AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room
DATE: Monday, September 14, 2020
TIME: 6:00 p.m.

A. Call to order
B. Roll Call
C. Public Appearance for Items Not on the Agenda

Virtually attend the September 14th Plan Commission meeting at 6 PM by following the link here: https://www.gotomeet.me/JamesFenlon/september-14-plan-commission
Call-in Information: +1 (571) 317-3122 Access Code: 233-330-093

1. Approval of Minutes from the Plan Commission Meeting of August 10, 2020
2. Recommendation—Hammen Court CSM
3. Recommendation—Prometheus Spirit Court CSM
4. Recommendation—Ordinance Amendment to RC
5. Recommendation—Conditional Use for 1215 Buchanan
6. Recommendation—ID Park Development – Dave Gitter
7. Recommendation—Parking Lot Site Plan for St. Johns
8. Recommendation—Nestle Site Plan
9. Recommendation—Pine Street Parking Lot Alternatives
10. Recommendation—Condominium CSM 1851 E. Elm Drive
11. Unfinished Business
12. Items for Future Agenda

13. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 September 10, 2020

Little Chute
ESTABLISHED 1848

Information for the Plan Commission Meeting – September 14th, 2020 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: DOJ Guidance on Open Meetings.

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the September 14th Plan Commission Meeting at 6 PM by following the link here: https://www.gotomeet.me/JamesFenlon/september-14-plan-commission
2. **Call-in Information:** +1 (571) 317-3122 **Access Code:** 233-330-093
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: http://www.littlechutewi.org/59/Meet-the-Village-Board
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: http://www.littlechutewi.org/directory.aspx

MINUTES OF THE PLAN COMMISSION MEETING AUGUST 10, 2020

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT:	Todd Verboomen
	Bill Van Berkel
	President Vanden Berg
	Kent Taylor
	Richard Schevers
EXCUSED:	Larry Van Lankvelt

STAFF PRESENT: Administrator Fenlon, Community Development Director Kittel

Public Appearance for Items Not on the Agenda

None

Approve Minutes from the Plan Commission Meeting of July 13, 2020

Moved by Commissioner Verboomen, seconded by Commissioner Schevers to Approve the Minutes from the Plan Commission Meeting of July 13, 2020

All Ayes– Motion Carried

Public Hearing—3639 Don DeGroot Drive

Moved by Commissioner Van Berkel, seconded by Commissioner Verboomen to enter Public Hearing

All Ayes– Motion Carried

Director Kittel went over the application for a preschool to be operated from 3639 Don DeGroot Drive. A question was asked if neighbors need to be notified; Director Kittel advised that all property owners within 100 feet were notified and there were not any negative responses. Mr. Bill Wittmann advised he wasn't against the daycare but was concerned with the drainage system and height of the play system in the back yard; Director Kittel advised that the play system should not be higher than the fence and is allowed to be 6 feet high, also can be up to the property line but not on or over. Director Kittel also advised the drainage system was inspected and there were not any issues found at the time but will ask the building inspector to check. Administrator Fenlon asked Mr. Wittmann to leave his contact information.

Moved by Commissioner Verboomen, seconded by Director Taylor to exit Public Hearing

All Ayes– Motion Carried

Action—Home Occupation Request for 3639 Don DeGroot

Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to Approve the Home Occupation Request as presented

All Ayes– Motion Carried

Recommendation—1215 Buchanan Street Rezoning Request

Director Kittel advised an application was received to move zoning for this property from Residential to Commercial. A gentleman from Hoover Court thought this would be a good move.

Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to Recommend to the Village Board to Approve the Rezoning Request with the condition to check with legal counsel on giving the Village flexibility on future use.

All Ayes– Motion Carried

Recommendation—Cobblestone Hotel Site Plan

Director Kittel advised this is the updated site plan with the requested changes made by the Plan Commission, Fox Valley Metro and the Fire Department.

Moved by Commissioner Van Berkel, seconded by Commissioner Verboomen to Recommend the Village Board Approve the updated Cobblestone Hotel Site Plan

All Ayes– Motion Carried

Recommendation—North Evergreen Pond Home Site Plan

Director Kittle advised that staff is recommending approval to the Board with the site plan changes to be made to meet all Village Ordinances.

Moved by Commissioner Van Berkel, seconded by Commissioner Schevers to Recommend the Board Approve the Site Plan with the addition of staff comments being corrected.

All Ayes– Motion Carried

Recommendation—CSM Little Chute North Estates Outlot 4

This change was requested to change this from Outlot 4 to Lot #1 per the Certified Survey Map attached.

Moved by Commissioner Van Berkel, seconded Commissioner Verboomen to Recommend the CSM to the Village Board as presented

All Ayes– Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Verboomen, seconded by Director Taylor to Adjourn the Plan Commission Meeting at 6:55 p.m.

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

_____

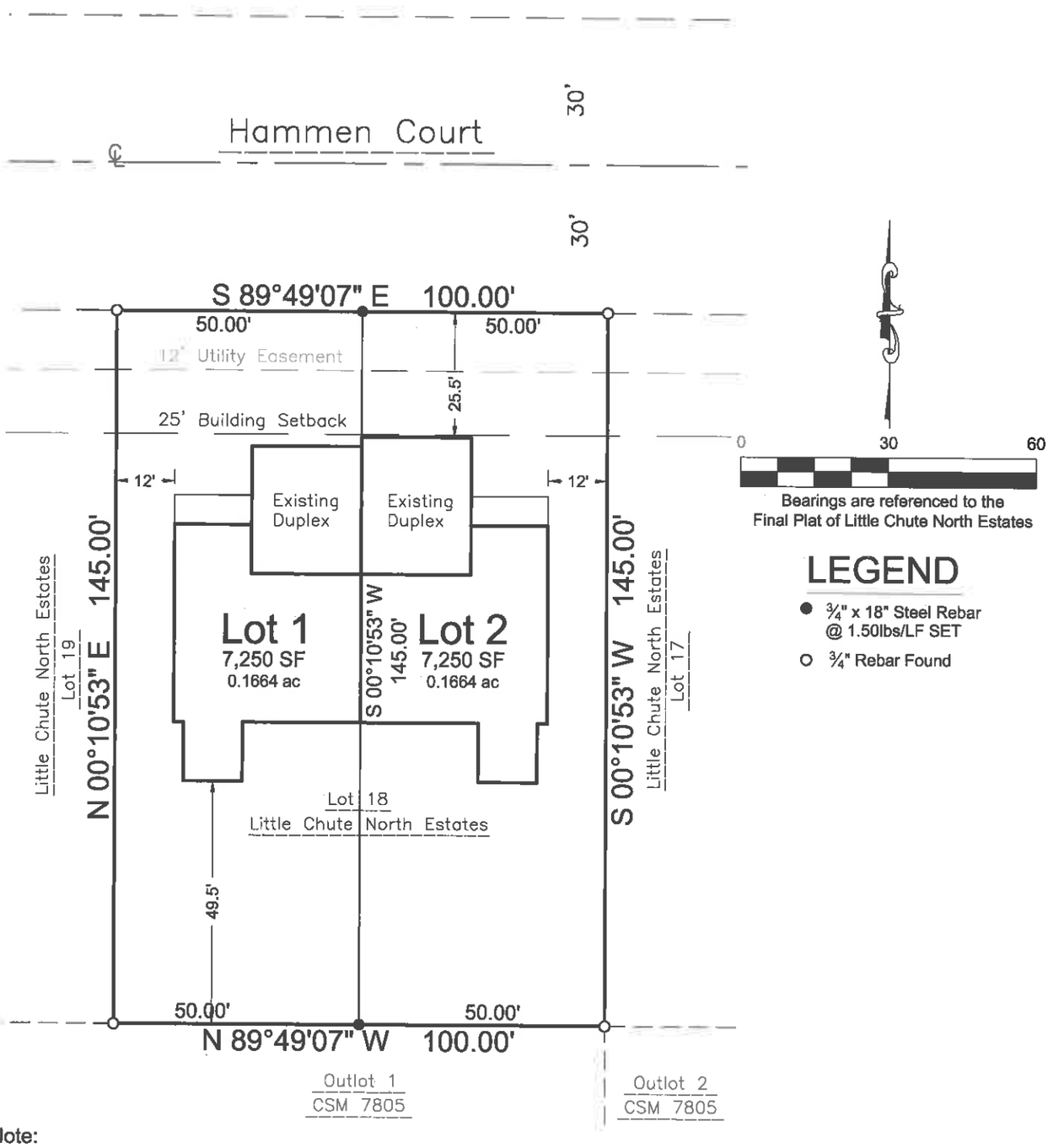
By: Michael Vanden Berg, Village President

_____

Attest: Laurie Decker, Village Clerk

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.



Note:

1. Restrictive covenants shall be recorded at the Outagamie County Register of Deeds, providing declarations and/or by-laws similar to those typically recorded on a declaration of condominium. Said covenants shall provide for mediation of any and all disputes between owners of each unit and any third party with regard to construction, use, and maintenance of the real property. Furthermore, said covenants shall specifically state that the village of Little Chute and all approving authorities shall not be held responsible for the same, and that said covenants shall inure to all heirs and assigns.

WISCONSIN
JAMES R SEHLOFF S-2692 APPLETON WI
LAND SURVEYOR

7 SEPT 2020

James R. Sehloff, Date
Professional Land Surveyor No. S-2692
jim@davel.pro

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

Survey for:
Jeff Heiting Builder Inc.
4448 N. Orion Lane
Appleton, WI 54913

File: 6159CSM.dwg
Date: 09/07/2020
Drafted By: jim
Sheet: 1 of 3

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of Jeff Heiting Builder Inc., the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin., containing 14,500 Square Feet (0.3329 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this 7 day of SEPT, 2020.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

WISCONSIN JAMES R SEHLOFF S-2692 APPLETON WI LAND SURVEYOR

Corporate Owner's Certificate

Jeff Heiting Builder Inc., a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, divided and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said Jeff Heiting Builder Inc., has caused these presents to be

signed by its authorized representatives, located at, _____, Wisconsin, and its corporate seal to be hereunto affixed

this _____day of _____, 20_____.

In the Presence of: Jeff Heiting Builder Inc.

_____ _____

Jeff Heiting, President Date

State of Wisconsin)
)ss
_____ County)

Personally came before me this _____day of _____, 20____,

the above named, officer of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

_____ My commission expires:_____.

Notary Public, Wisconsin

File: 6159CSM.dwg
Date: 09/07/2020
Drafted By: jim
Sheet: 2 of 3

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Jeff Heiting Builder Inc., the property owner, is hereby approved by the Village Board of the Village of Little Chute.

_____ _____
Chairman Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Little Chute.

_____ _____
Clerk Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

_____ _____
Village Treasurer Date

_____ _____
County Treasurer Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owners of record:	Recording Information:	Parcel Number:
Jeff Heiting Builder Inc.	Doc. 2166866	260451928

WISCONSIN
JAMES R
SEHLOFF
S-2692
APPLETON
LAND SURVEYOR

7 SEPT 2020

James R. Sehloff Professional Land Surveyor No. S-2692 Date

File: 6159CSM.dwg
Date: 09/07/2020
Drafted By: jim
Sheet: 3 of 3

Little Chute
ESTABLISHED 1848

APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: 3110 Spirit Court, 3 Lot CSM

Parent Parcel # 260400521, 260400522 Number of Lots: 3

☐ **Preliminary Plat** ☐ **Final Plat** ☑ **CSM** **Will deed restrictions be recorded?** ☐**Yes** ☑**No**

Property Owner Information:

Name: PROMETHEUS HOLDINGS LLC, BLACK DIAMOND HOLDINGS LLC Telephone Number: _____

Mailing Address: 501 S NICOLET RD, APPLETON, WI 54914

Surveyor Information:

Name: David M. Schmalz Telephone Number: (920) 751-4200 email dschmalz@mcmgrp.com

Engineer Information:

Name: _____ Telephone Number: _____ email_____

Required for plat review:

☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies

☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies

☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies

☐ Pavement Design Catalog (3 copies)

☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☑ **Proposed CSM (24) copies**

☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☐ *Preliminary Plat $100.00 plus $5.00 per lot.* ☐ *Final Plat $50.00 plus $2.00 per lot.* ☐ *CSM $50.00 flat fee.*

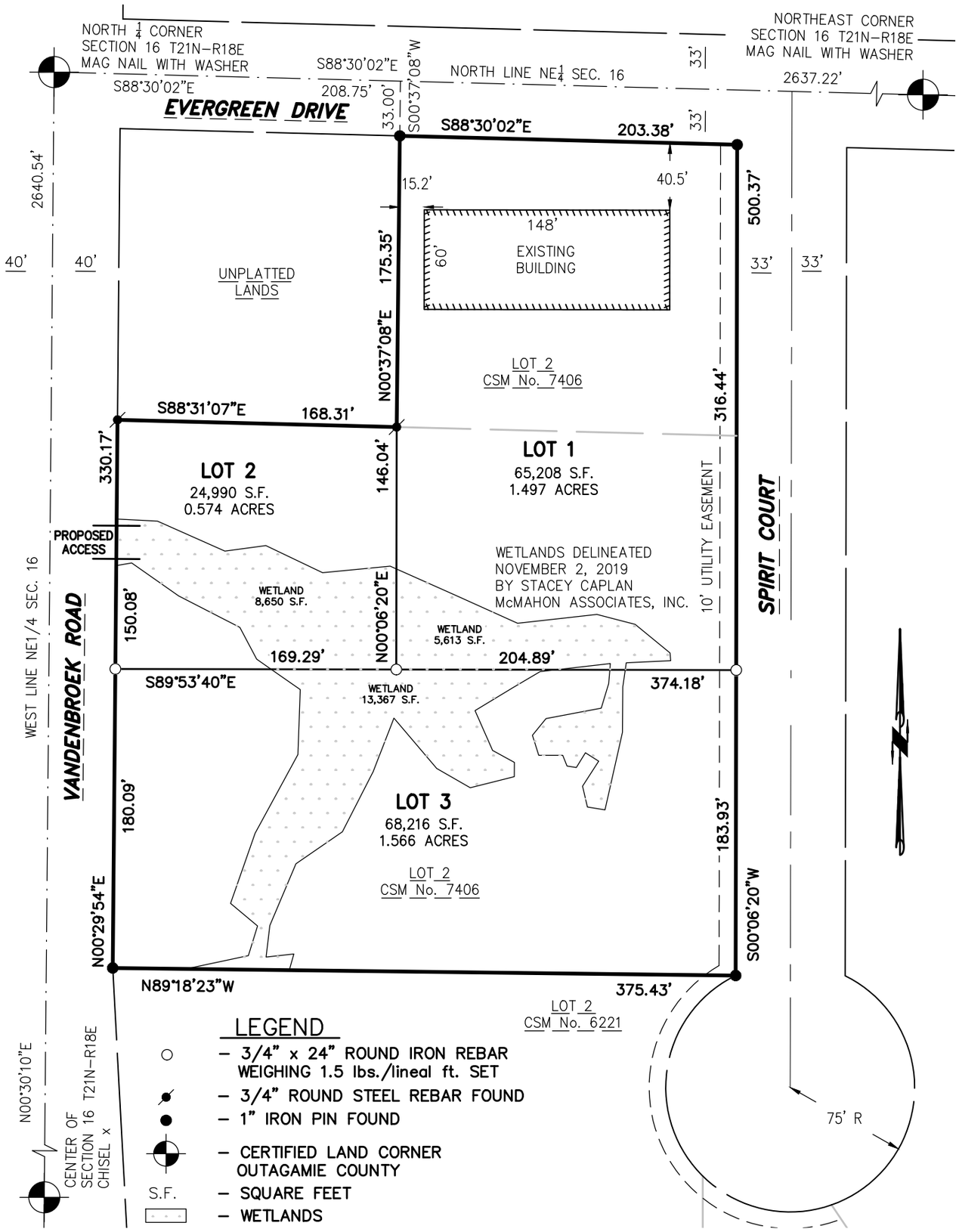
Amount of Fees submitted: $50

Signature of Applicant _____ Date_____

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

CERTIFIED SURVEY MAP NO. _____ SHEET 1 OF 4

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP No. 7406, RECORDED AS DOCUMENT No. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, WHICH BEARS S88°30'02"E PER THE PUBLISHED OUTAGAMIE COUNTY COORDINATE SYSTEM.

DRAFTED BY: DAVID W. JOHNSON

FOR: –PROMETHEUS HOLDINGS, LLC
–501 NICOLET ROAD
–APPLETON, WI 54914

djohnson, W:\PROJECTS\P0577\92000452\CADD\Civil3D\Survey Documents\CSM\PROMETHEUS SPIRIT COURT CSM REV 2.dwg, sheet1_legalcsm, Plot Date: 9/9/2020 10:54 AM, xrefs: (x-wetbound, x-hotv_2018 aerial)

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, David M. Schmalz, Wisconsin Professional Land Surveyor S–1284, certify that I have surveyed, divided and mapped all of Lots 1 & 2 of Certified Survey Map No. 7406, recorded as Document No. 2110869, located in the Northwest 1/4 of the Northeast 1/4 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 158,414 square feet (3.637 Acres) of land.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statues, Village of Little Chute, Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 20___.

_____

David M. Schmalz, WI Professional Land Surveyor S–1284

NOTES

–THIS CSM IS ALL OF TAX PARCEL No.s 26–0–4005–21 & 26–0–4005–22.

–THE PROPERTY OWNERS OF RECORD ARE PROMETHEUS HOLDINGS, LLC AND BLACK DIAMOND HOLDINGS, LLC.

–THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENTS No. 2151056 & 2187168.

–THIS CERTIFIED SURVEY MAP CONTAINS NO WATERS OF THE UNITED STATES PER THE ARMY CORPS OF ENGINEERS, REGULATORY FILE No. 2018–01179–MWM AJD REVIEW, DATED AUGUST 13, 2020

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

VILLAGE BOARD APPROVAL CERTIFICATE

This Certified Survey Map was approved by the Village of Little Chute, Outagamie County, Wisconsin by the Village Board on this _____ day of _____, 2020.

_____
Village President
Michael Vanden Berg

_____ _____
Village Clerk
Laurie Decker

CERTIFICATE OF VILLAGE FINANCE DIRECTOR

I, being the duly elected, qualified and acting Finance Director, do hereby certify that the records in my office show no unredeemed tax sales and no un–paid taxes or un–paid special assessments on any of the lands included in this Certified Survey Map as of: _____ affecting the lands.

_____
Village Finance Director Date
Lisa Remiker–Dewall

CERTIFICATE OF COUNTY TREASURER

I, being the duly elected, qualified and acting Treasurer, do hereby certify that the records in my office show no unredeemed tax sales and no un–paid taxes or un–paid special assessments on any of the lands included in this Certified Survey Map as of: _____ affecting the lands.

_____
County Treasurer Date
Trenten J. Woelfel

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER's CERTIFICATE

PROMETHEUS HOLDINGS, LLC, As Owner(s), I/We hereby certify that I/we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by s. 236.34 of the Wisconsin Statutes to be submitted to the following for approval.
Village of Little Chute

Dated this _____ day of _____, 20___.

_____ _____ _____
Authorized Signature Title

_____
Print Name

State of _____)
)ss
_____County)

Personally appeared before me on the _____ day of _____, 20___, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

_____
Notary Public

_____ County, _____

My commission expires_____

OWNER's CERTIFICATE

BLACK DIAMOND HOLDINGS, LLC, As Owner(s), I/We hereby certify that I/we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by s. 236.34 of the Wisconsin Statutes to be submitted to the following for approval.
Village of Little Chute

Dated this _____ day of _____, 20___.

_____ _____
Authorized Signature Title

_____
Print Name

State of _____)
)ss
_____County)

Personally appeared before me on the _____ day of _____, 20___, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

_____
Notary Public

_____ County, _____

My commission expires_____

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION:. To update the Zoning ordinance as it pertains to special exceptions in the Residential Conventional (RC) district

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/19/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

There are a few uses that are allowed in the Residential Conventional (RC) district that are not residential in use. These would be public and semipublic nonprofit institutional uses including churches, schools, libraries and the like. On occasion these other allowed use buildings are no longer needed and placed for sale. What results is a building that sits vacant with only a few uses allowed. Many of these buildings are still economically useful for a different use such as an office or clinic. Yet due to how our current ordinances are set up this would require rezoning the property. Depending on the location of these buildings this may be viable, but on occasion a rezoning could open up a future use that would not be desirable in a residential setting. In these situations a conditional use would be appropriate and allow for certain uses like an office/clinic that has minimal impact to the area to be allowed where applicable and allow for stipulations to be placed on the conditional use to minimize impact to the residences while allowing the building to be occupied. Currently the Special exception uses and structures for the RC district are below with the proposed change/addition in red:

d) *Special exception uses and structures*. The following are special exception uses and structures in the RC district:
(1) Day nurseries and kindergartens with at least 100 square feet of open play space for each child enrolled.
(2) Convalescent, children's and nursing homes and group homes under Wis. Stats. ch. 61.
(3) Public utility installations.
(4) Cemeteries.
(5) Gardens, nurseries, and orchards, provided no office or store is maintained on the premises.
(6) Bed and breakfast establishments.
(7) Business and Professional Offices, public and private clinics.

Adding this would set up a clear process for these instances and allow the Village to ensure any use would be fitting to the property while not being intrusive to our existing residential areas. This would also assist in preventing otherwise useable building from being vacant, and unsightly, with the potential to add value to the community.

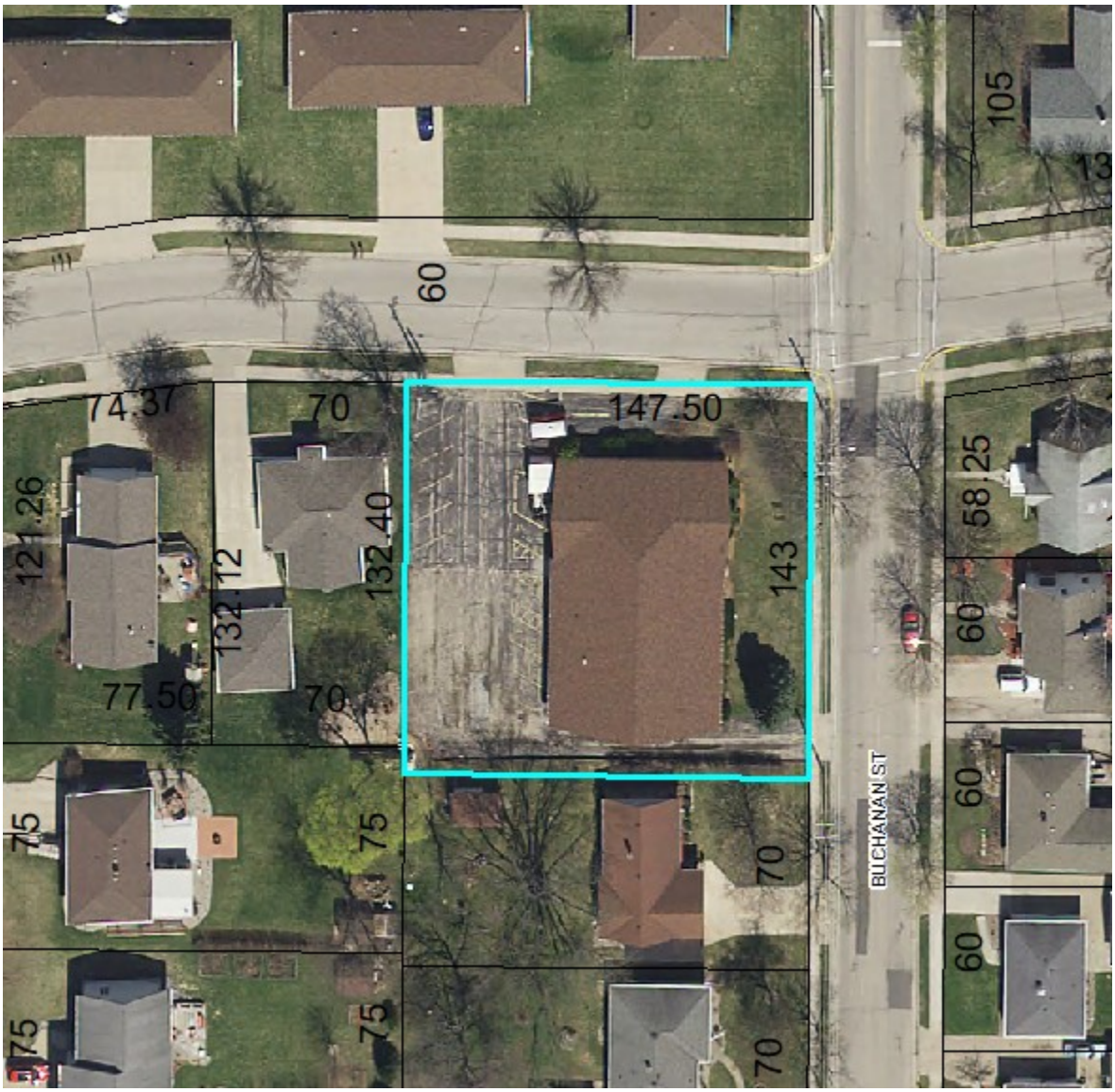
RECOMMENDATION:

Amend Sec 44-46(d) to include business, professional offices, and public, private clinics as a special exception use in the Residential Commercial district.

<u>Conditional Use request for 1215 Buchanan</u>:

The request is to utilize existing building previously used as a church for a private Clinic. There is ample onsite parking for this use. This proposed use would have low amount of additional traffic, not operate on the weekends, and hold normal business hours during the week.

Some areas of concern brought up by adjacent property owners are regarding a buffer between the residential properties and this property. An easy solution would be to have a fence constructed on the boundary area



VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS 2140 Bohm Drive

LEGAL DESCRIPTION
Lot 1, CSM 7923

PROPERTY OWNER(S) David Gitter TELEPHONE

ADDRESS/ZIP 1500 E Lincoln Ave, Little Chute, WI 54140 ~~FAX~~ Email: dgitter@new.rr.com

APPLICANT McMahon Associates, Inc., Attn: Ronald Wolf
CHECK: ☐ Architect ☑ Engineer ☐ Surveyor ☐ Attorney ☐ Agent ☐ Other

ADDRESS 1445 McMahon Drive TELEPHONE 920.751.4200

CITY/ZIP Neenah, WI 54956 FAX 920.751.4284

DESCRIBE IN **DETAIL** THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY
Self Storage Facility

GROUND FLOOR ELEVATION 716 LOT SIZE 0.543 ac. FLOOR AREA 4,284 S.F.

