating mulch from lawn area.
2. Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of Village acceptance.
3. Evergreen Trees shall be minimum 24-inch height at time of planting.
4. Canopy Trees shall be minimum 24-inch dia. measured six inches from the ground at time of planting.
5. Species may be substituted pending local nursery stock.
6. Lawn: Per rates and areas listed on the erosion control plan. Seed areas installed on 5' min. fertile topsoil. Loosen subgrade, remove stones, sticks, grasses, and other extraneous materials. Fertilize using commercial grade starter fertilizer, non phosphorous at 1# per 1000 sf. Straw mulch, clean mulch and seed free, or threshed straw of wheat, rye, or oats. Plant during non-freezing weather. Per seed mixture and rates with straw mulch or matting per areas on the erosion control plan.
7. See Erosion & Sediment Control Plan for erosion mat locations.
8. Maintenance: For In-water plantings, the greatest maintenance concern should be the early detection and removal of clonal, exotic species, and protection from goose herbivory. During the first 2 years of establishment, the In-water plantings should be visited at least once during the early summer to determine if species such as narrow-leaf cattail (*Typha angustifolia*) are present. If detected, these species should be removed manually or treated with herbicide. Goose herbivory can be greatly reduced by installing goose fence or some other form of protection around the pond. Several methods of goose protection exist, and generally all of them are successful at reducing or eliminating goose herbivory. Regardless of the type of goose protection implemented, the site should be visited at least on a monthly basis from May through November to ensure the goose protection is not damaged and to ensure it is working satisfactorily. Following the third year, the In-water zone should require little to no maintenance.
9. Landscape Barms:
 - a. 3:1 max. slope, height 2-4' depending on amount of excess soil
 - b. Plant with no-mow fescue (includes east & property line)

Lighting Plan Notes:

1. The pole mounted fixture shall be a McGraw-Edison Galleon LED
2. Exterior Lights shall be Altair LED Coach Light

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LANDSCAPE PLAN

North Evergreen Pond Homes
Village of Little Chute, Outagamie County, WI
For: Kurt Coenen

Date: 07/15/2020

Filename: 6112eng.dwg

Author:

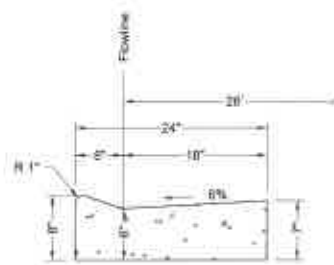
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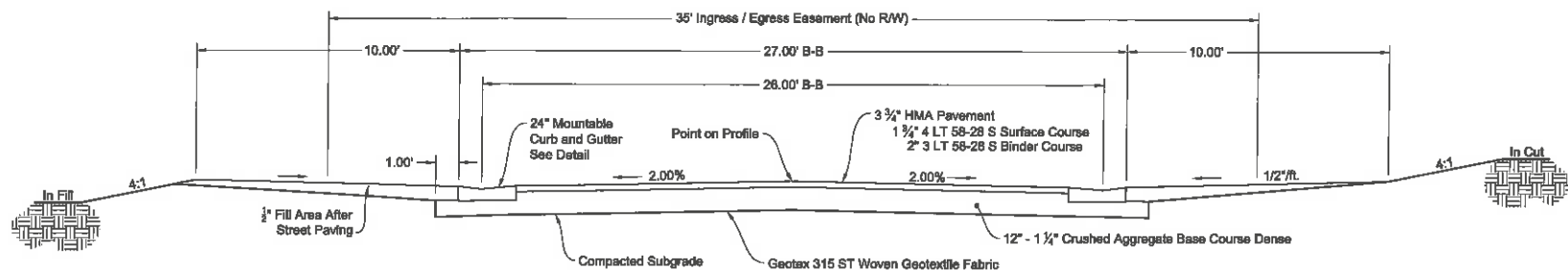
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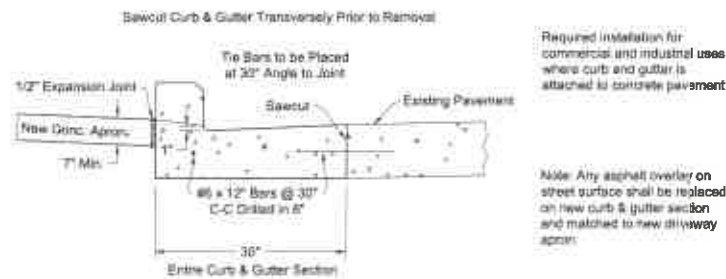
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24" MOUNTABLE CURB



