



## AGENDA

### VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room  
DATE: Monday, August 10, 2020  
TIME: 6:00 p.m.

- A. Call to order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the August 10<sup>th</sup> Plan Commission meeting at 6 PM by following the link here:  
<https://www.gotomeet.me/JamesFenlon/august-10th-plan-commission>

Call-in Information: +1 (872) 240-3212      Access code: 596-263-181

For further details please refer to additional information for the Plan Commission Meeting immediately following agenda.

1. Approval of Minutes from the Plan Commission Meeting of July 13, 2020
2. Public Hearing—3639 Don DeGroot Drive
3. Recommendation/Action—Home Occupation Request for 3639 Don DeGroot
4. Recommendation—1215 Buchanan Street Rezoning Request
5. Recommendation—Cobblestone Hotel Site Plan
6. Recommendation—North Evergreen Pond Home Site Plan
7. Recommendation—CSM Little Chute North Estates Outlot 4
8. Unfinished Business
9. Items for Future Agenda
10. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 August 6, 2020



### **Information for the Plan Commission Meeting – August 10<sup>th</sup>, 2020 – 6:00 PM**

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16<sup>th</sup>, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the August 10<sup>th</sup> Plan Commission Meeting at 6 PM by following the link here:  
<https://www.gotomeet.me/JamesFenlon/august-10th-plan-commission>
2. **Call-in Information:** United States: [+1 \(872\) 240-3212](tel:+18722403212)      **Access Code:** 596-263-181
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at [james@littlechutewi.org](mailto:james@littlechutewi.org)
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at [james@littlechutewi.org](mailto:james@littlechutewi.org) or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

## MINUTES OF THE PLAN COMMISSION MEETING JULY 13, 2020

### Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by Trustee Van Lankvelt

### Roll Call

PRESENT: Todd Verboomen  
Bill Van Berkel  
Larry Van Lankvelt  
Kent Taylor  
Richard Schevers

EXCUSED: President Vanden Berg

STAFF PRESENT: Administrator Fenlon, Community Development Director Kittel

### Public Appearance for Items Not on the Agenda

None

### Approve Minutes from the Plan Commission Meeting of July 1, 2020

*Moved by Commissioner Van Berkel, seconded by Commissioner Schevers to Approve the Minutes from the Plan Commission Meeting of July 1, 2020*

### Roll Call Votes

Todd Verboomen	Abstain
Richard Schevers	Aye
Larry Van Lankvelt	Aye
Bill Van Berkel	Aye
Kent Taylor	Aye

Ayes 4, Abstain (Verboomen)—Motion Carried

### Discussion—Short Term Rentals in the Village of Little Chute

Director Kittel gave the Plan Commission information on adopting or regulating Short Term Rentals in the Village of Little Chute. The Plan Commission would like more information on State and County regulations before they make a recommendation to the Board.

### Recommendation—Conditional Use Permit for Multifamily Development on a Commercial Highway Zoned Parcel

*Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to Recommend to the Board to Approve a Conditional Use Permit for Multifamily Development on a Commercial Highway Zoned Parcel*

### Roll Call Votes

Richard Schevers	Aye
Larry Van Lankvelt	Aye
Bill Van Berkel	Aye
Kent Taylor	Aye
Todd Verboomen	Aye

All Ayes— Motion Carried

### Recommendation—Certified Survey Map for 2140 Bohm Drive

*Moved by Commissioner Schevers, seconded by Commissioner Taylor to Recommend to the Board the Approval of the CSM for 2140 Bohm Drive*

**Roll Call Votes**

Larry Van Lankvelt	Aye
Kent Taylor	Aye
Todd Verboomen	Aye
Richard Schevers	Aye
Bill Van Berkel	Aye

All Ayes— Motion Carried

**Recommendation—Certified Survey Map for 3317 and 3315 Buchanan Road***Moved by Commissioner Van Berkel, seconded by Commissioner Verboomen to Recommend to the Board the Approval of the CSM for 3317 & 3315 Buchanan Road***Roll Call Votes**

Bill Van Berkel	Aye
Kent Taylor	Aye
Todd Verboomen	Aye
Richard Schevers	Aye
Larry Van Lankvelt	Aye

All Ayes— Motion Carried

**Recommendation—Certified Survey Map for North Evergreen Pond Homes***Moved by Commissioner Taylor, seconded by Commissioner Schevers to Recommend to the Board the Approval of the CSM for North Evergreen Pond Homes***Roll Call Votes**

Kent Taylor	Aye
Todd Verboomen	Aye
Richard Schevers	Aye
Larry Van Lankvelt	Aye
Bill Van Berkel	Aye

All Ayes— Motion Carried

**Unfinished Business**

None

**Items for Future Agenda**

None

**Adjournment***Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to Adjourn the Plan Commission Meeting at 6:38 p.m.*

All Ayes— Motion Carried

**VILLAGE OF LITTLE CHUTE**

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By: Michael Vanden Berg, Village President

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Attest: Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE  
PLAN COMMISSION  
NOTICE OF PUBLIC HEARING**

**CONDITIONAL USE REQUEST**

**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held on August 10, 2020 at 6:00 p.m. by the Plan Commission, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Owner requests a conditional use permit for a home-based occupancy, more specifically to operate a preschool with before and after care included in the owner's residence under the name MUDDY PUDDLES NATURE SCHOOL. The property is Zoned; RC-Residential single-family District in the Village of Little Chute, Outagamie County, Wisconsin.

Address: 3639 Don Degroot Drive

Parcel # 260451918

Legal Description: LOT 8 LITTLE CHUTE NORTH ESTATES

Current Owner: Maria Gonnering

Applicant: Maria Gonnering

DATE OF HEARING: August 10, 2020

TIME OF HEARING: 6:00 p.m.

PLACE OF HEARING: Village Hall  
Board Room  
108 West Main Street  
Little Chute, WI 54140

Publish: August 5, 2020

# STATE OF WISCONSIN AFFIDAVIT OF PUBLICATION

August 5, 2020  
VILLAGE OF LITTLE CHUTE  
PLAN COMMISSION  
NOTICE OF PUBLIC HEARING  
CONDITIONAL USE REQUEST

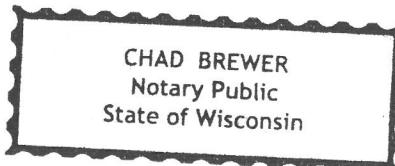
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WNAXLP



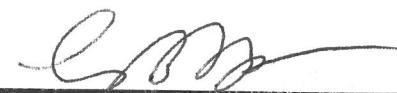
Laurie Hammen

being duly sworn doth depose and say that he/she is an authorized representative of the **TIMES-VILLAGER**, a weekly newspaper published by News Publishing Co., Inc. at **Kaukauna, Wisconsin, in Outagamie County**, and that an advertisement of which the annexed is a true copy, taken from said paper, was published therein on:

08/05/2020

SIGNED Laurie A Hammen

DATED 08/06/2020



Notary Public, State of Wisconsin

My Commission Expires

4/25/2023

# of Lines 34

# of Weeks Published 1

Publication Fee \$ 37.78

Proof of Publication \$ 1.00

Total \$ 38.78

Village of Little Chute  
**REQUEST FOR PLAN COMMISSION**

**ITEM DESCRIPTION:** Home Occupation for 3639 Don Degroot Dr

**PREPARED BY:** David Kittel, Community Development Director

**REPORT DATE: 8/6/2020**

**ADMINISTRATOR'S REVIEW/COMMENTS:** No Comments *JPF*

**EXPLENATION:**

An application for a Home Occupation for 3639 Don Degroot dr. has been received. This application is to operate a preschool (home childcare) type of business out of a home located at 3639 Don Degroot Dr. This property is a newly constructed Single-Family Dwelling that has had some well thought out design to allow for this use in a safe manner. These would include an entry, classroom area a well-placed bathroom and a fenced in back yard. The primary purpose of this property is as a single-family dwelling and the entry area is framed to be a 3<sup>rd</sup> car garage and is easily converted over and the "classroom" is essentially an additional living room. Per Sec 44-126 this type of use is allowed provided the occupation is no more than 30 percent of the dwelling which this will not. The operator will be following all state requirements to operate such a business and will not exceed 12 children in attendance. There will be limited traffic from this and only in the morning for drop off and afternoon for pick up. All pick up and drop off will be able to utilize the drive way for momentary parking to prevent the road from being blocked.

**RECOMMENDATION:**

Approve the Home Occupation for 3639 Don Degroot Dr.

Fee \$125  
Receipt No. 11.021889

**VILLAGE OF LITTLE CHUTE**  
**APPLICATION FOR *HOME OCCUPATION* PERMIT**

SITE ADDRESS 3639 Dan Degroot Drive Kaukauna WI 54130

PROPERTY OWNER(S) Maria Gonnering

ADDRESS/ZIP 111 AS TELEPHONE 920-428-4696

**CITY/ZIP** *Sav. above* **FAX** \_\_\_\_\_

OCCUPANT/APPLICANT(S) \_\_\_\_\_

**BUSINESS/CORPORATION NAME (IF APPLICABLE)** Muddy Puddles Nature School

ADDRESS *108 1/2* TELEPHONE

come into

DESCRIBE IN DETAIL ALL EXISTING USES AND OF ADDITIONAL USES BEING PROPOSED FOR THIS LOCATION  
APPLICANT MAY INCLUDE ANY ATTACHMENTS SUCH AS MAPS, DRAWINGS, PLANS, LEASE DOCUMENTS, ETC.  
-COMPLETE DETAILS OF ALL USES MUST BE INCLUDED, OMISSIONS SHALL BE CAUSE FOR DENIAL OR REVOCATION-

Private Nature based preschool with before & after care included

**DESCRIBE ALL HOURS OF OPERATION FOR EXISTING AND PROPOSED COMMERCIAL, NON-RESIDENTIAL USES**

7am - 5pm Monday - Friday

DESCRIBE ALL AREAS (1<sup>ST</sup> FLOOR, 2<sup>ND</sup> FLOOR, BASEMENT, ETC.) AND INCLUDE THE ACTUAL SQUARE FOOT AREA WHICH WILL BE USED FOR ANY PROPOSED COMMERCIAL/BUSINESS USES.

Classroom is attached on First Floor & backyard.

ZONING DISTRICT RC LOT SIZE 95x180 FT

# OF STORIES 1 BASEMENT X YES NO BUILDING HEIGHT 10' TOTAL FLOOR AREA 700 SF

**TOTAL # OF EMPLOYEES PROPOSED (IF APPLICABLE)** **NUMBER OF ON SITE PARKING STALLS**

**I CERTIFY THAT THIS APPLICATION AND ANY ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE IN ACCORDANCE WITH ALL APPLICABLE CODES.**

**APPLICANT SIGNATURE**

Maria Sommering  
Maria Sommering

DATE 7/23/2020

**OWNER SIGNATURE**

Maria Sommerby

DATE 7/23/2020

**OCCUPANCY APPROVED BY**

DATE \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

## **OCCUPANCY DENIED BY**

DATE \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

# "PLAT OF SURVEY"

20-381

7/22/2020

3639

Don DEGROOT  
DR

36

LITTLE CHUTE  
NORTH ESTATES

37

LITTLE CHUTE  
NORTH ESTATES

HAMMEN CT. (60')

30'

30'

12' UTILITY EASEMENT  
AS PER PLAT

10  
LITTLE CHUTE  
NORTH  
ESTATES

15' DRAINAGE EASEMENT  
AS PER PLAT

25' BUILDING SETBACK  
AS PER PLAT

9  
LITTLE CHUTE  
NORTH  
ESTATES

DR. (60')

DON DEGROOT

30'

S00°01'30" W  
7.10'

N57°25'38"E

107.52'

165±

30.0±

S37°55'08"E  
1.87'

C1

12' UTILITY EASEMENT  
AS PER PLAT

25' BUILDING SETBACK  
AS PER PLAT

17,218 SQ.FT.±  
[0.3952 ACRES±]

8  
LITTLE CHUTE  
NORTH  
ESTATES

55.2±

107.64'

3 FT

7  
LITTLE CHUTE  
NORTH  
ESTATES

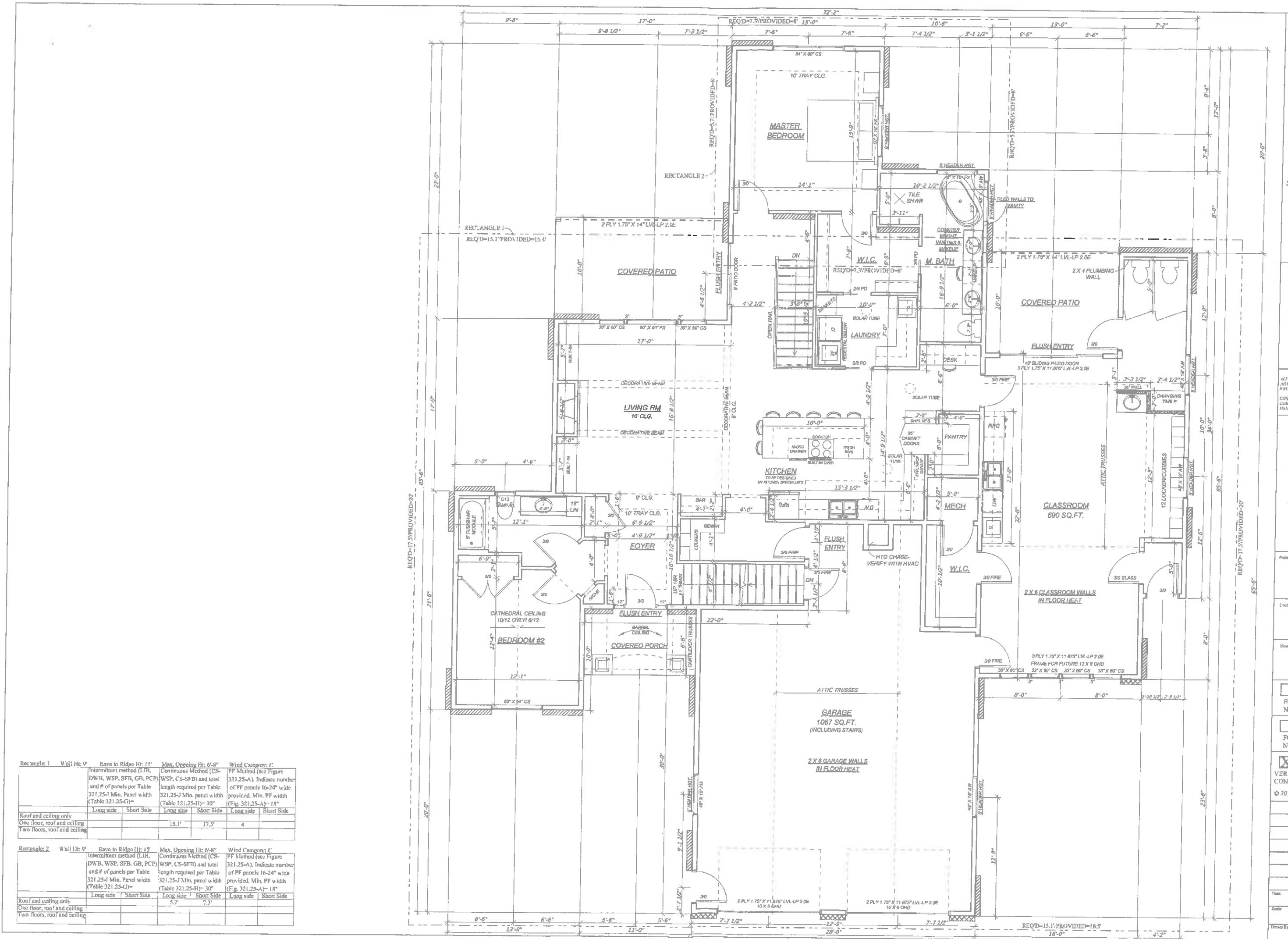
N38°27'42"N

M6

OUTLOT 1  
LITTLE CHUTE  
NORTH ESTATES

GRAPHIC SCALE:

100



Village of Little Chute  
**REQUEST FOR PLAN COMMISSION RECOMMENDATION**

**ITEM DESCRIPTION:** 1215 Buchanan Rezone from RC to CH

**PREPARED BY:** David Kittel, Community Development Director

**REPORT DATE:** 8/6/2020

**ADMINISTRATOR'S REVIEW/COMMENTS:** No Comments *JPF*

**EXPLANATION:**

1215 Buchanan street has been for sale by the previous occupant and owner Home Church for some time. Recently a potential buyer has approached the owner of this property to purchase and utilize as a Occupational Therapy type clinic specializing in sensory issues. Due to the current zoning this use is not allowed, and this property could only be utilized in a limited sense. This property is near the fringe of a residential area with properties just north of this being zoned CH. It is near County "OO" and would make sense for this property to be zoned CH. Changing the zoning would allow for the use as a Clinic, the current building/lot has the required parking for this use and would only require some minor remodeling for this use. The prospective buyers are willing to add a fence/plantings (arborvitae) to provide as a buffer between this lot and the neighboring lots. At this Time no property owners have contacted staff about any concerns. The proposed use would have a low traffic impact on the area and would be equivalent in many regards to the previous use of this property.