NUMBER OF STORIES IN BLDG 1 BASEMENT ____ YES X NO BUILDING HEIGHT 21' 6"

TOTAL CURRENT EMPLOYEES 2 EMPLOYEES ADDED BY EXPANSION -

IMPERVIOUS SURFACE COVERAGE SQ. FT 9,348 # OF PARKING SPACES 4

I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE R S Wolf **DATE** 8/27/2020

44-387(f)	Site plan review fee	$300.00

NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

VOID FEATURE PANTOGRAPH

WATERMARK IN PAPER – HOLD TO LIGHT TO VIEW

McMAHON
ENGINEERS ARCHITECTS

P.O. BOX 1025, NEENAH, WI 54957-1025
1445 MCMAHON DRIVE, NEENAH, WI 54956
PHONE: 920-751-4200

NICOLET NATIONAL BANK
APPLETON, WI 54915
79-1793/759

173290

CHECK DATE
August 27, 2020

PAY Three Hundred and 00/100 Dollars

AMOUNT
300.00

TO VILLAGE OF LITTLE CHUTE
108 W. MAIN ST
LITTLE CHUTE, WI 54140

VOID AFTER 90 DAYS

AUTHORIZED SIGNATURE

MP

⑈173290⑈ ⑆075917937⑆ 120⑈9332⑈

McMAHON • Neenah, WI 54957-1025

173290

Check Date: 8/27/2020

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
082720	8/27/2020	0083569	300.00			300.00
VILLAGE OF LITTLE CHUTE		TOTAL	300.00			300.00
Nicolet - Wisconsin 1		90050				

STANDARD ABBREVIATIONS

AC	ACRE	LT	LEFT
AGG	AGGREGATE	LVC	LENGTH OF VERTICAL CURVE
AH	AHEAD	MAINT	MAINTENANCE
ASPH	ASPHALT PAVEMENT	MAT'L	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
B–B	BACK TO BACK	MIN	MINIMUM
BEG	BEGIN	MH	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB	NORTHBOUND
B/L	BASE LINE	NO	NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OBLIT	OBLITERATE
BRG	BEARING	PAVT	PAVEMENT
C–C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER		
CB	CATCH BASIN	PE	PRIVATE ENTRANCE
CE	COMMERCIAL ENTRANCE	PED	PEDESTAL
CHD	CHORD	PGL	PROFILE GRADE LINE
C/L	CENTER LINE	PI	POINT OF INTERSECTION
CL	CLASS (FOR CONC PIPE)	P/L	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PLE	PERMANENT LIMITED EASEMENT
CO	CLEAN OUT	PP	POWER POLE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVATURE
CORR	CORRUGATED	PROP	PROPOSED
CP	CONTROL POINT	PSD	PASSING SIGHT DISTANCE
CR	CRUSHED	PSI	POUNDS PER SQUARE INCH
CS	CURB STOP	PT	POINT OF TANGENCY
CSW	CONCRETE SIDEWALK	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
CTH	COUNTY TRUNK HIGHWAY		
CULV	CULVERT	PVI	POINT OF VERTICAL INTERSECTION
D	DEPTH OR DELTA	PVT	POINT OF VERTICAL TANGENCY
DI	DUCTILE IRON	R	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIS	DISCHARGE	RD	ROAD
EA	EACH	REBAR	REINFORCEMENT ROD
EB	EASTBOUND	REM	REMOVE
EBS	EXCAVATION BELOW SUBGRADE	RECON	RECONSTRUCT
EG	EDGE OF GRAVEL	REQ'D	REQUIRED
ELEV	ELEVATION	R/L	REFERENCE LINE
ELEC	ELECTRIC	RP	RADIUS POINT
EMB	EMBANKMENT	RR	RAILROAD
EMAT	EROSION MAT	RT	RIGHT
ENT	ENTRANCE	R/W	RIGHT–OF–WAY
EOR	END OF RADIUS	SB	SOUTHBOUND
EP	EDGE OF PAVEMENT	SE	SUPERELEVATION
EXC	EXCAVATION	SF	SQUARE FEET
EX	EXISTING	SI	SLOPE INTERCEPT
EW	ENDWALL	STH	STATE TRUNK HIGHWAY
F–F	FACE TO FACE	SY	SQUARE YARD
FDN	FOUNDATION	SALV	SALVAGED
FE	FIELD ENTRANCE	SAN	SANITARY
FERT	FERTILIZER	SEC	SECTION
FG	FINISHED GRADE	SHLDR	SHOULDER
F/L	FLOW LINE	S/L	SURVEY LINE
FT	FOOT	SQ	SQUARE
FTG	FOOTING	STA	STATION
GRAV	GRAVEL	STD	STANDARD
GN	GRID NORTH	STO	STORM
GV	GAS VALVE	SW	SIDEWALK
HDPE	HIGH DENSITY POLYETHYLENE	TC	TOP OF CURB
HE	HIGHWAY EASEMENT	TEL	TELEPHONE
HMA	HOT MIX ASPHALT	TEMP	TEMPORARY
HP	HIGH POINT	TLE	TEMPORARY LIMITED EASEMENT
HT	HEIGHT	TV	TELEVISION
HYD	HYDRANT	TYP	TYPICAL
ID	INSIDE DIAMETER	UG	UNDERGROUND
IN	INCH	USH	U.S. HIGHWAY
INL	INLET	VAR	VARIES
INV	INVERT	VC	VERTICAL CURVE
IP	IRON PIPE	VERT	VERTICAL
JCT	JUNCTION	WB	WESTBOUND
LB	POUND	WM	WATER MAIN
LF	LINEAR FOOT	WV	WATER VALVE
LP	LIGHT POLE		

GENERAL NOTES

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
3. THE PROPERTY LINES, RIGHT–OF–WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. McMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT–OF–WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE–SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

STANDARD SYMBOLS (PLAN VIEW ONLY)

- 2" IRON PIPE FOUND
- 1 1/4" REBAR FOUND
- 1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET
- 1" (1.315 OD) IRON PIPE FOUND
- 1" IRON PIPE SET
- 3/4" IRON REBAR FOUND
- 3/4" IRON PIPE FOUND
- 3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET
- MAG NAIL FOUND
- MAG NAIL SET
- MAG SPIKE FOUND
- MAG SPIKE SET
- CHISEL CROSS FOUND
- CHISEL CROSS SET
- COUNTY MONUMENT
- CONCRETE MONUMENT FOUND
- CONTROL POINT HORIZONTAL
- CONTROL POINT VERTICAL
- SB or MW — SOIL BORING or MONITORING WELL
- POWER POLE
- POWER POLE W/GUY WIRE
- TELEPHONE OR TELEVISION PEDESTAL
- MB — MAILBOX
- SIGN
- RAILROAD CROSS BUCK
- RAILROAD GATE ARM
- RAILROAD TRACKS
- LIGHT POLE
- WOOD POLE
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL MAST ARM
- CONIFEROUS TREE
- DECIDUOUS TREE
- TREE OR BRUSH LINE
- BED ROCK (IN PROFILE VIEW)
- HANDICAPPED PARKING STALL
- EXISTING SPOT ELEVATION
- × 750.00 — PROPOSED SPOT ELEVATION
- DRAINAGE HIGH POINT
- DRAINAGE DIRECTION
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING INLET
- PROPOSED INLET
- EXISTING YARD DRAIN
- PROPOSED YARD DRAIN
- CO — EXISTING CLEAN OUT
- CO — PROPOSED CLEAN OUT
- EXISTING DOWNSPOUT
- PROPOSED DOWNSPOUT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING CURB STOP
- PROPOSED CURB STOP
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER FITTING
- PROPOSED WATER REDUCER
- PROPOSED ENDCAP
- GAS VALVE

- T — TELEPHONE CABLE – BURIED
- E — ELECTRIC CABLE – BURIED
- OHU — UTILITIES – OVERHEAD
- FO — FIBER OPTIC CABLE – BURIED
- G — GAS MAIN
- TV — CABLE TELEVISION – BURIED
- DITCH LINE
- STREET C/L OR R/L
- PROPERTY LINE
- RIGHT–OF–WAY LINE
- SECTION LINE
- 746 — EXISTING CONTOURS
- 746 — PROPOSED CONTOURS
- FM — EXISTING FORCEMAIN SEWER
- SAN — EXISTING SANITARY SEWER
- SAN — PROPOSED SANITARY SEWER
- WM — EXISTING WATER MAIN
- WM — PROPOSED WATER MAIN
- STO — EXISTING STORM SEWER
- STO — PROPOSED STORM SEWER
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED REJECT CURB & GUTTER
- EXISTING CULVERT WITH END SECTIONS
- PROPOSED CULVERT WITH END SECTIONS
- BUILDING OUTLINE
- FENCE LINE
- SAW CUT REQ'D
- SILT FENCE
- GUARD RAIL
- DITCH CHECK
- INLET PROTECTION
- TRACKING PAD
- TURBIDITY BARRIER OR SHEET PILING
- SANDBAG COFFERDAM
- SLOPE INTERCEPT
- LIMITS OF DISTURBANCE

EXISTING	PROPOSED	
		ASPHALT PAVEMENT
		CONCRETE SIDEWALK/DRIVEWAY
		GRAVEL
		RIP–RAP (SIZE AS SPECIFIED)
		BRICK/PAVERS
		EROSION MAT
		TURF REINFORCEMENT MAT (TRM)
		EXISTING DELINEATED WETLANDS
		PROPOSED ASPHALTIC DRIVEWAY

SITE PLAN RETURN COMMENTS

General Sheet - 1

i. Building occupancy classification = S-1
j. No products will be manufactured or sold on site
k. No hazardous materials will be stored on site
w. There is no proposal outdoor storage or display
x. No outdoor refuse containers will be used
y. One ground level A.C. unit will be installed along the south wall with no screening
z. No signage is proposal
cc. No fire protection system is used
ee. No fire rated wall assemblies are used
ff. Building construction classification = 5B

ARCHITECTURAL & CONSTRUCTION PLANS

C. Structure material
- Exterior metal panels - dark bronze
- Overhead doors - white
- Split face block - salt and pepper
- Sills - limestone
- Roof, standing seam 360 - galvanized

WISCONSIN
RONALD J. WOLF
E-29967
NEENAH
WIS.
PROFESSIONAL ENGINEER

8/27/2020
pg C1.1 to C1.6 inclusive

ABBREVIATIONS, SYMBOLS & NOTES

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PROPOSED FOR:

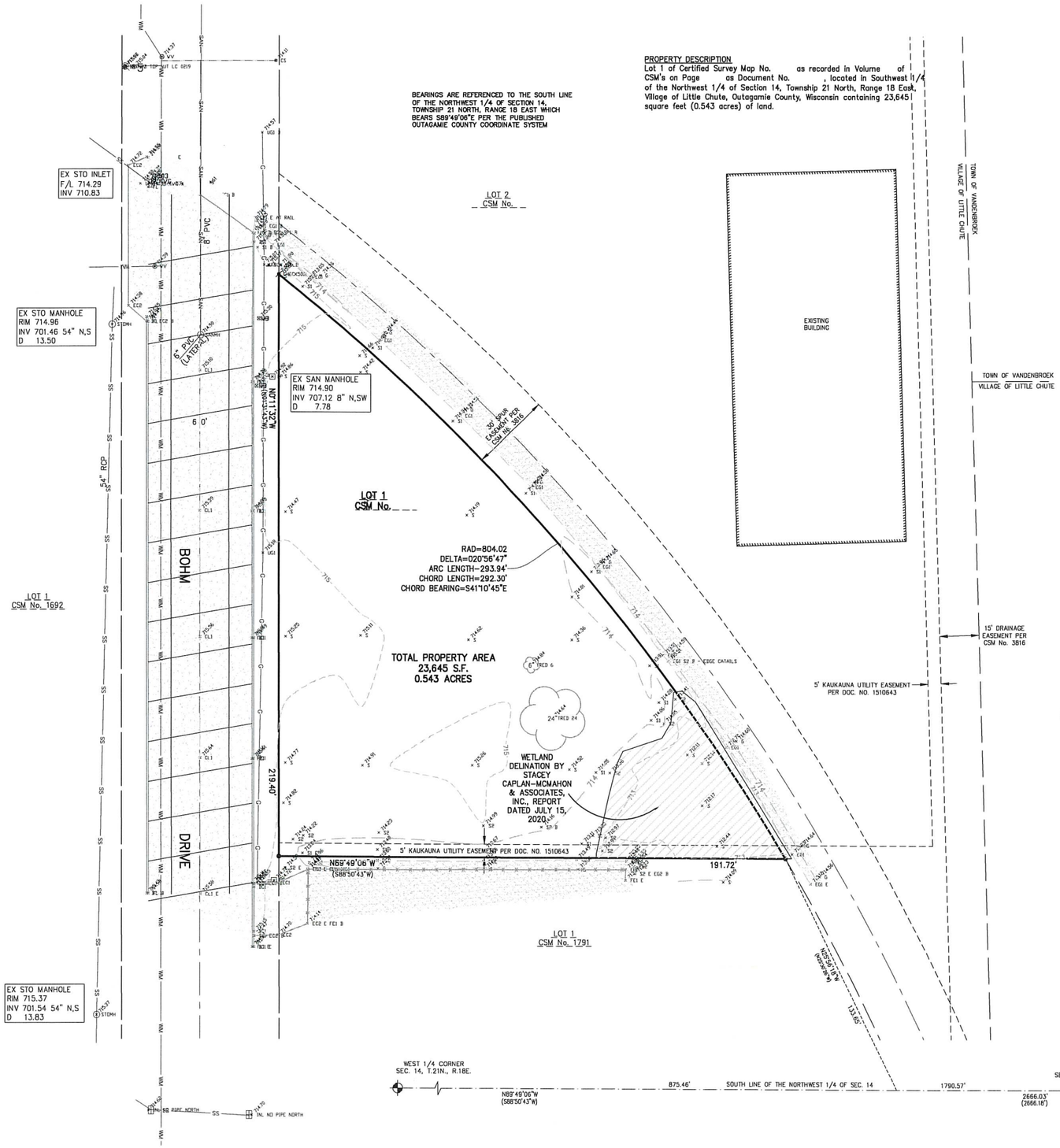
DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

REVISIONS

PROJECT MANAGER: ----
DESIGNER: RJW
DRAWN BY: RRS
EXPEDITOR: ----
SUPERVISOR: ----
PRELIMINARY NO: P20139
CONTRACT NO: ----
DATE: AUG. 2020
SHEET: C1.1

PRELIMINARY - NOT FOR CONSTRUCTION



PROPERTY DESCRIPTION

Lot 1 of Certified Survey Map No. as recorded in Volume of CSM's on Page as Document No. , located in Southwest 1/4 of the Northwest 1/4 of Section 14, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 23,645 square feet (0.543 acres) of land.

GENERAL NOTES

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2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.

SURVEYOR'S CERTIFICATE

The property as shown and described on this map was surveyed under my direction and control according to the Wisconsin Administrative Code, Chapter A-E7 of Minimum Standards for Property Surveys, and is a correct representation of said survey, to the best of my knowledge and belief.

Date *Professional Land Surveyor*

REVISED 7-20-2020

FIELD WORK COMPLETED JULY 7TH, 2020
FIELD BOOK 1378 PAGE 61

FOR: -DAVID GITTER
-2140 BOHM DRIVE
-LITTLE CHUTE, WI 54140

HORIZONTAL CONTROL POINTS OUTAGAMIE COUNTY COORDINATES DATUM = NAD 83(1991)			
POINT #	NORTHING	EASTING	DESCRIPTION
3	574669.98	857771.61	MAG NAIL LOCATED 2225 BOHM DRIVE 260' SOUTH OF THE CENTERLINE OF STEPHEN STREET
4	573845.50	857774.54	MAG NAIL LOCATED 1850 E ELM DRIVE 490' NORTH OF THE CENTERLINE OF E ELM DRIVE

VERTICAL BENCHMARK CONTROL DATUM = NAVD 88(1991)		
POINT #	ELEVATION	DESCRIPTION
5	717.96	HYDRANT TOP NUT LOCATED 2101 BOHM DRIVE 550' SOUTH OF THE CENTERLINE OF STEPHEN STREET ON THE WEST RIGHT OF WAY OF BOHM DRIVE LC 0219
6	718.53	HYDRANT TOP NUT LOCATED 1850 E ELM DRIVE 206' NORTH OF THE CENTERLINE OF E ELM DRIVE ON THE WEST RIGHT OF WAY OF BOHM DRIVE LC 0501
7	718.12	HYDRANT TOP NUT LOCATED 2225 BOHM DRIVE AT THE SOUTHWEST CORNER OF BOHM DRIVE & STEPHEN STYREET LC 0192

EXISTING CONDITIONS AND SURVEY CONTROL

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DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

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DRAWN BY: RRS
EXPEDITOR: -----
SUPERVISOR: -----
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CONTRACT NO: -----
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SHEET: C1.2

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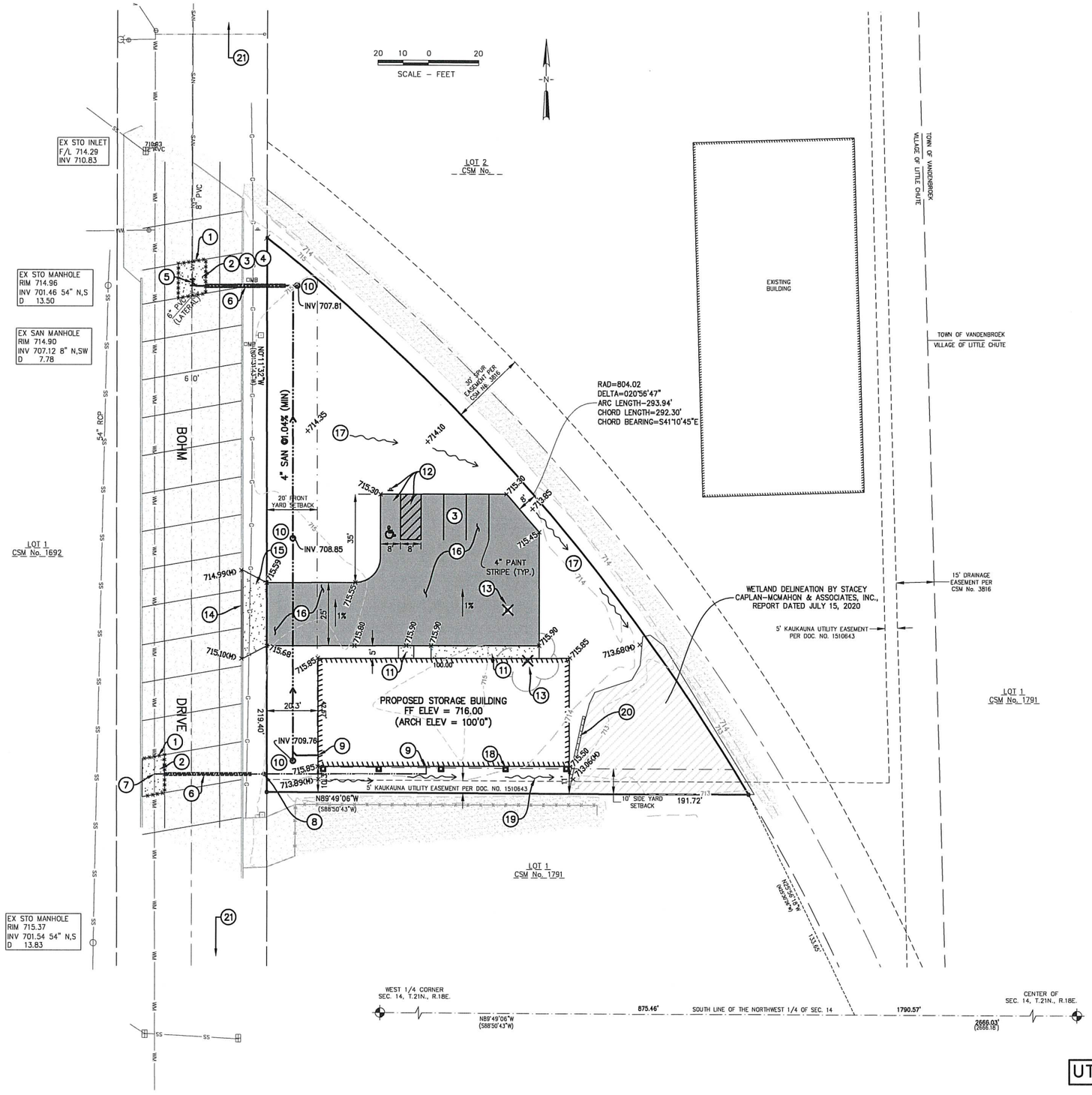

Key Notes

1. Full depth sawcut concrete pavement.
2. Repair concrete roadway according to Village of Little Chute requirements.
3. Concrete repair at sanitary lateral shall be special high early to facilitate trucking into the driveway to W.O.W. to the west.
4. Normal village protocol is full panel concrete replacement for any patches. Enquire whether half–panel replacement is possible in order to better facilitate return of trucking access to W.O.W. driveway from the south. It is assumed a half panel repair will still allow truck access to the West side of the patch.
5. Cut in 8X4" wye plus repair coupler at 4" Inv. = 707.37.
6. Bore lateral beneath pavement to minimize street repair.
7. Install saddle, tap, and 1.5" corporation in accordance with village utility requirements. Extend 1.5" water service to structure at 6.5' depth.
8. Install 1.5" curb stop and box with stainless stationary rod.
9. Coordinate utility entrance location with plumber. Sanitary Inv. = 709.86.
10. Install sanitary wye cleanout with frost sleeve.
11. Concrete stoop and apron. See building plans.
12. Provide one paint striped handicap stall with symbol, sign on post, and x–hatched 8' access aisle.
13. Clear and grub tree.
14. Diamond saw curb head to create 35' opening (25' plus two 5' flares) and tapers each side consistent with other openings on Bohm Drive.
15. Install 6" thick concrete apron. See detail.
16. Install stone base plus asphalt pavement. See detail.
17. Grade swale in lawn at 0.50% minimum towards Southeast.
18. Downspout to grade with splash block. See building plans for exact number and location.
19. Rear yard swale towards east at approximately 0.90%.
20. Protect wetlands from fill or disruption during construction. If necessary, construct masonry unit retaining wall or other means necessary to separate building grade from wetlands, unless permit is obtained to fill or modify wetlands.
21. Provide construction signage for work in right–of–way in accordance with state of Wisconsin M.U.T.C.D. standards. Coordinate with village and W.O.W. Management for trucking disruption during sanitary connection and street repair.

UTILITY, GRADING & DRAINAGE PLAN

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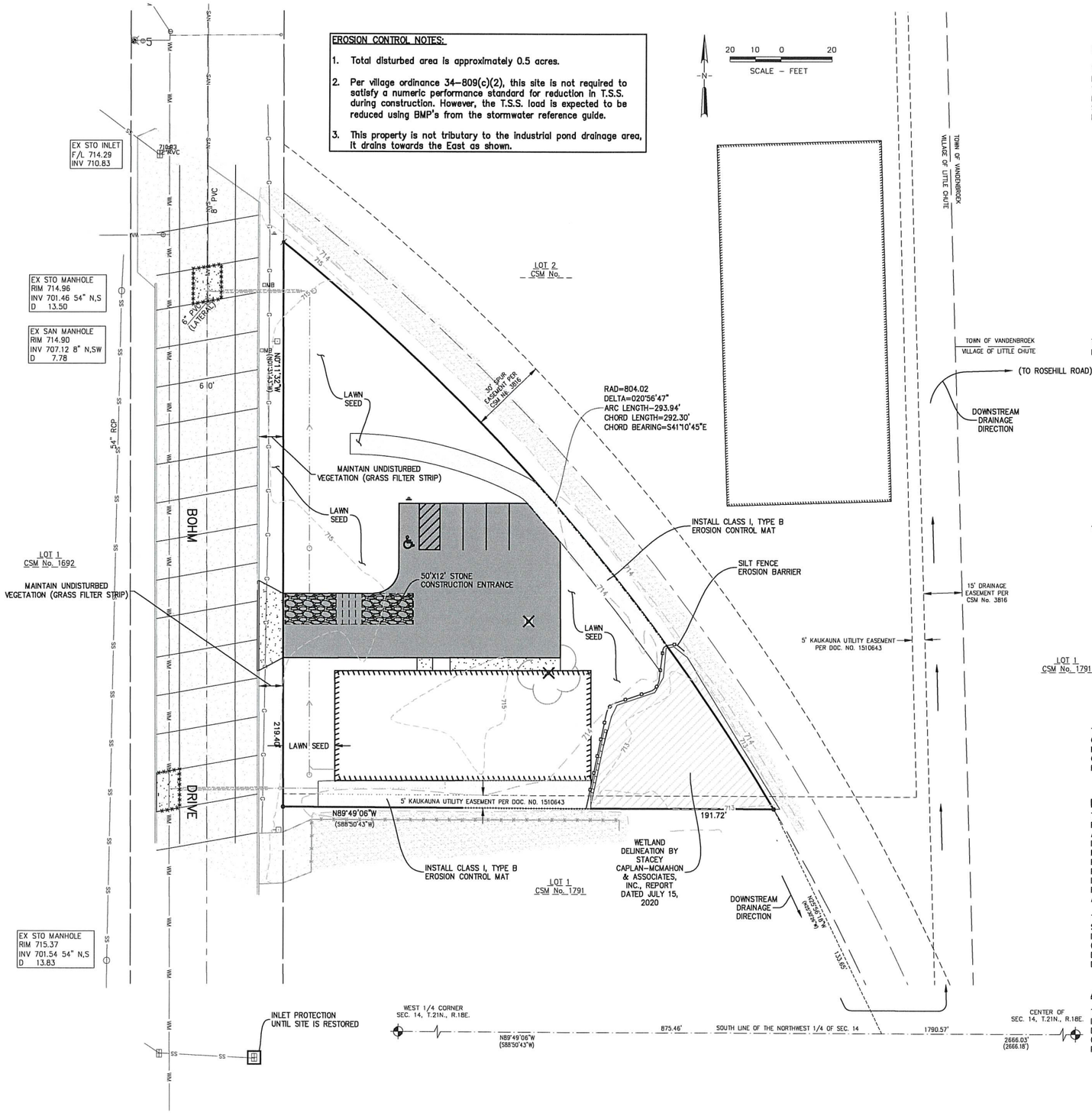

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT http://www.dnr.wi.gov/runoff/stormwater/techstds.htm. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

[ ] LAND APPLICATION OF POLYACRYLAMIDE (1050)	[ ] DE-WATERING (1061)
[ ] WATER APPLICATION OF POLYMERS (1051)	[ ] DITCH CHECK (1062)
[X] NON-CHANNEL EROSION MAT (1052)	[ ] SEDIMENT TRAP (1063)
[ ] CHANNEL EROSION MAT (1053)	[ ] SEDIMENT BASIN (1064)
[ ] VEGETATIVE BUFFER (1054)	[ ] RIP-RAP (1065)
[ ] SEDIMENT BALE BARRIER (1055)	[ ] CONSTRUCTION DIVERSION (1066)
[ ] SILT FENCE (1056)	[ ] GRADING PRACTICES (1067)
[X] TRACKING PAD & TIRE WASHING (1057)	[ ] DUST CONTROL (1068)
[X] MULCHING (1058)	[ ] TURBIDITY BARRIER (1069)
[X] SEEDING (1059)	[ ] SILT CURTAIN (1070)
[X] STORM DRAIN INLET PROTECTION (1060)	[ ] MANUFACTURED PERIMETER PRODUCTS (1071)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.

B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.

C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.

D. DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.

E. DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.

F. DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.

G. DISCHARGE OF SEDIMENT FROM EROSIVE OUTLET FLOWS.

H. TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.

I. TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.

B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.

C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.

D. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.

E. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.

F. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.

G. PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.

H. CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

EROSION CONTROL PLAN

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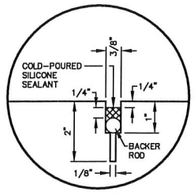
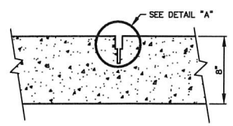
DRAWN BY: RRS
EXPEDITOR:
SUPERVISOR:
PRELIMINARY NO: P20139
CONTRACT NO:
DATE: AUG. 2020
SHEET: C1.4

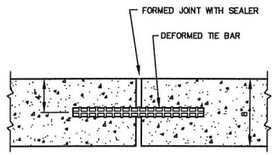
PRELIMINARY - NOT FOR CONSTRUCTION



DETAIL "A"
COLD-POURED SILICONE TYPE
JOINT SEALER



CITY STREET TRANSVERSE JOINT DETAIL



TYPE "Da" (CONSTRUCTION JOINT)

CITY STREET LONGITUDINAL JOINT DETAIL

NOTES:

T=TREES; S=SHRUB; E=EVERGREEN; B-B=BALLED IN BURLAP; B.R.=BARE ROOT; P=POTTED; T.S.= TREE SPADE.

THE LAYOUT OF THE PLANTING AND LOCATION OF PLANT HOLES OR BEDS SHALL BE STAKED BY THE CONTRACTOR SUBJECT TO ENGINEER/ ARCHITECTS APPROVAL.

ALL PLANTING AREAS TO BE FREE OF WEEDS AND GRASS, TREATED WITH A NON-LEACHING PRE-EMERGENT HERBICIDE, PREEN OR EQUAL, PER MANUFACTURER'S SPECIFICATIONS AND COVERED WITH TYPAR 3301 OR SUPAC 2P AND THEN COVERED WITH 4" OF 1.5" WASHED MISSISSIPPI STONE. THE MISSISSIPPI STONE SHALL BE RAKED TO PRODUCE A UNIFORM TEXTURE. SUBMIT SAMPLES OF HERBICIDE AND MISSISSIPPI STONE TO ENGINEER/ARCHITECT FOR APPROVAL. ON DAY OF INSTALLATION WATER HERBICIDE TO ACTIVATE IF NECESSARY.

SEE THIS PAGE FOR PLANTING AND STAKING DETAILS.

AREAS TO BE PAVED, SEEDED, AND BEDDED ARE INDICATED ON THE PLANS.

PLANT QUANTITIES INDICATED ON THE PLAN RULE OVER QUANTITIES ON THE PLANTS LIST.

CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING PITS FOR NEW TREES.

ALL PLANTS TO BE SIZED AND GRADED AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE USA STANDARD FOR NURSERY STOCK.

PLANT SUBSTITUTIONS PERMISSIBLE WITH ENGINEER/ARCHITECT AND TOWN APPROVAL AND WRITTEN NOTIFICATION PRIOR TO INSTALLATION.

PLASTIC OR METAL POTS TO BE REMOVED. SCORE ROOTBALL 1" DEEP WITH SHARP KNIFE. REMOVE TOP PORTION OF FIBER POT THAT EXTENDS ABOVE FINISH GRADE AND CUT SIDES OF POT TO AID IN DECOMPOSITION.

ALL LAWN AREAS TO BE SEEDED AND MULCHED WITH CHOPPED STRAW. MULCH IS TO BE CRIMPED AND SHOULD CONFORM TO DNR TECHNICAL STANDARDS 1058 AND 1059.

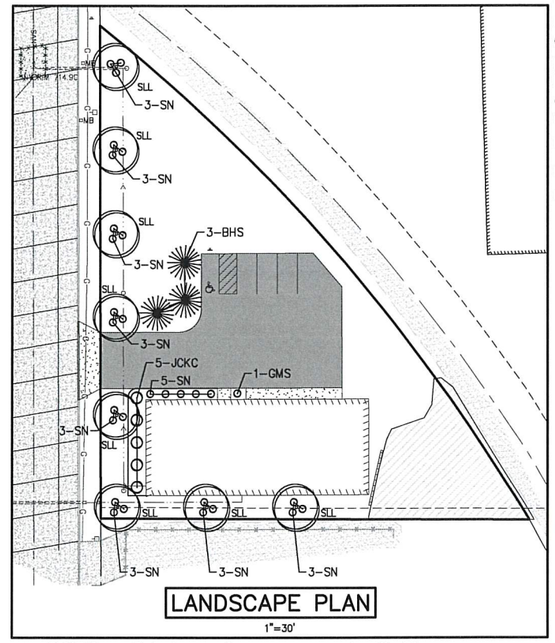
MATURE TREES SHOULD BE LINED UP TO PROVIDE A SEVEN FOOT UNDERCLEARANCE.

SEE EROSION CONTROL PLAN FOR EROSION MAT AND SPECIAL RESTORATION INFORMATION.

ALL BEDS EDGES TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, FORMED IN LINES OR CURVES AS SHOWN ON THE DRAWINGS.

RESTORE ALL DISTURBED AREAS AROUND PERIMETER OF SITE WITH LAWN.

List						
Large Deciduous TREE						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
SLL	8	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honey Locust	Balled & Burlapped or Potted	2.5"	60 x 40
TOTAL	8					
Small Deciduous Tree						
EVERGREEN TREE						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
BHS	3	Picea glauca den. 'Black Hills'	Black Hills Spruce	Balled & Burlapped or Potted	5	50 x 25
TOTAL	3					
SHRUB EVERGREEN						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
JcKc	5	Juniperus X phitzeriana 'Kallays Compacta'	Kallays Compact Juniper	Potted	2'	3'x3.5
TOTAL	5					
SHRUB DECIDUOUS						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
SN	29	Spiraea japonica 'Norman'	Norman Spirea	Potted	2'	3'x3.5
GMS	1	Spiraea japonica 'Goldmound'	Goldmound Spirea	Potted	2'	3'x3.5
TOTAL	30					



LANDSCAPE PLAN
1"=30'

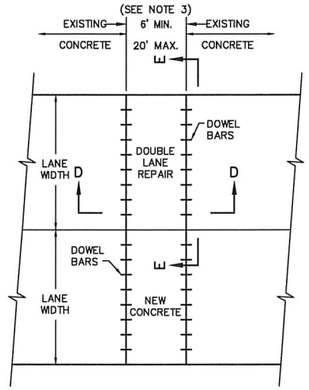
14,297 Square Feet of proposed greenspace proposed on the lot.

5082 Square Feet of off-street parking

3 standard and 1 handicapped parking spaces.

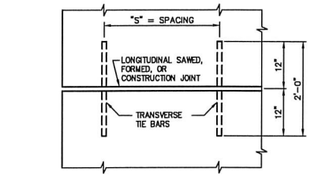
There are no interior islands or peninsulas.