TYPICAL STREET SECTION



CURB & GUTTER REMOVAL FOR DRIVEWAY OPENINGS

LOT INFORMATION			WATER SERVICES		STORM	SANITARY SERVICES					
	FINISHED GARAGE	FOOTING	CURB BOX	WATER LATERAL	4" STORM LATERAL	DISTANCE	WYE	4" SAN LATERAL	4" SAN RISER	SAN LAT INV @	SAN LAT INV @
UNIT #	FLOOR	ELEV	ELEV	LENGTH	LENGTH	TO D.S. MH	INVERT	LENGTH	HEIGHT	PL	SB
1	734.8	726.63	732.57	53	72	317	721.11	62	0	723.01	723.41
22	734.8	726.63	732.60	52	33	314	721.09	44	0	722.63	723.03
2	734.8	726.63	732.87	51	59	274	720.89	59	0	722.75	723.15
21	734.8	726.63	732.90	54	36	271	720.88	46	0	722.46	722.86
3	735.4	727.23	733.07	50	68	245	720.75	58	0	722.57	722.97
20	735.4	727.23	733.10	55	37	242	720.74	47	0	722.35	722.75
4	735.4	727.23	733.35	47	86	205	720.55	56	0	722.33	722.73
19	735.4	727.23	733.38	58	39	202	720.54	50	0	722.19	722.59
18	735.9	727.73	733.63	62	44	122	720.13	54	0	721.88	722.28
5	736.0	727.83	734.05	49	86	107	720.06	57	0	721.86	722.26
17	735.9	727.73	734.18	64	46	82	719.93	56	0	721.72	722.12
6	736.0	727.83	734.34	54	71	63	719.84	61	0	721.74	722.14
7	736.3	728.13	734.44	50	70	31	719.68	59	0	721.53	721.93
8	736.3	728.13	734.33	47	71	10	719.57	58	0	721.39	721.79
9	736.0	727.83	734.22	51	71	233	722.75	60	0	724.61	725.01
10	736.0	727.83	734.08	54	71	206	722.61	62	0	724.51	724.91
16	735.5	727.33	733.61	55	36	154	722.35	47	0	723.95	724.35
11	735.6	727.43	733.71	52	70	133	722.25	60	0	724.12	724.52
12	735.6	727.43	733.43	50	88	83	722.05	58	0	723.87	724.27
15	735.5	727.33	733.33	59	40	89	722.03	50	0	723.70	724.10
13	734.8	726.63	733.09	67	85	64	721.90	75	0	724.07	724.47
14	734.8	726.63	732.53	63	94	5	721.61	71	0	723.70	724.10

New Sewers, Total = 1,197 1,324 1,249 0

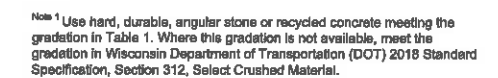
NOTES:

- The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
- Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and the 2018 Special Provisions of the Wisconsin Utilities.
- Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Little Chute.
- Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.
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- Pipe lengths are measured to center of structure. Endwalls are included in pipe length.
- Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).
- Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).
- Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 284, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.
- Sanitary laterals shall be 4" PVC Sch. 40, installed at 1/8" per foot; water laterals shall be 1" HDPE.