**RECOMMENDATION:**

Recommend the board approve of the rezoning of 1215 Buchanan from RC to CH provided:

- any residents concern that may come up can be addressed
- either a fence or plantings are placed on the border of the property



Date Received: 7/16/2020  
Receipt No. 11,021128  
Fee \$175

APPLICATION: ZONING CHANGE REQUEST FORM

To: Board of Trustees, Village of Little Chute, Outagamie County, WI

Applicant: HOPE CHURCH  
1215 BUCHANAN ST.  
LITTLE CHUTE, WI

Applicant named above, files herewith this Request for a change in Zoning of the following described property:

BUYER IS DOING OCCUPATIONAL THERAPY DEALING WITH  
SENSORY ISSUES, FOCUSING ON FINE MOTOR SKILLS, VISUAL &  
PERCEPTUAL SKILLS, CORE STRENGTH, BILATERAL COORDINATION  
AND SENSORY-MOTOR INTEGRATION.

Applicant herewith requests the Village Board to change zoning of the above-described property

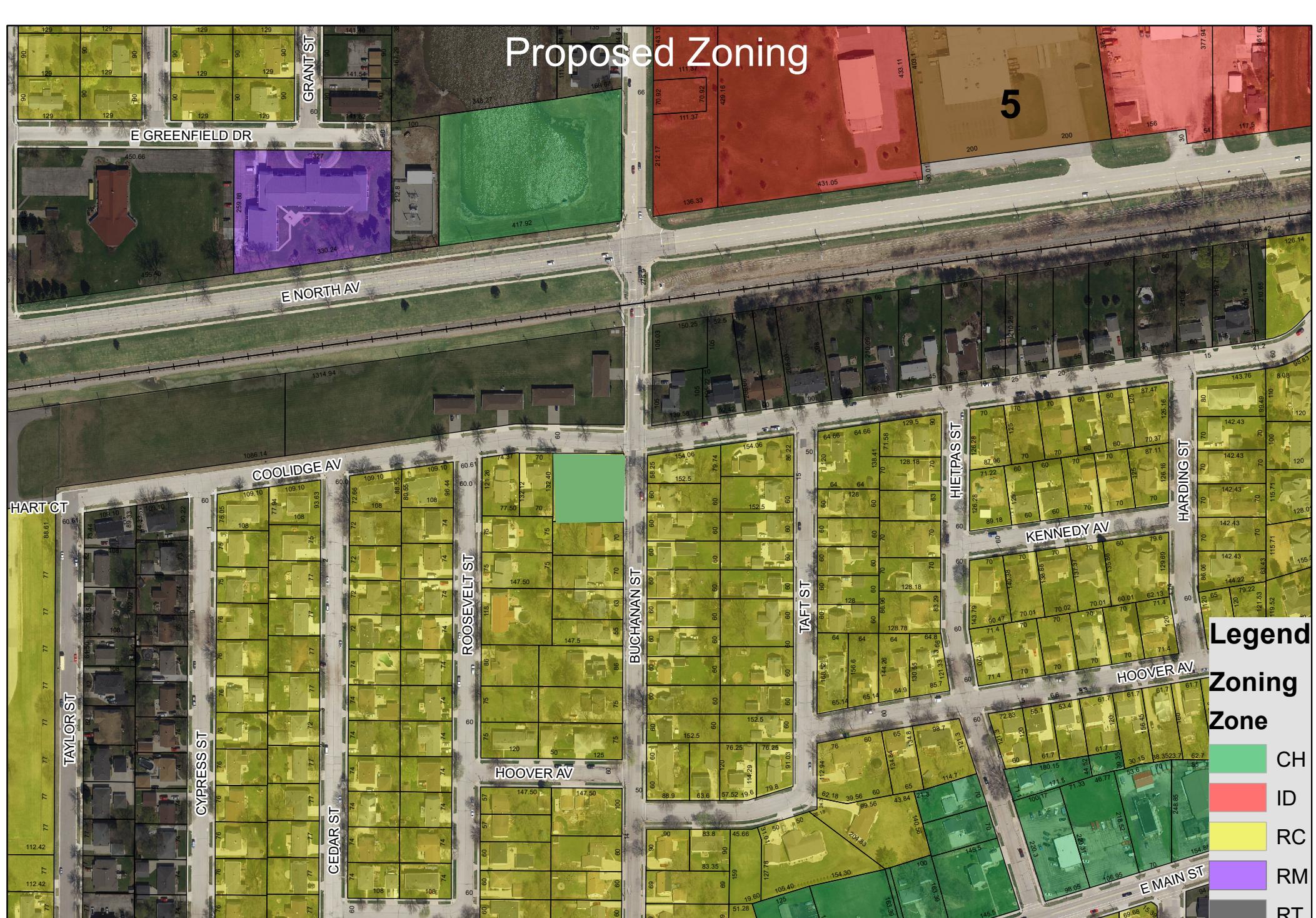
from: RESIDENTIAL BUSINESS District  
to: COMMERCIAL HIGHWAY District

Signed: B. Vaylo Dated: 7/15/2020

Attach a Scale Map (1" = 100') showing the area requested to be rezoned including all areas within 300 feet of the area requested. Attach a list of owners' names and addresses of all properties lying within 100 feet of the area proposed to be rezoned. Attach any documents the applicant may wish to include which may be of guidance or interest to the Village Board and Plan Commission.

(See reverse)

# Proposed Zoning



Village of Little Chute  
**REQUEST FOR Plan Commission Recommendation**

**ITEM DESCRIPTION:** Site Plan For Downtown Hotel

**PREPARED BY:** David Kittel, Community Development Director

**REPORT DATE: 8/6/2020**

**ADMINISTRATOR'S REVIEW/COMMENTS:** NO COMMENTS *JPF*

**EXPLANTION:**

The site plan for the Downtown Hotel is ready to go to through the final process of approval. Attached to this report is the updated site plan for the proposed Cobblestone Hotel. From the comments during the conditional use process the Developers have updated there plans to ensure the following was addressed:

- sight tight 6ft PVC(vinyl) type fence with proper landscape/10 ft buffer
- lighting not shining on Residential properties
- Fence not to block/hinder sight from any Residential driveways to road (safety)
- Fox Valley Metro Police review plan to address any safety concerns
- Fire department review plans to address any public safety concerns
- 5ft set back from sidewalk on west side

Please note that there was not an easement created for ingress/egress with Jets Pizza due to reworking the access to the Hotel. The new plan provides for ample access to the Hotel and no longer needs the additional access from the Jets Pizza parcel.

In addition, the dumpster area was moved to be away from the residential properties. Fox Valley Metro Police Department and the Fire Department have reviewed the plans to ensure this site will be safe and accessible to emergency vehicles. The exterior façade of the Hotel has gone to the Design Review Board (DRB) with the DRB adding a recommendation for a gable style roof line be added to the canopy as well as the "bump out" portions of the roof line and the portions where the stone goes to the roof line. Currently the Hotel façade is being worked on to comply with the recommendations of the DRB.

All comments from staff have been addressed with the only item remaining to be completed is a recorded easement for the stormwater.

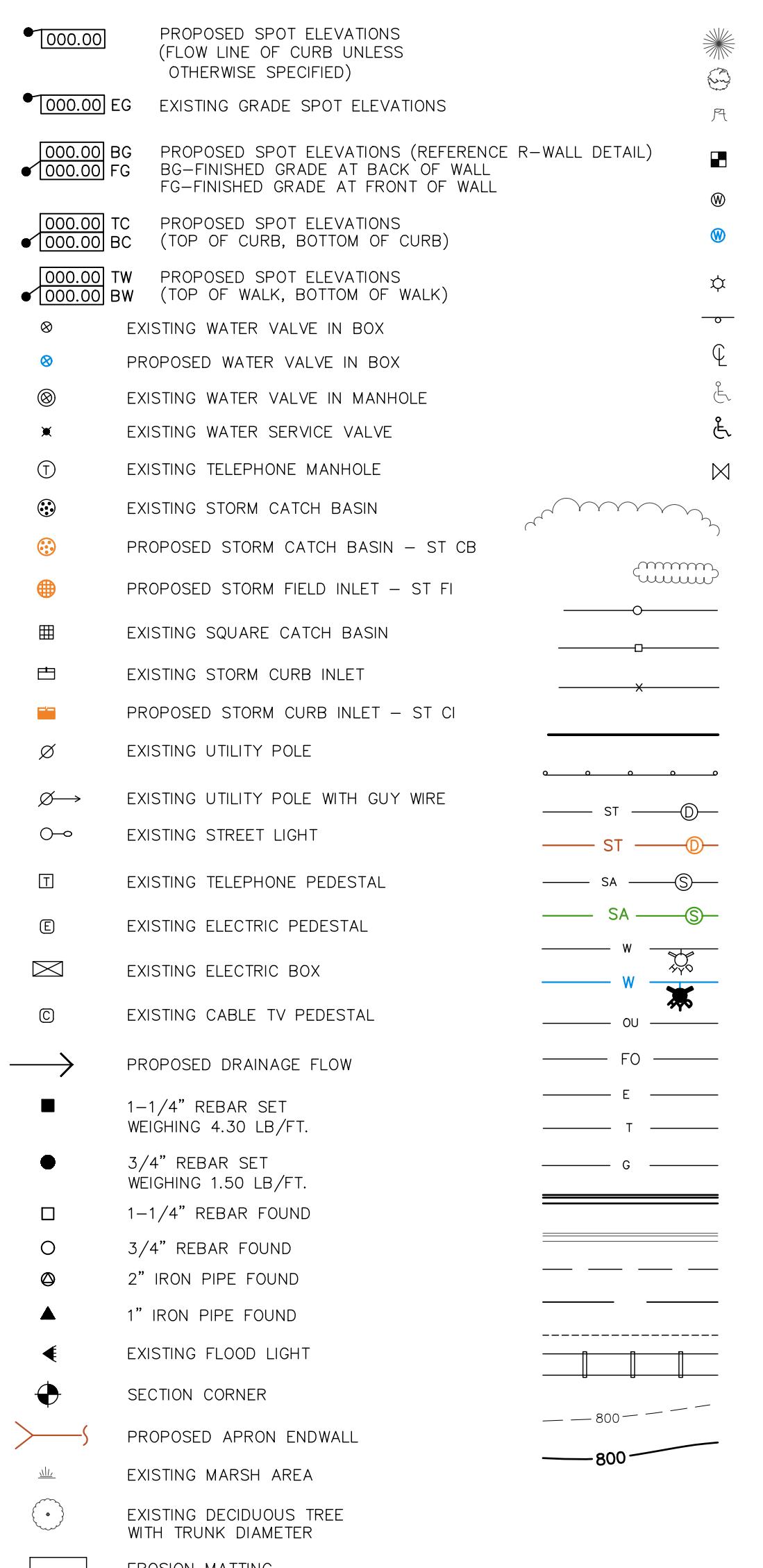
**RECOMMENDATION:**

To recommend the Village Board approves the site plan for the Hotel with conditions of:

- Stormwater Easement is to be recorded with the County
- The Façade is updated with the Design Review Boards recommendations

# PROPOSED HOTEL FOR: COBBLESTONE HOTEL AND SUITES LITTLE CHUTE, WISCONSIN

## LEGEND



## CIVIL SHEET INDEX

SHEET	SHEET TITLE
C0.1	CIVIL COVER AND SPECIFICATION SHEET
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS



## CONTACTS

OWNER
BRI-MARK BUILDERS, LLC 980 AMERICAN DRIVE CONTACT: STUART SELL P: (920) 955-3999 sell@bri-markbuilders.com
CIVIL
EXCEL ENGINEERING 100 CAMELOT DRIVE FOND DU LAC, WISCONSIN 54935 CONTACT: KURTIS GEIGER P: (920) 926-9800 F: (920) 926-9801 kurtis.g@excelengineer.com
VILLAGE WATER DEPT.
MIDWEST CONTRACT OPERATIONS, INC WATER DEPARTMENT 625 E EVERGREEN DRIVE LITTLE CHUTE, WISCONSIN 54140 CONTACT: JERRY VERSTEGEN P: (920) 858-7477 jerry@mco-us.com

VILLAGE DPW
VILLAGE OF LITTLE CHUTE DEPARTMENT OF PUBLIC WORKS 108 WEST MAIN STREET LITTLE CHUTE, WISCONSIN 54140 CONTACT: KENT TAYLOR P: (920) 423-3867 kent@littlechutewi.org

## DIVISION 31 EARTH WORK

### 31 10 00 SITE CLEARING (DEMOLITION)

A. CONTRACTOR SHALL CALL DIGGERS HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND ACTUAL CONDITIONS PRIOR TO DEMOLITION.

B. DEMOLITION SHALL BE OVERSIGHT OF DEMOLITION TO TAKE PLACE ON-SITE. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.

C. CONTRACTOR SHALL MAKE EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.

D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

### 31 20 00 EARTH MOVING

A. CONTRACTOR SHALL CALL DIGGERS HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND CONDITIONS PRIOR TO CONSTRUCTION.

B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRAVITY, TILL AND BACKFILL WORKS AS REQUIRED TO COMPLETE THE EXCAVATION. CONTRACTOR SHALL PROVIDE ALL EXCAVATION AND EQUIPMENT FOR ELECTRICAL, PLUMBING, AND TELECOM CONSTRUCTION OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.

C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILLED AREAS SHALL BE REMOVED. PROOF OF REMOVAL SHALL BE PROVIDED BY THE CONTRACTOR.

D. DEMOLITION PROCESS SHALL BE TREATED TO REMOVE DEBRIS PRIOR TO DISCHARGING OFF-SITE TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1068.

E. ALL EXCAVATION AND GRAVITY WORK, WHETHER CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORK DAY. DUST CONTROL REQUIREMENTS SHALL BE PROVIDED FOR PER WIDN TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHOT SHALL NOT BE ALLOWED.

F. CONTRACTOR SHALL PROVIDE ALL EXCAVATION AND GRAVITY WORK, WHETHER CONSTRUCTION WORK OR A STORM EVENT, DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.

G. EXCAVATION AND GRAVITY WORK, WHETHER CONSTRUCTION WORK OR A STORM EVENT, SHALL HAVE ESTABLISHED VEGETATIVE COVER.

H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.

I. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLANS, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WIDN GENERAL PERMIT.

J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL STABILIZATION.

### 31 30 00 LANDSCAPING AND SITE STABILIZATION

A. TOPSOIL - CONTRACTOR TO PROVIDE A MINIMUM OF 3" TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL, STOCKPILE ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF-SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ENOUGH PLACEMENT OF TOPSOIL TO WITHIN 1' OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACEMENT OF TOPSOIL ON ALL EXCAVATED AREAS. TEST RESULTS OF TOPSOIL TO BE PROVIDED TO DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE POUR, TEST DATE, TEST NUMBER, TEST CONDITIONS, TEST CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS, AND MATERIALS COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREATH FOR BOTH 7-DAY TESTS 28-DAY TESTS.

M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE POUR, TEST DATE, TEST NUMBER, TEST CONDITIONS, TEST CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS, AND MATERIALS COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREATH FOR BOTH 7-DAY TESTS 28-DAY TESTS.