CONCRETE PAVEMENT REPAIR

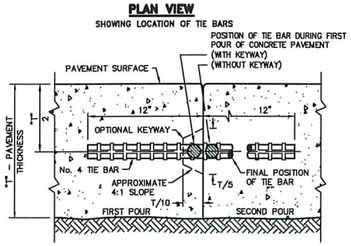


GENERAL NOTES

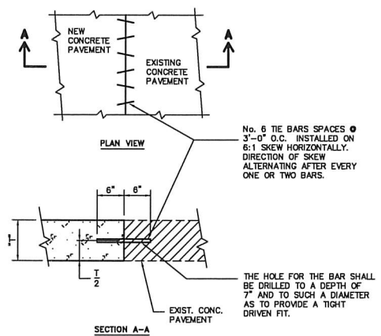
1. TIE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.4 OF THE STANDARD SPECIFICATIONS. DOWEL BARS SHALL BE COATED IN CONFORMANCE WITH SUBSECTION 505.2.6 OF THE STANDARD SPECIFICATIONS.
2. DOWEL BARS SHALL BE INSTALLED PARALLEL TO THE PAVEMENT CENTERLINE AND PAVEMENT SURFACE.
3. CONCRETE REPAIR SHALL BE FULL PANELS.
4. THE PREPARATION OF FOUNDATION FOR FULL DEPTH CONCRETE PAVEMENT REPAIR SHALL BE IN ACCORDANCE WITH SUBSECTION 211.4.4 OF THE STANDARD SPECIFICATIONS.
5. DOWEL BARS SHALL BE ANCHORED INTO DRILL HOLES WITH AN APPROVED EPOXY GROUT.
6. THE FREE END OF DOWEL BARS SHALL RECEIVE A THIN UNIFORM COATING OF BOND GREASE.
7. JOINTS SHALL NOT BE SEALED OR FILLED.



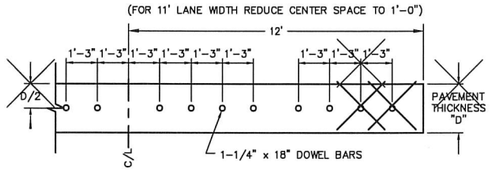
PLAN VIEW
SHOWING LOCATION OF TIE BARS



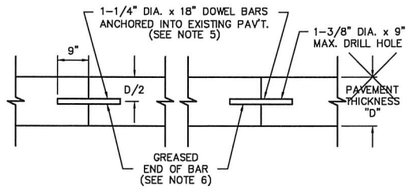
CONSTRUCTION JOINT



PAVEMENT TIES



SECTION E-E



SECTION D-D

MISCELLANEOUS SITEWORK DETAILS/LANDSCAPE PLAN

McMAHON ENGINEERS | ARCHITECTS
McMAHON ASSOCIATES, INC.
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PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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Goldendale Rd
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Wausau, WI 54401
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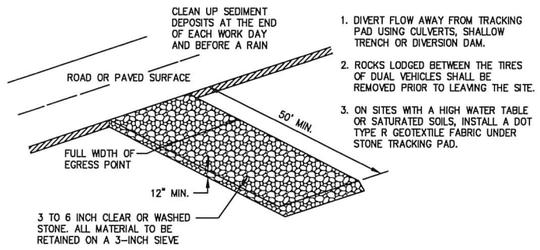
www.kellerbuilds.com

PROPOSED FOR:
DG STORAGE
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

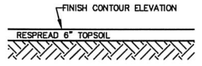
REVISIONS
- . . .
- . . .
- . . .
- . . .
- . . .

PROJECT MANAGER: ------
DESIGNER: RJW
DRAWN BY: RRS
EXPEDITOR: ------
SUPERVISOR: ------
PRELIMINARY NO: P20139
CONTRACT NO: ------
DATE: AUG. 2020
SHEET: C1.5

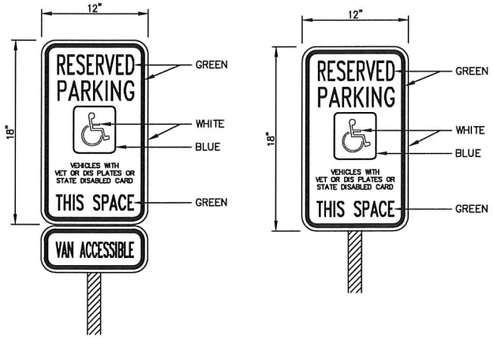
PRELIMINARY - NOT FOR CONSTRUCTION



TRACKING PAD DETAIL



TYPICAL LANDSCAPED SECTION



HANDICAPPED STALL SIGN

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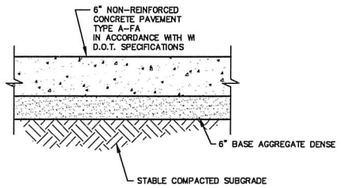
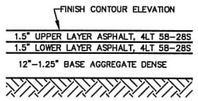
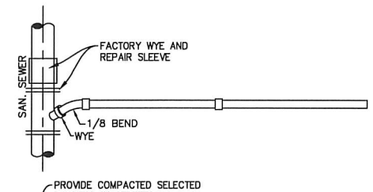
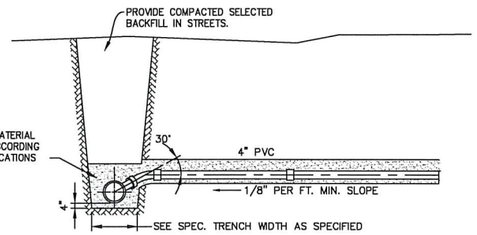


CONCRETE PAVEMENT DETAIL

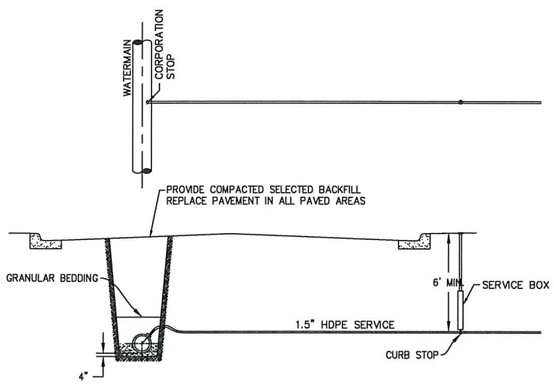


PAVEMENT/BASECOURSE TYPICAL SECTIONS

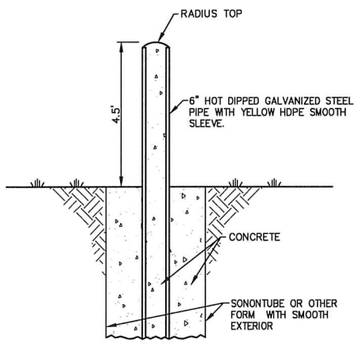




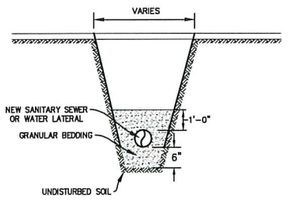
TYPICAL SANITARY SEWER CONNECTION



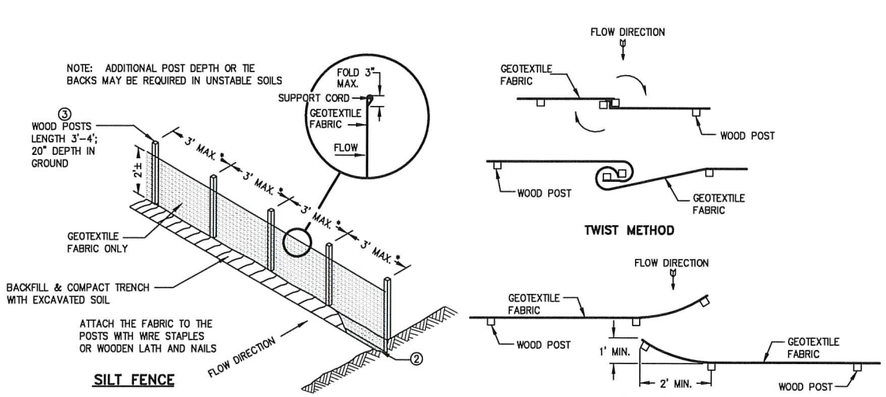
TYPICAL WATER CONNECTION



BOLLARD DETAIL

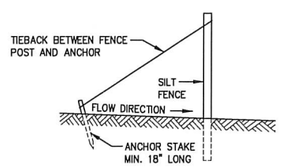


TRENCH DETAIL
REQUIRED FOR ALL NEW SEWER AND WATER LATERALS



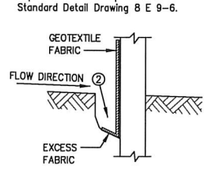
SILT FENCE

JOINING TWO LENGTHS OF SILT FENCE ⑤



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



TRENCH DETAIL

SILT FENCE DETAIL

GENERAL NOTES

① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.

② TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY

④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.

⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

MISCELLANEOUS SITEWORK DETAILS

PROPOSED FOR:
DG STORAGE
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

REVISIONS
1. -
2. -
3. -
4. -
5. -

PROJECT MANAGER: -
DESIGNER: RJW
DRAWN BY: RRS
EXPEDITOR: -
SUPERVISOR: -
PRELIMINARY NO: P20139
CONTRACT NO: -
DATE: AUG. 2020
SHEET: C1.6

PRELIMINARY - NOT FOR CONSTRUCTION

PRE-ENGINEERED METAL BUILDING

PRE-ENGINEERED METAL BUILDING SHALL BE DESIGNED FOR LOADS AS INDICATED IN 'DESIGN LOADS' SECTION.

THE ERECTION OF THE METAL BUILDING AND THE INSTALLATION OF ACCESSORIES SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING MANUFACTURER'S ERECTION DRAWINGS BY A QUALIFIED ERECTOR USING PROPER TOOLS AND EQUIPMENT. ERECTION PRACTICES SHALL CONFORM TO PART IV, MBMA "CODE OF STANDARD PRACTICES." THERE SHALL BE NO FIELD MODIFICATIONS TO PRIMARY STRUCTURAL MEMBERS EXCEPT AS AUTHORIZED AND SPECIFIED BY THE BUILDING MANUFACTURER.

CONTRACTOR MUST VERIFY FINAL BUILDING DESIGN WITH THE FOLLOWING AREAS SHOWN ON THESE PLANS:

-ANCHOR BOLT SIZE AND SPACING.
-DEPTH OF COLUMNS.
-DEPTH OF RAFTERS.

INTERIOR PARTITION WALLS

INTERIOR PARTITION WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.

INTERIOR PARTITIONS ARE 3½" FOR WOOD STUDS AND 3⅝" FOR METAL STUDS. PLUMBING WALLS ARE 5½" FOR WOOD STUDS OR 6" FOR METAL STUDS.

STUDS ARE SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE. USE MINIMUM ½" GYPSUM BOARD ON THE FINISHED SIDES OF INTERIOR PARTITIONS. PROVIDE EXPANSION JOINTS AT 30'-0" O.C. FOR LONG GYPSUM BOARD WALLS.

PARTITION WALLS WHICH ARE NOT FULL HEIGHT MUST BE BRACED TO CROSS WALLS OR TO THE STRUCTURE ABOVE TO PROVIDE ADEQUATE STABILITY.

DRYWALL

DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" GA-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. PROVIDE CONTROL JOINTS AS REQUIRED.

WALL TYPE SCHEDULE

NO.	DESCRIPTION	WALL DIAGRAM
1	⅝" GYPSUM BOARD VAPOR BARRIER 2x6 WOOD STUDS AT 16" O.C. BATT INSULATION GIRTS X" BATT INSULATION WITH FACING (R-X) PLYWOOD HEIGHT: FULL HEIGHT	✓
2	⅝" GYPSUM BOARD 2x4 WOOD STUDS AT 16" O.C. BATT INSULATION ⅝" GYPSUM BOARD HEIGHT: 10'-0"	✓

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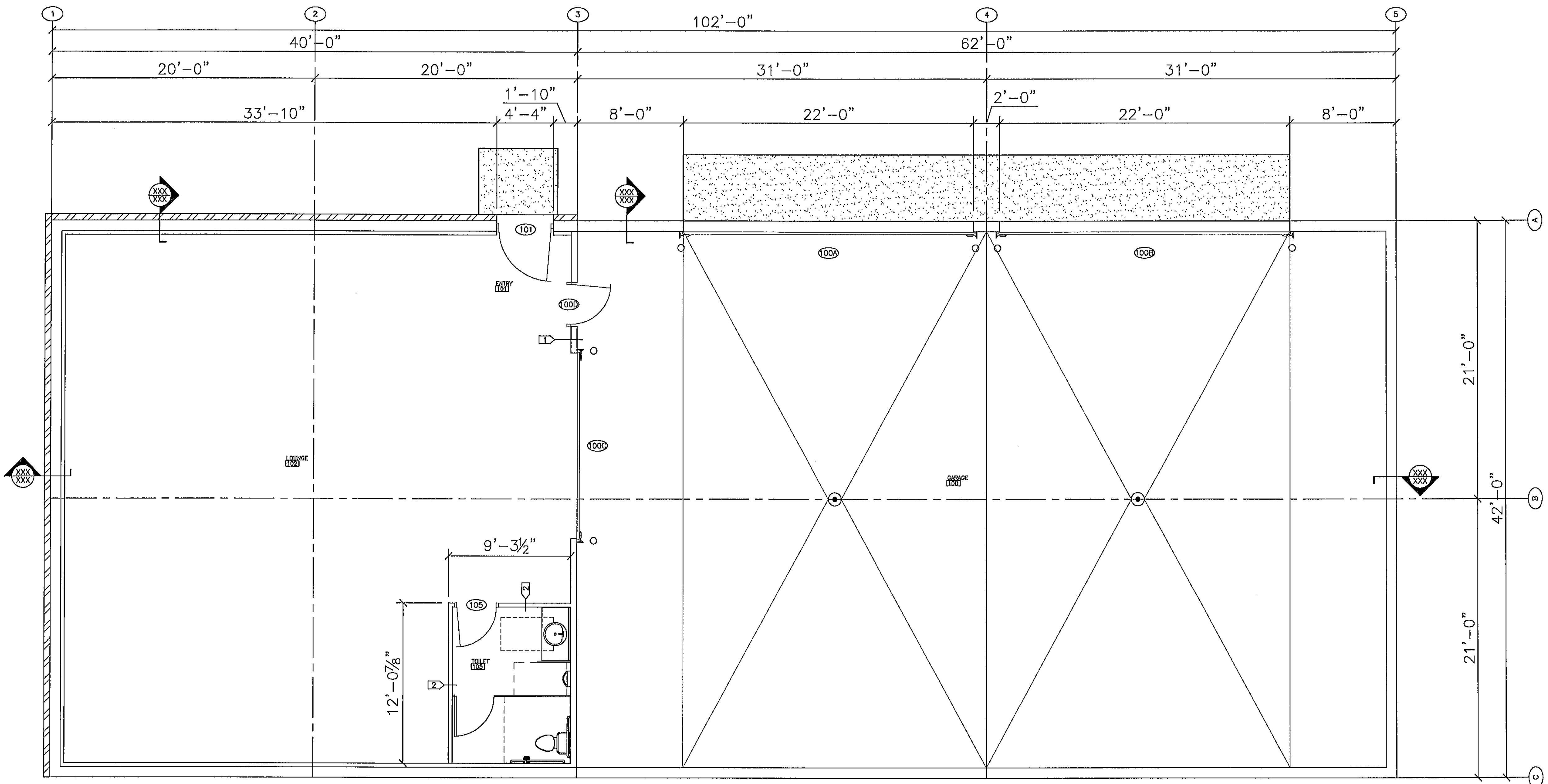


FLOOR PLAN
SCALE: ⅛"=1'-0"

WALL TYPE SYMBOL SEE WALL TYPE SCHEDULE ON SHEET A1.0

PROPOSED BUILDING FOR:

D.G. STORAGE

BOHM DRIVE
LITTLE CHUTE, WISCONSIN 54140

REVISIONS

"NOT FOR CONSTRUCTION"
This document represents preliminary information about the owners requirements. Therefore DO NOT imply or affirm constructability. Feasibility of the site or building development is not guaranteed. Using this document without the expressed consent of KELLER, INC. is prohibited.

PROJECT MANAGER:

DESIGNER

IED PROJECT MANAGER: T. BAUMGARTNER

EXPEDITOR:

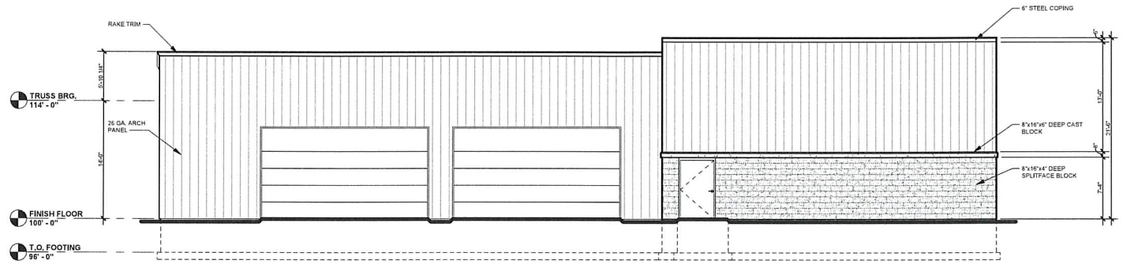
SUPERVISOR:

CONTRACT NO:

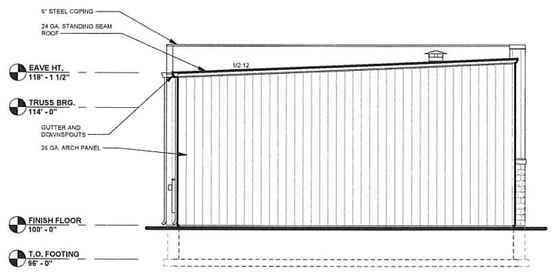
IED NO: 20117

ISSUED DATE: AUGUST 24, 2020

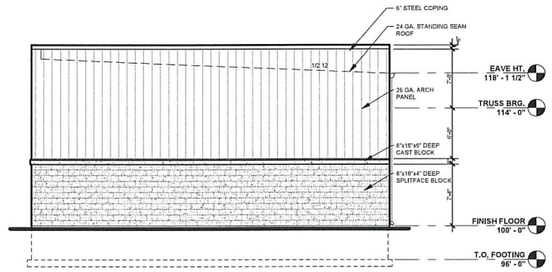
SHEET: A1.0



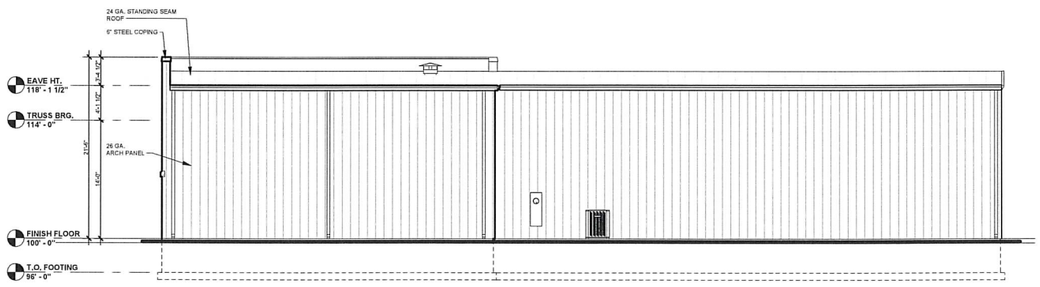
NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

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5605 Lilac Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED FOR:
D.G. STORAGE
LITTLE CHUTE, WISCONSIN

REVISIONS

1	06.30.2020	J.R.S.
2		
3		
4		
5		
6		

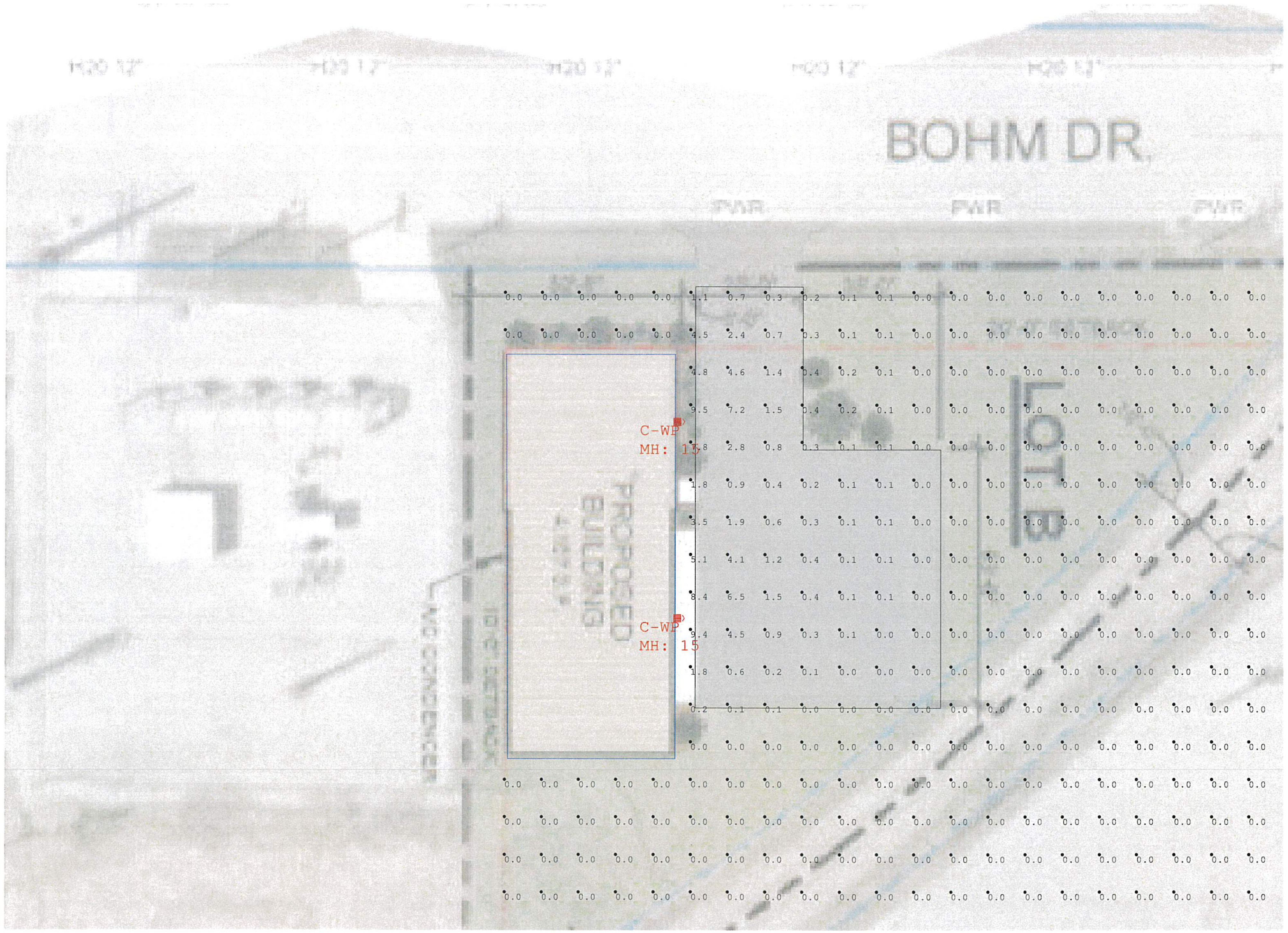
PROJECT MANAGER: M. NYSTED
DESIGNER: S. KLESSIG
DRAWN BY: C. TEAFOE
EXPEDITOR: -------
SUPERVISOR: -------
PRELIMINARY NO: P20139
CONTRACT NO: -----
DATE: 06.17.2020
SHEET: A2.0

PRELIMINARY - NOT FOR CONSTRUCTION

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
	2	C-WP	SINGLE	N.A.	1.000	154	C-WP-A-RDC-10L-50K-DB

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0.36	9.5	0.0	N.A.	N.A.
Pavement of Lot B	0.88	7.2	0.0	N.A.	N.A.

Customer to verify Color, Mounting, Fixture Location and Voltage prior to ordering.



0 | 32' | 64'

e-conolight®

1501 96th Street
Sturtevant, Wisconsin 53177
PH: (888) 243-9445
FX: (262) 504-5409
www.e-conolight.com

Customer responsible to verify ordering information/ catalogue number prior to placing order.

Date:8/19/2020 | Scale: 1"=16' | Layout by: Nicholas Passeri

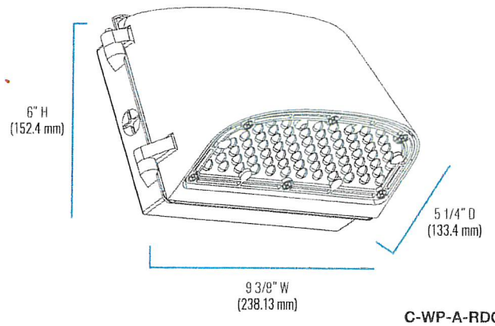
Project Name: DG Storage, Village of Little Chute, Wi | Salesforce:SR-32547

Filename: V:\Common\AppEng\Working\Nrp\2020 Virtual Drawer\Outdoor\08 AUG\0818 - SR32547

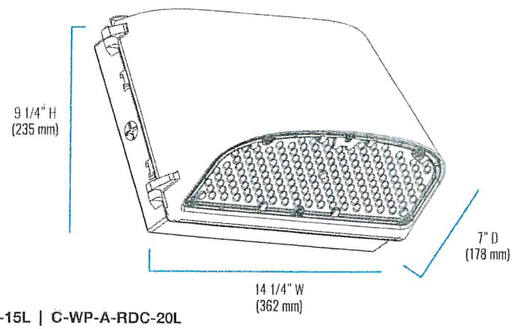
Footcandles calculated at grade using initial lumen values

C-WP-A-RDC Series

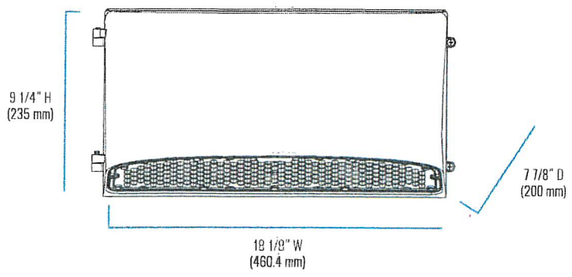
C-WP-A-RDC-1L | C-WP-A-RDC-3L



C-WP-A-RDC-6L | C-WP-A-RDC-10L



C-WP-A-RDC-15L | C-WP-A-RDC-20L



SERIES OVERVIEW

SKU	DIMENSIONS	PRODUCT WEIGHT
C-WP-A-RDC-1L	9-3/8" **W** x 6" **H** x 5-1/4" **D**	2.41 lbs.
C-WP-A-RDC-3L		
C-WP-A-RDC-6L	14-1/4" **W** x 9-1/4" **H** x 7" **D**	5.48 lbs.
C-WP-A-RDC-10L		5.94 lbs.
C-WP-A-RDC-15L	18-1/8" **W** x 9-1/4" **H** x 7-7/8" **D**	12.94 lbs.
C-WP-A-RDC-20L		13.15 lbs.

FIXTURE SPECIFICATIONS

HOUSING	Heavy duty, die-cast aluminum housing with hinged door frame. Dark bronze polyester powder-coat finish.
LENS ASSEMBLY	UV Stabilized polycarbonate lens designed to not only protect the LEDs but also to distrubute the light efficently.
MOUNTING	1/2" threaded knockouts provided for conduit entry or mount over a recessed junction box.

CA RESIDENTS WARNING- Cancer and Reproductive Harm - www.p65warnings.ca.gov

C-WP-A-RDC Series

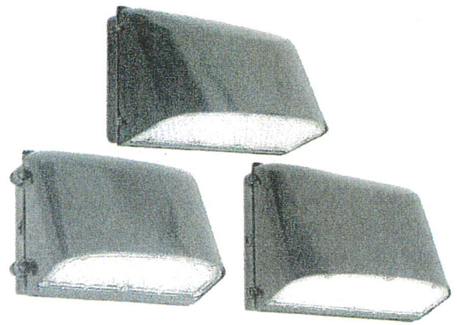
Full Cutoff LED Wall Pack

Replaces up to 400W PSMH

C-LITE LED LIGHTING

THE WALL PACK DESIGNED WITH YOU IN MIND

UL listed, the C-WP-A-RDC Series LED Full Cutoff Wall Pack features an aesthetically pleasing form factor, with an optical lens designed to pass full cutoff compliance with many town ordinances. It delivers up to 21,100 lumens, with a ≥70 CRI and estimated 50,000-hour maintenance-free lifespan. Choose yours in 3000K, 4000K, or 5000K.