- MAINTENANCE NOTES:**

- INLET PROTECTION, TYPE D-HR**
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)



- Note 2** Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.
- Note 3** Select fabric type based on soil conditions and vehicles loading.

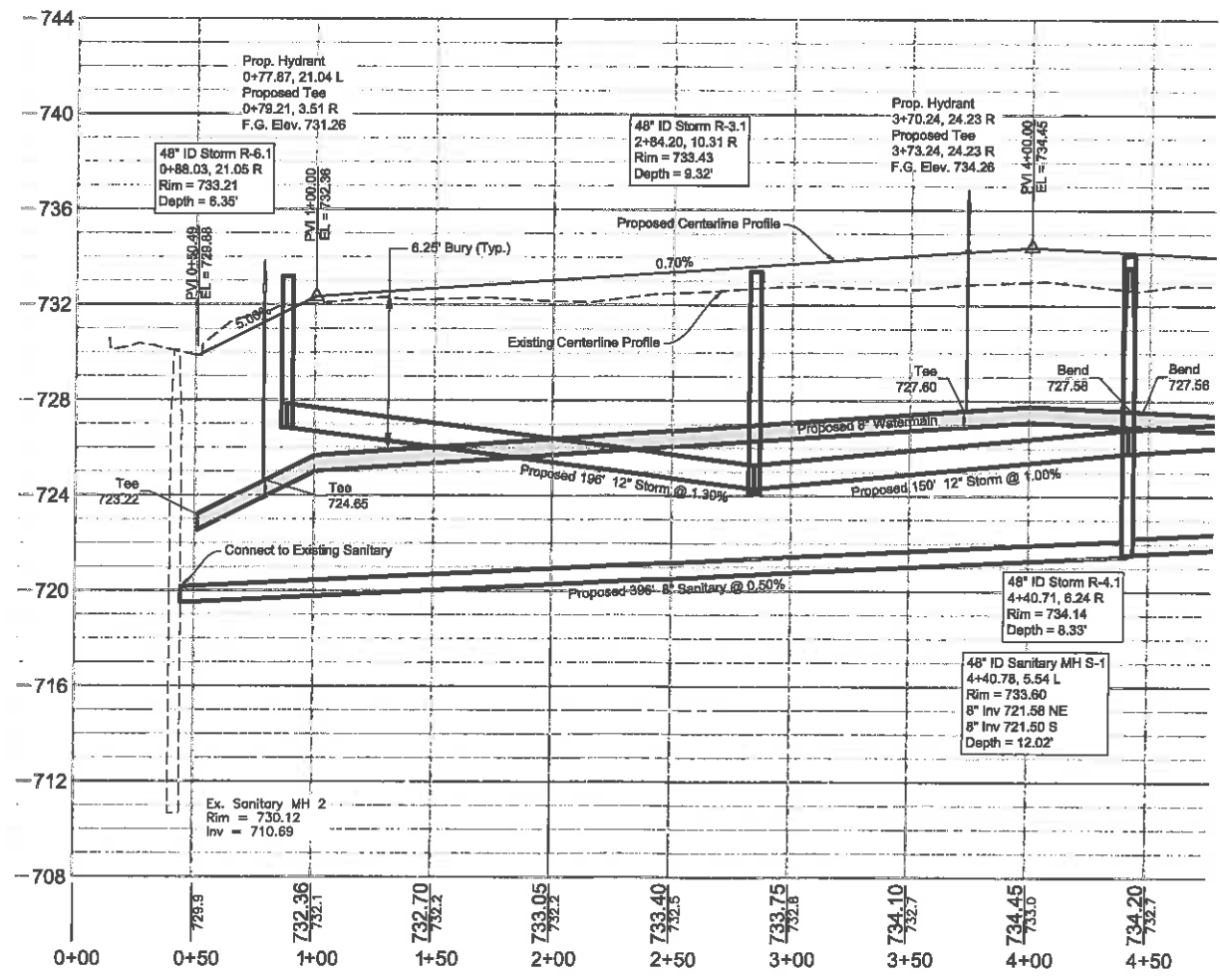
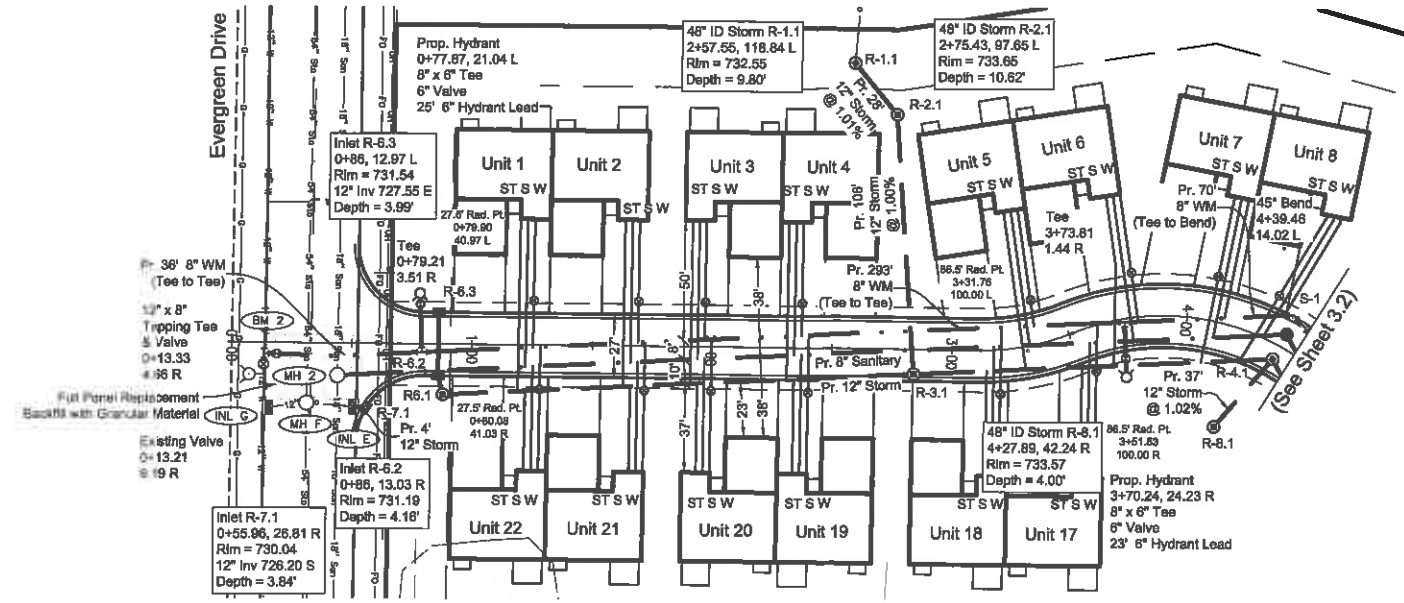
- Note 4:** Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