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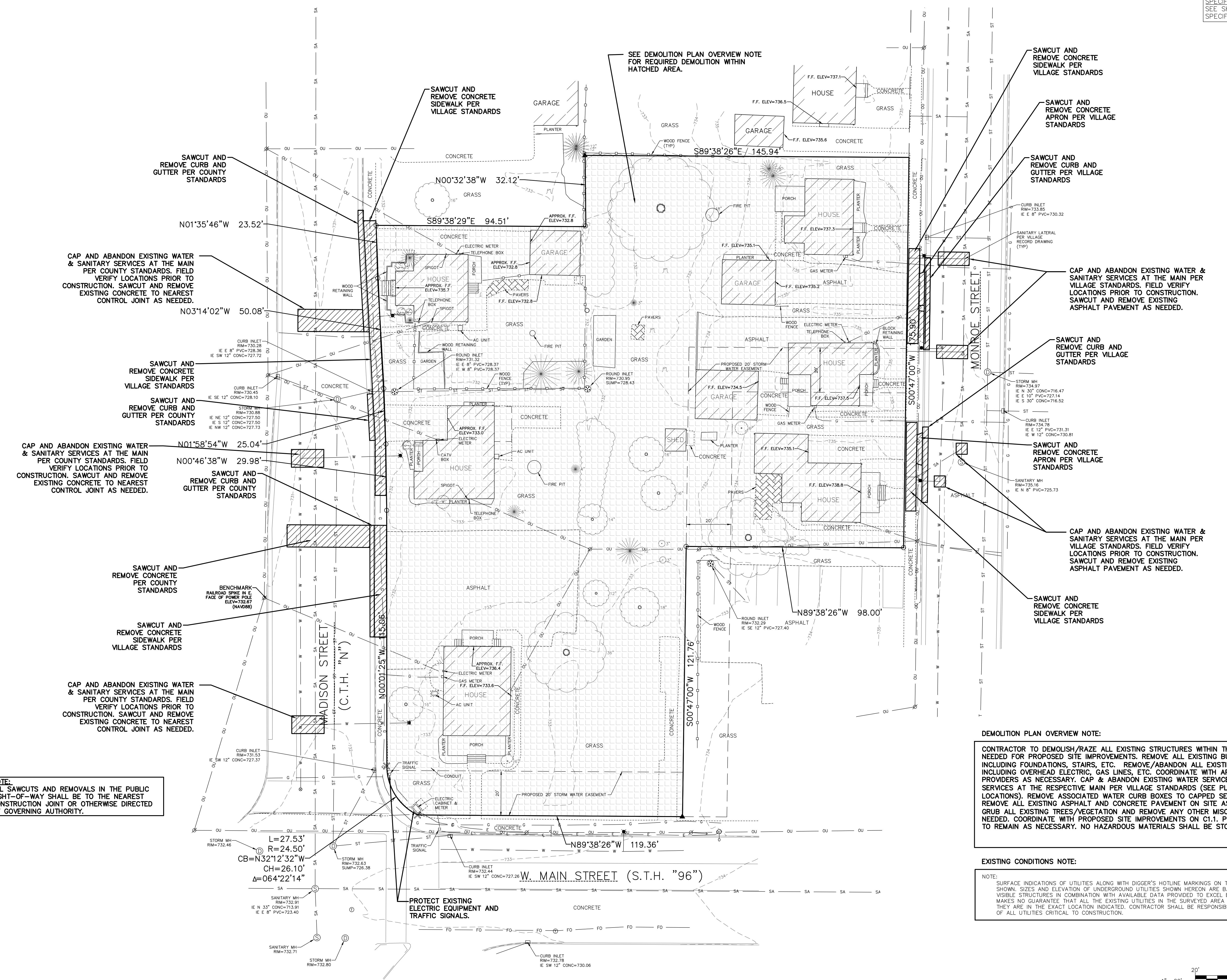
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# COBBLESTONE HOTEL AND SUITES

NEW HOTEL FOR:  
LITTLE CHUTE, WISCONSIN



DEMOLITION PLAN OVERVIEW NOTE:

CONTRACTOR TO DEMOLISH/RAZE ALL EXISTING STRUCTURES WITHIN THE PROPERTY LIMITS AS NEEDED FOR PROPOSED SITE IMPROVEMENTS. REMOVE ALL EXISTING BUILDING FEATURES INCLUDING FOUNDATIONS, STAIRS, ETC. REMOVE/ABANDON ALL EXISTING UTILITIES AS NEEDED INCLUDING OVERHEAD ELECTRIC, GAS LINES, ETC. COORDINATE WITH APPROPRIATE UTILITY PROVIDERS AS NECESSARY. CAP & ABANDON EXISTING WATER SERVICES AND SANITARY SERVICES AT THE RESPECTIVE MAIN PER VILLAGE STANDARDS (SEE PLAN FOR APPROXIMATE LOCATIONS). REMOVE ASSOCIATED WATER CURB BOXES TO CAPPED SERVICES. SAWCUT AND REMOVE ALL EXISTING ASPHALT AND CONCRETE PAVEMENT ON SITE AS NECESSARY. CLEAR AND GRUB ALL EXISTING TREES/VEGETATION AND REMOVE ANY OTHER MISCELLANEOUS ITEMS AS NEEDED. COORDINATE WITH PROPOSED SITE IMPROVEMENTS ON C1.1. PROTECT ITEMS SCHEDULED TO REMAIN AS NECESSARY. NO HAZARDOUS MATERIALS SHALL BE STORED ON SITE.

EXISTING CONDITIONS NOTE:

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH BIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HERON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 23, 2020

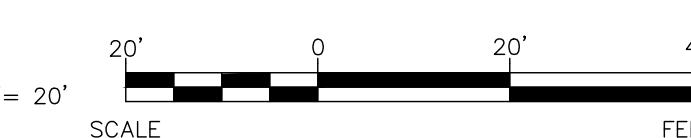
REVISIONS

JOB NUMBER

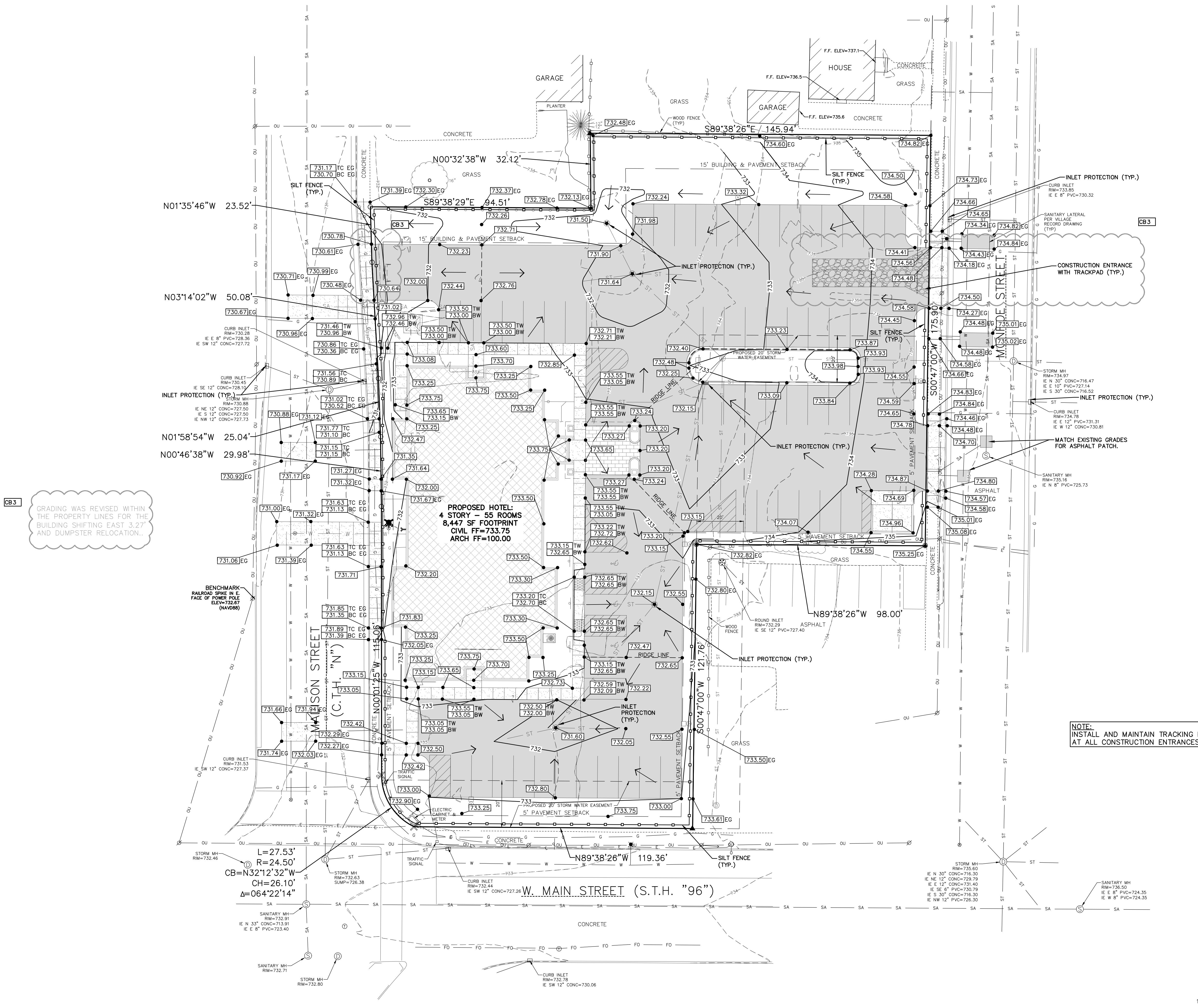
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SHEET NUMBER