PRODUCT SPECIFICATIONS

OVERVIEW

- Initial Delivered Lumens: Up to: 21,100L
- CRI: ≥ 70 CRI
- CCT: Warm White 3000K, Neutral White 4000K, Cool White 5000K
- Mounting: 1/2" threaded knockouts provided for conduit entry or mount over a recessed junction box
- Input Power: Up to 144 Watts
- Dimmable: No
- Operating Range: -40°C (-40°F) 40°C (104°F)
- Lifespan: Estimated >50,000 Hours
- Power Factor: > 0.9
- Total Harmonic Distortion: < 20%
- Limited Warranty: 5-Years*
- Replaces up to 400W PSMH
- Distribution: Forward throw

C-WP-A-RDC-10L-50K-DB

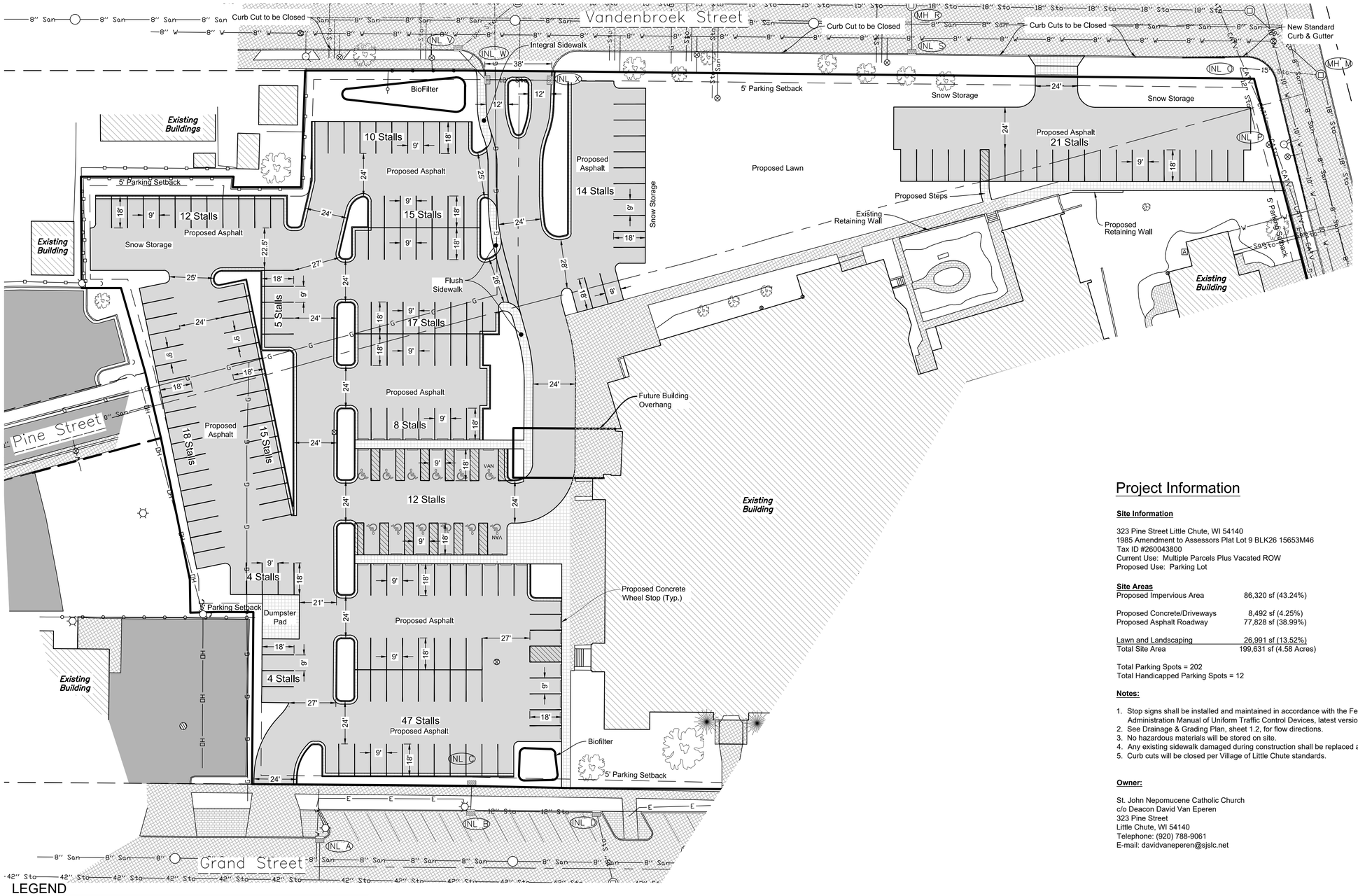
FEATURES	BENEFITS	RECOMMENDED USE
• Easy to install • Lens assembly designed to control the light	• Full cutoff luminaire • Developed with the contractor in mind • Fully tested and backed by Cree Lighting	• Building Facade • Security • Perimeter • General Area Lighting

ORDERING INFORMATION

Example: C-WP-A-RDC-1L-30K-DB

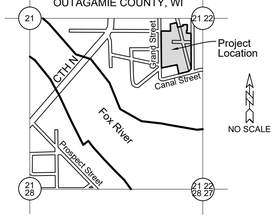
-	A	RDC	1L		30K	DB
PRODUCT	SERIES	STYLE	LUMEN PACKAGE		CCT	COLOR
C-WP	A	RDC	**1L** 1500 Lumens (30K, 40K, 50K) 12W **3L** 3000 Lumens (30K, 40K, 50K) 22W **6L** 6200 Lumens (30K, 40K) 6300 Lumens (50K) 47W	**10L** 10,600 Lumens (40K, 50K) 77W **15L** 15,000 Lumens (40K) 15,200 Lumens (50K) 109W **20L** 20,900 Lumens (40K) 21,100 Lumens (50K) 144W	**30K** Warm White (3000K) (Only Available in 1L, 3L and 6L) **40K** Neutral White (4000K) **50K** Cool White (5000K)	-

CERTIFICATIONS:



LOCATION MAP

SE 1/4 SEC 21, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WI



LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
OH	Overhead Electric Lines	Storm Manhole	Railroad Signal
	Utility Guy Wire	Inlet	Sign
San	Sanitary Sewer	Catch Basin / Yard Drain	Tower / Silo
Sto	Storm Sewer	Water MH / Well	Post / Guard Post
E	Underground Electric	Hydrant	Satellite Dish
G	Underground Gas Line	Utility Valve	Large Rock
T	Underground Telephone	Utility Meter	Flag Pole
W	Water Main	Utility Pole	Deciduous Tree
	Fence - Steel	Light Pole / Signal	Coniferous Tree
	Fence - Wood	Guy Wire	Bush / Hedge
	Fence - Barbed Wire	Electric Pedestal	Stump
WL	Wetlands	Electric Transformer	Marsh
	Treeline	Air Conditioner	Soil Boring
	Railroad Tracks	Telephone Pedestal	Benchmark
	Culvert	Telephone Manhole	Asphalt Pavement
800	Index Contour	Wetlands	Concrete Pavement
799	Intermediate Contour	+799.9 Ex Spot Elevation	Gravel

30 0 30 60 90

Project Information

Site Information

323 Pine Street Little Chute, WI 54140
1985 Amendment to Assessors Plat Lot 9 BLK26 15653M46
Tax ID #260043800
Current Use: Multiple Parcels Plus Vacated ROW
Proposed Use: Parking Lot

Site Areas

Proposed Impervious Area	86,320 sf (43.24%)
Proposed Concrete/Driveways	8,492 sf (4.25%)
Proposed Asphalt Roadway	77,828 sf (38.99%)
Lawn and Landscaping	26,991 sf (13.52%)
Total Site Area	199,631 sf (4.58 Acres)

Total Parking Spots = 202
Total Handicapped Parking Spots = 12

Notes:

1. Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version.
2. See Drainage & Grading Plan, sheet 1.2, for flow directions.
3. No hazardous materials will be stored on site.
4. Any existing sidewalk damaged during construction shall be replaced as a part of this project.
5. Curb cuts will be closed per Village of Little Chute standards.

Owner:

St. John Nepomucene Catholic Church
c/o Deacon David Van Eperen
323 Pine Street
Little Chute, WI 54140
Telephone: (920) 788-9061
E-mail: davidvaneperen@sjslc.net

SHEET INDEX:

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1666 Fax: 920-441-0804
www.davel.pro

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SITE PLAN

St. John Nepomucene Catholic Community

Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/20/2020
Filename: 6044engr.dwg
Author: MDB
Last Saved by: jennifer
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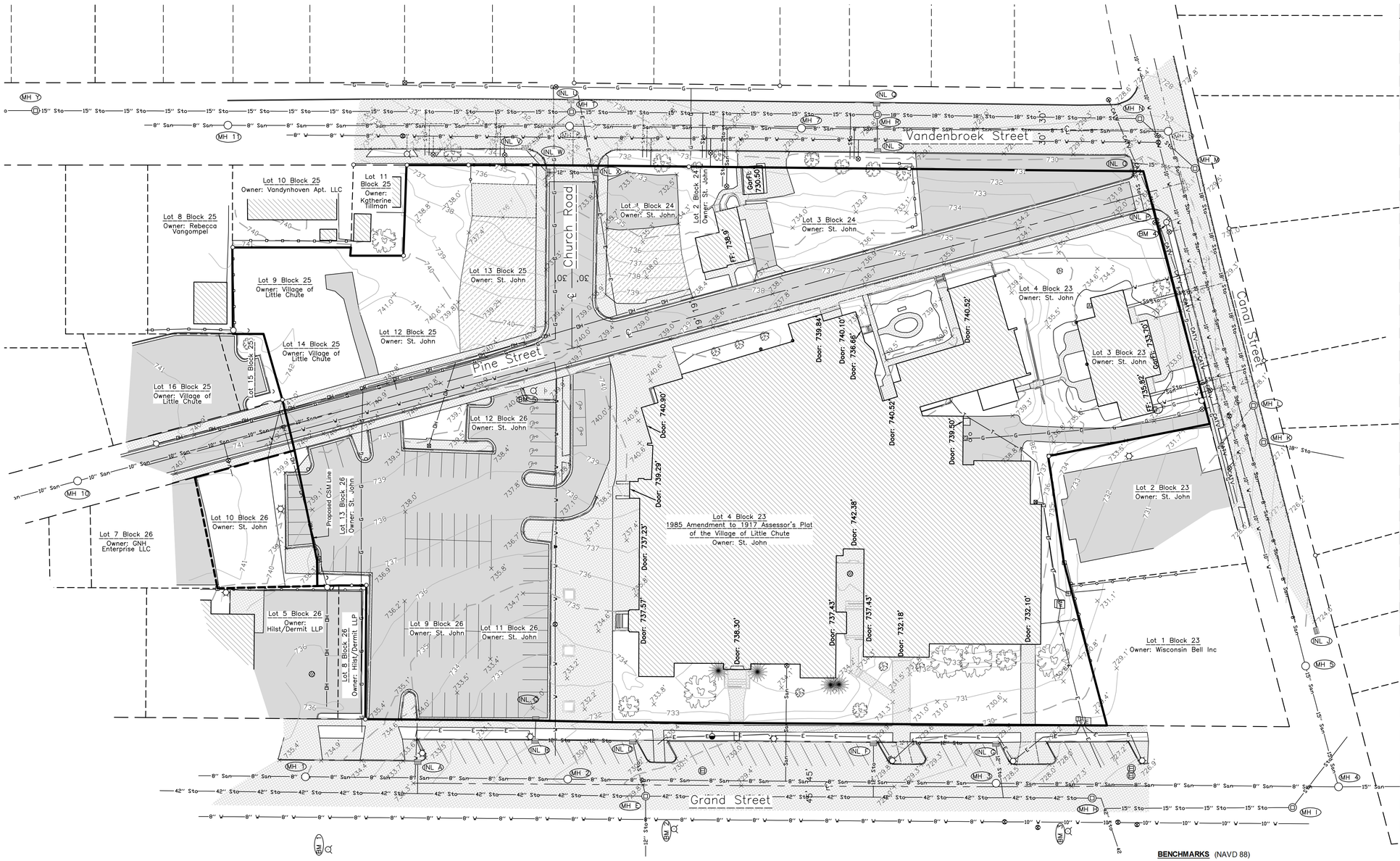


Storm Structures

Structure	#	Rim	Inv	Size	Material	Direction
INL	A	733.45	731.25	12"	PVC	W
INL	B	732.02	728.47	12"	PVC	E
			728.12	12"	PVC	S
INL	C	731.73	728.76	12"	PVC	W
INL	D	730.35	726.50	12"	PVC	N
			725.73	15"	PVC	W
MH	E	729.63	722.83	15"	PVC	E
			723.78	12"	PVC	W
			717.03	42"	RCP	N
			717.03	42"	RCP	S
INL	F	729.46	724.81	12"	PVC	W
			724.81	12"	PVC	S
INL	G	728.73	724.45	12"	PVC	N
			724.41	12"	PVC	W
MH	H	726.86	714.90	42"	RCP	N
			714.90	42"	RCP	S
MH	I	725.56	719.98	18"	RCP	N
INL	J	724.44	721.81	15"	PVC	W
			721.83	15"	PVC	E
MH	K	727.64	721.61	15"	PVC	W
			722.21	18"	RCP	E
			721.61	18"	RCP	SW
MH	L	728.20	722.64	18"	RCP	W
			723.63	10"	PVC	NW
			722.64	18"	RCP	E
MH	M	729.57	724.54	18"	RCP	W
			724.54	15"	PVC	N
			724.54	18"	RCP	NE
MH	N	729.13	724.92	18"	RCP	SW
			724.95	18"	RCP	N
INL	O	730.08	726.26	12"	PVC	W
			725.55	15"	PVC	S
INL	P	731.25	727.61	12"	PVC	E
INL	Q	727.94	725.25	12"	PVC	W
MH	R	728.41	725.18	18"	RCP	S
			725.19	12"	PVC	W
			725.19	12"	PVC	E
			725.19	15"	PVC	N
INL	S	728.90	725.45	12"	PVC	E
MH	T	731.04	726.60	15"	PVC	S
			726.61	12"	PVC	NW
			726.61	12"	PVC	E
			726.61	12"	PVC	N
INL	U	730.60	727.23	12"	PVC	W
INL	V	732.41	728.65	12"	PVC	SE
			728.88	12"	PVC	SW
INL	W	733.03	729.00	12"	PVC	NE
			729.01	12"	PVC	S
INL	X	732.43	729.11	12"	PVC	N
MH	Y	738.36	732.70	12"	PVC	S
				12"	PVC	NW
				10"	PVC	N

Sanitary Structures

Structure	#	Rim	Inv	Size	Material	Direction
MH	1	735.01	723.91	8"	PVC	N
			723.91	8"	PVC	S
MH	2	730.76	721.56	8"	PVC	N
			721.55	8"	PVC	S
MH	3	728.37	719.11	8"	PVC	N
			719.10	8"	PVC	S
MH	4	725.19	717.14	8"	PVC	N
			717.14	15"	PVC	S
			717.41	15"	PVC	E
MH	5	725.55	717.95	15"	PVC	W
			717.95	8"	PVC	E
MH	6	729.33	720.04	8"	PVC	W
			720.06	8"	PVC	NE
MH	7	728.91	721.24	8"	PVC	S
			721.27	8"	PVC	N
MH	8	731.41	724.13	8"	PVC	S
			724.14	8"	PVC	N
MH	9	740.67	731.92	10"	PVC	NW
MH	10	740.21	729.93	10"	PVC	SE
			729.92	10"	PVC	NW
MH	11	737.84	727.09	8"	PVC	N
			727.09	8"	PVC	S

BENCHMARKS (NAVD 88)

BM 0 NGS Benchmark
Designation - CELCD 27 USE (PN0657)
Elev 695.10

BM 1 Fire Hydrant, Tag Bolt
NW Quad of W. Lincoln Ave & Grand St.
Elev 735.72

BM 2 Fire Hydrant, Tag Bolt
NW Quad of Wilson St. & Grand St.
Elev 730.96

BM 3 Fire Hydrant, Tag Bolt
SW Quad of Ravine St. & Grand St.
Elev 729.54

BM 4 Fire Hydrant, NW Tag Bolt
NW Quad of Pine St. & Canal St.
Elev 730.96

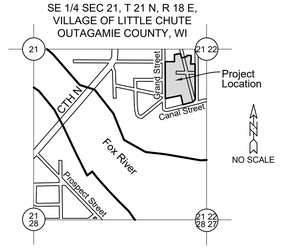
BM 5 Fire Hydrant, NW Tag Bolt
NW Quad of Pine St. & Church St.
Elev 741.62

LEGEND

- Underground Cable TV (CATV)
- Overhead Electric Lines (OH)
- Sanitary Sewer (San)
- Storm Sewer (Sto)
- Underground Electric (E)
- Underground Gas Line (G)
- Underground Telephone (T)
- Water Main (W)
- Fence - Steel
- Fence - Wood
- Index Contour (800)
- Intermediate Contour (799)
- Sanitary MH / Tank / Base
- Clean Out / Curb Stop / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Hydrant
- Utility Valve
- Utility Meter
- Utility Pole
- Light Pole / Signal
- Guy Wire
- Electric Transformer
- Air Conditioner
- Telephone Pedestal
- Telephone Manhole
- Gas Regulator
- Flag Pole
- Deciduous Tree
- Coniferous Tree
- Asphalt Pavement
- Concrete Pavement
- Stamped Concrete / Paver Block
- Gravel
- +799.9 Ex Spot Elevation

LOCATION MAP

SE 1/4 SEC 21, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WI



DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

TOPOGRAPHIC SURVEY

St. John Nepomucene Catholic Community

Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

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Last Saved by: scott
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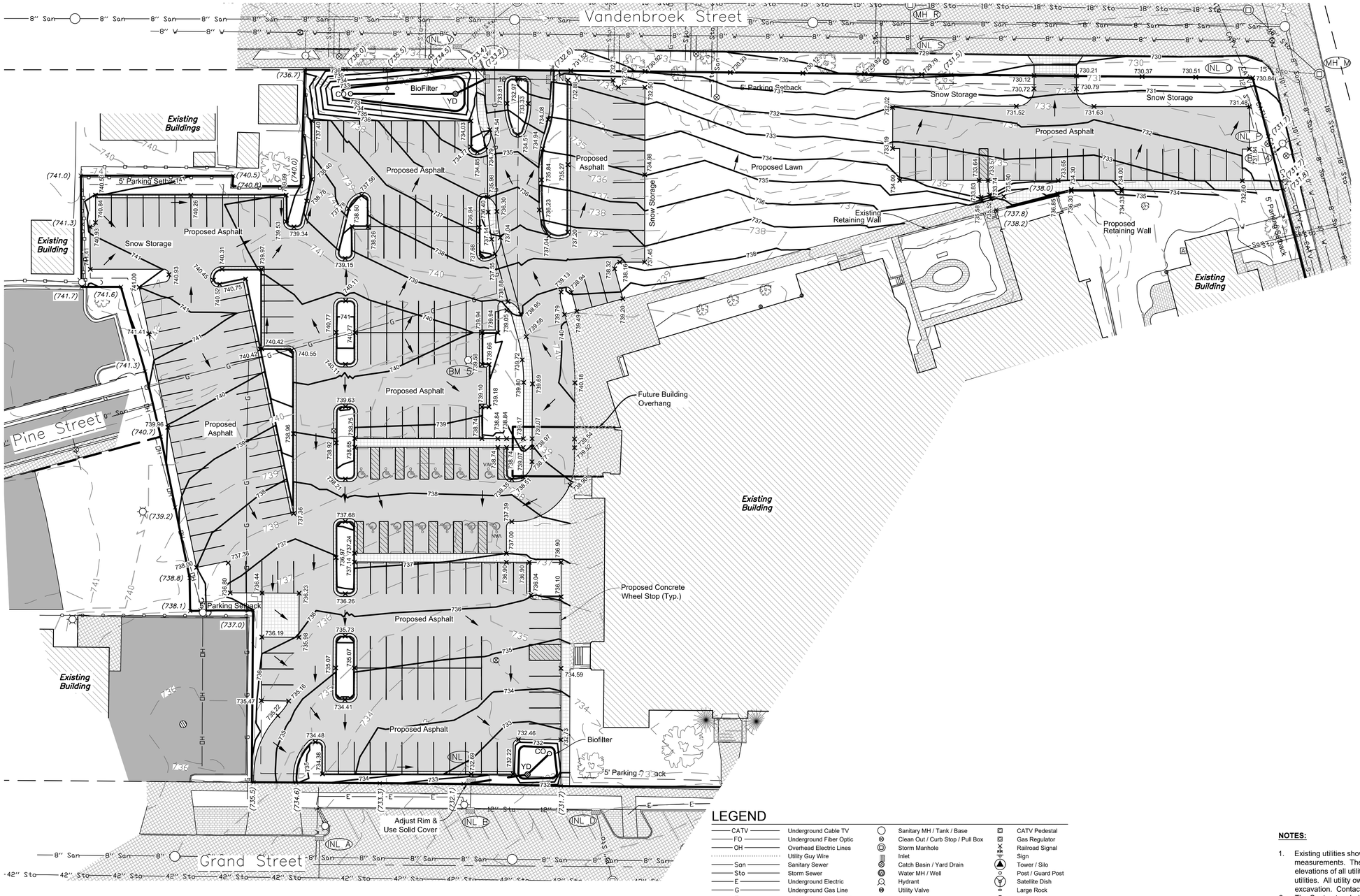

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BM 3 Fire Hydrant, Tag Bolt
SW Quad of Ravine St. & Grand St.
Elev 729.54

BM 4 Fire Hydrant, NW Tag Bolt
NW Quad of Pine St. & Canal St.
Elev 730.96

BM 5 Fire Hydrant, NW Tag Bolt
NW Quad of Pine St. & Church St.
Elev 741.62

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
OH	Overhead Electric Lines	Storm Manhole	Railroad Signal
	Utility Guy Wire	Inlet	Sign
San	Sanitary Sewer	Catch Basin / Yard Drain	Tower / Silo
Sto	Storm Sewer	Water MH / Well	Post / Guard Post
E	Underground Electric	Hydrant	Satellite Dish
G	Underground Gas Line	Utility Valve	Large Rock
T	Underground Telephone	Utility Meter	Flag Pole
W	Water Main	Utility Pole	Deciduous Tree
	Fence - Steel	Light Pole / Signal	Coniferous Tree
	Fence - Wood	Guy Wire	Bush / Hedge
X X X	Fence - Barbed Wire	Electric Pedestal	Stump
WL WL	Wetlands	Electric Transformer	Marsh
	Treeline	Air Conditioner	Soil Boring
	Railroad Tracks	Telephone Pedestal	Benchmark
	Culvert	Telephone Manhole	Asphalt Pavement
800	Index Contour	Wetlands	Concrete Pavement
799	Intermediate Contour	+799.9 Ex Spot Elevation	Gravel
	Proposed Storm Sewer	Proposed Storm Manhole	
608	Proposed Contour	Proposed Curb Inlet	
	Proposed Swale	Prop. Catch Basin / Yard Drain	
	Proposed Culvert	Proposed Endwall	
x608.73	Prop. Flowline Spot Elev.	Proposed Rip Rap	
x608.73 TW	Prop. Top of Walk Elev.	Prop. Drainage Direction	
+ (608.7)	Existing Grade	FF=000.0 Prop. Finished Floor Elev.	

NOTES:

1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. Vegetation beyond slopes shall remain.
4. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
5. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
6. All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
7. The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
8. Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

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Civil Engineers and Land Surveyors
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Ph: 920-991-1666 Fax: 920-441-0804
www.davel.pro

DRAINAGE & GRADING PLAN

St. John Nepomucene Catholic Community

Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/22/2020
Filename: 6044engr.dwg
Author: MDB
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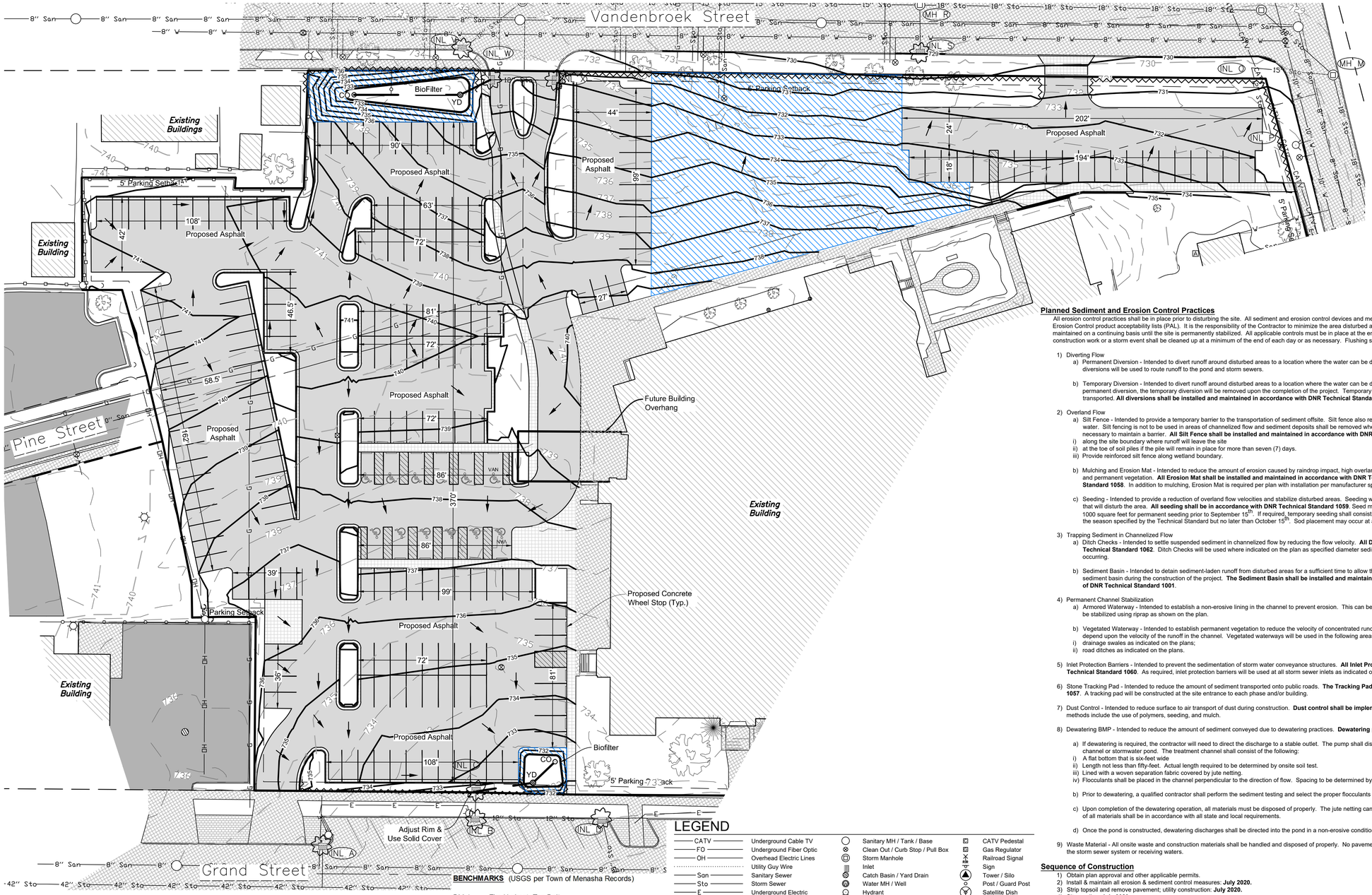

NOTES:

1. 733 l.f. of Silt Fence
2. (8) Inlet Protections
3. 1,964 s.y. of Urban, Type B Erosion Mat

30 0 30 60 90

BENCHMARKS (USGS per Town of Menasha Records)

BM 1 Fire Hydrant, Tag Bolt
NE cor Deerwood Ave and CTH "CB"
Elev 0.00

BM 2 Fire Hydrant, Tag Bolt
±580' E of BM 1, N R/W Deerwood Ave
Elev 0.00

BM 3 Fire Hydrant, Tag Bolt
±400' SE of BM 2, W R/W Deerwood Ave
Elev 0.00

BM 4 Fire Hydrant, Tag Bolt
N cor, Deerwood Ave and Deerwood Court
Elev 0.00

BM 5 Fire Hydrant, on "OPEN"
±200' W of Deerwood Ave, N R/W CTH "II"
Elev 0.00

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
OH	Overhead Electric Lines	Storm Manhole	Railroad Signal
	Utility Guy Wire	Inlet	Sign
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608	Proposed Contour	Proposed Curb Inlet	
	Proposed Swale	Prop. Catch Basin / Yard Drain	
	Proposed Culvert	Proposed Endwall	
	Proposed Silt Fence	Proposed Inlet Protection	
	Prop. Drainage Direction	Type of Inlet Protection	
	Proposed Tracking Pad	Proposed Rip Rap	
	Proposed Ditch Check	Urban, Type B Erosion Mat	

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day. All off-site sediment deposits occurring as a result of construction work or a storm event shall be cleaned up at a minimum of the end of each day or as necessary. Flushing shall not be allowed.

1) Diverting Flow
   a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the pond and storm sewers.

   b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. **All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.**

2) Overland Flow
   a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056**. It will be placed at the following locations:
   i) along the site boundary where runoff will leave the site
   ii) at the toe of soil piles if the pile will remain in place for more than seven (7) days.
   iii) Provide reinforced silt fence along wetland boundary.

   b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058**. In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.

   c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1059**. Seed mixture 20 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than October 15th. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.

3) Trapping Sediment in Channelized Flow
   a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062**. Ditch Checks will be used where indicated on the plan as specified diameter sediment logs. Additional ditch checks may be required in areas where erosion is occurring.

   b) Sediment Basin - Intended to detain sediment-laden runoff from disturbed areas for a sufficient time to allow the sediment to settle. Once constructed, the proposed ponds will function as a sediment basin during the construction of the project. **The Sediment Basin shall be installed and maintained in accordance with DNR Technical Standard 1064 and/or the requirements of DNR Technical Standard 1001**.

4) Permanent Channel Stabilization
   a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of pipe outlets will be stabilized using riprap as shown on the plan.

   b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel. Vegetated waterways will be used in the following areas:
   i) drainage swales as indicated on the plans;
   ii) road ditches as indicated on the plans.

5) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. **All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060**. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.

6) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057**. A tracking pad will be constructed at the site entrance to each phase and/or building.

7) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.

8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.**

   a) If dewatering is required, the contractor will need to direct the discharge to a stable outlet. The pump shall discharge into a Type 1 Sediment Bag. The bag shall discharge to the treatment channel or stormwater pond. The treatment channel shall consist of the following:
   i) A flat bottom that is six-feet wide
   ii) Length not less than fifty-feet. Actual length required to be determined by onsite soil test.
   iii) Lined with a woven separation fabric covered by jute netting.
   iv) Flocculants shall be placed in the channel perpendicular to the direction of flow. Spacing to be determined by onsite testing.

   b) Prior to dewatering, a qualified contractor shall perform the sediment testing and select the proper flocculants and determine the necessary length of the treatment channel.

   c) Upon completion of the dewatering operation, all materials must be disposed of properly. The jute netting can be buried on site. The separation fabric must be removed from the site. Disposal of all materials shall be in accordance with all state and local requirements.

   d) Once the pond is constructed, dewatering discharges shall be directed into the pond in a non-erosive condition.

9) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Sequence of Construction

1) Obtain plan approval and other applicable permits.
2) Install & maintain all erosion & sediment control measures: **July 2020.**
3) Strip topsoil and remove pavement; utility construction: **July 2020.**
4) Site grading: **July 2020.**
5) Grade and gravel construction: **August 2020.**
6) Concrete and asphalt paving: **August-September 2020.**
7) Stabilize lawn and ditch areas no later than one week after final grade is established. **September 15, 2020**
8) Remove all temporary measures, topsoil critical areas, and establish vegetation. Water if necessary to establish healthy and well rooted vegetation.

   Note: The dates provided are approximate and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:
1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to the DNR website for a template: http://dnr.wi.gov/files/PDF/forms/3400/3400-187.pdf. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the Village of Little Chute.

Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance:
To be Determined (TBD)
BMP Inspection and Compliance Enforcement
Village of Little Chute
Wisconsin Department of Natural Resources

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Civil Engineers and Land Surveyors
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EROSION & SEDIMENT CONTROL PLAN

St. John Nepomucene Catholic Community

Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/20/2020
Filename: 6044engr.dwg
Author: MDB
Last Saved by: jennifer
Page 1.3

Vandenbroek Street

Pine Street

Grand Street

Project/Demolition Limits
Curb Cut to be Closed
Saw Pavement
Curb Cut to be Closed
Curb Cuts to be Closed
Removal Limits
Sawcut Limits
Saw Pavement
Remove Concrete
Remove Asphalt
Remove Concrete
WE-Energies Meter # WG2212946
Kaukauna Utilities Meter # 2400008155
Remove Gravel
Remove Poles
Remove Trees
Remove Asphalt
Remove Asphalt
Remove Trees
Remove Gravel
Remove Asphalt
Remove Water Main & Hydrant
Remove Poles
Remove Asphalt
Remove Sewer Install New MH at Boundary
Saw Pavement
Remove or Salvage & Reuse Trees
Remove Concrete
Remove Plants
Remove to Nearest Joint
Remove Light Pole
Remove Tree
Remove Concrete
Remove Asphalt
Remove or Salvage & Reuse Trees
Remove Light Poles
Remove Concrete
Remove Concrete

NOTES:

Poles will be removed prior by others

30 0 30 60 90

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
OH	Overhead Electric Lines	Storm Manhole	Railroad Signal
	Utility Guy Wire	Inlet	Sign
San	Sanitary Sewer	Catch Basin / Yard Drain	Tower / Silo
Sto	Storm Sewer	Water MH / Well	Post / Guard Post
E	Underground Electric	Hydrant	Satellite Dish
G	Underground Gas Line	Utility Valve	Large Rock
T	Underground Telephone	Utility Meter	Flag Pole
W	Water Main	Utility Pole	Deciduous Tree
	Fence - Steel	Light Pole / Signal	Coniferous Tree
	Fence - Wood	Guy Wire	Bush / Hedge
	Fence - Barbed Wire	Electric Pedestal	Stump
WL	Wetlands	Electric Transformer	Marsh
	Treeline	Air Conditioner	Soil Boring
	Railroad Tracks	Telephone Pedestal	Benchmark
	Culvert	Telephone Manhole	Asphalt Pavement
800	Index Contour	Wetlands	Concrete Pavement
799	Intermediate Contour	+799.9 Ex Spot Elevation	Gravel

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DEMOLITION PLAN

St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/20/2020
Filename: 6044engr.dwg
Author: MDB
Last Saved by: jennifer
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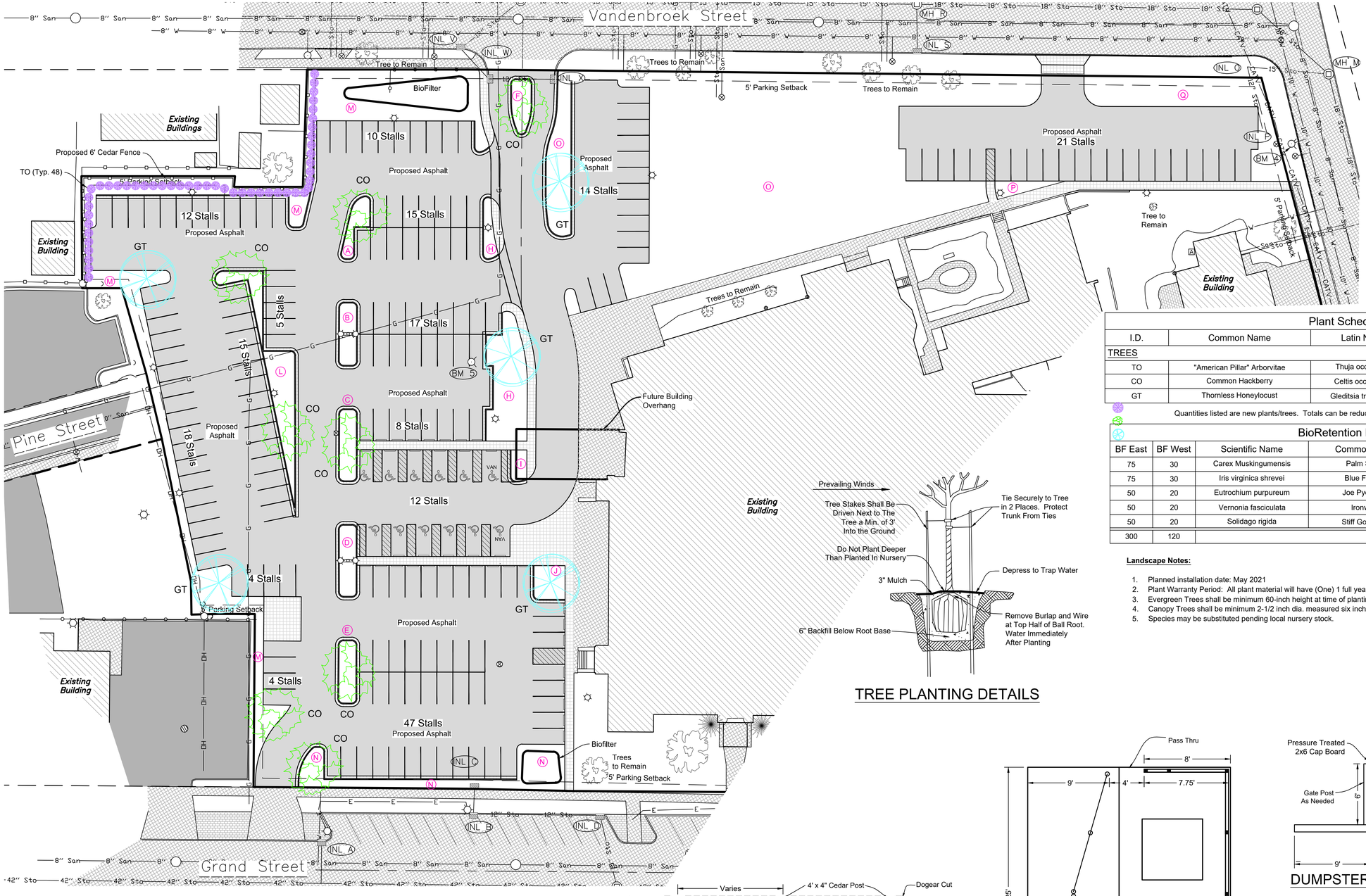


Proposed Concrete/Driveways 8,492 sf
Lawn and Landscaping 26,991 sf
Total Parking Spots = 202
Total Handicapped Parking Spots = 12

12 Islands:
A. 257sf
B. 331sf
C. 374sf
D. 374sf
E. 331sf
F. 287sf
G. 189sf
H. 1,343sf
I. 152sf
J. 331sf
K. 307sf
L. 785sf

5 Peninsulas/Greenspace:
M. 7,463sf
N. 1,497sf
O. 18,856sf
P. 211sf
Q. 4,321sf

Double Light Pole
Single Light Pole

Plant Schedule

I.D.	Common Name	Latin Name	Planting Size	Height	Spread	Qty.
TREES						
TO	"American Pillar" Arborvitae	Thuja occidentalis	Refer Note 3	23'-30'	3'-5'	48
CO	Common Hackberry	Celtis occidentalis	Refer Note 4	40'-60'	40'-60'	8
GT	Thornless Honeylocust	Gleditsia triacanthos	Refer Note 4	30'-70'	30'-70'	5

Quantities listed are new plants/trees. Totals can be reduced if existing plants/trees are salvaged and transplanted.

BioRetention Plants

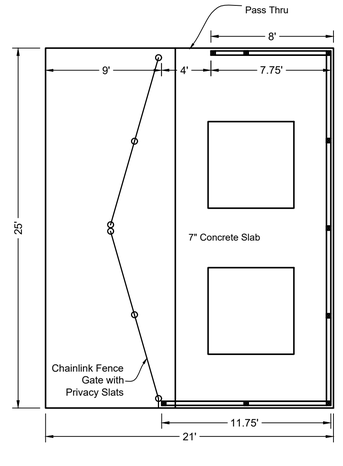
BF East	BF West	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
75	30	Carex Muskingumensis	Palm Sedge	2.5" Pot	8-12" Ht x 1-2' Spread
75	30	Iris virginica shrevei	Blue Flag Iris	2.5" Pot	8-12" Ht x 1-2' Spread
50	20	Eutrochium purpureum	Joe Pye Weed	2.5" Pot	8-12" Ht x 1-2' Spread
50	20	Vernonia fasciculata	Ironweed	2.5" Pot	8-12" Ht x 1-2' Spread
50	20	Solidago rigida	Stiff Goldenrod	2.5" Pot	8-12" Ht x 1-2' Spread
300	120				

Landscape Notes:

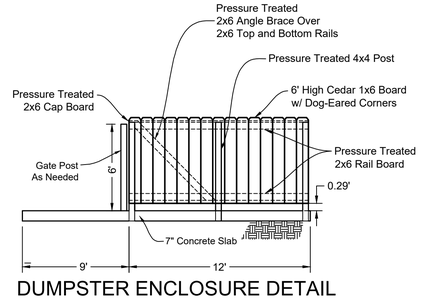
1. Planned installation date: May 2021
2. Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of Village acceptance.
3. Evergreen Trees shall be minimum 60-inch height at time of planting.
4. Canopy Trees shall be minimum 2-1/2 inch dia. measured six inches from the ground at time of planting.
5. Species may be substituted pending local nursery stock.

TREE PLANTING DETAILS

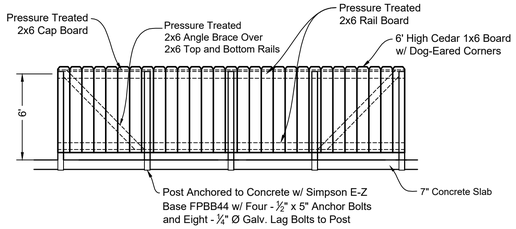
CEDAR FENCING DETAIL



PLAN VIEW



DUMPSTER ENCLOSURE DETAIL



CEDAR FENCING DETAIL

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LANDSCAPE PLAN

St. John Nepomucene Catholic Community

Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 08/5/2020
Filename: 6044engr.dwg
Author: MDB
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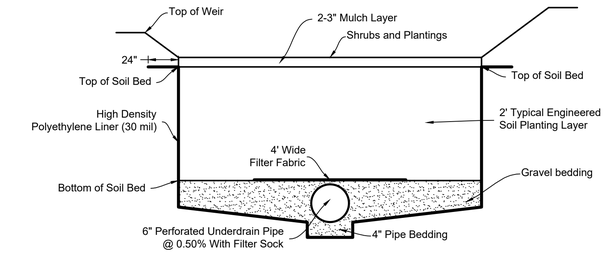
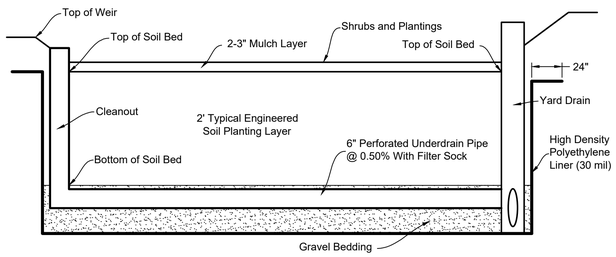




BIOFILTRATION DETAIL SECTIONS

Biofilter	East	West
Soil Bed Area Required (sq. ft.)	900	350
Perimeter Treatment	Grass	Grass
Top of Weir Elev. (overflow path)	733.35	731.75
Top of Soil Bed Elev.	732.50	731.35
Bottom of Soil Bed Elev.	730.50	729.35
Yard Drain Rim Elev.	733.10	731.85
Yard Drain Outlet Pipe Invert Elev.	729.70	728.80
Yard Drain Underdrain Invert Elev.	729.85	728.80
Cleanout Rim Elev.	733.10	731.85
Cleanout Underdrain Invert Elev.	730.15	728.89
Underdrain Pipe Length (ft)	60.00	18.00
Underdrain Pipe Diameter (ft)	0.50	0.50

BIOFILTRATION DETAIL TABLE

Biofiltration Specifications:

1. Vegetation Plan

Refer to plant schedule on Landscaping Plan (Page 1.5). Plants may be substituted as determined necessary by a professional landscaper. Turf grass is not to be used in the bioretention device, but may be used as the vegetation of pretreatment swales.

Shredded hardwood mulch or chips shall be placed on the surface of the planting soil to a depth of 2"-3". Mulch shall be free of foreign material, including other plant material. Mulch shall be aged a minimum of 12 months.

2. Engineered Soil Planting Bed

Planting soil shall be free of rocks, stumps, roots, brush, or other material over 1" in diameter. No other material shall be mixed with the planting soil that may be harmful to plant growth, infiltration rates, or prove a hindrance to planting and maintenance. Planting soil shall have adequate nutrients to meet plant growth requirements. Planting soil shall have a pH between 5.5 and 6.5. Planting soil shall be uniformly mixed and consist of 70-80% sand, and 15-30% compost.

Sand component shall be USDA classified coarse sand texture with 0.02" to 0.04" diameter, ASTM C33 (Fine Aggregate Concrete Sand), or Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5.3.4. (Fine Aggregate Concrete Sand) 2005 edition, or an equivalent as approved by the administering authority. Sand component shall be pre-washed to remove clay and silt particles and then well-drained or dried prior to mixing. The preferred sand component consists of mostly SiO_2, but sand consisting of dolomite or calcium carbonate may also be used. Manufactured sand or stone dust is not allowed.

Compost component shall contain less than 1% combined glass, metal, and plastic. Compost shall be resistant to further decomposition and free of compounds in concentrations toxic to plant growth. Compost shall comply with US EPA 503 regulations for class A biosolids and contain negligible concentrations of both heavy metals and other chemical contaminants. Compost shall also satisfy the following per the WDNR specifications S100:

Particle Size	98% pass 0.75" screen
Organic Matter	40% minimum
Ash Content	60% maximum
Carbon to Nitrogen (C:N) ratio	10-20:1
pH Range	6.0 - 8.0
Soluble Salts	10 dS m-1 electrical conductivity maximum
Moisture Content	35% - 50% by weight
Compost Maturity Index	6-8
Pathogens and Noxious Seeds	Minimized

3. Perforated Underdrain

Underdrain shall be a minimum 6" diameter corrugated polyethylene pipe with circular or slotted perforations. At a minimum, 4" to 10" diameter pipes shall have 1.0 square inch of perforated open area per linear foot of pipe length, 12" to 18" diameter pipes shall have 1.5 square inches of perforated open area per linear foot of pipe length, and 18" diameter or larger pipes shall have 2.0 square inches of perforated open area per linear foot of pipe length. Circular perforations shall not exceed 0.19" for 4" to 10" diameter pipes or 0.38" for pipes greater than 10 " diameter. The width of slot perforations shall not exceed 0.13". The underdrain pipe shall satisfy section 612.2.5, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.

A filter sock shall be installed on the perforated underdrain pipe. The filter sock shall prevent sand particles from entering the pipe. The filter sock shall be capable of passing water at a flow rate equal to or greater than the flow rate capacity of the underdrain pipe perforations. The filter sock shall satisfy section 612.2.8(1-3), State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.

Filter fabric shall not extend laterally from either side of underdrain pipe for more than 2'. Filter fabric shall satisfy section 645.2.4, Schedule Test B, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.

A minimum 6" diameter vertical clean-out shall be connected to the upstream end of the underdrain. Clean-out shall be rigid, non-perforated PVC pipe with a removable, watertight cap that is flush with the finished ground surface.

Gravel bedding shall meet the coarse aggregate #2 of the Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5, 2003 edition.

4. Construction

Contractor shall submit material certifications for review and approval prior to installation. Certifications shall state that materials satisfy specifications.

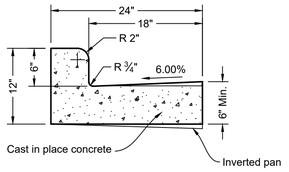
Construction site runoff from disturbed areas shall not be allowed to enter the bioretention device. Runoff from all upslope disturbed pervious areas shall be diverted away from the biofiltration device until a permanent perennial vegetative cover is established with a uniform density of at least 70% sediment laden runoff will prematurely clog the biofiltration device.

Construction shall be suspended during periods of rainfall or snowmelt. Construction shall remain suspended if ponded water or residual soil moisture contributes to soil smearing, clumping, or other forms of compaction.

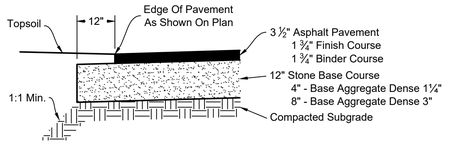
The planting soil layer and sand storage layer shall be placed in 12" lifts maximum. Compaction shall be minimized. Compaction will significantly contribute to biofiltration device failure. Grade each layer with hand tool, excavation hoes, marsh equipment, wide-track loaders, or light equipment with turf-type tires. Do not use heavy equipment with narrow tracks, narrow tires, rubber tires with lugs, or high-pressure tires. Steps may be taken to induce mild settling of the sand storage layer and planting soil layer as needed to prepare a stable planting bed. Vibrating plate-style compactors shall not be used.

Entire planting bed shall be mulched to a uniform depth of 2"-3" prior to planting vegetation to help prevent compaction of planting soil layer during planting process. Mulch shall be pushed aside for individual plant placement.

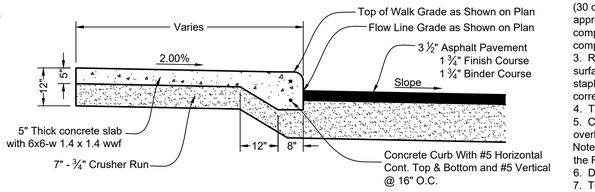
Plants shall be kept moist during transport and on-site storage. Plants shall be fertilized and watered as appropriate to maximize plant growth and survival. Plants must be well established before the onset of cold weather. Contractor shall provide a 2-year warranty for all installed plants, shrubs, and trees.



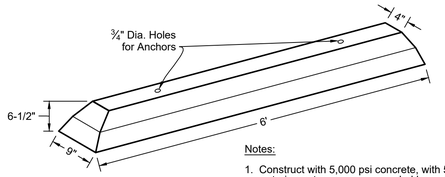
24" STANDARD CURB



PAVEMENT SECTION



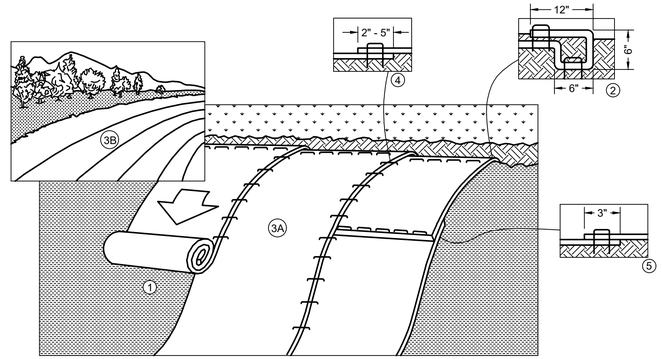
INTEGRAL SIDEWALK / PAVEMENT SECTION



Notes:

1. Construct with 5,000 psi concrete, with 5% air entrainment or as recommended by manufacturer.
2. Provide two #4 longitudinal reinforcement bars.
3. Taper sides as recommended by manufacturer.

PRECAST CONCRETE WHEEL STOP



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.

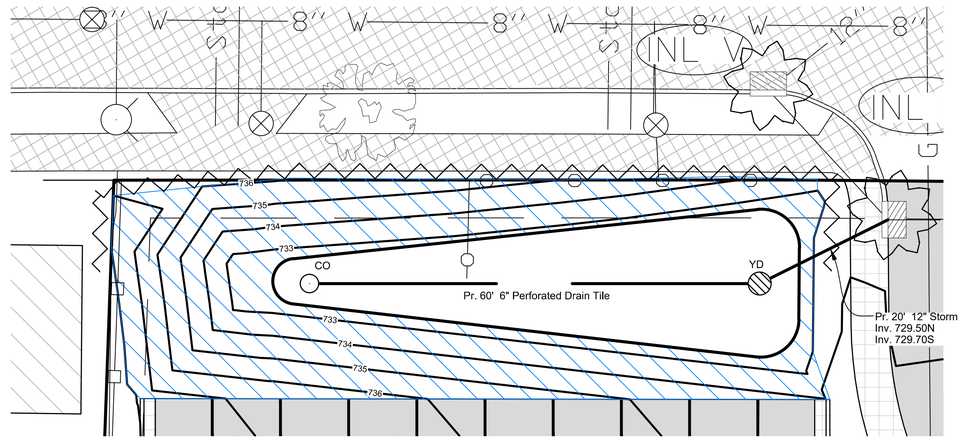
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.

2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.
3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.

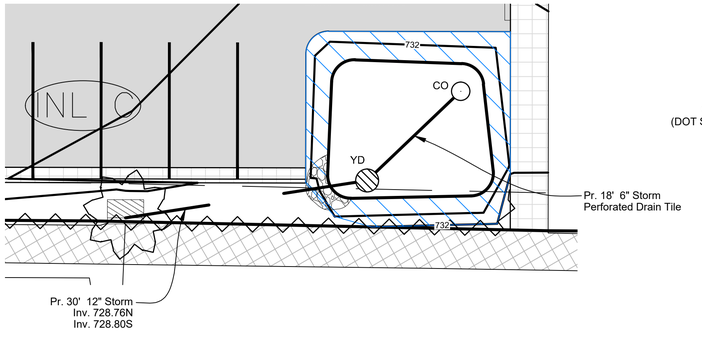
Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.

6. Detail provided by North American Green (www.nagreen.com)
7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

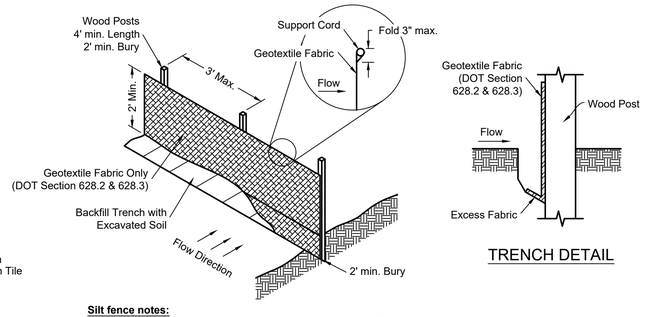
EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



EAST BIOFILTER



WEST BIOFILTER



TRENCH DETAIL

Silt fence notes:

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1668 Fax: 920-441-0804
www.davel.pro

EROSION CONTROL & CONSTRUCTION DETAILS

St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/20/2020
Filename: 6044engr.dwg
Author: MDB
Last Saved by: jennifer
Page: 2.1

7/20/2020 3:15 PM J:\Projects\6044st\dwg\Civil 3D\6044engr.dwg Printed by: jennifer

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION:. Nestle Site Improvements

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/10/2020

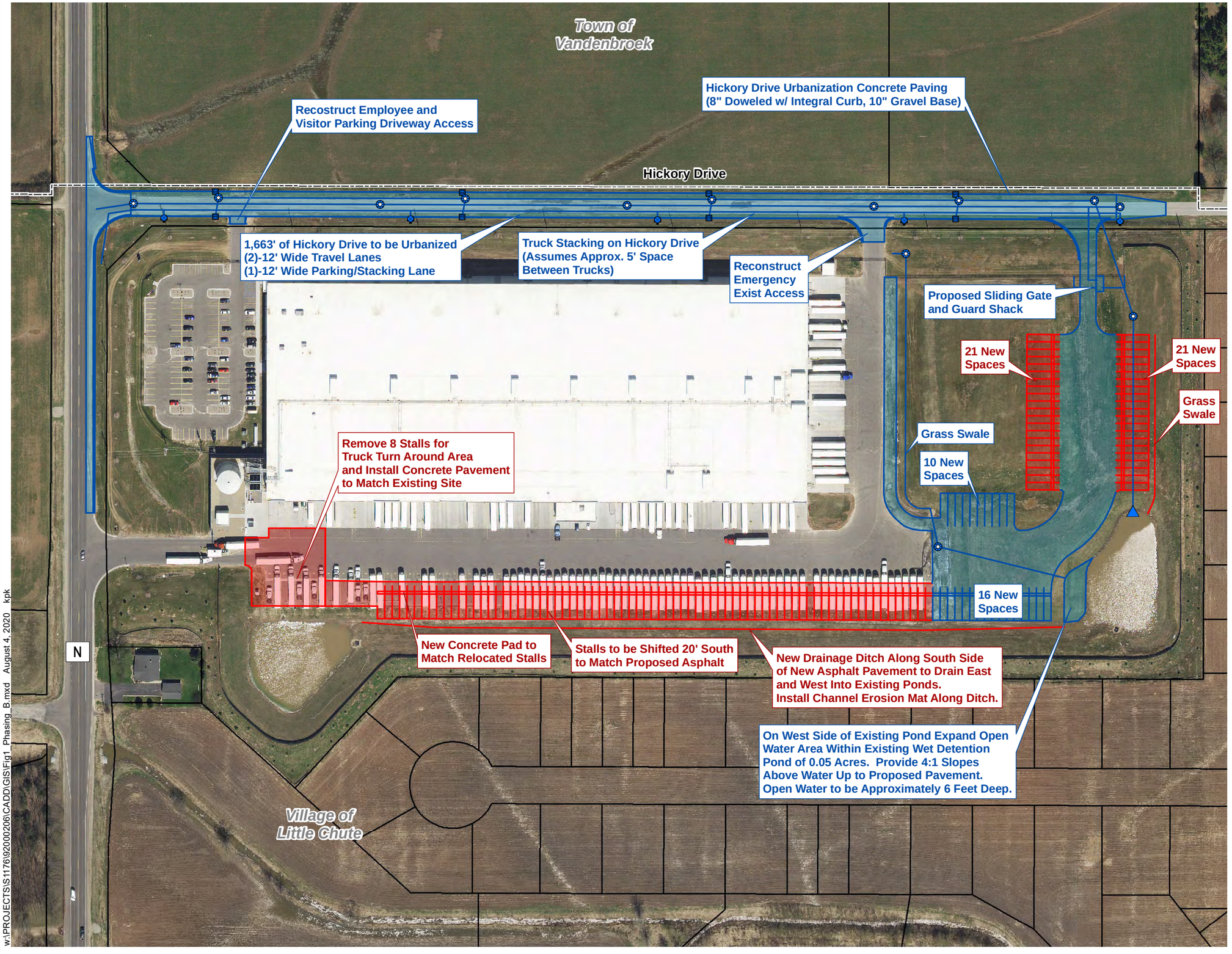
ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:
Nestle is looking at upgrading and improving the facility at 3900 Freedom road. Part of this work is to improve Hickory road to better handle truck traffic as well as some site improvements. These improvements will improve the flow of the trucks into the facility and assist in preventing trucks stacking on CTY N. There will be a new entrance created and driving lane off Hickory to allow trucks to enter off Hickory and then exit at the existing gate off CTY N. The Site improvements on the property are listed below:

-Shift existing stalls 20' to the south
-Add 26 stalls along the southern portion of property (16 following the existing parking area and 10 on the other side of the driving lane)
-Add 42 stalls on the eastern portion of the property
-Add Guard shack
-Adding asphalt to widen portions of the existing lot/driving lane

Typically, the trucks parked along the southern portion of the property are not idling and the refers are off. These changes should not be increasing the noise at the facility and our performance standards laid out in Sec 44-245 still apply (No operation or activity shall transmit any noise exceeding 70 dBA from 7:00 a.m. to 10:00 p.m. and 60 dBA from 10:00 p.m. to 7:00 a.m. beyond the property line).

RECOMMENDATION: For the Plan Commission to discuss and make a recommendation to the Village Board to Approve the Site Plan for Nestle.



Phase I Improvements

- Sanitary System
- Water System
- Storm System
- Pavement or Pond

Phase II Improvements

- Storm System
- Pavement

Other Mapped Features

- Municipal Boundary
- Parcel Line

Source: Outagamie County, 2018-20.

0 150 300 Feet

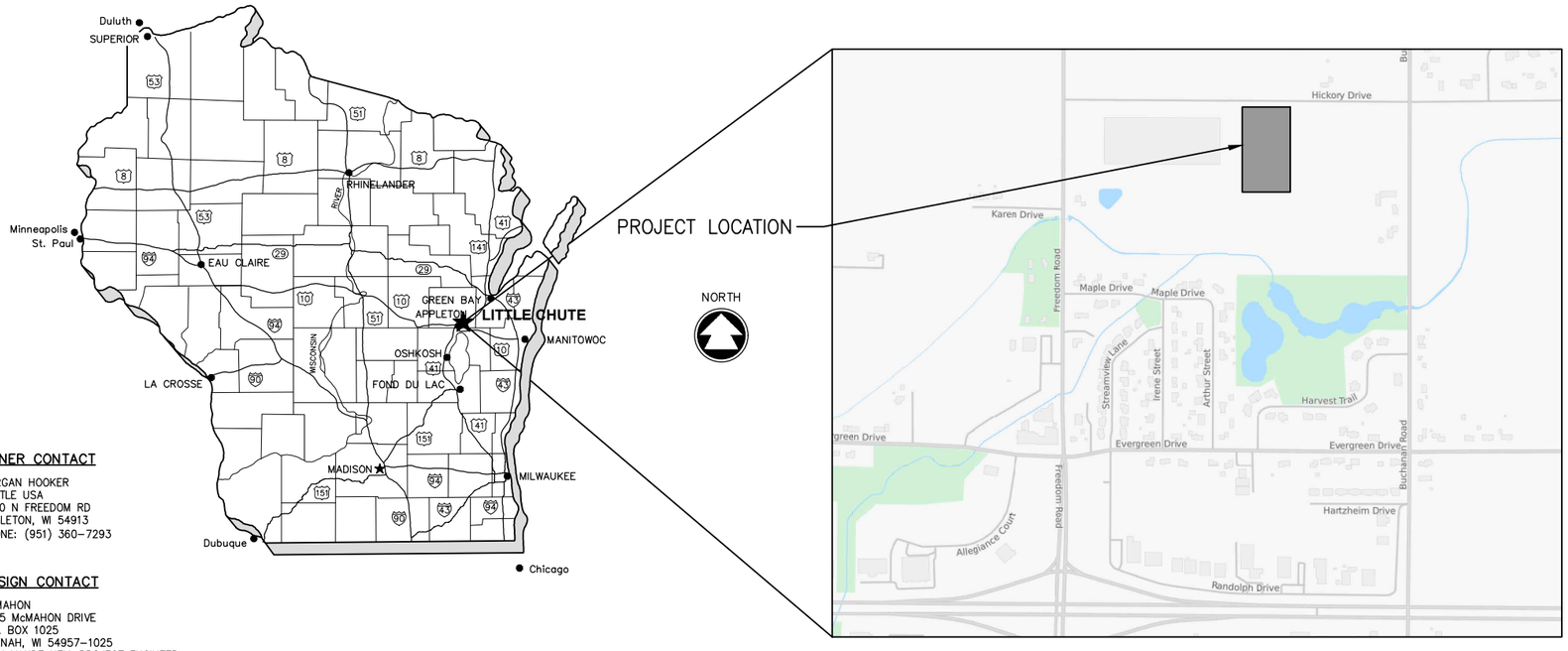
McMAHON ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.