- Note 5** If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

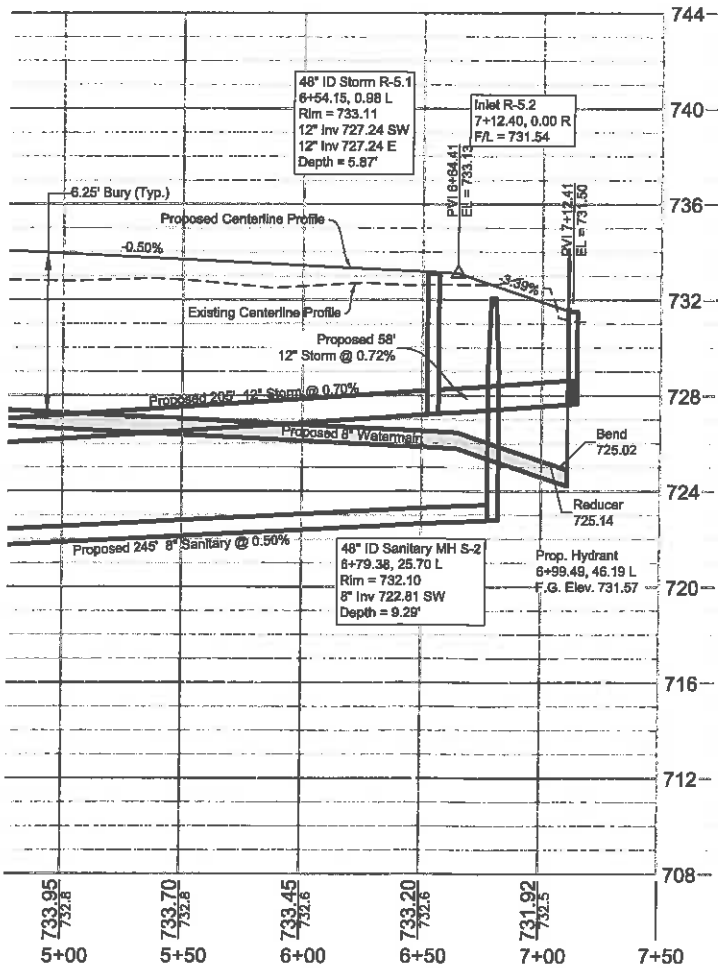
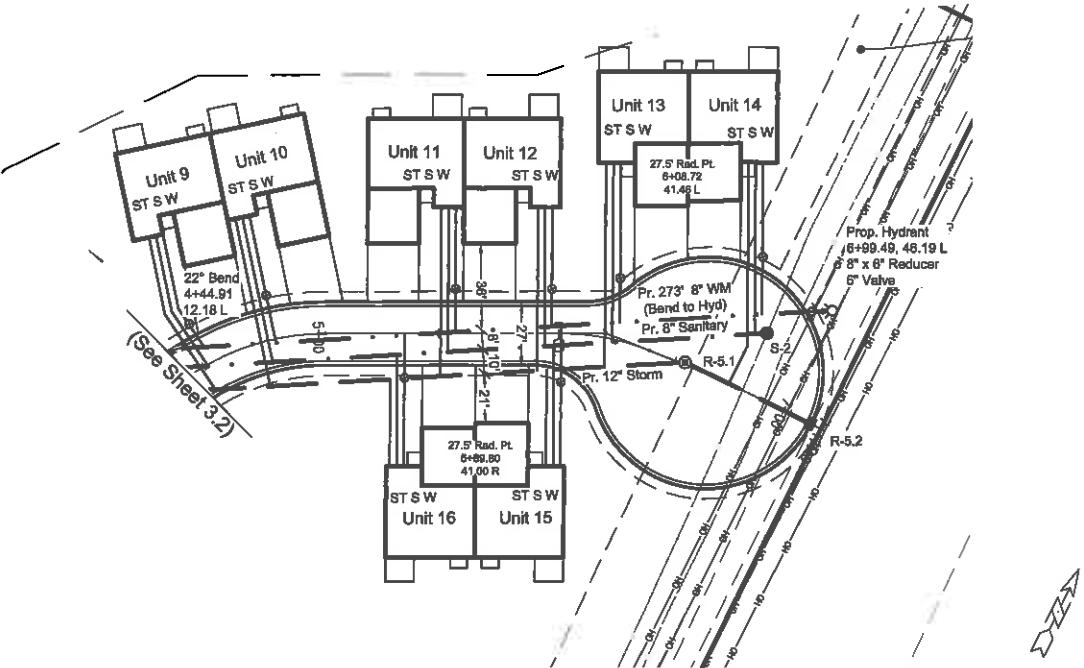
<u>Sieve Size</u>	<u>Percent by weight passing</u>
3"	100
2-1/2"	90-100
1-1/2"	25-50
3/4"	0-20
3/8"	0-5