C1.0





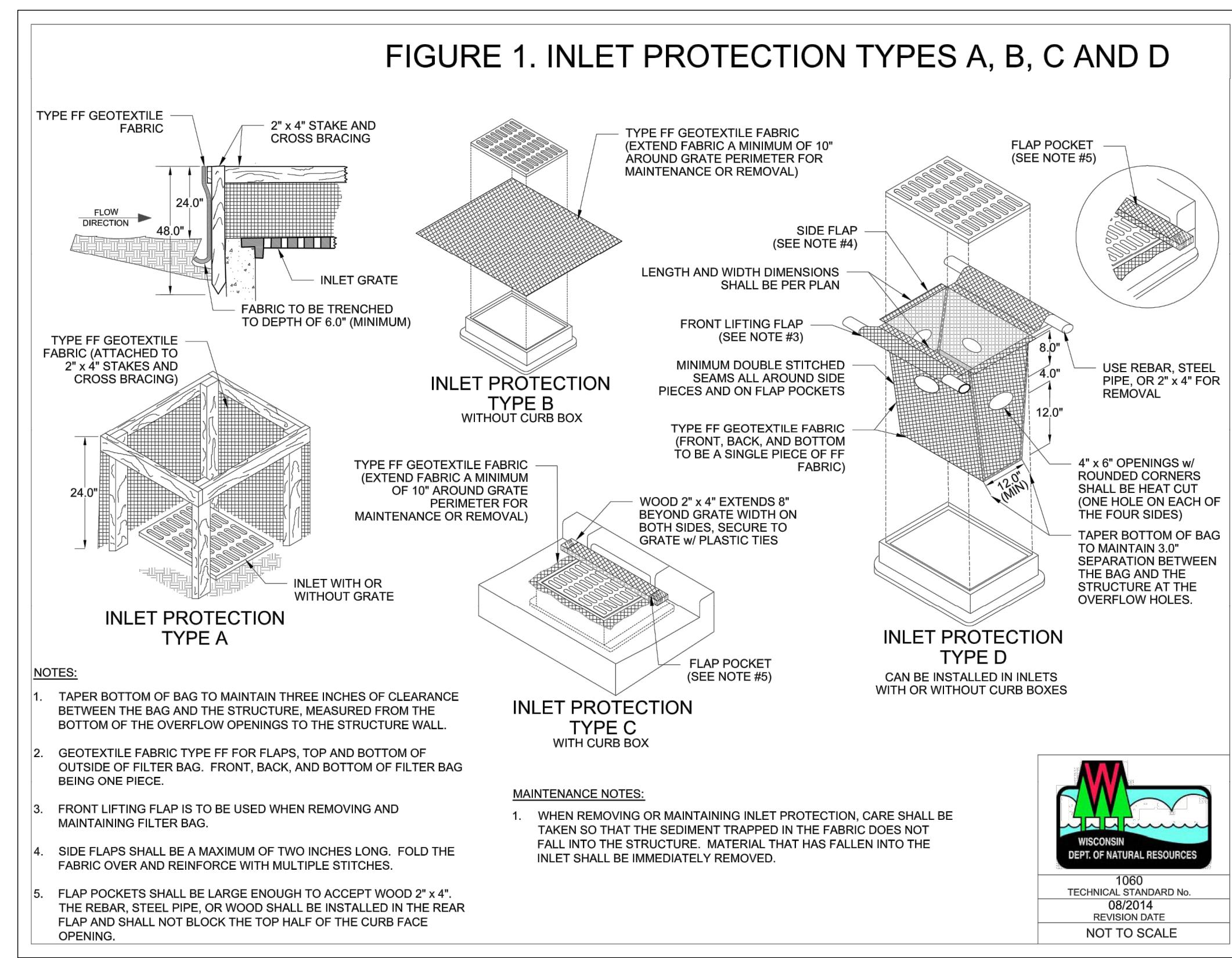


# CIVIL GRADING AND EROSION CONTROL PLAN

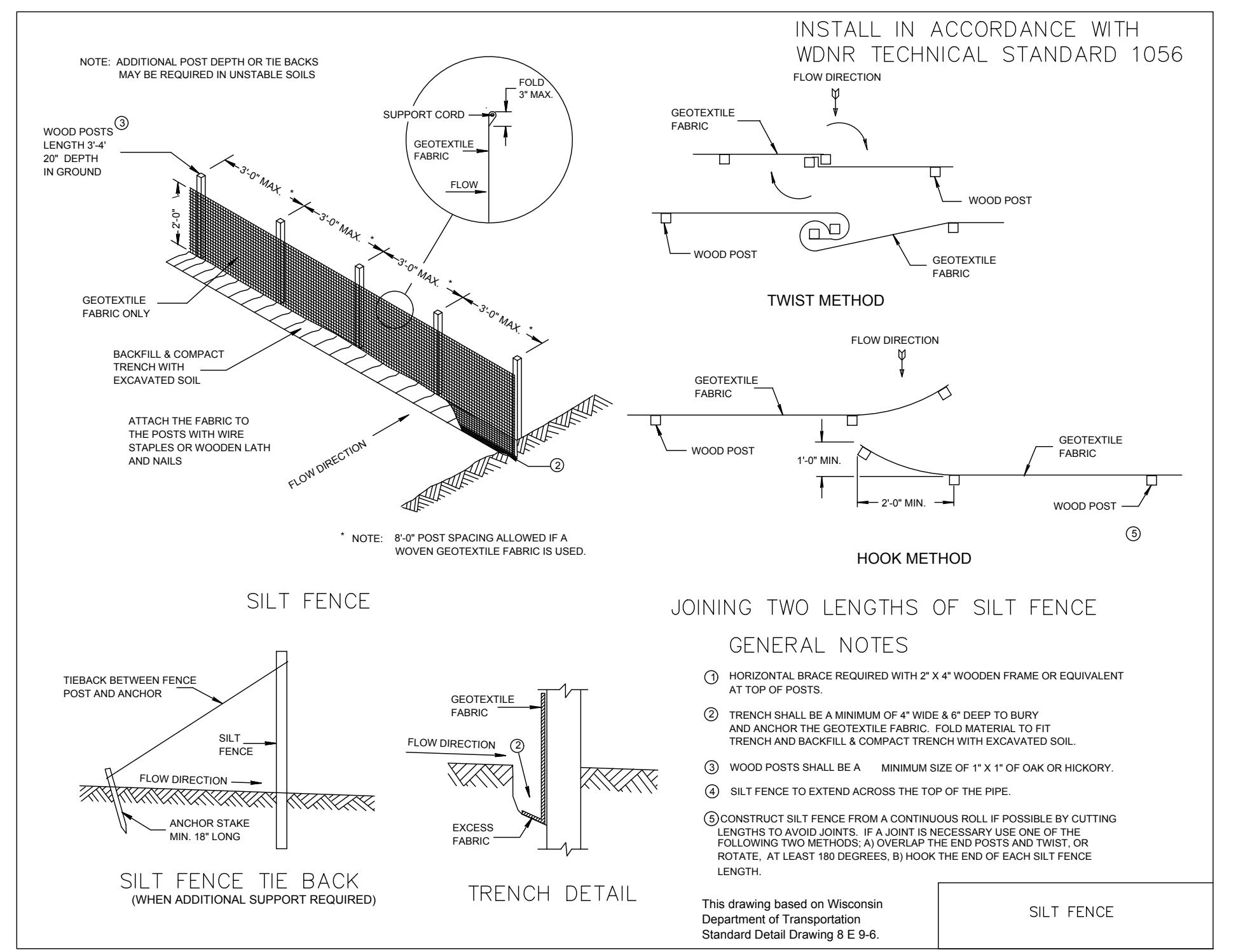




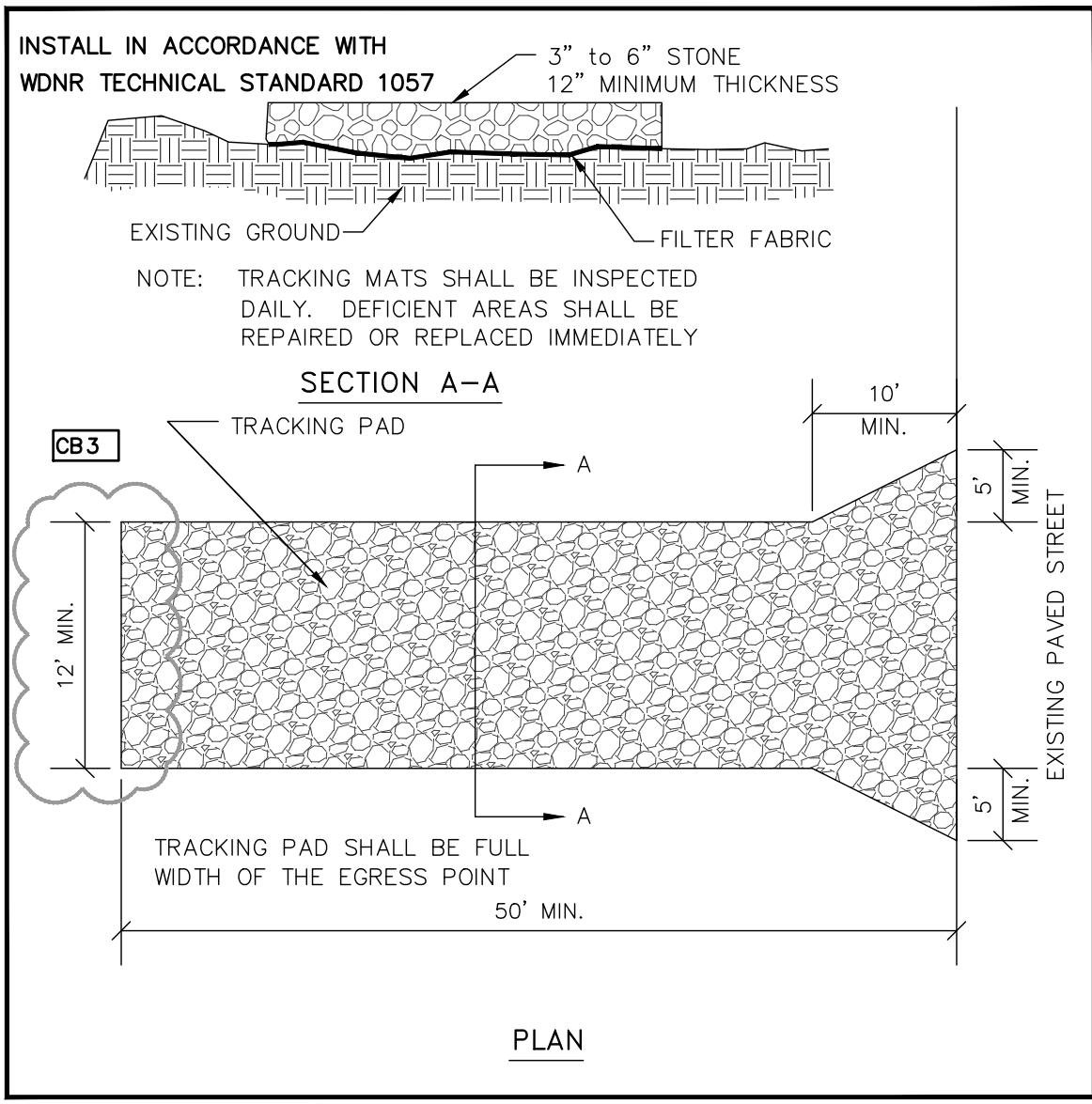




**INLET PROTECTION DETAIL**  
NO SCALE



**SILT FENCE – INSTALLATION DETAIL**  
NO SCALE



**TRACKPAD DETAILS**  
NO SCALE

**GENERAL NOTES**

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

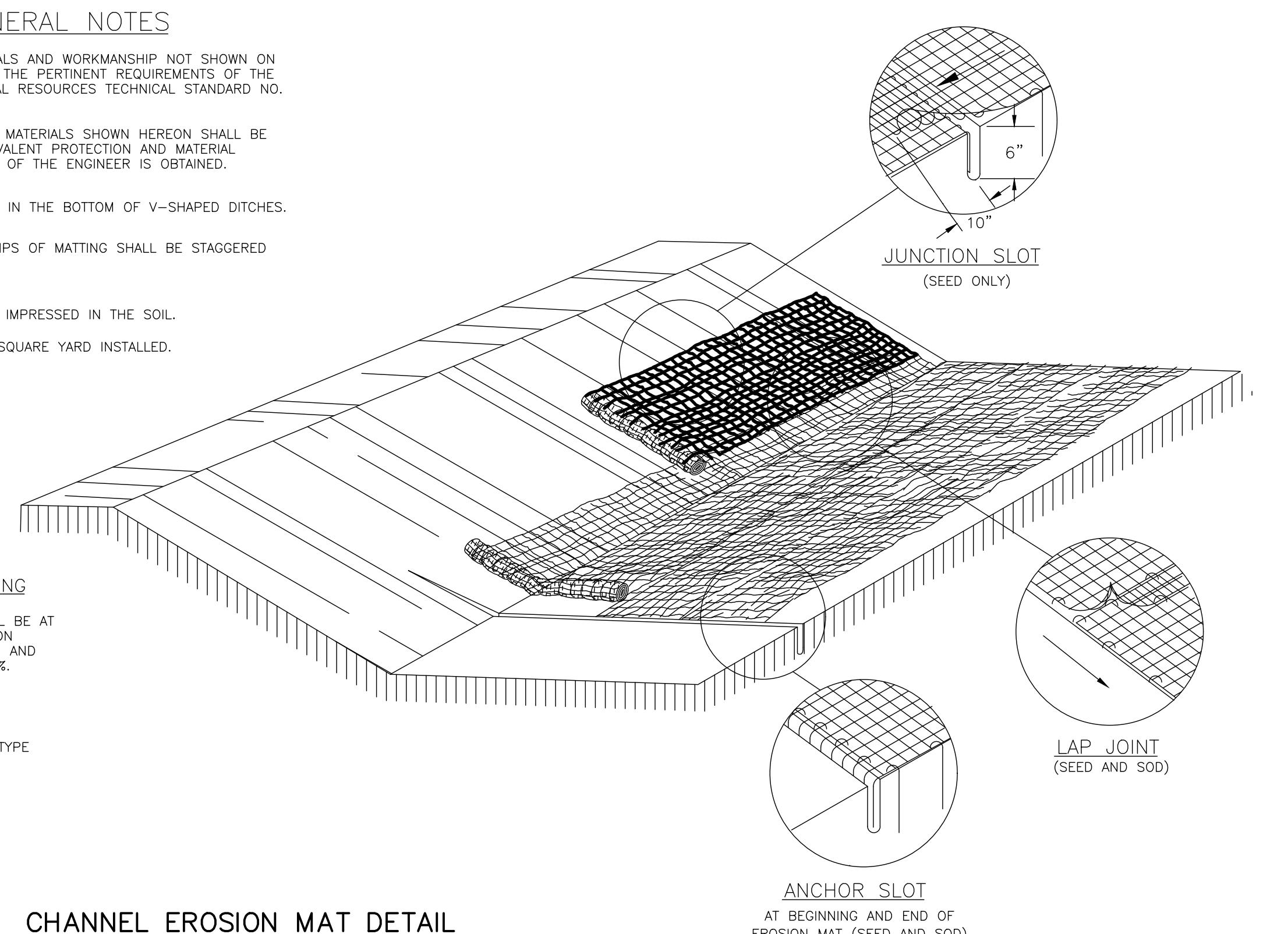
EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT SHALL PAYD BY THE SQUARE YARD INSTALLED.

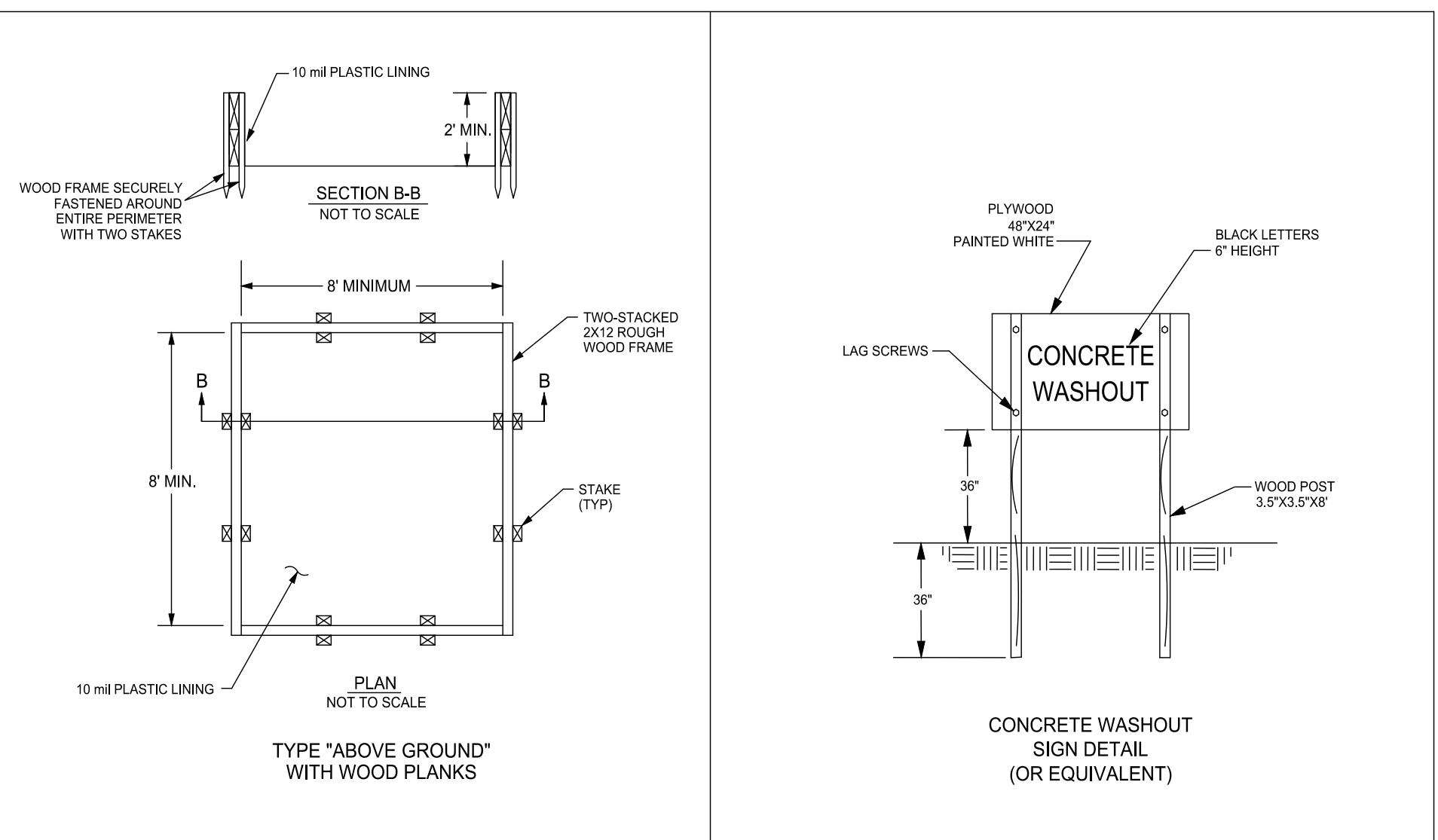
**EROSION MAT OVER SEEDING**

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3%, AND 50 FEET ON GRADES EXCEEDING 3%.

**NOTE:**  
SEE SPECIFICATIONS FOR MATTING TYPE



**CHANNEL EROSION MAT DETAIL**



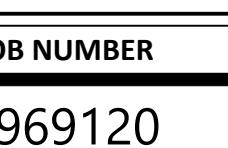
**CONCRETE WASHOUT DETAIL**  
NO SCALE



**SHEET DATES**

**SHEET ISSUE** JULY 2, 2020

**REVISIONS** CB3 JULY 24, 2020



**SHEET NUMBER**

**C2.1**

Village of Little Chute  
**REQUEST FOR PLAN COMMISSION RECOMMENDATION**

**ITEM DESCRIPTION:** Site Plan for North Evergreen Pond Homes

**PREPARED BY:** David Kittel, Community Development Director

**REPORT DATE: 8/6/2020**

**ADMINISTRATOR'S REVIEW/COMMENTS:** No Comments *JPF*

**EXPLENATION:**

The site plan for North Evergreen Pond Homes is entering into its final stages and ready to begin the approval process. This site will have 11 Duplexes (22 units) and a private road. The Village will maintain an easement to access the northern portion of the pond and a lift station. At this time comments have been sent out and are in the process of being addressed and are in concern with Unit 13 patio is encroaching on the rear set back along with some comments on drains, drain locations and general drainage of the site. All these issues will be corrected with new plans submitted. The road will be a private road, the Fire department has had reviewed to ensure they can properly access/ serve this development. Currently we are ensuring that all trash collection, snow removal, and mailing are addressed to prevent any possible future issues.

**RECOMMENDATION:**

For the Plan Commission to Recommend to the Village Board approval of the site plan for North Evergreen Pond Homes with conditions of:

- All staff comments are addressed
- All Village ordinances are met or exceeded

**VILLAGE OF LITTLE CHUTE  
SITE PLAN REVIEW APPLICATION**

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS  
APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS W. EVERGREEN DR., LITTLE CHUTE, WI 54913

LEGAL DESCRIPTION \_\_\_\_\_

SW 1/4 SEC 8, T 21 N, R 18 E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

PROPERTY OWNER(S) Kurt Coenen TELEPHONE (920) 858-7276

ADDRESS/ZIP 3117 E. Canvasback Appleton, WI 54913 FAX \_\_\_\_\_

APPLICANT Davel Engineering and Environmental, Inc.

CHECK:  Architect  Engineer  Surveyor  Attorney  Agent  Other

ADDRESS 1164 Province Terrace TELEPHONE (920) 560-6563

CITY/ZIP Menasha, WI 54952 FAX (920) 441-0804

DESCRIBE IN DETAIL THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY \_\_\_\_\_

Multi-family (Duplex) Housing

GROUND FLOOR ELEVATION \_\_\_\_\_ LOT SIZE \_\_\_\_\_ FLOOR AREA \_\_\_\_\_

NUMBER OF STORIES IN BLDG \_\_\_\_\_ BASEMENT X YES \_\_\_\_\_ NO BUILDING HEIGHT \_\_\_\_\_

TOTAL CURRENT EMPLOYEES NA EMPLOYEES ADDED BY EXPANSION NA

IMPERVIOUS SURFACE COVERAGE SQ. FT 33,391 # OF PARKING SPACES 88

I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND  
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE

*John Coenen, Agent* DATE 7/14/2020

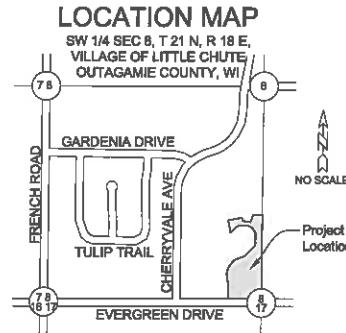
44-387(f)	Site plan review fee	\$300.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

*Reasonable accommodations for persons with disabilities will be made upon request and if feasible.*

# North Evergreen Pond Homes

Village of Little Chute, Outagamie County, WI  
For: Kurt Coenen



## Project Information

### Site Information

Evergreen Drive, Little Chute, WI 54913  
CSM 7275, LOT 2  
Tax ID #280441203  
Current Use: Vacant  
Proposed Use: Multi-Family (Duplex) Housing

### Site Areas

Proposed Impervious Area	77,391 sf (35.5%)
Proposed Concrete/Driveways	15,223 sf (7.45%)
Proposed Asphalt Roadway	22,467 sf (10.32%)
Proposed Building Footprint	38,701 sf (17.77%)
Lawn and Landscaping	140,409 sf (64.5%)
Total Site Area	217,800 sf (5 Acres)

Building Unit Total = 22 Units

### Notes:

- Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version.
- See Drainage & Grading Plan, sheet 1.2, for flow directions.
- Work within Village right of way shall be in conformance with Village requirements.