FIGURE 1
PHASING
DISTRIBUTION FACILITY IMPROVEMENTS
SCANNELL PROPERTIES
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

w:\PROJECTS\S1176\92000206\CADD\GIS\Fig1_Phasing_B.mxd August 4, 2020 kpk

2020 SITE IMPROVEMENTS
NESTLE USA

VILLAGE OF LITTLE CHUTE, WISCONSIN
MCM # N0940 9-20-00535-B



CONTACT INFORMATION

UTILITIES

VILLAGE OF LITTLE CHUTE
CHRIS MURAWSKI (SANITARY, STORM, WATER)
108 W. MAIN STREET
LITTLE CHUTE, WI 54140
920-423-3865

TIME WARNER CABLE
VINCE ALBIN (CABLE)
3520 DESTINATION DRIVE
APPLETON, WI 54915
920-378-0444

KAUKAUNA ELECTRIC
KELLY O'KEEFE (ELECTRIC)
777 ISLAND STREET
KAUKAUNA, WI 54130
920-462-0222

WE ENERGIES
TOM BORCHART (GAS)
800 SOUTH LYNNDALE DRIVE
APPLETON, WI 54912
920-380-3349

AT&T MIDWEST
JOE KASSAB (TELEPHONE)
205 S. JEFFERSON STREET
GREEN BAY, WI 54301
920-202-4002

OWNER CONTACT

MORGAN HOOKER
NESTLE USA
3900 N FREEDOM RD
APPLETON, WI 54913
PHONE: (951) 360-7293

DESIGN CONTACT

McMAHON
1445 McMAHON DRIVE
P.O. BOX 1025
NEENAH, WI 54957-1025
NICK VANDE HEY, PROJECT ENGINEER
PHONE: (920) 751-4200
EMAIL: nvandehey@mcmgrp.com

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

WISCONSIN
NICHOLAS A. VANDE HEY
E-33986
LITTLE CHUTE WI
PROFESSIONAL ENGINEER
8-25-20

SHEET INDEX

DATE
AUGUST, 2020
PROJECT NO.
N0940 9-20-00535-B

STANDARD ABBREVIATIONS

AC	ACRE	LT	LEFT
AGG	AGGREGATE	LVC	LENGTH OF VERTICAL CURVE
AH	AHEAD	MAINT	MAINTENANCE
ASPH	ASPHALT PAVEMENT	MAT'L	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
B-B	BACK TO BACK	MIN	MINIMUM
BEG	BEGIN	MH	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB	NORTHBOUND
B/L	BASE LINE	NO	NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OBLIT	OBLITERATE
BRG	BEARING	PAV'T	PAVEMENT
C-C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER	PE	PRIVATE ENTRANCE
CB	CATCH BASIN	PED	PEDESTAL
CE	COMMERCIAL ENTRANCE	PGL	PROFILE GRADE LINE
CHD	CHORD	PI	POINT OF INTERSECTION
C/L	CENTER LINE	P/L	PROPERTY LINE
CL	CLASS (FOR CONC PIPE)	PLE	PERMANENT LIMITED EASEMENT
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
CONC	CONCRETE	PROP	PROPOSED
CORR	CORRUGATED	PSD	PASSING SIGHT DISTANCE
CP	CONTROL POINT	PSI	POUNDS PER SQUARE INCH
CR	CRUSHED	PT	POINT OF TANGENCY
CS	CURB STOP	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
CSW	CONCRETE SIDEWALK	PVI	POINT OF VERTICAL INTERSECTION
CTH	COUNTY TRUNK HIGHWAY	PVT	POINT OF VERTICAL TANGENCY
CULV	CULVERT	R	RADIUS
D	DEPTH OR DELTA	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON	RD	ROAD
DIA	DIAMETER	REBAR	REINFORCEMENT ROD
DIS	DISCHARGE	REM	REMOVE
EA	EACH	RECON	RECONSTRUCT
EB	EASTBOUND	REQ'D	REQUIRED
EBS	EXCAVATION BELOW SUBGRADE	R/L	REFERENCE LINE
EG	EDGE OF GRAVEL	RP	RADIUS POINT
ELEV	ELEVATION	RR	RAILROAD
ELEC	ELECTRIC	RT	RIGHT
EMB	EMBANKMENT	R/W	RIGHT-OF-WAY
EMAT	EROSION MAT	SB	SOUTHBOUND
ENT	ENTRANCE	SE	SUPERELEVATION
EOR	END OF RADIUS	SF	SQUARE FEET
EP	EDGE OF PAVEMENT	SI	SLOPE INTERCEPT
EXC	EXCAVATION	STH	STATE TRUNK HIGHWAY
EX	EXISTING	SY	SQUARE YARD
EW	ENDWALL	SALV	SALVAGED
F-F	FACE TO FACE	SAN	SANITARY
FDN	FOUNDATION	SEC	SECTION
FE	FIELD ENTRANCE	SHLDR	SHOULDER
FERT	FERTILIZER	S/L	SURVEY LINE
FG	FINISHED GRADE	SQ	SQUARE
F/L	FLOW LINE	STA	STATION
FT	FOOT	STD	STANDARD
FTG	FOOTING	STO	STORM
GRAV	GRAVEL	SW	SIDEWALK
GN	GRID NORTH	TC	TOP OF CURB
GV	GAS VALVE	TEL	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
HE	HIGHWAY EASEMENT	TLE	TEMPORARY LIMITED EASEMENT
HMA	HOT MIX ASPHALT	TV	TELEVISION
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	UG	UNDERGROUND
HYD	HYDRANT	USH	U.S. HIGHWAY
ID	INSIDE DIAMETER	VAR	VARIES
IN	INCH	VC	VERTICAL CURVE
INL	INLET	VERT	VERTICAL
INV	INVERT	WB	WESTBOUND
IP	IRON PIPE	WM	WATER MAIN
JCT	JUNCTION	WV	WATER VALVE
LB	POUND		
LF	LINEAR FOOT		
LP	LIGHT POLE		

GENERAL NOTES

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
3. EXISTING STREET RIGHT-OF-WAY AND INTERSECTING PROPERTY LINES ARE ESTABLISHED FROM FIELD LOCATED SURVEY MONUMENTATION, PREVIOUS SURVEYS, PLATS AND CURRENT PROPERTY DEEDS.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW PAVEMENT MATCHES EXISTING PAVEMENT.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
8. UTILITY IMPROVEMENTS WITHIN FREEDOM ROAD (CTH N) AND HICKORY DRIVE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH VILLAGE OF LITTLE CHUTE SPECIFICATIONS AND PERMITS.
9. STREET IMPROVEMENTS WITHIN HICKORY DRIVE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH VILLAGE OF LITTLE CHUTE SPECIFICATIONS AND PERMITS.
10. STREET IMPROVEMENTS WITHIN FREEDOM ROAD (CTH N) RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND COUNTRY HIGHWAY PERMIT.

STANDARD SYMBOLS (PLAN VIEW ONLY)

- 2" IRON PIPE FOUND
- 1 1/4" REBAR FOUND
- 1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET
- 1" (1.315 OD) IRON PIPE FOUND
- 1" IRON PIPE SET
- 3/4" IRON REBAR FOUND
- 3/4" IRON PIPE FOUND
- 3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET
- MAG NAIL FOUND
- MAG NAIL SET
- MAG SPIKE FOUND
- MAG SPIKE SET
- CHISEL CROSS FOUND
- CHISEL CROSS SET
- COUNTY MONUMENT
- CONCRETE MONUMENT FOUND
- CONTROL POINT HORIZONTAL
- VERTICAL BENCHMARK
- SB or MW — SOIL BORING or MONITORING WELL
- POWER POLE
- POWER POLE W/GUY WIRE
- TELEPHONE OR TELEVISION PEDESTAL
- MB — MAILBOX
- SIGN
- RAILROAD CROSS BUCK
- RAILROAD GATE ARM
- RAILROAD TRACKS
- LIGHT POLE
- WOOD POLE
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL MAST ARM
- CONIFEROUS TREE
- DECIDUOUS TREE
- TREE OR BRUSH LINE
- BED ROCK (IN PROFILE VIEW)
- HANDICAPPED PARKING STALL
- EXISTING SPOT ELEVATION
- × 750.00 — PROPOSED SPOT ELEVATION
- DRAINAGE HIGH POINT
- DRAINAGE DIRECTION
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING INLET
- PROPOSED INLET
- EXISTING YARD DRAIN
- PROPOSED YARD DRAIN
- CO — EXISTING CLEAN OUT
- CO — PROPOSED CLEAN OUT
- EXISTING DOWNSPOUT
- PROPOSED DOWNSPOUT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING CURB STOP
- PROPOSED CURB STOP
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER FITTING
- PROPOSED WATER REDUCER
- PROPOSED ENDCAP
- GAS VALVE

- T — TELEPHONE CABLE - BURIED
- E — ELECTRIC CABLE - BURIED
- OHU — UTILITIES - OVERHEAD
- FO — FIBER OPTIC CABLE - BURIED
- G — GAS MAIN
- TV — CABLE TELEVISION - BURIED
- DITCH LINE
- STREET C/L OR R/L
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- 746 — EXISTING CONTOURS
- 746 — PROPOSED CONTOURS
- FM — EXISTING FORCEMAIN SEWER
- SAN — EXISTING SANITARY SEWER
- SAN — PROPOSED SANITARY SEWER
- WM — EXISTING WATER MAIN
- WM — PROPOSED WATER MAIN
- STO — EXISTING STORM SEWER
- STO — PROPOSED STORM SEWER
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED REJECT CURB & GUTTER
- EXISTING CULVERT WITH END SECTIONS
- PROPOSED CULVERT WITH END SECTIONS
- BUILDING OUTLINE
- FENCE LINE
- SAW CUT REQ'D
- SILT FENCE
- GUARD RAIL
- DITCH CHECK
- INLET PROTECTION
- TRACKING PAD
- TURBIDITY BARRIER OR SHEET PILING
- SANDBAG COFFERDAM
- SLOPE INTERCEPT
- LIMITS OF DISTURBANCE

- CONCRETE SIDEWALK/DRIVEWAY
- GRAVEL
- RIP-RAP (SIZE AS SPECIFIED)
- BRICK/PAVERS
- PROPOSED EROSION MAT
- PROPOSED TURF REINFORCEMENT MAT (TRM)
- EXISTING DELINEATED WETLANDS

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT http://www.dnr.wi.gov/runoff/stormwater/techstds.htm. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

[ ] LAND APPLICATION OF POLYACRYLAMIDE (1050)	[X] DE-WATERING (1061)
[ ] WATER APPLICATION OF POLYMERS (1051)	[X] DITCH CHECK (1062)
[X] NON-CHANNEL EROSION MAT (1052)	[ ] SEDIMENT TRAP (1063)
[X] CHANNEL EROSION MAT (1053)	[ ] SEDIMENT BASIN (1064)
[ ] VEGETATIVE BUFFER (1054)	[X] RIP-RAP (1065)
[ ] SEDIMENT BALE BARRIER (1055)	[ ] CONSTRUCTION DIVERSION (1066)
[X] SILT FENCE (1056)	[ ] GRADING PRACTICES (1067)
[X] TRACKING PAD & TIRE WASHING (1057)	[X] DUST CONTROL (1068)
[X] MULCHING (1058)	[ ] TURBIDITY BARRIER (1069)
[X] SEEDING (1059)	[ ] SILT CURTAIN (1070)
[X] STORM DRAIN INLET PROTECTION (1060)	[ ] MANUFACTURED PERIMETER PRODUCTS (1071)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.

B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.

C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.

D. DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.

E. DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.

F. DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.

G. DISCHARGE OF SEDIMENT FROM EROSIVE OUTLET FLOWS.

H. TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.

I. TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.

B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.

C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.

D. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.

E. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.

F. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.

G. PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.

H. CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

NO.	DATE	REVISION

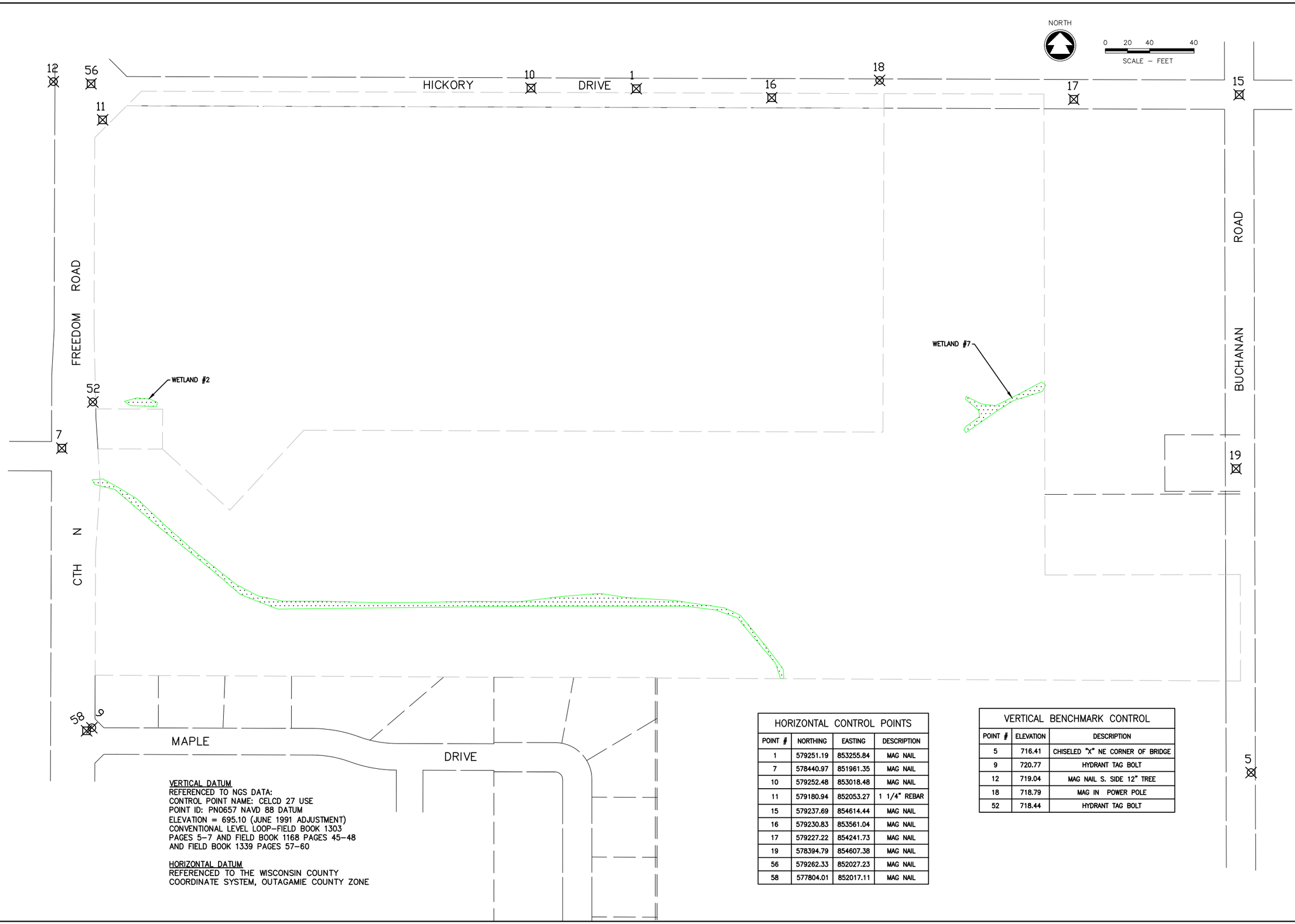
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
ABBREVIATIONS, SYMBOLS & NOTES

DESIGNED	DRAWN
NAV	KJB

PROJECT NO. N0940 9-20-00535-B

DATE AUGUST, 2020

SHEET NO. 01



VERTICAL DATUM
REFERENCED TO NGS DATA:
CONTROL POINT NAME: CELCD 27 USE
POINT ID: PN0657 NAVD 88 DATUM
ELEVATION = 695.10 (JUNE 1991 ADJUSTMENT)
CONVENTIONAL LEVEL LOOP–FIELD BOOK 1303
PAGES 5–7 AND FIELD BOOK 1168 PAGES 45–48
AND FIELD BOOK 1339 PAGES 57–60

HORIZONTAL DATUM
REFERENCED TO THE WISCONSIN COUNTY
COORDINATE SYSTEM, OUTAGAMIE COUNTY ZONE

HORIZONTAL CONTROL POINTS

POINT #	NORTHING	EASTING	DESCRIPTION
1	579251.19	853255.84	MAG NAIL
7	578440.97	851961.35	MAG NAIL
10	579252.48	853018.48	MAG NAIL
11	579180.94	852053.27	1 1/4" REBAR
15	579237.69	854614.44	MAG NAIL
16	579230.83	853561.04	MAG NAIL
17	579227.22	854241.73	MAG NAIL
19	578394.79	854607.38	MAG NAIL
56	579262.33	852027.23	MAG NAIL
58	577804.01	852017.11	MAG NAIL

VERTICAL BENCHMARK CONTROL

POINT #	ELEVATION	DESCRIPTION
5	716.41	CHISELED "X" NE CORNER OF BRIDGE
9	720.77	HYDRANT TAG BOLT
12	719.04	MAG NAIL S. SIDE 12" TREE
18	718.79	MAG IN POWER POLE
52	718.44	HYDRANT TAG BOLT

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Tel (920) 751-4200 Fax: (920) 751-4284
www.mcmgrp.com

NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
SURVEY CONTROL

DESIGNED	DRAWN
NAV	KJB

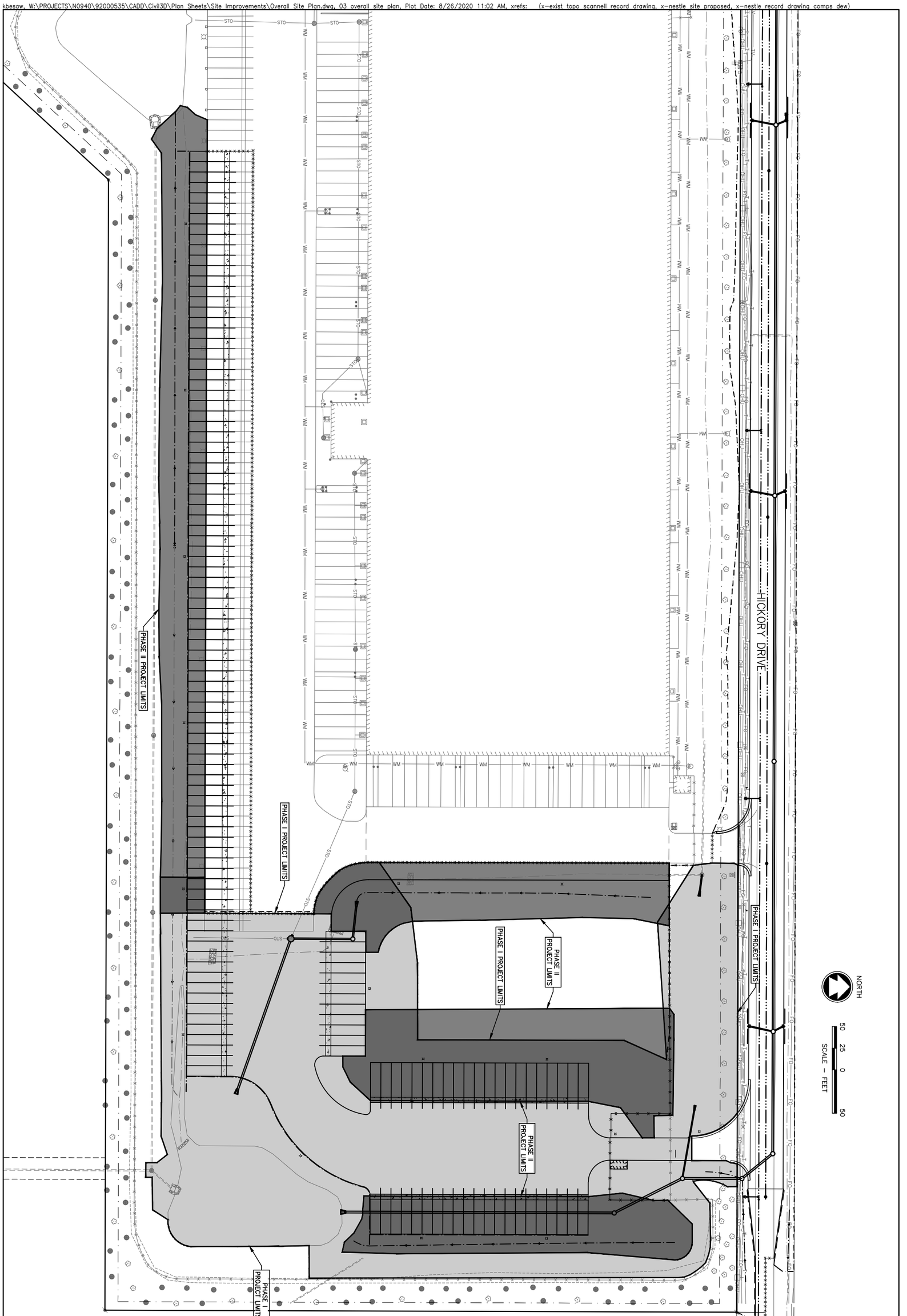
PROJECT NO.
N0940 9–20–00535–B

DATE
AUGUST, 2020

SHEET NO.
02

W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Overall Site Plan.dwg, 03 Overall Site Plan, 8/26/2020 11:02:56 AM, KBesaw, 1:2

kbesaw, W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Overall Site Plan.dwg, 03 overall site plan, Plot Date: 8/26/2020 11:02 AM, xrefs: (x-exist topo scannell record drawing, x-nestle site proposed, x-nestle record drawing comps dew)



2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
OVERALL SITE PLAN

NO.	DATE	REVISION

DESIGNED: N.A.V.
DRAWN: K.J.B.
PROJECT NO.: N0940 92-20-00535-B
DATE: AUGUST, 2020
SHEET NO.: 03

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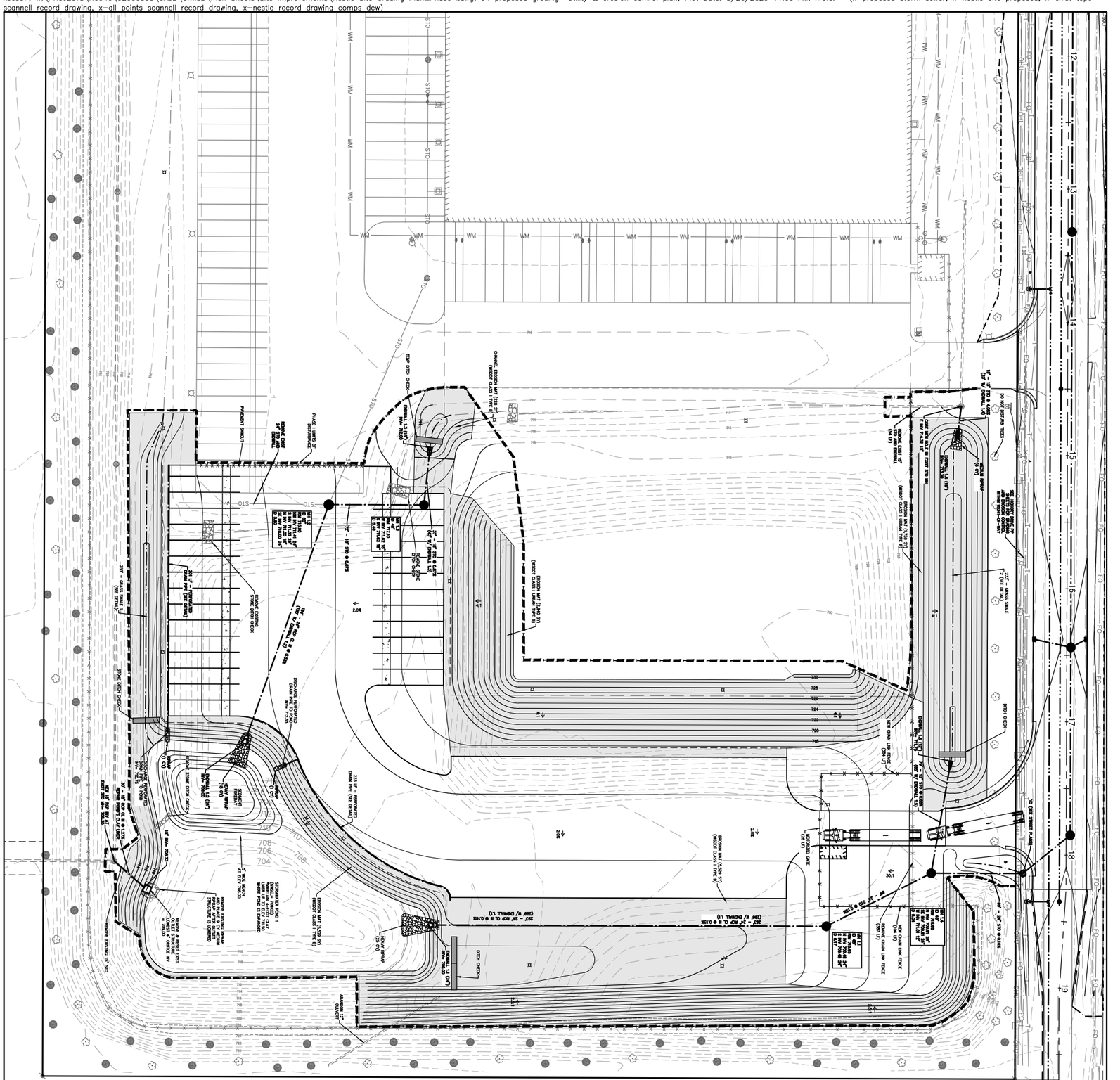
W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Nestle Site Grading Plan_Phase I.dwg, 04 PROPOSED GRADING UTILITY & EROSION CONTROL PLAN, 8/26/2020 11:03:34 AM, KBesaw, 1:2

kbesaw, W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Nestle Site Grading Plan_Phase I.dwg, 04 proposed grading utility & erosion control plan, Plot Date: 8/26/2020 11:03 AM, xrefs: (x-proposed storm sewer, x-nestle site proposed, x-exist topo scannell record drawing, x-all points scannell record drawing, x-nestle record drawing comps dew)



SCALE - FEET
40 20 0 40
NORTH

SHEET NO.	04	
DATE	AUGUST, 2020	
PROJECT NO.	N0940 9-20-00535-B	
DESIGNED	NAV	
DRAWN	KJB	

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
PROPOSED GRADING UTILITY & EROSION CONTROL PLAN

NO.	DATE	REVISION

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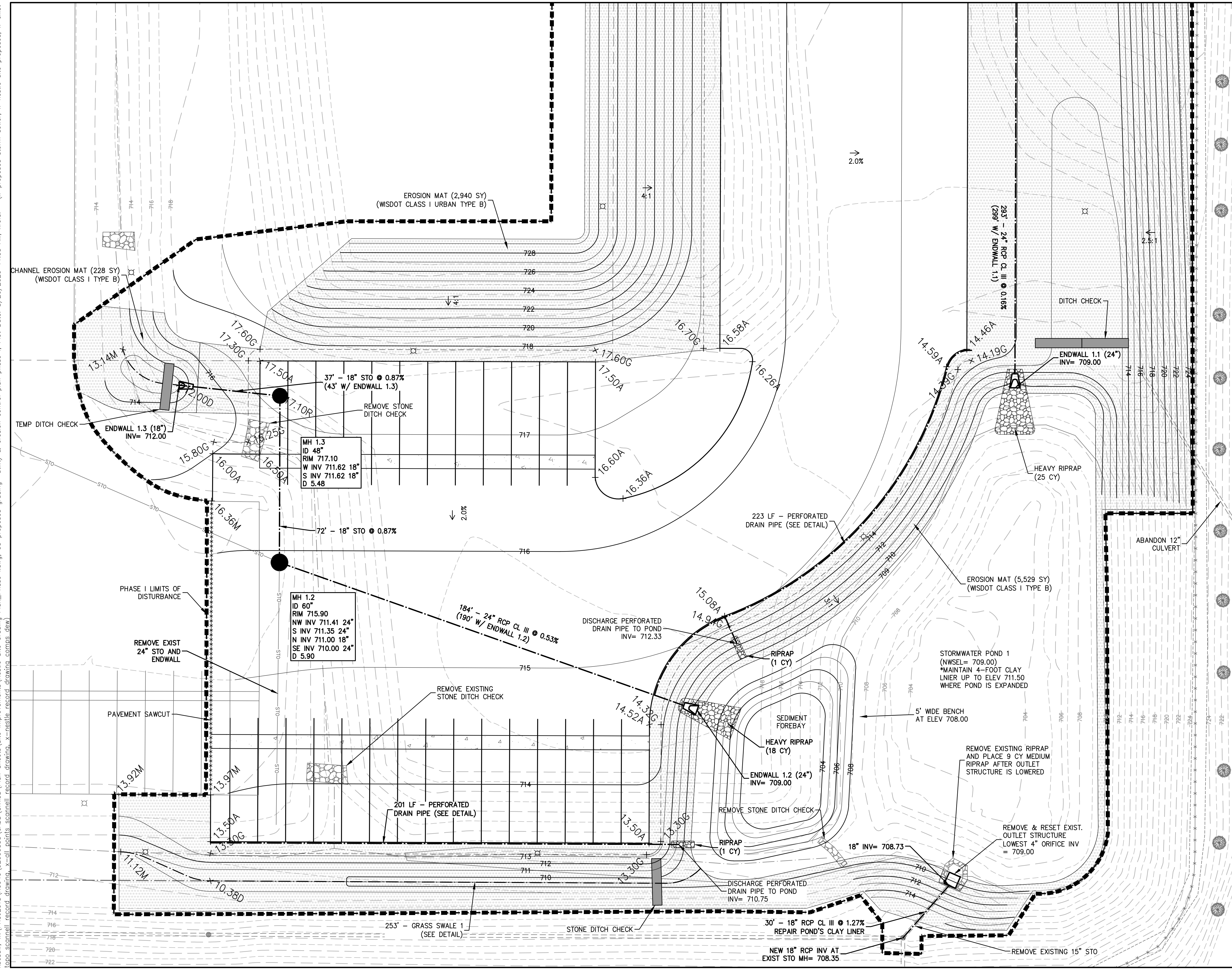
EROSION MAT (2,940 SY)
(WISDOT CLASS I URBAN TYPE B)
CHANNEL EROSION MAT (228 SY)
(WISDOT CLASS I TYPE B)
TEMP DITCH CHECK
ENDWALL 1.3 (18")
INV= 712.00
37' - 18" STO @ 0.87%
(43' W/ ENDWALL 1.3)
REMOVE STONE DITCH CHECK
MH 1.3
ID 48"
RIM 717.10
W INV 711.62 18"
S INV 711.62 18"
D 5.48
72' - 18" STO @ 0.87%
PHASE I LIMITS OF DISTURBANCE
MH 1.2
ID 60"
RIM 715.90
NW INV 711.41 24"
S INV 711.35 24"
N INV 711.00 18"
SE INV 710.00 24"
D 5.90
184' - 24" RCP CL III @ 0.53%
(190' W/ ENDWALL 1.2)
REMOVE EXIST 24" STO AND ENDWALL
PAVEMENT SAWCUT
REMOVE EXISTING STONE DITCH CHECK
201 LF - PERFORATED DRAIN PIPE (SEE DETAIL)
253' - GRASS SWALE 1 (SEE DETAIL)
STONE DITCH CHECK
293' - 24" RCP CL III @ 0.16%
(299' W/ ENDWALL 1.1)
DITCH CHECK
ENDWALL 1.1 (24")
INV= 709.00
HEAVY RIPRAP
(25 CY)
223 LF - PERFORATED DRAIN PIPE (SEE DETAIL)
EROSION MAT (5,529 SY)
(WISDOT CLASS I TYPE B)
ABANDON 12" CULVERT
DISCHARGE PERFORATED DRAIN PIPE TO POND
INV= 712.33
RIPRAP
(1 CY)
STORMWATER POND 1
(NWSEL= 709.00)
*MAINTAIN 4-FOOT CLAY LNIER UP TO ELEV 711.50 WHERE POND IS EXPANDED
SEDIMENT FOREBAY
5' WIDE BENCH AT ELEV 708.00
HEAVY RIPRAP
(18 CY)
ENDWALL 1.2 (24")
INV= 709.00
REMOVE EXISTING RIPRAP AND PLACE 9 CY MEDIUM RIPRAP AFTER OUTLET STRUCTURE IS LOWERED
REMOVE STONE DITCH CHECK
REMOVE & RESET EXIST. OUTLET STRUCTURE
LOWEST 4" ORIFICE INV = 709.00
18" INV= 708.73
RIPRAP
(1 CY)
DISCHARGE PERFORATED DRAIN PIPE TO POND
INV= 710.75
30' - 18" RCP CL III @ 1.27%
REPAIR POND'S CLAY LINER
NEW 18" RCP INV AT EXIST STO MH= 708.35
REMOVE EXISTING 15" STO
2.0%
4:1
2.5:1
3:1