TRACKING PAD DETAIL

Private Road



Private Road

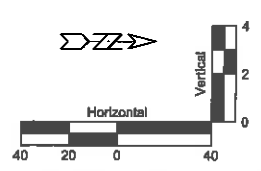


NOTES:

RADIUS STATIONING IS TO BACK OF CURB.
g14.16 = PROPOSED GRADE
ENDWALLS ARE INCLUDED IN CULVERT LENGTH

LEGEND

- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Culvert
- Proposed Swale/Ditch
- Proposed Sanitary Manhole
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin/Yard Drain
- Proposed Endwall
- Proposed Hydrant
- Proposed Valve
- Proposed Tee
- Proposed Cross
- Proposed Bend
- Proposed Reducer
- Proposed Plug



North Evergreen Pond Homes
Village of Little Chute, Outagamie County, WI
For: Kurt Coenen
IMPROVEMENT PLANS
Alignment 1
Sta 4+77 to 6+99.49

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Date: July 13, 2020
Engineer: JRD
Drafted By: Jennifer

Page: 3.2



APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Little Chute North Estates Outlot 4

Parent Parcel # 260451963

Number of Lots: 1

☐ Preliminary Plat ☐ Final Plat ☒ CSM

Will deed restrictions be recorded? ☐ Yes ☒ No

Property Owner Information:

Name: Della Marcus Corporation, Inc. c/o Keith Gonnering

Telephone Number: 920-378-2371

Mailing Address: 715 Depot Street, Little Chute WI 54140

Surveyor Information:

Name: Davel Eng C/O James R Sehloff

Telephone Number: 920-560-6562

email jim@davel.pro

Engineer Information:

Name: _____

Telephone Number: _____

email _____

Required for plat review:

☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies

☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies

☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies

☐ Pavement Design Catalog (3 copies)

☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☒ Proposed CSM (24) copies

☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☐ Preliminary Plat \$100.00 plus \$5.00 per lot.

☐ Final Plat \$50.00 plus \$2.00 per lot.

☐ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50

Signature of Applicant [Signature]