### Owner / Developer:

Kurt Coenen  
3117 East Canvasback Drive  
Appleton, WI 54913  
Phone: (920) 856-7276  
Email: kurtcoenen1@gmail.com

### SHEET INDEX:

Sheet	Page
Sewer & Water Cover Sheet	1.0
Topographic Survey	1.1
Drainage and Grading Plan	1.2
Utility Plan Sheet	1.3
Erosion & Sediment Control Plan	1.4
Landscape Plan	1.5
Construction Details	2.1
Construction Details	2.2
Plan & Profile: Alignment 1 - Sta 0+00 to 12+00	3.1
Plan & Profile: Alignment 2 - Sta 0+00 to 12+00	3.2

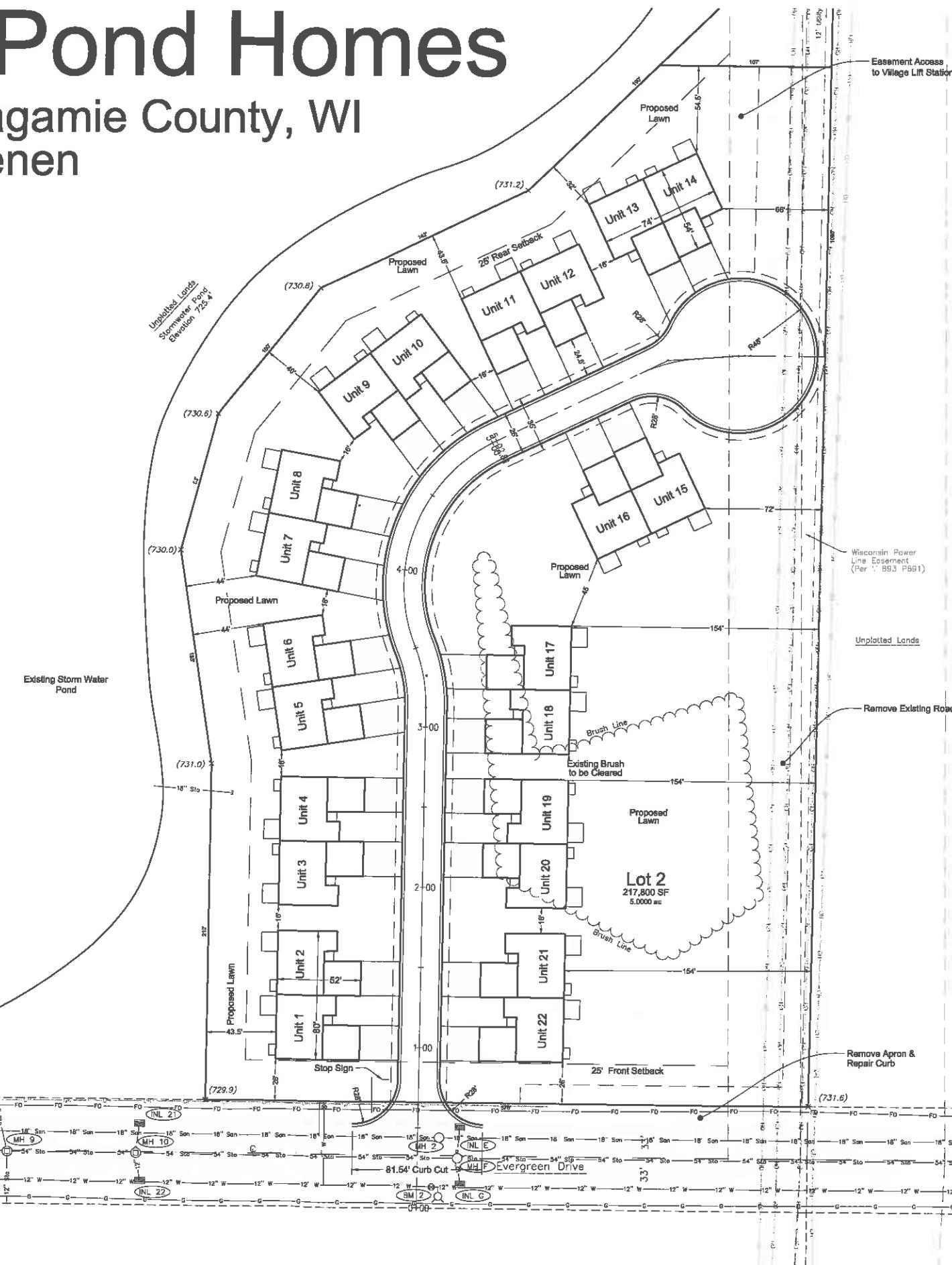
## SITE PLAN

DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: (920) 991-1886 Fax: (920) 441-0804  
www.devel.pro

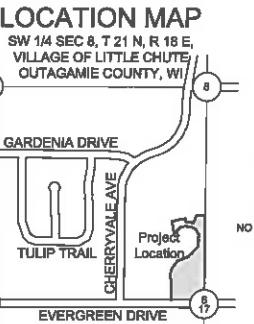
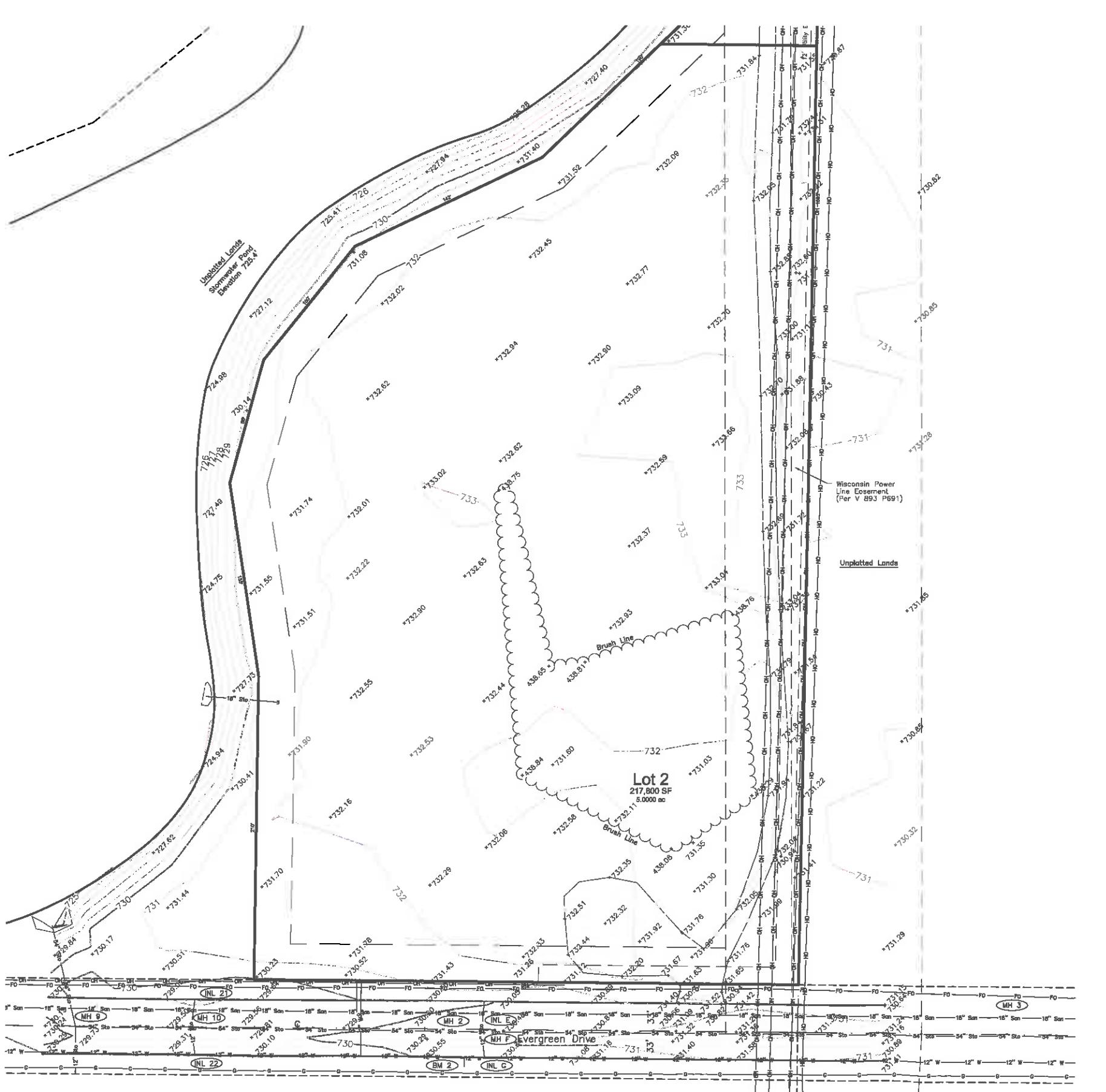
Project Number: 6112  
July 15, 2020

### LEGEND

CATV	CATV	Underground Cable TV
FO	FO	Underground Fiber Optic
—	—	Overhead Electric Lines
Utility Guy Wire		
—	—	Storm Sewer
—	—	Storm Sewer
—	—	Underground Electric
—	—	Underground Gas Line
—	—	Underground Telephone
—	—	Water Main
—	—	Fence - Steel
—	—	Fence - Wood
—	—	Fence - Barbed Wire
Wetlands		
Railroad Tracks		
Culvert		
Index Contour		
Intermediate Contour		
Proposed Storm Sewer		
Proposed Sanitary Sewer		
Proposed Water Main		
Proposed Contour		
Proposed Swale		
Proposed Culvert		
608		
Proposed Sanitary Manhole		
Proposed Storm Manhole		
Proposed Curb Inlet		
Prop. Catch Basin / Yard Drain		
Proposed Reducer		
Proposed Plug		
Proposed Water MH		
Proposed Tee		
Proposed Endwall		
Proposed Cross		
Proposed Hydrant		
Proposed Valve		
Proposed Curb Stop		
Proposed Culvert		
Proposed Catchout		



# TOPOGRAPHIC SURVEY



## CSM 7275, Lot 2

Village of Little Chute, Outagamie County, WI  
For: Kurt Coenen

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

Date: 07/16/2020  
File Name: 6112Topo.dwg  
Author: AMP  
Last Saved by: jennifer  
Page C.1.1

Storm Structures					
Structure #	Rim	Inv	Size	Material	Direction
MH A	723.76	722.26	54"	RCP	N
		722.26	54"	RCP	E
INL B	722.82	725.08	14"	RCP	S
MH C	725.47	722.67	54"	RCP	W
		722.67	54"	RCP	E
INL D	729.12	725.30	12"	RCP	N
INL E	728.55	726.16	12"	RCP	S
MH F	730.49	723.14	54"	RCP	W
		723.14	54"	RCP	E
INL G	731.23	726.31	12"	RCP	N

Sanitary Structures					
Structure #	Rim	Inv	Size	Material	Direction
MH 1	723.26	711.11	18"	PVC	W
		711.11	18"	PVC	E
MH 2	730.09	710.48	12"	PVC	W
		710.48	18"	PVC	E
MH 3	733.32	710.14	15"	PVC	W
		710.14	18"	PVC	E

### BENCHMARKS (NAVD88)

BM 1 NGS Monument (DE7759)  
East R/W of Holland Road  
Elev 726.82

BM 1 Nail in Westery of 2 Power Poles  
±700' N of Evergreen Drive  
Elev 732.82

BM 2 Fire Hydrant, Tag Bolt  
Southerly R/W of Evergreen Drive  
Elev 730.57

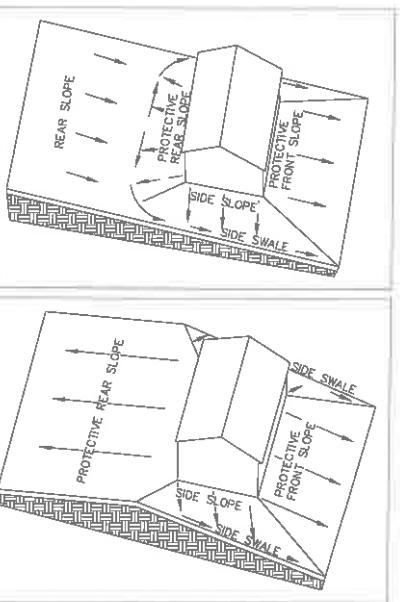
40 0 40 80 120

# DRAINAGE & GRADING PLAN

North Evergreen Pond Homes  
Village of Little Chute, Outagamie County, WI

For: Kurt Coenen

Date: 07/15/2020  
File Name: 6112eng.dwg  
Author: JRD  
Last Saved by: jennifer  
Page 1.2

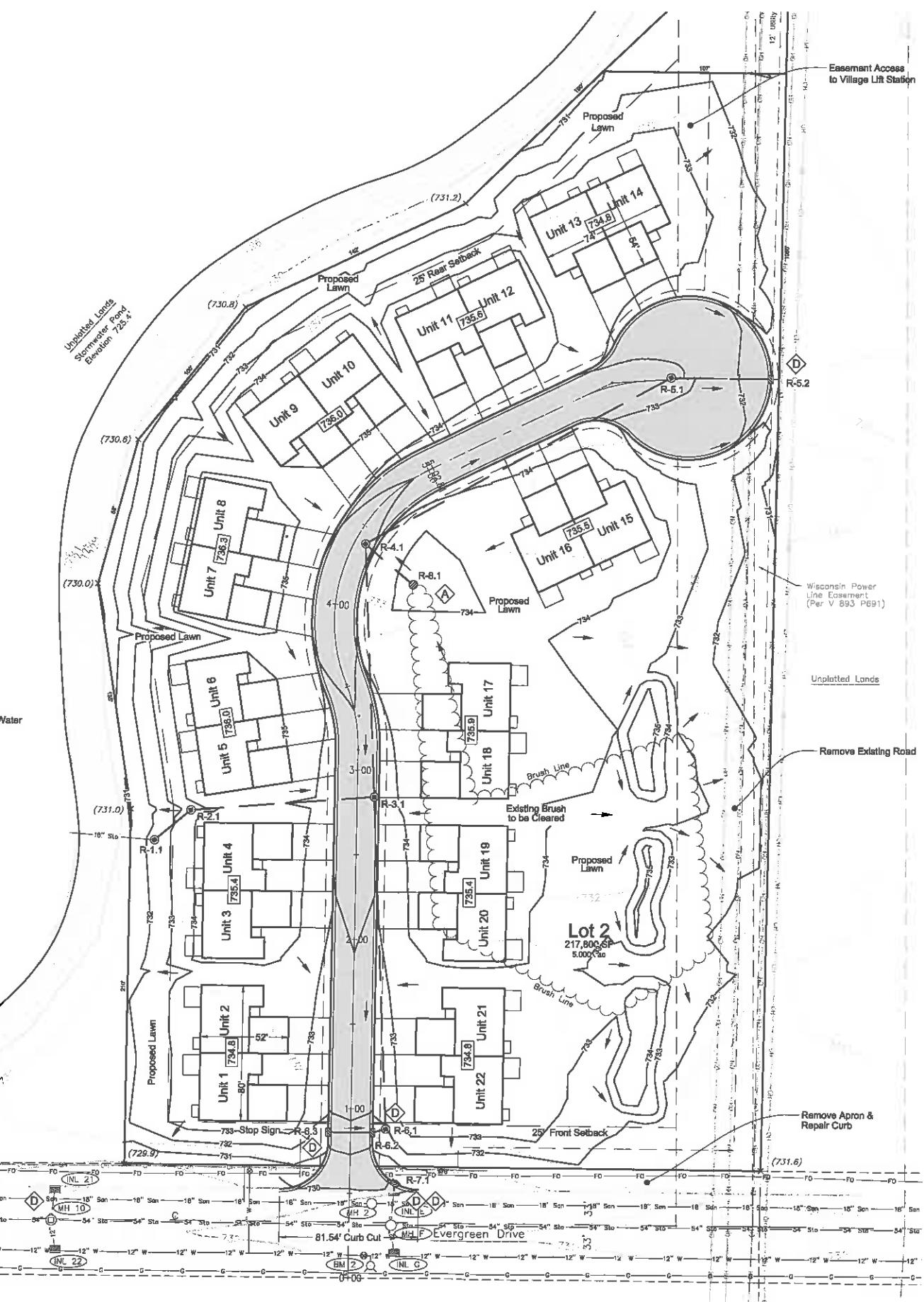


## HOUSE ELEVATIONS:

The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.