NORTH

20 10 0 20

SCALE - FEET

LEGEND

× 16.26A	FINISHED ASPH ELEV
× 16.26C	FINISHED CONC ELEV
× 16.26D	FINISHED SWALE BOTTOM ELEV
× 16.26G	FINISHED GROUND (GRASS) ELEV
× 16.26M	MATCH ELEV

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NO.	DATE	REVISION

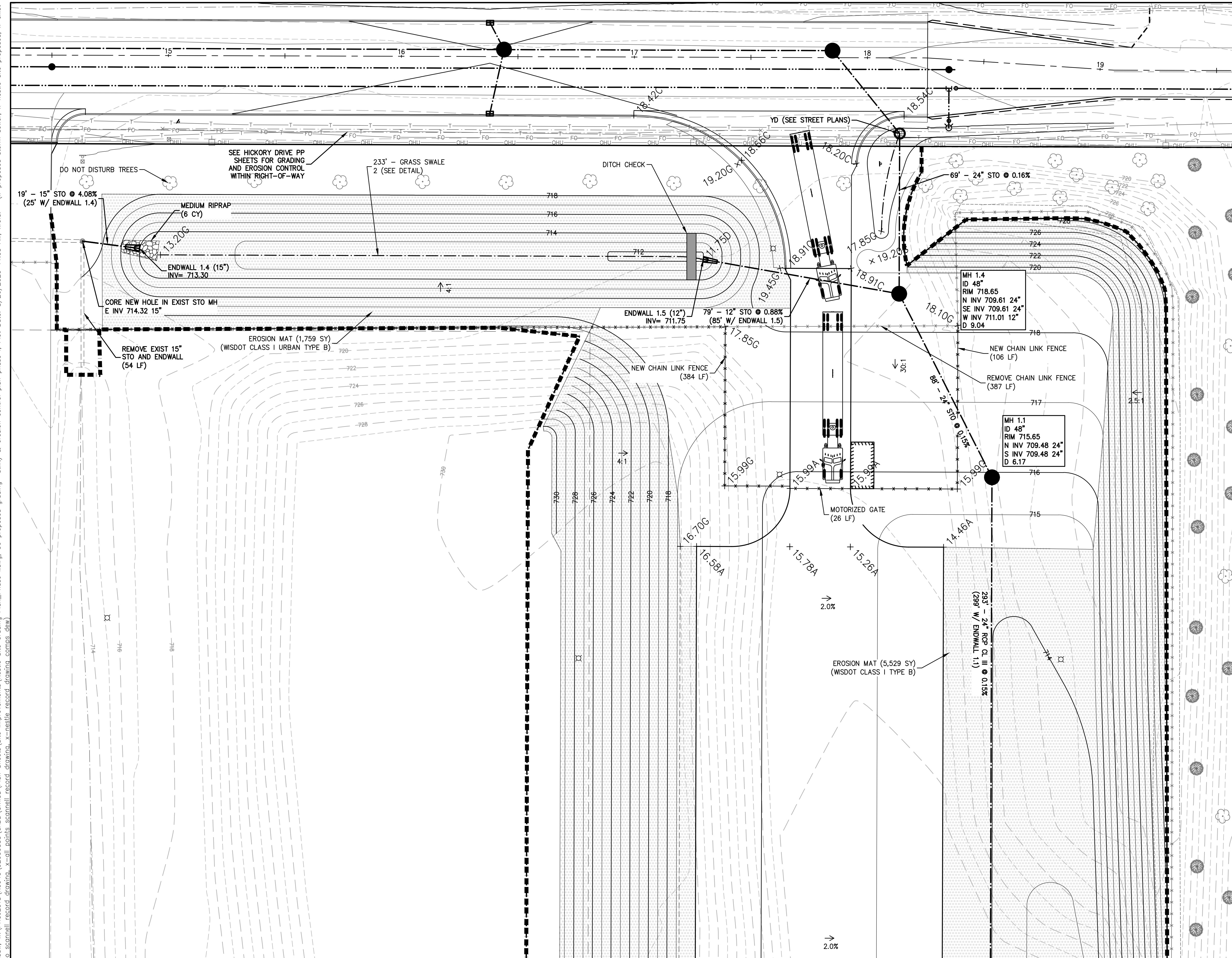
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
PROPOSED GRADING, UTILITY & EROSION CONTROL PLAN PHASE I

DESIGNED	DRAWN
NAV	KJB

PROJECT NO.
N0940 9-20-00535-B

DATE
AUGUST, 2020

SHEET NO.
05



NORTH

20 10 0 20

SCALE - FEET

LEGEND

× 16.26A	FINISHED ASPH ELEV
× 16.26C	FINISHED CONC ELEV
× 16.26D	FINISHED SWALE BOTTOM ELEV
× 16.26G	FINISHED GROUND (GRASS) ELEV
× 16.26M	MATCH ELEV

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REVISION | DATE | NO.

2020 SITE IMPROVEMENTS

Nestle USA, Village Of Little Chute, Wisconsin

PROPOSED GRADING, UTILITY & EROSION CONTROL PLAN PHASE I

DESIGNED	DRAWN
NAV	KJB

PROJECT NO.
N0940 9-20-00535-B

DATE
AUGUST, 2020

SHEET NO.
06

W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Nestle Site Grading Plan_Phase I.dwg, 06 PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE I, 8/26/2020 11:03:39 AM, KBesaw, 1:2

W:\PROJECTS\N0940\920005535\CADD\Civil3D\Plan Sheets\Site Improvements\Nestle Site Grading Plan_Phase II.dwg, 07 PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II, 8/26/2020 11:03:42 AM, KBesaw, 1:2

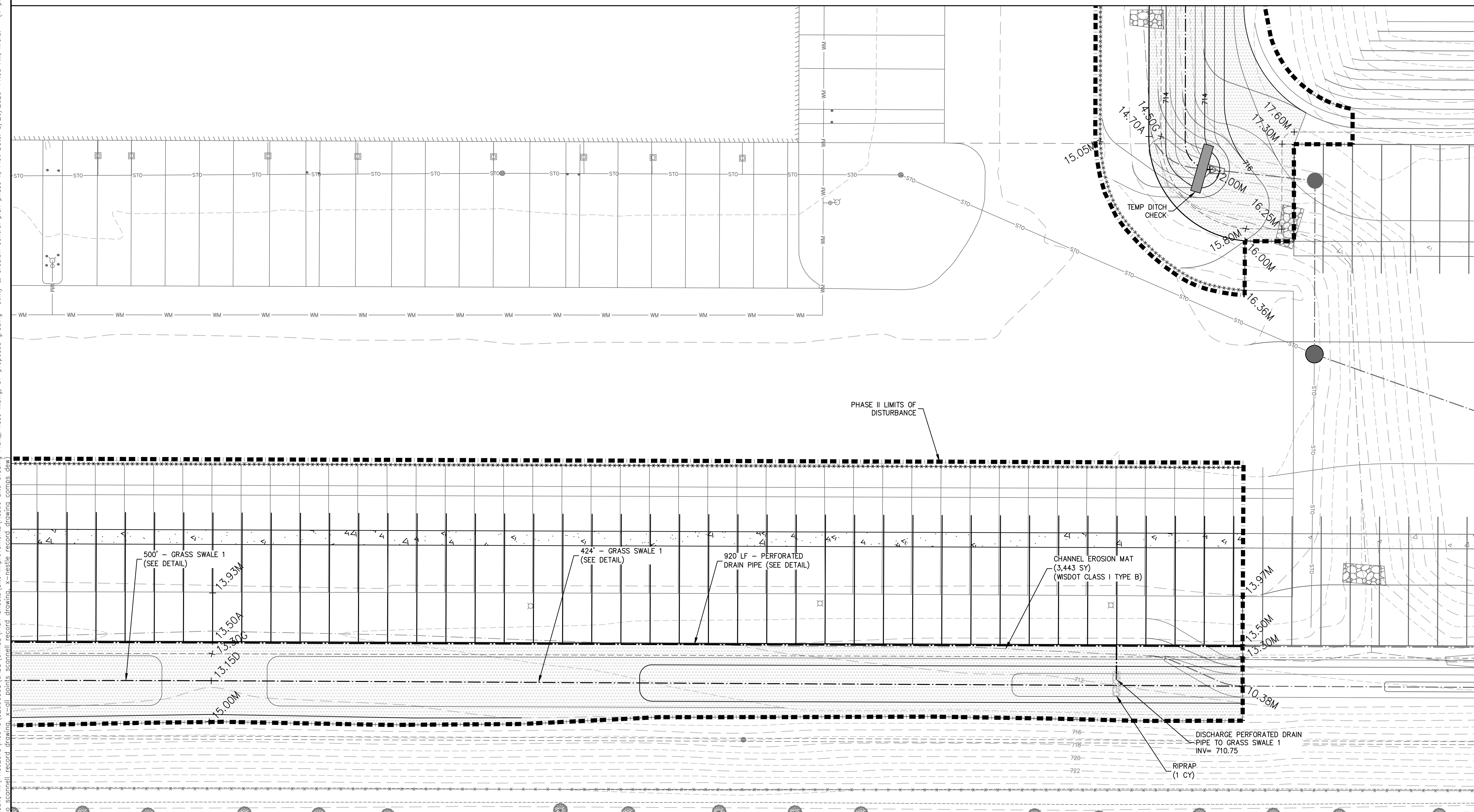
NORTH

20 10 0 20

SCALE – FEET

LEGEND

× 16.26A	FINISHED ASPH ELEV	× 16.26D	FINISHED SWALE BOTTOM ELEV
× 16.26M	MATCH ELEV	× 16.26G	FINISHED GROUND (GRASS) ELEV



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NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II

DESIGNED	DRAWN
NAV	KJB

PROJECT NO.
N0940 9-20-00535-B

DATE
AUGUST, 2020

SHEET NO.
07

W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Nestle Site Grading Plan_Phase II.dwg, 08 PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II, 8/26/2020 11:03:44 AM, KBesaw, 1:2

NORTH

20 10 0 20
SCALE – FEET

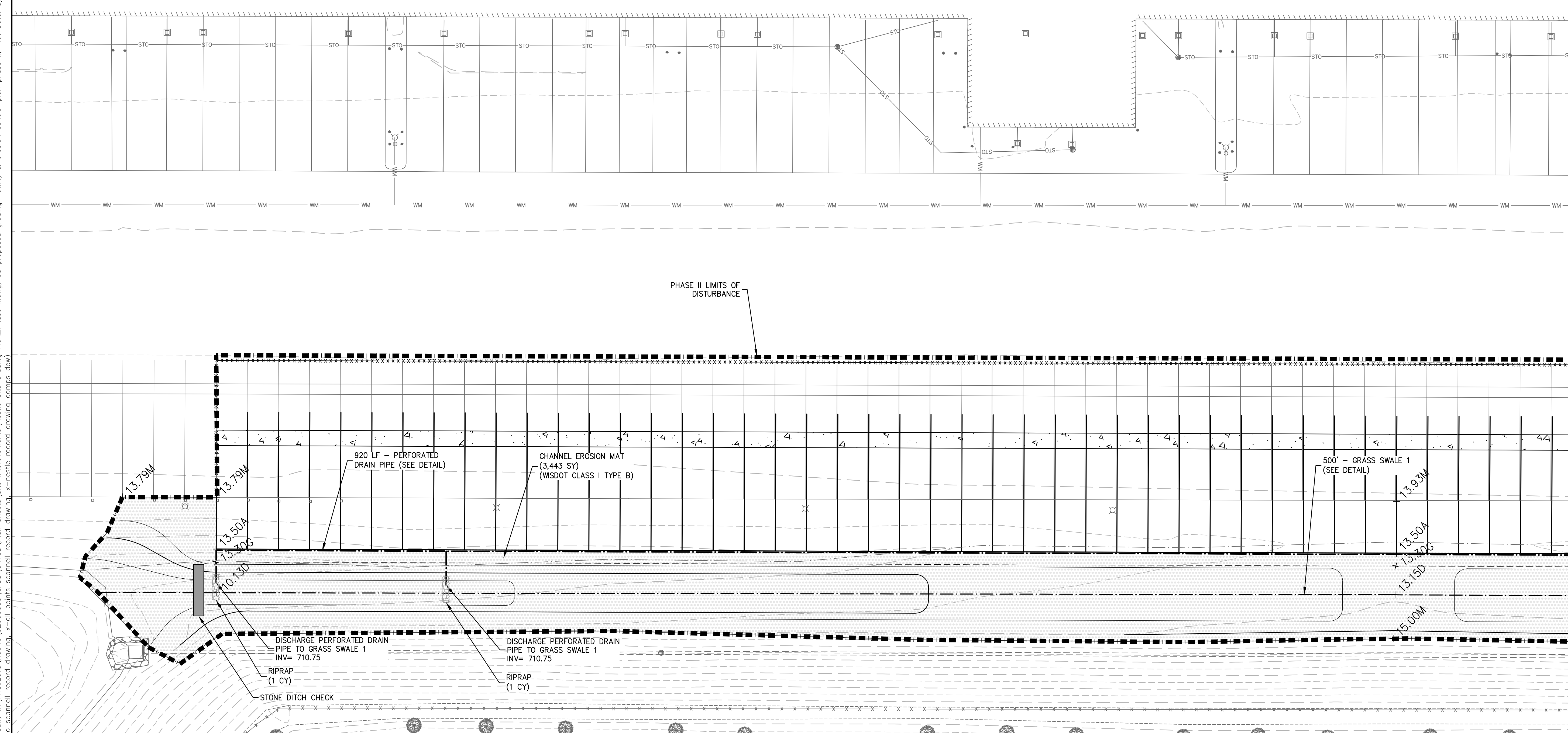
LEGEND

× 16.26A FINISHED ASPH ELEV

× 16.26D FINISHED SWALE BOTTOM ELEV

× 16.26M MATCH ELEV

× 16.26G FINISHED GROUND (GRASS) ELEV



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NO.	DATE	REVISION

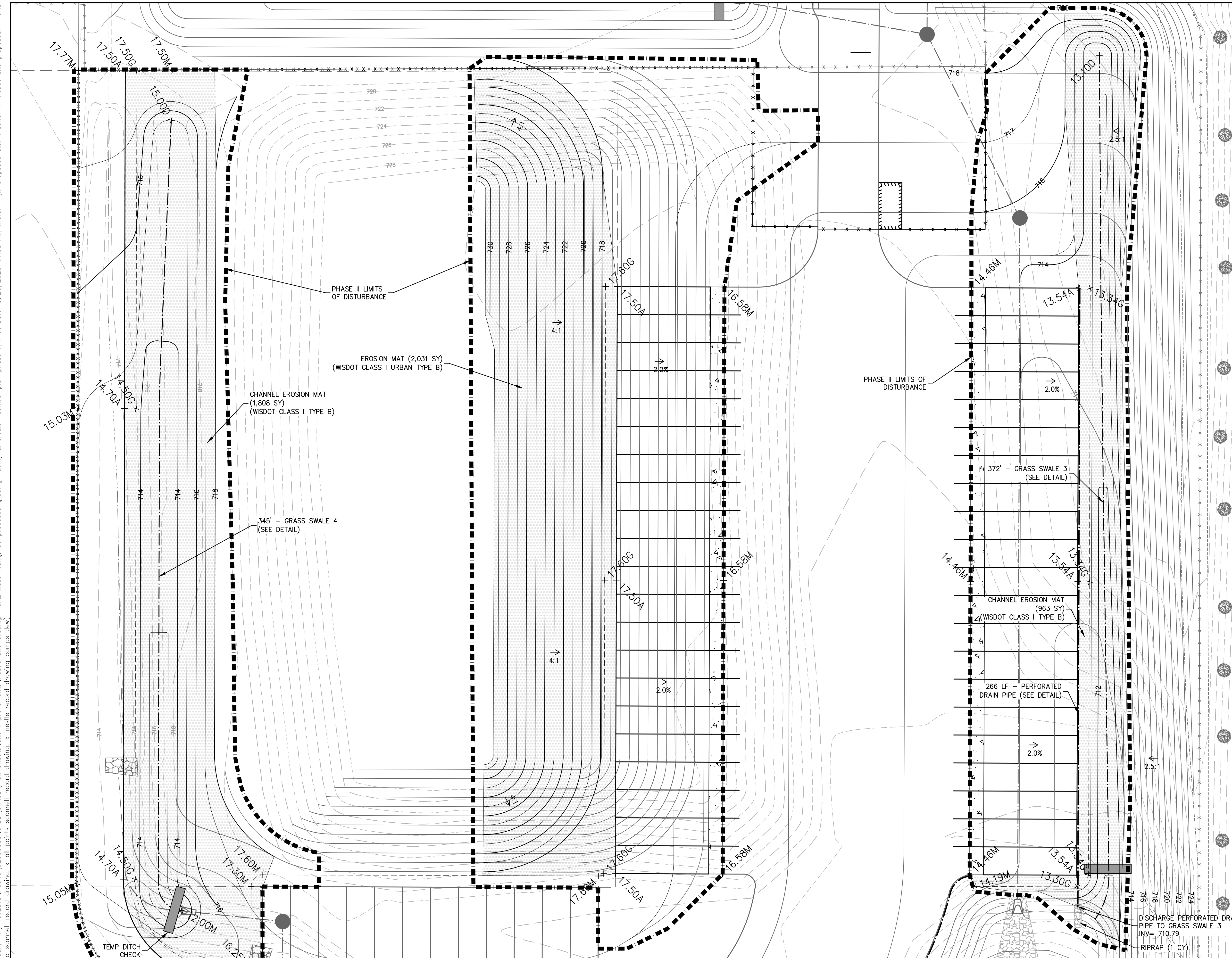
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II

DESIGNED	DRAWN
NAV	KJB

PROJECT NO.
N0940 9-20-00535-B

DATE
AUGUST, 2020

SHEET NO.
08



LEGEND

× 16.26A FINISHED ASPH ELEV

× 16.26C FINISHED CONC ELEV

× 16.26D FINISHED SWALE BOTTOM ELEV

× 16.26G FINISHED GROUND (GRASS) ELEV

× 16.26M MATCH ELEV

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2020 SITE IMPROVEMENTS

Nestle USA, Village Of Little Chute, Wisconsin

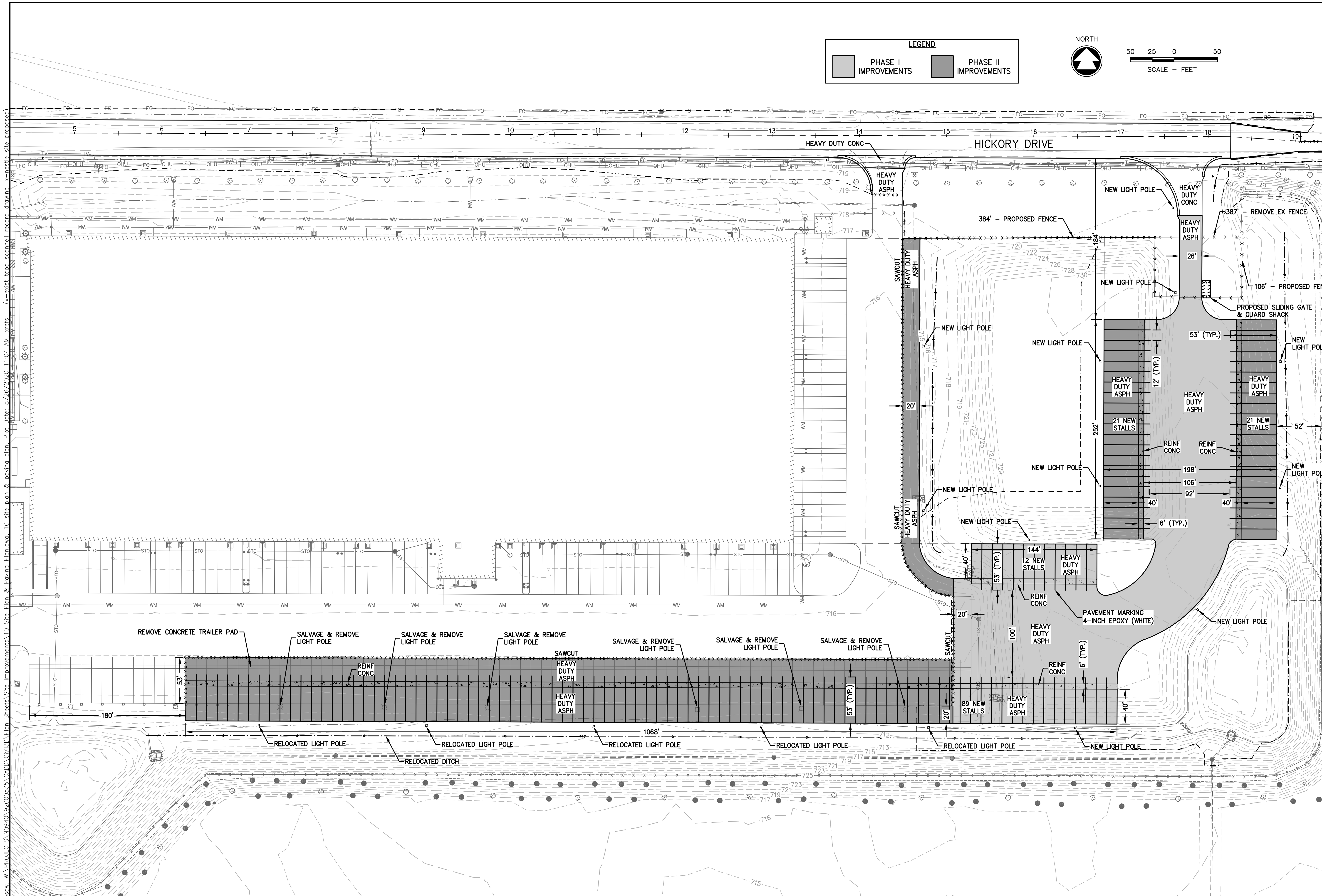
PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II

DESIGNED	DRAWN
NAV	KJB

PROJECT NO. N0940 9-20-00535-B

DATE AUGUST, 2020

SHEET NO. 09



LEGEND
PHASE I IMPROVEMENTS
PHASE II IMPROVEMENTS
NORTH
50 25 0 50
SCALE - FEET
HICKORY DRIVE
HEAVY DUTY CONC
HEAVY DUTY ASPH
NEW LIGHT POLE
HEAVY DUTY CONC
387' - REMOVE EX FENCE
384' - PROPOSED FENCE
184'
HEAVY DUTY ASPH
26'
106' - PROPOSED FENCE
PROPOSED SLIDING GATE & GUARD SHACK
SAWCUT HEAVY DUTY ASPH
53' (TYP.)
12' (TYP.)
21 NEW STALLS
REINF CONC
252'
52'
198'
106'
92'
40'
6' (TYP.)
20'
144'
12 NEW STALLS
53' (TYP.)
PAVEMENT MARKING 4-INCH EPOXY (WHITE)
100'
89 NEW STALLS
REMOVE CONCRETE TRAILER PAD
SALVAGE & REMOVE LIGHT POLE
SAWCUT
180'
1068'
RELOCATED LIGHT POLE
RELOCATED DITCH

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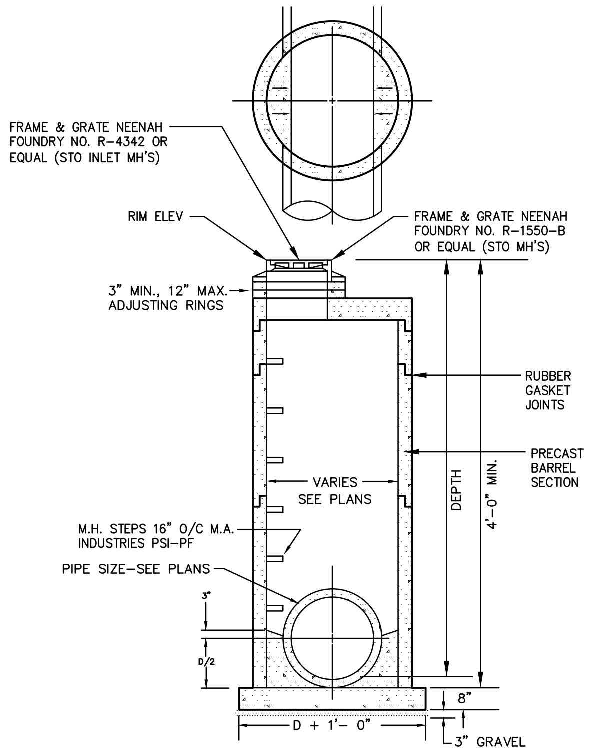
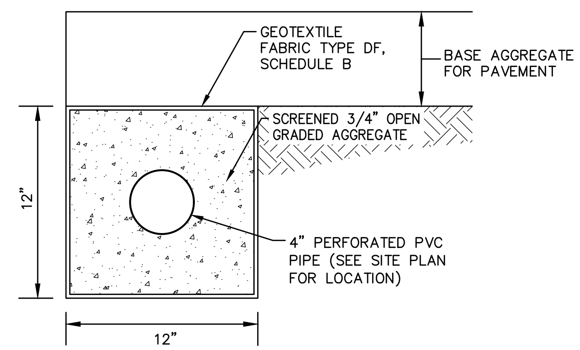
NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
SITE PLAN & PAVING PLAN

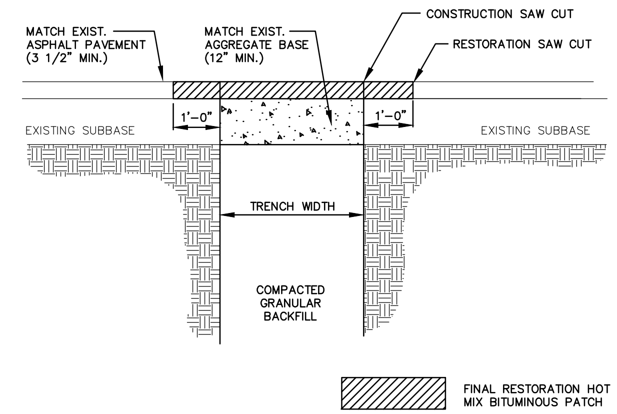
DESIGNED	DRAWN
NAV	KJB
PROJECT NO.	
N0940 9-20-00535-B	
DATE	
AUGUST, 2020	
SHEET NO.	
10	



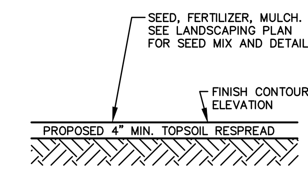
STORM MH OR INLET MH DETAIL



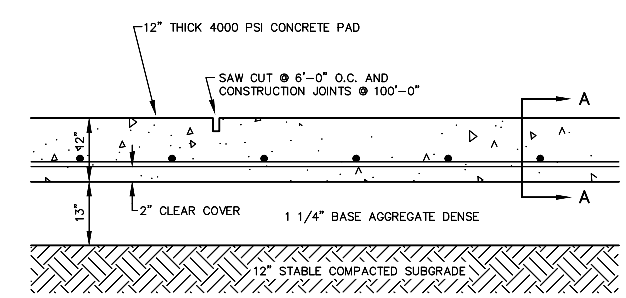
PERFORATED DRAIN PIPE DETAIL (NTS)

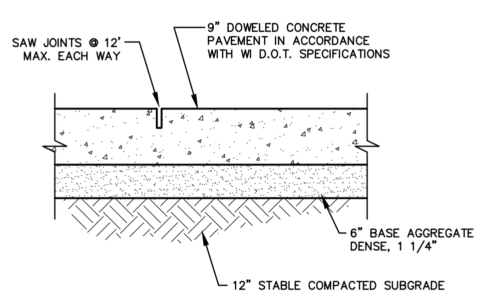


BITUMINOUS PAVEMENT RESTORATION



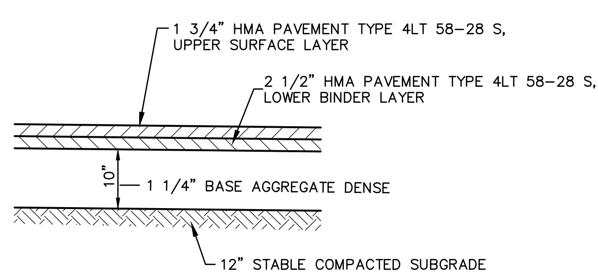
TYPICAL LAWN SECTION





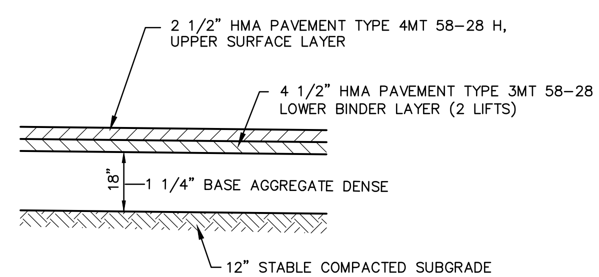
NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

SEMI-TRUCK/HEAVY DUTY CONCRETE PAVEMENT DETAIL



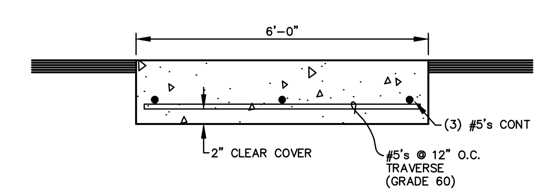
NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

LIGHT DUTY ASPHALT DETAIL



NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

SEMI-TRUCK/HEAVY DUTY ASPHALT DETAIL



SECTION A-A

NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

CONCRETE TRAILER PAD DETAIL

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NO.	DATE	REVISION

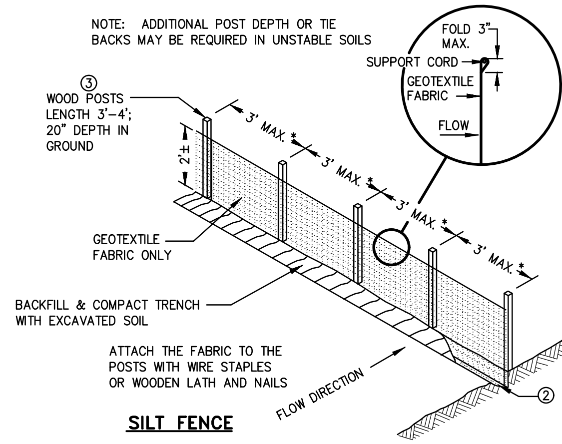
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
STORM SEWER & PAVING DETAILS

DESIGNED	DRAWN
NAV	KJB

PROJECT NO. N0940 9-20-00535-B

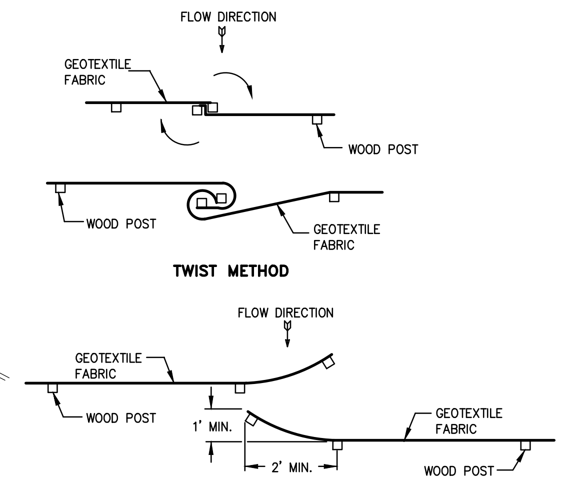
DATE AUGUST, 2020

SHEET NO. 11



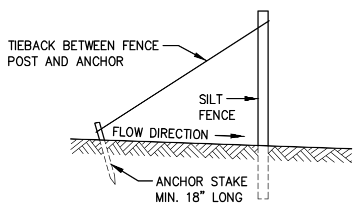
SILT FENCE

NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.