Date 8-4-2020

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

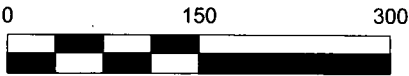
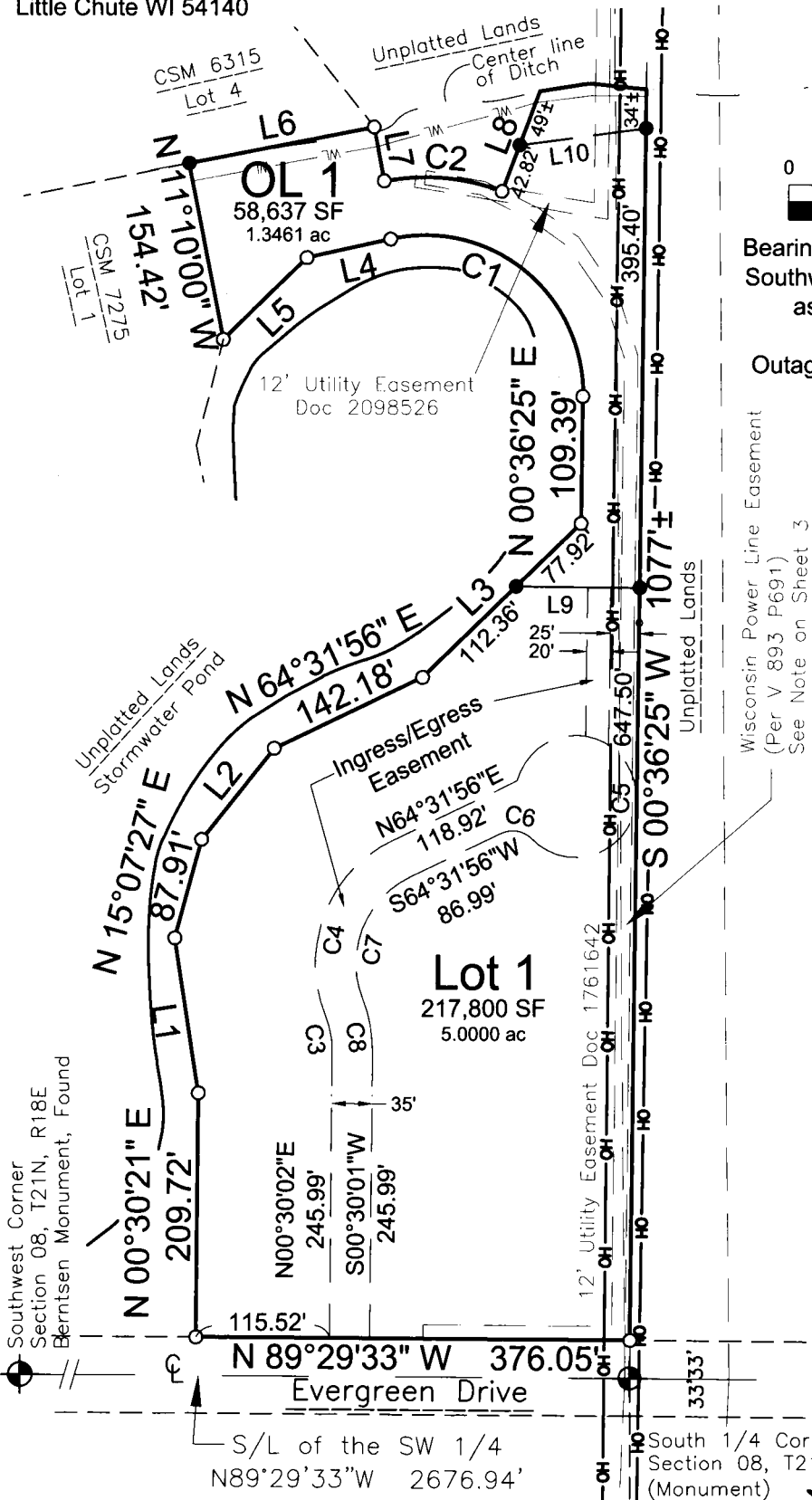
Sarah R. Van Camp

SARAH R VAN CAMP, REGISTER OF DEEDS
Return via MAIL (REGULAR)
DAVEL ENGINEERING

Certified Survey Map No. 7933

All of Lot 2, Certified Survey Map 7275, recorded as Doc. No. 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Survey for:
Village of Little Chute
108 W. Main Street
Little Chute WI 54140



Bearings are referenced to the S/L of the Southwest 1/4, Section 08, T21N, R18E, assumed to bear N89°29'33\"W, base on the Outagamie County Coordinate System.

LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- 3/4" Rebar Found
- ⊕ Government Corner
- () Recorded As

LINE TABLE		
Line	Bearing	Length
L1	N 08°46'45" W	134.88'
L2	N 38°42'44" E	100.12'
L3	N 45°56'54" E	112.36'
L4	S 77°26'12" W	74.27'
L5	S 45°40'52" W	100.94'
L6	N 78°50'00" E	163.20'
L7	S 10°53'04" E	47.36'
L8	N 20°50'16" E	92.30'
L9	S 89°23'35" E	106.97'
L10	S 82°29'10" W	110.22'