## NOTES:

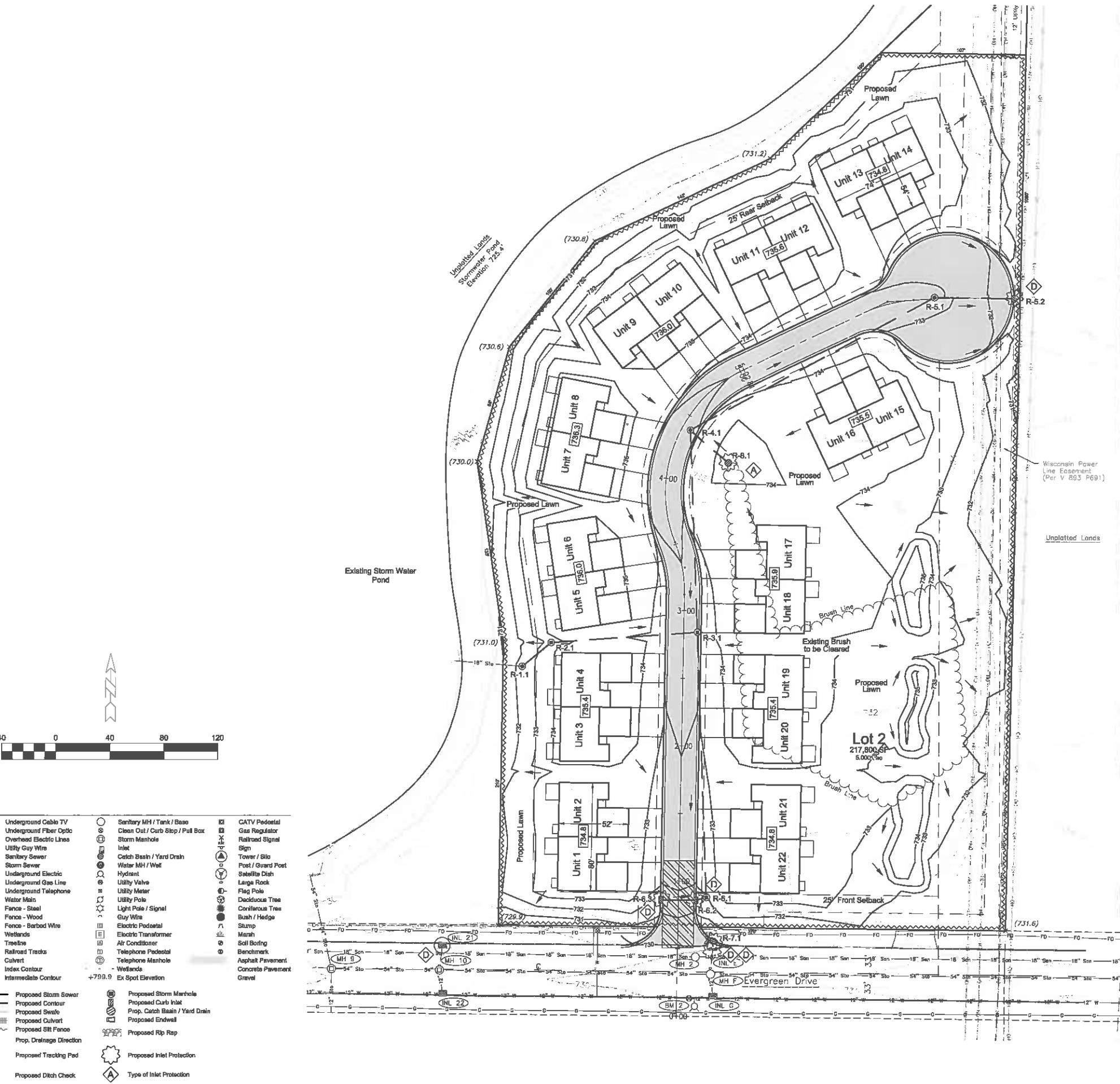
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed area shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.



# EROSION & SEDIMENT CONTROL PLAN

NOUVEAU VÉGÉTAL FLU Natives  
Village of Little Chute, Outagamie County, WI  
For: Kurt Coenen

5/2020  
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### Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

1) Diverting Flow  
a) Temporary Diversion - Intended to divert runoff to the storm water pond, which will serve as a sediment basin during the construction phase of the project. The swales and berms along the south boundary will be a temporary and permanent diversion. Other temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. There are no temporary diversions proposed with this project. All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.

2) Overland Flow  
a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056. It will be placed at the following locations:  
i) along the site boundary where runoff will leave the site;  
ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.

b) Sediment Bale Barrier - Intended to intercept and detain small amounts of sediment from construction operations to prevent sediment from leaving the site. Sediment Bale Barriers are not to be used in areas of channelized flow. All Sediment Bale Barriers shall be installed and maintained in accordance with DNR Technical Standard 1055. Sediment Bale Barriers may be used in place of silt fences around soil stockpiles.

c) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1068. In addition to mulching, Erosion Mat is required per plan where slopes are 4:1 or greater with installation per manufacturer specifications.

d) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1058. Seed mixture 40 (per WSDOT Specifications, Section 830) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15<sup>th</sup>. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1<sup>st</sup>. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.

3) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.

4) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. A tracking pad shall be installed and maintained in accordance with DNR Technical Standard 1057. A tracking pad will be constructed at the site entrance as indicated on the plan.

5) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068. These methods include the use of polymers, seeding, and mulch.

6) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061.

Dewatering BMP (if required) - Intended to reduce the amount of sediment conveyed as a result of dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061. If dewatering is required, the contractor will need to direct the discharge to the storm water pond.

7) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

### Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Flag work limits. **August 2020**.
- 3) Install all erosion control measures. **August 2020**.
- 4) Strip topsoil from street right of ways. Use topsoil to build landscape permanent and temporary berms along south and east property line. Stabilize swales, berms and any other topsoil stockpiles in accordance with the appropriate WDNR Technical Standard, temporary seeding is required on all disturbed soils if conditions allow. **September 2020**.
- 5) Install sanitary sewers, water mains, and storm sewers. **August 2020**
- 6) Excavate, filling and grading for gravel roads. **August 2020-September 2020**.
- 7) Install gas and electric facilities. **September 2020**.
- 8) Restore and stabilize terrace and easement areas no later than one week after final grade is established. No later than September 15, 2020. Temporary seeding will be required for disturbed areas that cannot be properly seeded with a permanent seed mix in 2019 growing season.
- 9) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be used to maintain vegetation until permanent measures are in place.

Note: The dates provided are approximate for proposed construction and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

## Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure.

In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove all fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construct and maintain roads, trails, and landings in accordance with the approved design.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C of the Erosion and Sediment Control Plan (report) or visit <http://dnr.wi.gov/uno/stormwater/consforms.htm> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, the Village of Little Chute, or the Wisconsin Department of Natural Resources.

## Department of Natural Resources Responsible Parties

## **Best Management Practices (BMPs) Construction and Maintenance:** The Construction and Maintenance of BMPs

## Inspection and Compliance Enforcement

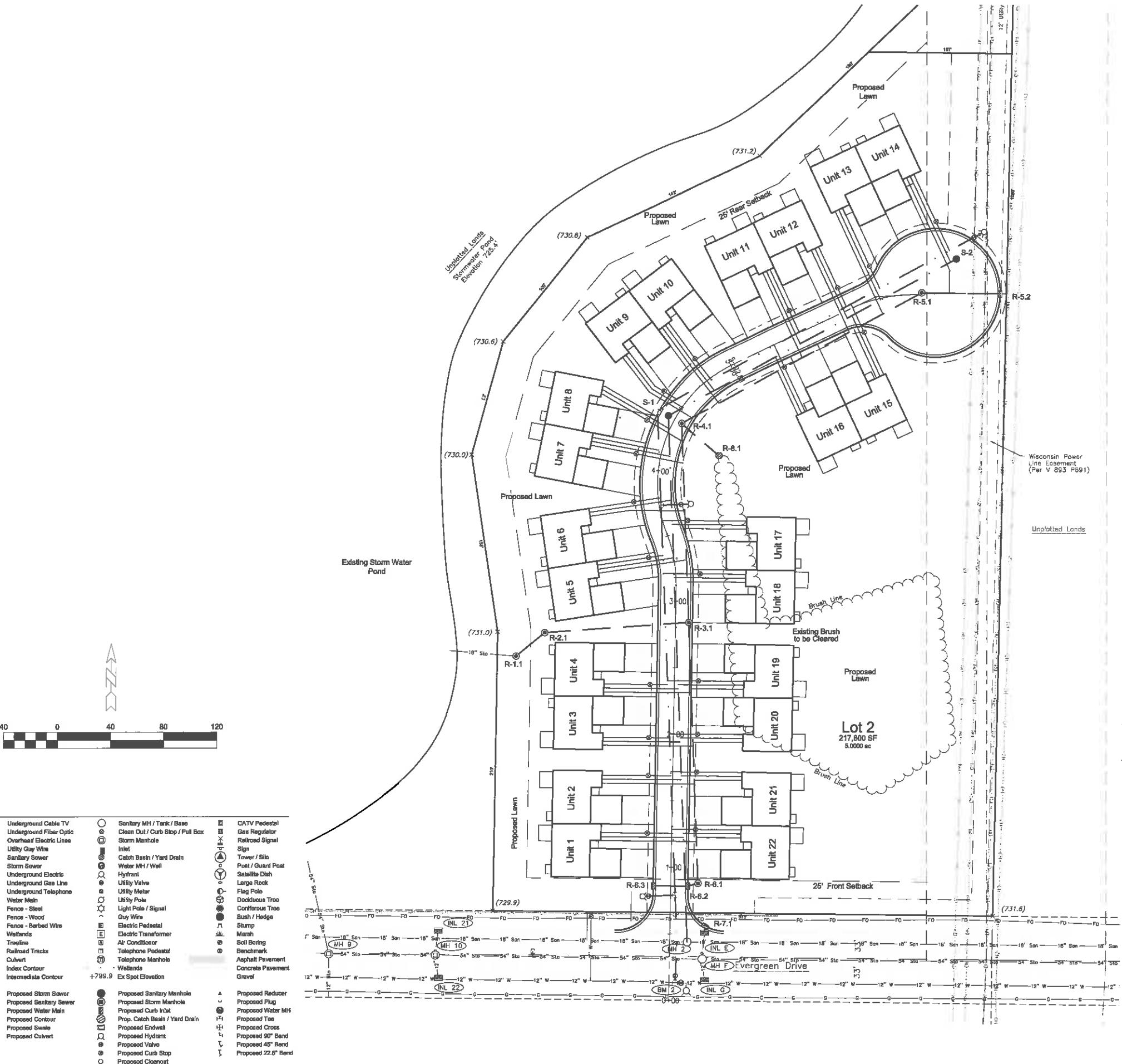
**Inspection and Compliance Enforcement**  
**Village of Little Chute**  
**Wisconsin Department of Natural Resources.**

## UTILITYPLAN

# North Evergreen Pond Homes Village of Little Chute, Outagamie County, WI

For: Kurt Coenen

7/15/2020  
112eng.dwg  
Saved by:  
nifer



## LEGEND

CATV	CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	CATV Pedestal
FO	FO	Underground Fiber Optic	○	Clean Out / Curb Stop / Pull Box	□	Gas Regulator
OH	OH	Overhead Electric Lines	○	Storm Manhole	○	Retrofitted Signal
Utility Guy Wire			○	Inlet	+	Sign
Sanitary Sewer			○	Catch Basin / Yard Drain	△	Tower / Silo
Storm Sewer			○	Water MH / Well	○	Post / Guard Post
Underground Electric			○	Hydrant	○	Sanitary Dish
Underground Gas Line			○	Utility Valve	○	Large Rock
Underground Telephone			○	Utility Meter	○	Flag Pole
Water Main			○	Utility Pole	○	Deciduous Tree
Fence - Steel			○	Light Pole / Signal	○	Coniferous Tree
Fence - Steel			○	Guy Wire	○	Bush / Hedge
Fence - Wood			○	Electric Pedestal	△	Stump
Fence - Barbed Wire			○	Electric Transformer	△	Marsh
Wetlands			○	Air Conditioner	○	Soil Boring
Tresline			○	Telephone Pedestal	○	Benchmark
Railroad Tracks			○	Telephone Manhole	○	Asphalt Pavement
Culvert			○	- Wetlands	+	Concrete Pavement
Index Contour			+799.9	Ex Spot Elevation		Gravel
Intermediate Contour						
Proposed Storm Sewer			○	Proposed Sanitary Manhole	△	Proposed Reducer
Proposed Sanitary Sewer			○	Proposed Storm Manhole	○	Proposed Plug
Proposed Water Main			○	Proposed Curb Inlet	○	Proposed Water MH
Proposed Contour			○	Prop. Catch Basin / Yard Drain	○	Proposed Tee
Proposed Swale			○	Proposed Endwall	○	Proposed Cross
Proposed Culvert			○	Proposed Hydrant	○	Proposed 90° Bend
608			○	Proposed Valve	○	Proposed 45° Bend
			○	Proposed Curb Stop	○	Proposed 22.5° Bend
			○	Proposed Cleanout	○	

**NOTES:**

1. The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
2. Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
3. Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and the 2018 Special Provisions of the Harrison Utilities.
4. Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Little Chute.
5. Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.
6. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
7. The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.
8. The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
9. The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
10. The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.
11. Pipe lengths are measured to center of structure. Endwalls are included in pipe length.
12. Water Pipe shall be PVC C900 D18, with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).
13. Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).
14. Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10(a).
15. Sanitary Internals shall be 4"2 PVC Sch. 40, Installed at 140<sup>o</sup> per foot; water Internals shall be 150<sup>o</sup> HDPE.

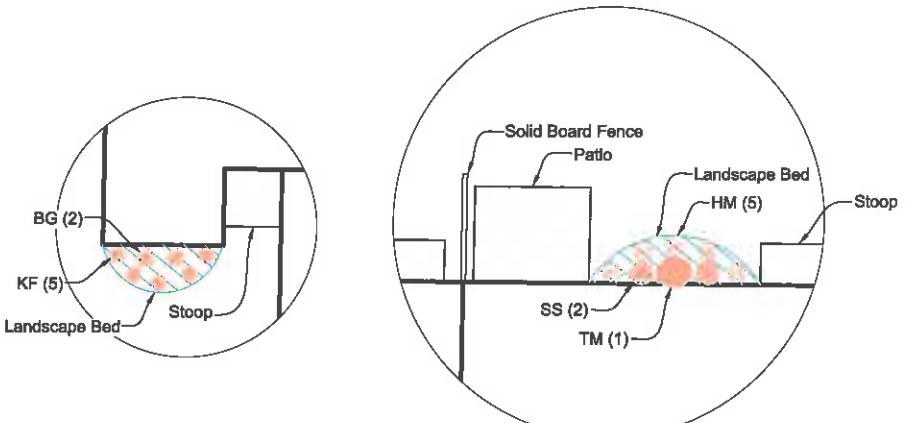
# LANDSCAPE PLAN

North Evergreen Pond Homes  
Village of Little Chute, Outagamie County, WI

For: Kurt Coenen

Date: 07/15/2020  
File Name: 6112eng.dwg  
Author: JRD  
Last Saved by: jennifer  
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Plant Schedule				
I.D.	Common Name	Latin Name	Planting Size	Qty.
<b>TREES</b>				
PG	White Spruce or Colorado Blue Spruce	Picea glauca / Picea pungens	Refer Note 3	8
TC	Eastern Hemlock	Tsuga canadensis	Refer Note 3	10
PN	Austrian Pine or Eastern White Pine	Pinus nigra / Pinus strobus	Refer Note 4	8
RL	Redmond Linden	Tilia americana 'Redmond'	Refer Note 4	6
<b>SHRUBS</b>				
SS	Spirea	Spirea Variety	#3	44
TM	Dense Spreading Yew	Taxus x media 'Densiformis'	#5	22
<b>PERENNIALS &amp; GRASSES</b>				
KF	Feather Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	#1	110
HM	Hosta	Hosta Variety	#1	110
BG	Buxus 'Green Velvet'	Green Velvet Boxwood	#3	44



FOUNDATION DETAIL A

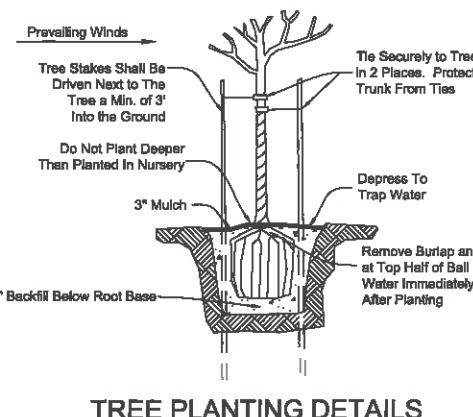
FOUNDATION DETAIL B

## Landscape Notes:

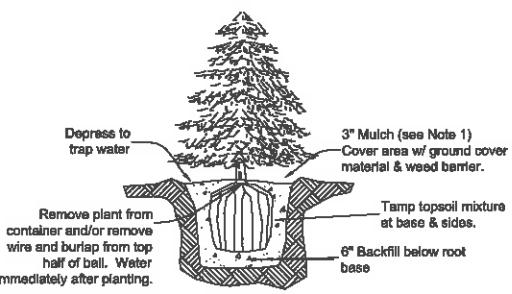
1. Trees: All Trees to be staked. Trees in turf area or seeded area to have 3" dia. circle of shredded hardwood mulch at 3" depth and shovel cut edge separating mulch from lawn area.
2. Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of Village acceptance.
3. Evergreen Trees shall be minimum 72-inch height at time of planting.
4. Canopy Trees shall be minimum 2-inch dia. measured six inches from the ground at time of planting.
5. Species may be substituted pending local nursery stock.
6. Lawn: Per rates and areas listed on the erosion control plan. Seed areas installed on 5" min. fertile topsoil. Loosen subgrade, remove stones, sticks, grasses, and other extraneous materials. Fertilize using commercial grade started fertilizer, non phosphorus at 1# per 1000 sf. Straw mulch, clean mulch and seed free, or threshed straw of wheat, rye, or oats. Plant during non-freezing weather. Per seed mixture and rates with straw mulch or matting per areas on the erosion control plan.
7. See Erosion & Sediment Control Plan for erosion mat locations.
8. Maintenance: For in-water plantings, the greatest maintenance concern should be the early detection and removal of clonal, exotic species, and protection from goose herbivory. During the first 2 years of establishment, the in-water plantings should be visited at least once during the early summer to determine if species such as narrow-leaf cattail (*Typha angustifolia*) are present. If detected, these species should be removed manually or treated with herbicide. Goose herbivory can be greatly reduced by installing goose fence or some other form of protection around the pond. Several methods of goose protection exist, and generally all of them are successful at reducing or eliminating goose herbivory. Regardless of the type of goose protection implemented, the site should be visited at least on a monthly basis from May through November to ensure the goose protection is not damaged and to ensure it is working satisfactorily. Following the third year, the in-water zone should require little to no maintenance.
9. Landscape Barriers:
  - a. 3:1 max. slope, height 2-4' depending on amount of excess soil
  - b. Plant with no-mow fescue (includes east & property line)

## Lighting Plan Notes:

1. The pole mounted fixture shall be a McGraw-Edison Galileo LED
2. Exterior Lights shall be Altair LED Coach Light



TREE PLANTING DETAILS



SHRUB PLANTING DETAILS

## LEGEND



Pole Mounted Street Light



Evergreen Tree per Schedule



40 0 40 80 120

## CONSTRUCTION DETAILS

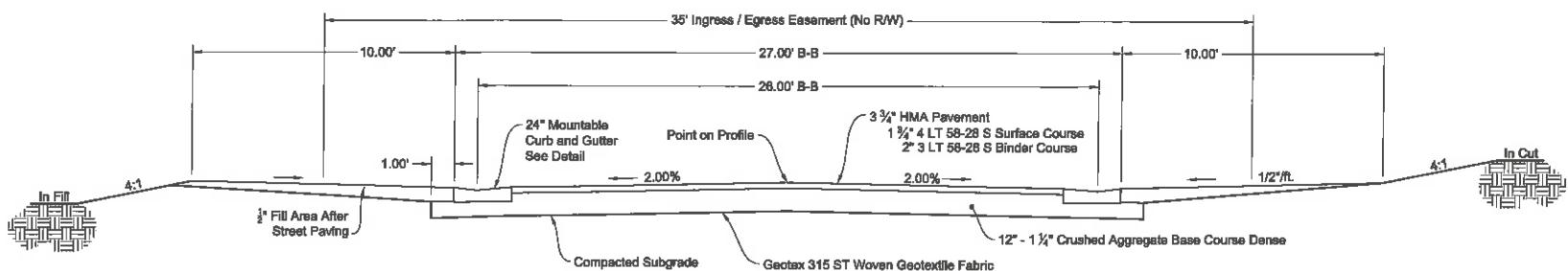
North Evergreen Pond Homes  
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DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: (920) 991-1866 Fax: (920) 441-0804  
www.davel.pro

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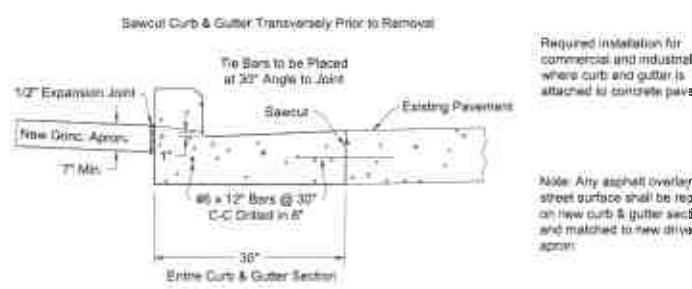


**24" MOUNTABLE CURB**

**TYPICAL STREET SECTION**

**NOTES:**

- The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
- Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and the 2018 Special Provisions of the Harrison Utilities.
- Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Little Chute.
- Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.
- The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
- The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.
- Pipe lengths are measured to center of structure. Endwalls are included in pipe length.
- Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).
- Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).
- Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with seal tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.
- Sanitary laterals shall be 4"Ø PVC Sch. 40, Installed at 1/8" per foot; water laterals shall be 1"Ø HDPE.



**CURB & GUTTER REMOVAL FOR DRIVEWAY OPENINGS**

LOT INFORMATION	WATER SERVICES		STORM		SANITARY SERVICES						
	FINISHED GARAGE UNIT #	FOOTING ELEV	CURB BOX ELEV	WATER LATERAL LENGTH	4" STORM LATERAL LENGTH	DISTANCE TO D.S. MH	WYE INVERT	4" SAN LATERAL LENGTH	4" SAN RISER	4" SAN LAT INV @ PL	4" SAN LAT INV @ SE
1	734.8	726.63	732.57	53	72	317	721.11	62	0	723.01	723.41
22	734.8	726.63	732.60	52	33	314	721.09	44	0	722.63	723.03
2	734.8	726.63	732.87	51	59	274	720.89	59	0	722.75	723.15
21	734.8	726.63	732.90	54	36	271	720.88	46	0	722.46	722.86
3	735.4	727.23	733.07	50	68	245	720.75	58	C	722.57	722.97
20	735.4	727.23	733.10	55	37	242	720.74	47	C	722.35	722.75
4	735.4	727.23	733.35	47	86	205	720.55	56	0	722.33	722.73
19	735.4	727.23	733.38	58	39	202	720.54	50	0	722.19	722.59
18	735.9	727.73	733.83	62	44	122	720.13	54	0	721.88	722.28
5	736.0	727.83	734.05	49	86	107	720.06	57	C	721.86	722.26
17	735.9	727.73	734.18	64	46	82	719.93	56	C	721.72	722.12
6	736.0	727.83	734.34	54	71	63	719.84	61	0	721.74	722.14
7	736.3	728.13	734.44	50	70	31	719.68	59	0	721.53	721.93
8	736.3	728.13	734.33	47	71	10	719.57	58	0	721.39	721.79
9	736.0	727.83	734.22	51	71	233	722.75	50	0	724.61	725.01
10	736.0	727.83	734.08	54	71	206	722.61	62	C	724.51	724.91
16	735.5	727.33	733.81	55	36	154	722.35	47	0	723.95	724.35
11	735.6	727.43	733.71	52	70	133	722.25	60	0	724.12	724.52
12	735.6	727.43	733.43	50	88	83	722.05	58	0	723.87	724.27
15	735.5	727.33	733.33	59	40	89	722.03	50	0	723.70	724.10
13	734.8	726.63	733.09	67	85	64	721.90	75	0	724.07	724.47
14	734.8	726.63	732.53	63	94	5	721.61	71	0	723.70	724.10

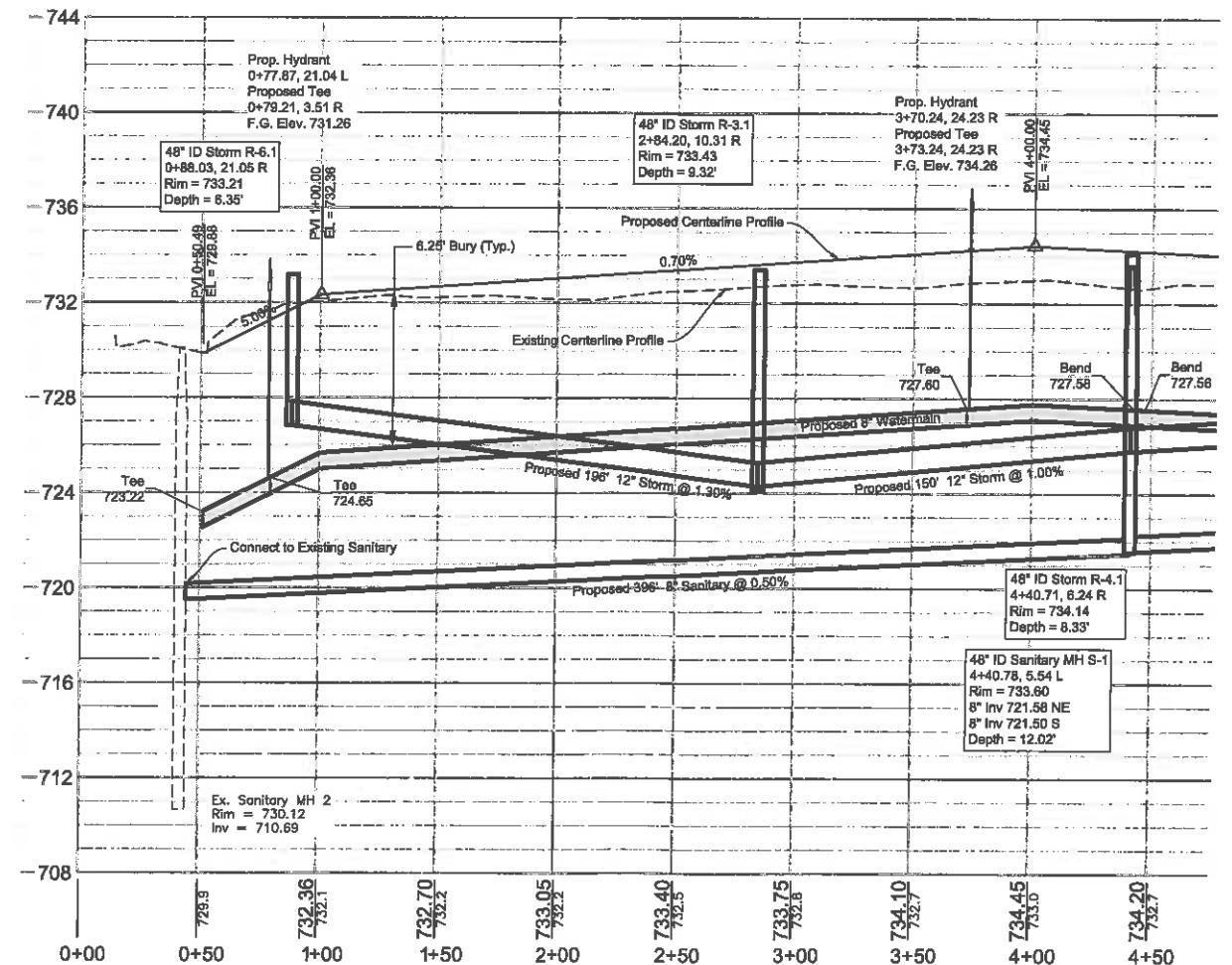
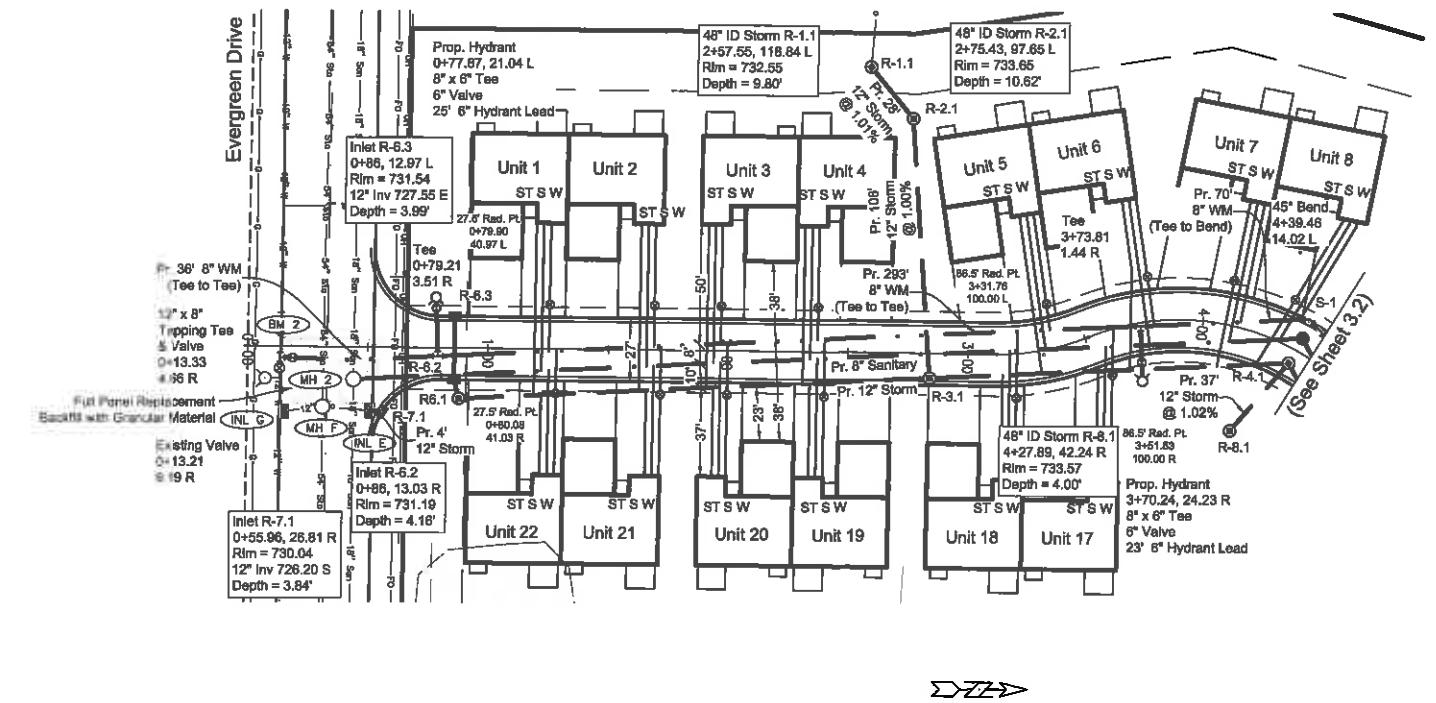
New Sewers, Total = 1,197 1,324 1,249 0

15. Sanitary laterals shall be 4"Ø PVC Sch. 40, Installed at 1/8" per foot; water laterals shall be 1"Ø HDPE.



**NOTES:**  
RADIUS STATIONING IS TO BACK OF CURB.  
814.16 = PROPOSED GRADE  
ENDWALLS ARE INCLUDED IN CULVERT LENGTH

Private Road



# North Evergreen Pond Homes

Village of Little Chute, Outagamie County, WI  
For: Kurt Coenen

# IMPROVEMENT PLANS Private Road Sta 0+00 to 4+77

**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1184 Province Terrace, Menasha, WI 54952  
Ph. (920) 541-1485, FAX: (920) 541-0652

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112-project@112-projecting.CWU 3016112prof.dwg

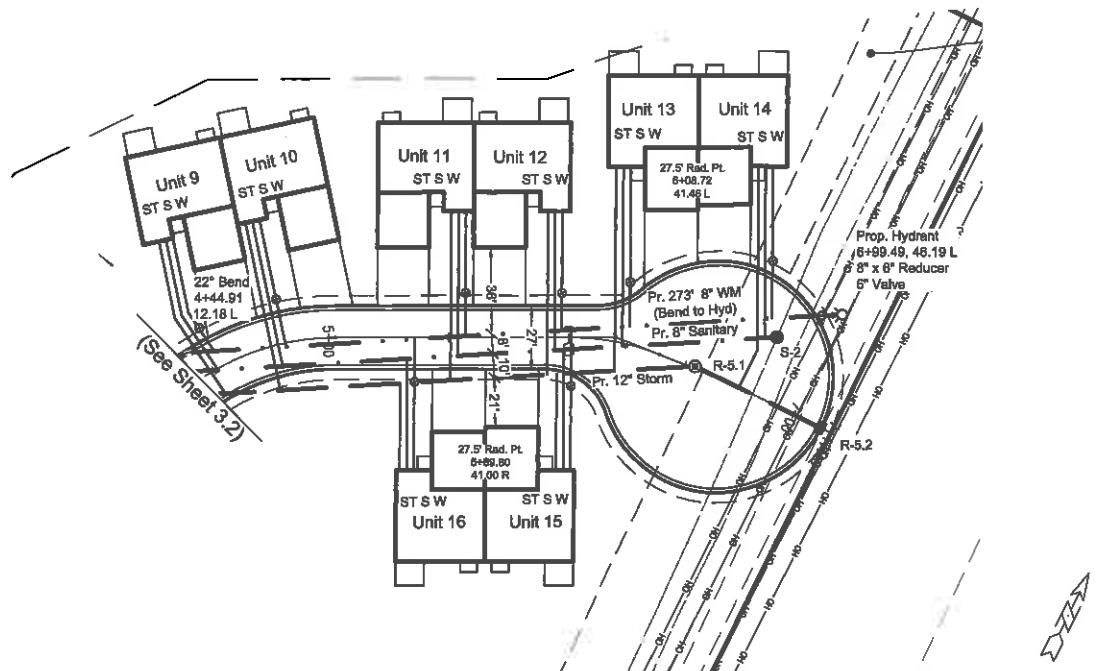
name:  
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to:  
July 13, 2020  
planer:  
JRD  
Drafted By:  
jennifer

## Private Road

**NOTES:**

RADIUS STATIONING IS TO BACK OF CURB.