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

James R. Sehloff
PLS 2692
Date: 9 June 2020
WISCONSIN LAND SURVEYOR

File: 6112CSM.dwg
Date: 07/09/2020
Drafted By: jim
Sheet: 1 of 3

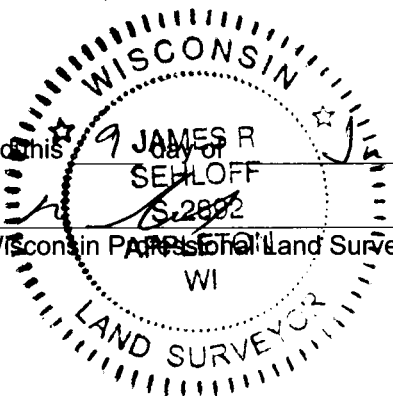
Certified Survey Map No. 1933

All of Lot 2, Certified Survey Map 7275, recorded as Document Number 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of Village of Little Chute, the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land All of Lot 2, Certified Survey Map 7275, recorded as Document Number 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 276,437 Square Feet (38.5672 Acres) of land, including all lands between the Center line of ditch and shown meander line, subject to all easements, and restrictions of record.

Given under my hand this

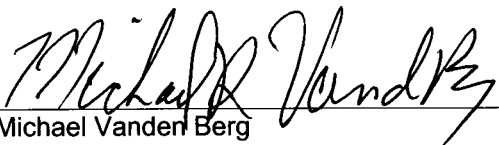


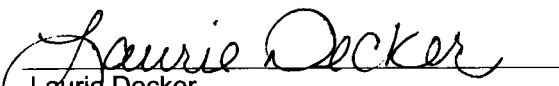
James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

Owner's Certificate

The Village of Little Chute, a Wisconsin Municipal Corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owner, does hereby certify that we caused the land above described to be surveyed, divided, mapped and dedicated all as shown and represented on this map.

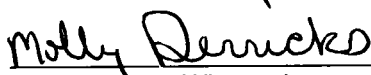
Dated this 17 day of July, 20 20


Michael Vander Berg
Village President

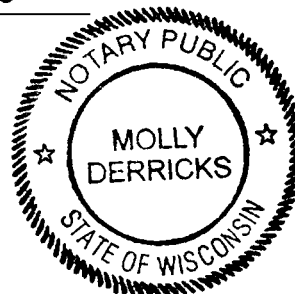

Laurie Decker
Village Clerk

State of Wisconsin)
)SS
Wisconsin County)

Personally came before me on the 17 day of July, 20 20, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.


Molly Derricks
Notary Public, Wisconsin

My Commission Expires 1-28-2022



Certified Survey Map No. 7933

All of Lot 2, Certified Survey Map 7275, recorded as Document Number 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Village of Little Chute, the property owner, is hereby approved by the Village Board of the Village of Little Chute.

Michael R. Vandenberg
Village President

July 17, 2020
Date

Saurie Decker
Clerk

July 17, 2020
Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Anna A. Ambler Deibel
Village Treasurer

July 21, 2020
Date

Trist J. Wolfe
County Treasurer

August 4, 2020
Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property owners of record:
Village of Little Chute

Recording Information:
Doc. 2014948

Parcel Number(s):
26-0-4412-03

Notes:

- Existing Power Lines are located outside of easement as described in V893 P691. In discussion with ATC, the current owner of the easement, they believe the section corner moved thus amending the location of the easement as described. I have not seen any evidence, other than an old drawing showing a fence line location, from their file, to back up their claim.
- Ingress/Egress easement shown on this map will be retained by the Village of Little Chute for access to Outlot 1 of this map.

CURVE TABLE					
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle
C1	137.00'	N 50°58'41" W	214.69'	246.69'	103°10'13"
C2	187.00'	S 85°02'18" E	102.22'	103.54'	31°43'24"
C3	82.50'	N 10°49'11" W	32.41'	32.62'	22°39'17"
C4	117.50'	S 21°11'33" W	161.29'	177.76'	86°40'46"
C5	52.50'	N 14°41'39" W	51.84'	275.65'	300°50'02"
C6	23.50'	N 79°52'21" W	27.36'	29.20'	71°11'26"
C7	82.50'	S 21°11'33" W	113.24'	124.81'	86°40'46"
C8	117.50'	N 10°49'11" W	46.16'	46.46'	22°39'17"

James R. Sehloff Professional Land Surveyor No. S-2692 Date July 2020