814.16 = PROPOSED GRADE



## LEGEND

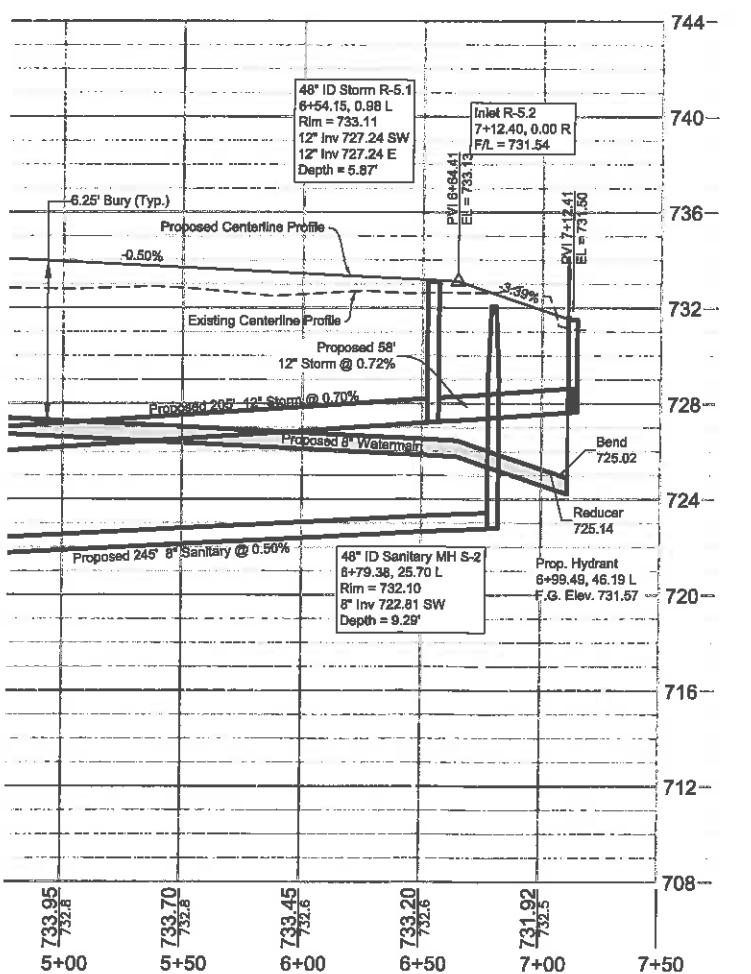


# North Evergreen Pond Homes

Village of Little Chute, Outagamie County, WI

For: Kurt Coenen

For: Kurt Coenen



**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**  
*Civil Engineers and Land Surveyors*  
1164 Province Terace, Menasha, WI 54952  
Ph: 920-981-1866 Fax: 920-441-0804  
[www.davel.pro](http://www.davel.pro)

www.drive1.pw

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6112prof.dwg

July 13, 2020

JRD | jennife

32

3.2



## APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Little Chute North Estates Outlot 4

Parent Parcel # 260451963 Number of Lots: 1

Preliminary Plat  Final Plat  CSM Will deed restrictions be recorded?  Yes  No

### Property Owner Information:

Name: Della Marcus Corporation, Inc. c/o Keith Gonnering Telephone Number: 920-378-2271

Mailing Address: 715 Depot Street, Little Chute WI 54140

### Surveyor Information:

Name: Davel Eng C/O James R Sehloff Telephone Number: 920-560-6562 email: jim@davel.pro

### Engineer Information:

Name: \_\_\_\_\_ Telephone Number: \_\_\_\_\_ email: \_\_\_\_\_

### Required for plat review:

- Lot Layout (4 full size copies) and (24) 11" x 17" copies
- Topographic survey (4 full size copies) and (2) 11" x 17" copies
- Drainage plan (4 full size copies) and (2) 11" x 17" copies
- Pavement Design Catalog (3 copies)
- Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)
- Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies
- Proposed CSM (24) copies
- Plat restrictions or covenants to be recorded (3 copies)

### Filing Fees:

Preliminary Plat \$100.00 plus \$5.00 per lot.  Final Plat \$50.00 plus \$2.00 per lot.  CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50

Signature of Applicant  Date 8-4-2020

Submit to: Director of Community Development  
108 W Main Street, Little Chute, Wisconsin 54140  
(920)423-3870 jim@littlechutewi.org

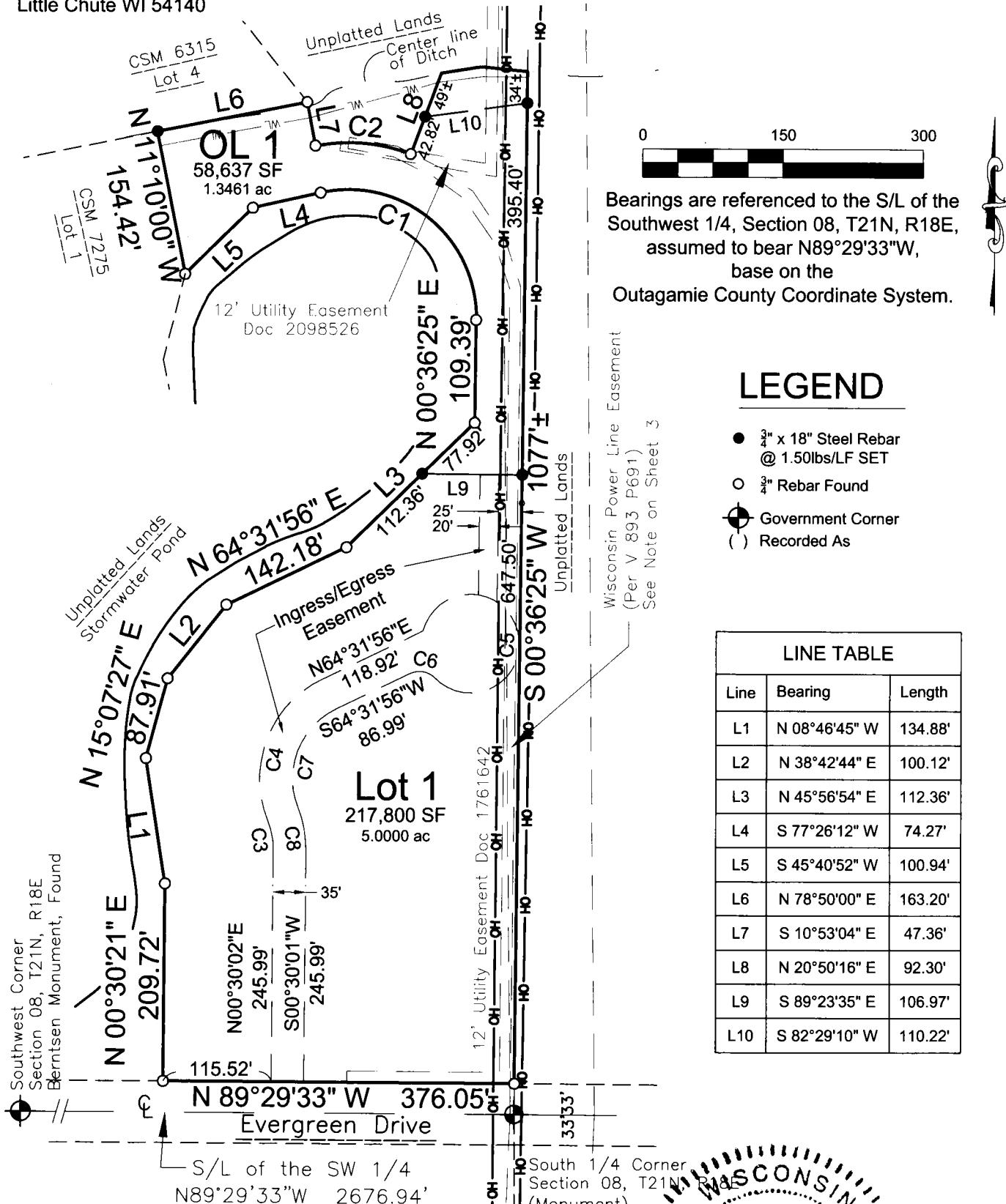
*Sarah R. Van Camp*

SARAH R VAN CAMP, REGISTER OF DEEDS  
 Return via MAIL (REGULAR)  
 DAVEL ENGINEERING

## Certified Survey Map No. 7933

All of Lot 2, Certified Survey Map 7275, recorded as Doc. No. 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Survey for:  
 Village of Little Chute  
 108 W. Main Street  
 Little Chute WI 54140



**DAVEL ENGINEERING &  
 ENVIRONMENTAL, INC.**  
 Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952  
 Ph: 920-991-1866 Fax: 920-441-0804  
[www.davel.pro](http://www.davel.pro)

*James R. Sehloff PLS#2692 Appleton WI*  
 JAMES R. SEHLOFF  
 S-2692  
 APPLETON  
 WI  
 LAND SURVEYOR  
 9/5/2020 Date  
 File: 6112CSM.dwg  
 Date: 07/09/2020  
 Drafted By: jim  
 Sheet: 1 of 3

## Certified Survey Map No. 7933

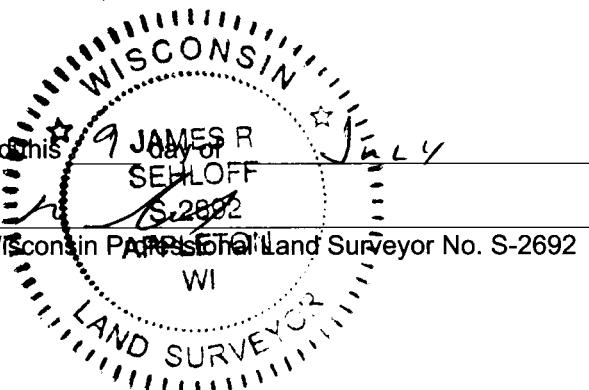
All of Lot 2, Certified Survey Map 7275, recorded as Document Number 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

### Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of Village of Little Chute, the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land All of Lot 2, Certified Survey Map 7275, recorded as Document Number 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 276,437 Square Feet (38.5672 Acres) of land, including all lands between the Center line of ditch and shown meander line, subject to all easements, and restrictions of record.

Given under my hand this 17 day of July, 2020.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

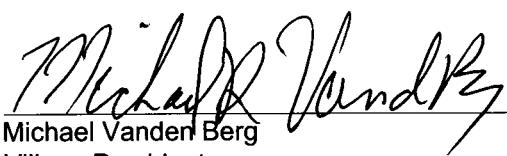


The seal is circular with a serrated outer edge. The words "WISCONSIN" and "LAND SURVEYOR" are at the top and bottom respectively. In the center, it says "PROFESSIONAL LAND SURVEYOR" and "WI". Below the center text is the surveyor's name "James R. Sehloff" and the number "S-2692".

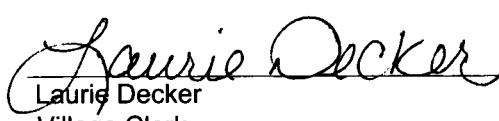
### Owner's Certificate

The Village of Little Chute, a Wisconsin Municipal Corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owner, does hereby certify that we caused the land above described to be surveyed, divided, mapped and dedicated all as shown and represented on this map.

Dated this 17 day of July, 2020



Michael Vanden Berg  
Village President

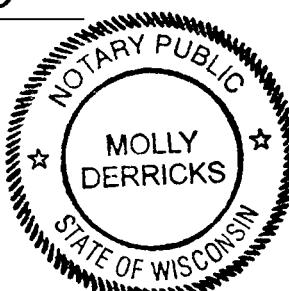


Laurie Decker  
Village Clerk

State of Wisconsin )  
Wisconsin )  
County)

Personally came before me on the 17 day of July, 2020, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Molly Derricks My Commission Expires 1-28-2022  
Notary Public, Wisconsin



## Certified Survey Map No. 7933

All of Lot 2, Certified Survey Map 7275, recorded as Document Number 2087975 in the Outagamie County Register of Deeds, being part of the Southeast 1/4 of the Southwest 1/4 of Section 08, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

### Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Village of Little Chute, the property owner, is hereby approved by the Village Board of the Village of Little Chute.

Michael R. Vandal B  
Village President

July 17, 2020  
Date

Laurie Dicker  
Clerk

July 17, 2020  
Date

### Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Yvonne A. Lander DeWitt  
Village Treasurer

July 21, 2020  
Date

Trist J. Wolfe  
County Treasurer

August 4, 2020  
Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property owners of record:  
Village of Little Chute

Recording Information:  
Doc. 2014948

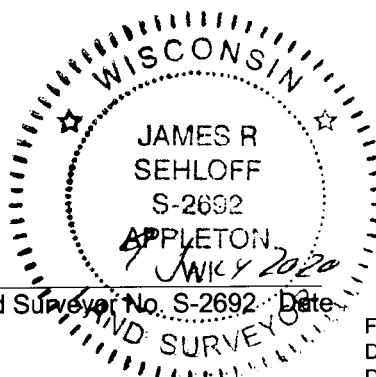
Parcel Number(s):  
26-0-4412-03

#### Notes:

1. Existing Power Lines are located outside of easement as described in V893 P691. In discussion with ATC, the current owner of the easement, they believe the section corner moved thus amending the location of the easement as described. I have not seen any evidence, other than an old drawing showing a fence line location, from their file, to back up their claim.
2. Ingress/Egress easement shown on this map will be retained by the Village of Little Chute for access to Outlot 1 of this map.

CURVE TABLE					
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle
C1	137.00'	N 50°58'41" W	214.69'	246.69'	103°10'13"
C2	187.00'	S 85°02'18" E	102.22'	103.54'	31°43'24"
C3	82.50'	N 10°49'11" W	32.41'	32.62'	22°39'17"
C4	117.50'	S 21°11'33" W	161.29'	177.76'	86°40'46"
C5	52.50'	N 14°41'39" W	51.84'	275.65'	300°50'02"
C6	23.50'	N 79°52'21" W	27.36'	29.20'	71°11'26"
C7	82.50'	S 21°11'33" W	113.24'	124.81'	86°40'46"
C8	117.50'	N 10°49'11" W	46.16'	46.46'	22°39'17"

James R. Sehloff Professional Land Surveyor No. S-2692 Date



File: 6112CSM.dwg  
Date: 07/09/2020  
Drafted By: jim  
Sheet: 3 of 3