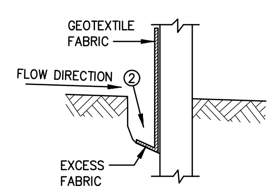
JOINING TWO LENGTHS OF SILT FENCE ⑤

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



SILT FENCE TIE BACK

(WHEN ADDITIONAL SUPPORT REQUIRED)

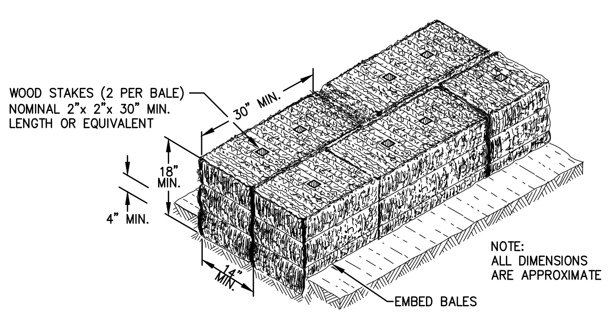


TRENCH DETAIL

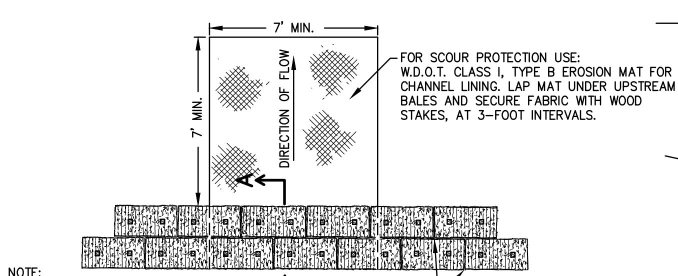
GENERAL NOTES

1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

SILT FENCE DETAIL

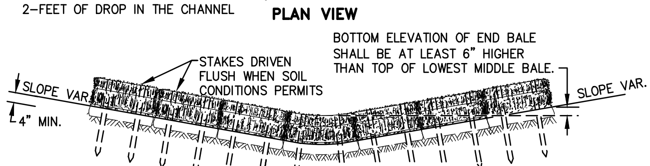


SECTION A-A



NOTE:
AT A MINIMUM, ONE DITCH CHECK SHALL BE INSTALLED FOR EVERY 2-FEET OF DROP IN THE CHANNEL

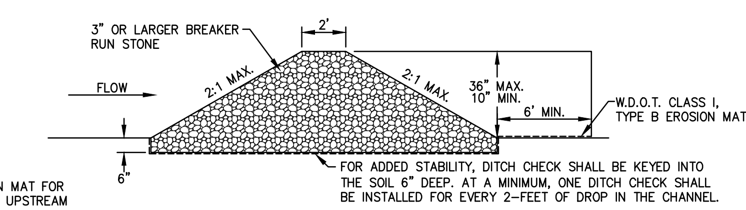
PLAN VIEW



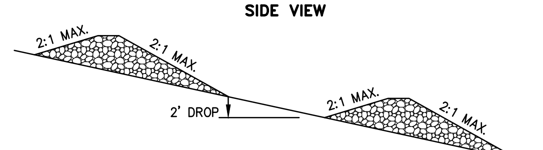
This drawing based on W.D.O.T. S.D.D. 8 E 8-3

FRONT ELEVATION

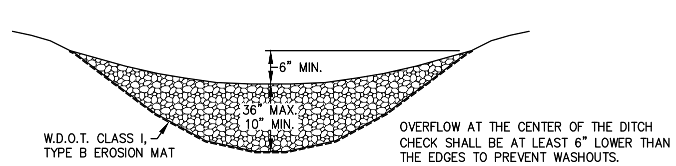
BALE OPTION



SIDE VIEW



SIDE VIEW



FRONT ELEVATION

STONE OPTION

DITCH CHECK DETAIL

PROJECT DESCRIPTION

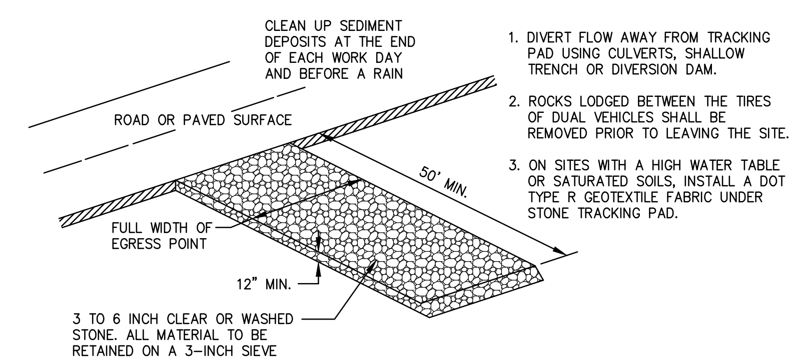
NESTLE USA IS LOCATED AT THE SOUTHEAST CORNER OF FREEDOM ROAD AND HICKORY DRIVE IN THE VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. STORMWATER RUNOFF IS CONVEYED VIA DITCHES AND STORM SEWERS TO TWO WET DETENTION PONDS FOR WATER QUALITY TREATMENT BEFORE DISCHARGING INTO AN UNNAMED TRIBUTARY OF APPLE CREEK. THESE WET DETENTION BASINS ARE ALSO TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. WETLANDS ARE NOT DISTURBED DURING THE CONSTRUCTION PROJECT.

SOIL INFORMATION WAS OBTAINED FROM SOIL BORINGS. THE PROJECT AREA GENERALLY CONTAINS CLAY SOILS. NO BEDROCK IS ANTICIPATED DURING CONSTRUCTION. GROUNDWATER IS NOT ANTICIPATED DURING CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING CONSTRUCTION ACTIVITIES:

1. CONTRACTOR SHALL POST PERMITS AT THE SITE AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION. NOTIFY WDNR, VILLAGE OF LITTLE CHUTE, NESTLE USA AND ENGINEER AT LEAST 5 DAYS PRIOR TO START OF CONSTRUCTION.
2. INSTALL TRACKING PAD, INLET PROTECTION, DITCH CHECKS AND SILT FENCE. IF TRACKING PAD DOES NOT REMOVE SEDIMENT FROM VEHICLE TIRES, THEN TIRES SHALL BE WASHED. STREET SWEEPING SHALL BE PERFORMED ON A DAILY BASIS AND/OR AS NEEDED.
3. BEGIN STRIPPING TOPSOIL. EXCESS TOPSOIL SHALL BE PLACED IN A TEMPORARY STOCKPILE THAT IS SURROUNDED WITH SILT FENCE. TOPSOIL STOCKPILES SHALL BE TEMPORARILY STABILIZED IF NOT ACTIVE FOR 7 DAYS OR MORE. PERFORM SITE GRADING, INSTALL GUARD SHACK AND INSTALL STORM SEWERS. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME. STABILIZE DISTURBED OR NEW PAVEMENT AREAS WITH AGGREGATE AS SOON AS POSSIBLE. DEWATER AREAS AS NEEDED. INSTALL DITCH CHECKS AS NEW DITCHES ARE CONSTRUCTED. INSTALL INLET PROTECTION AS NEW STORM INLETS ARE INSTALLED. INSTALL RIPRAP AS NEW STORM SEWER OUTFALLS ARE INSTALLED.
4. COMPLETE SITE CONSTRUCTION AND FINAL SITE STABILIZATION. INSTALL WISDOT CLASS I, TYPE A EROSION MAT ON GRASS SLOPES OF 4:1 OR STEEPER THAT DO NOT RECEIVE SHEET FLOW FROM PAVEMENT AREAS. INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON GRASS SLOPES THAT RECEIVE SHEET FLOW FROM ADJACENT PAVEMENT AREAS (EXTEND EROSION MAT FROM EDGE OF PAVEMENT TO DITCH BOTTOM). INSTALL WISDOT CLASS I, TYPE B EROSION MAT ALONG GRASS DITCHES (EXTEND EROSION MAT VERTICALLY 2 FEET UP EACH SIDE OF DITCH). OTHER GRASS AREAS CAN BE RESTORATED WITH PROPERLY ANCHORED MULCH. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN UNTIL A 70% VEGETATIVE COVER IS ACHIEVED. CONSTRUCTION SHALL BE COMPLETED ON OR BEFORE DECEMBER 31, 2020.



1. DIVERT FLOW AWAY FROM TRACKING PAD USING CULVERTS, SHALLOW TRENCH OR DIVERSION DAM.
2. ROCKS LODGED BETWEEN THE TIRES OF DUAL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE SITE.
3. ON SITES WITH A HIGH WATER TABLE OR SATURATED SOILS, INSTALL A DOT TYPE R GEOTEXTILE FABRIC UNDER STONE TRACKING PAD.

TRACKING PAD DETAIL

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NO.	DATE	REVISION

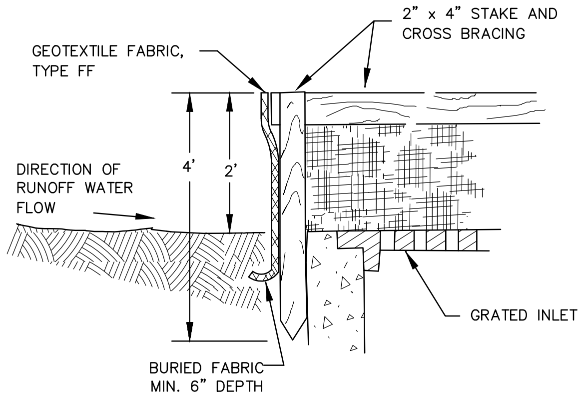
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
EROSION CONTROL DETAILS

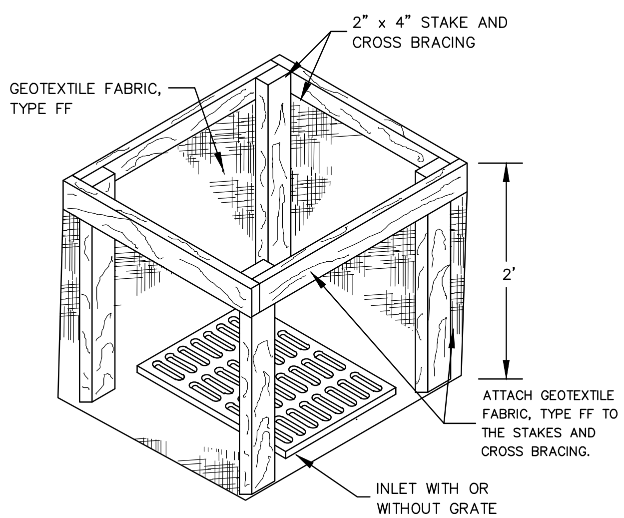
DESIGNED	DRAWN
NAV	KJB

PROJECT NO. N0940 9-20-00535-B

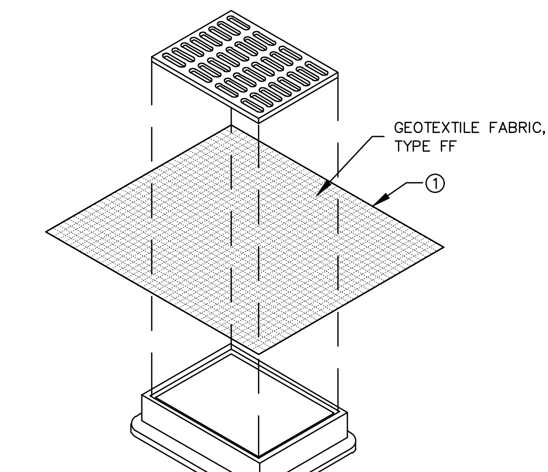
DATE AUGUST, 2020

SHEET NO. 12





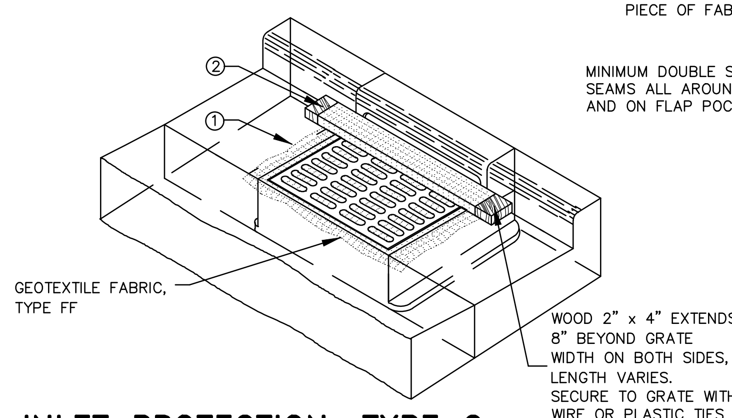
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B

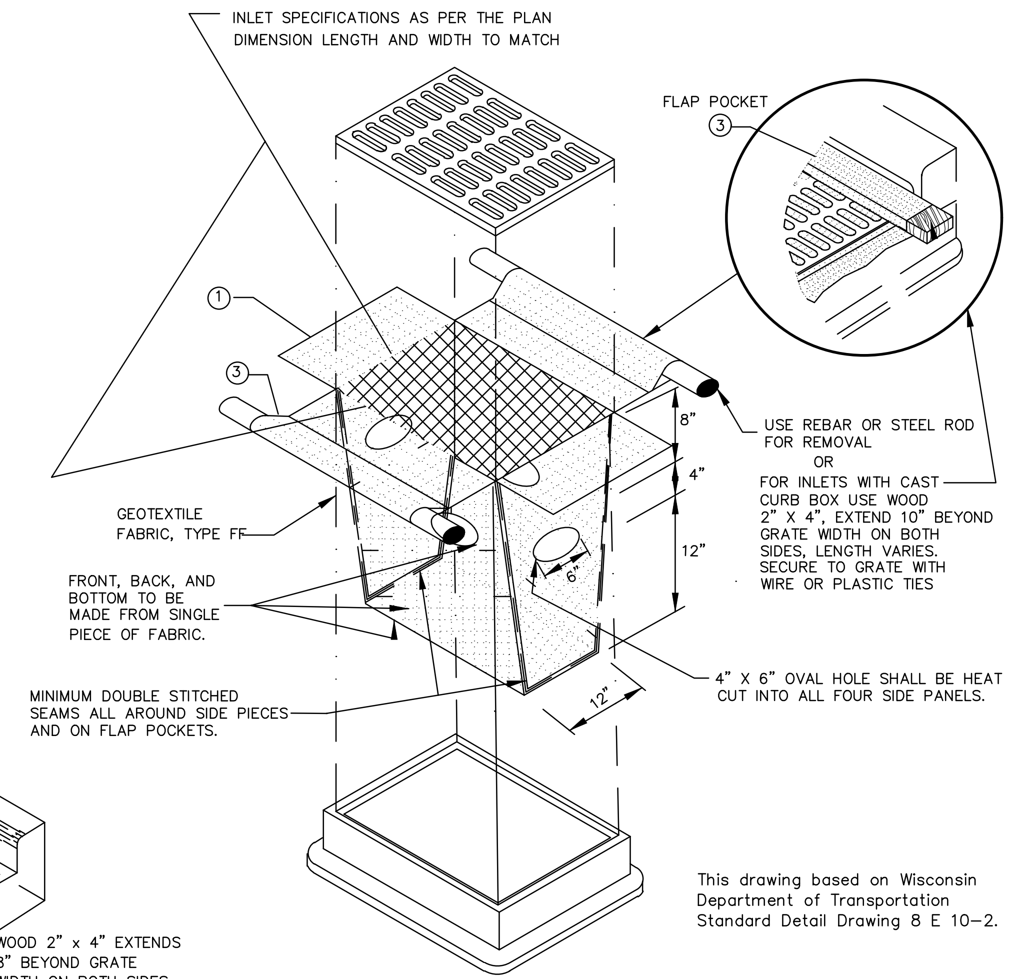
(WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C

(WITH CURB BOX)



This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.

INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

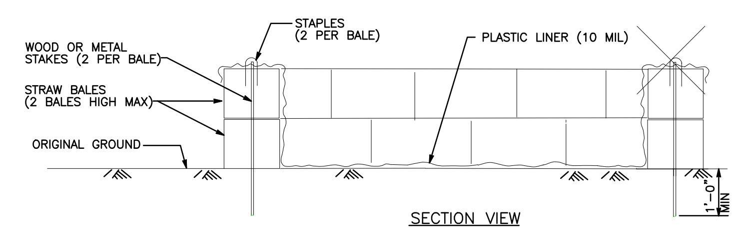
TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

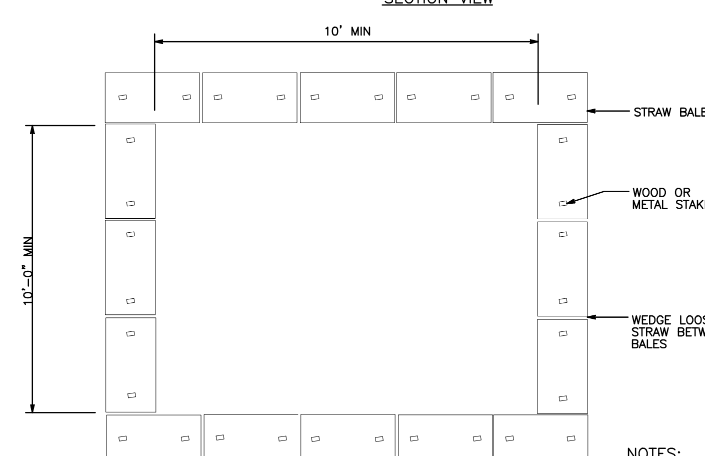
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

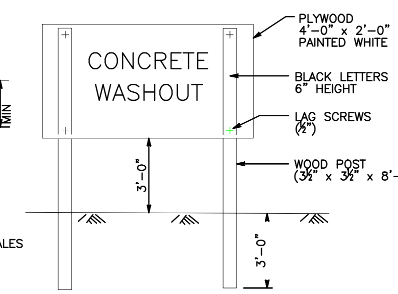
STORM DRAIN INLET PROTECTION



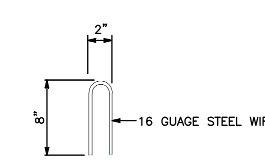
SECTION VIEW



PLAN VIEW



CONCRETE WASHOUT SIGN DETAIL



STAPLE DETAIL

NOTES:
1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

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NO.	DATE	REVISION

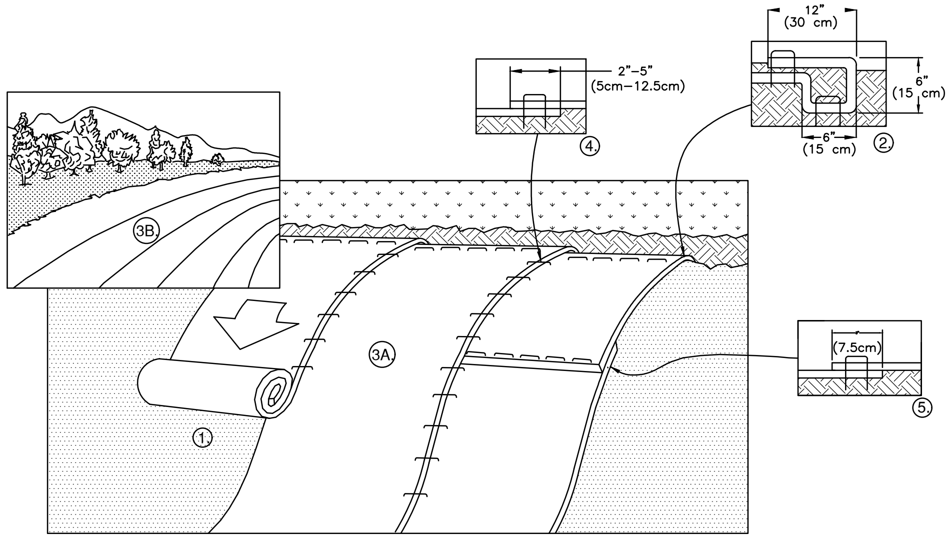
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
EROSOIN CONTROL DETAILS

DESIGNED	DRAWN
NAV	KJB

PROJECT NO.
N0940 9-20-00535-B

DATE
AUGUST, 2020

SHEET NO.
13



SLOPE EROSION MAT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1052 AND MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

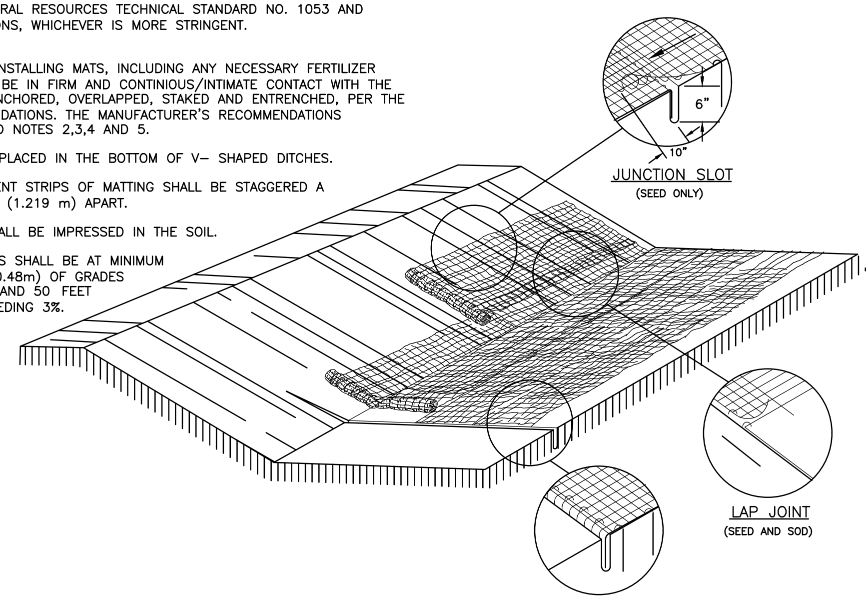
1. PREPARE TOPSOIL BEFORE INSTALLING MATS, INCLUDING ANY NECESSARY FERTILIZER AND SEED. THE MAT SHALL BE IN FIRM AND CONTINIOUS/INTIMATE CONTACT WITH THE SOIL. THE MAT SHALL BE ANCHORED, OVERLAPPED, STAKED AND ENTRENCHED, PER THE MANUFACTURER'S RECOMMENDATIONS. THE MANUFACTURER'S RECOMMENDATIONS SUPERCEDE THIS DETAIL AND NOTES 2,3,4 AND 5.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MAT IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF MAT EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE MAT WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF MAT BACK OVER SEED AND COMPACTED SOIL. SECURE MAT OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE MAT.
3. ROLL THE MATS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. MATS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL MATS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL MATS MUST BE STAPLED WITH APPROXIMATELY 2"–5" (5CM–12.5CM) OVERLAP DEPENDING ON MAT TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING MAT (MAT BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED MAT.
5. CONSECUTIVE MATS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE MAT WIDTH.

SLOPE EROSION MAT
NOT TO SCALE

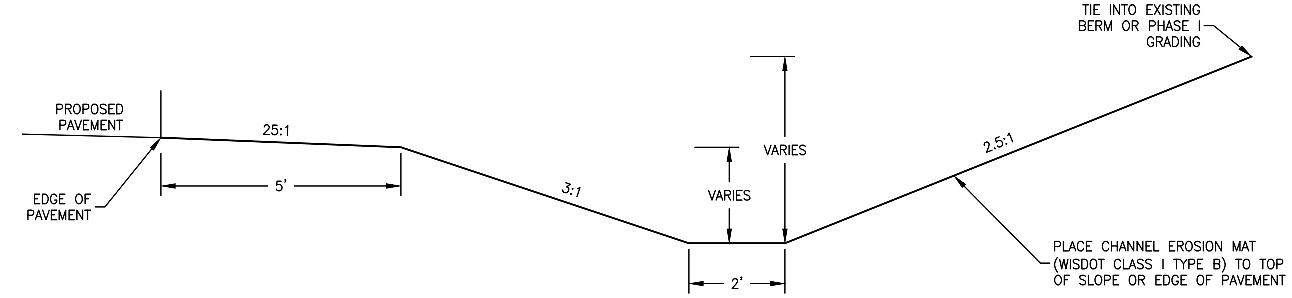
GENERAL NOTES

CHANNEL EROSION MAT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 AND MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

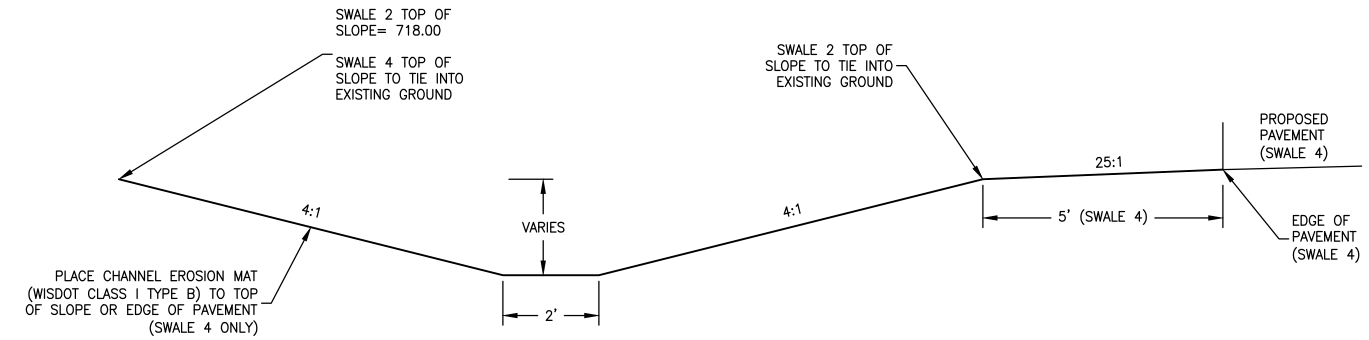
1. PREPARE TOPSOIL BEFORE INSTALLING MATS, INCLUDING ANY NECESSARY FERTILIZER AND SEED. THE MAT SHALL BE IN FIRM AND CONTINIOUS/INTIMATE CONTACT WITH THE SOIL. THE MAT SHALL BE ANCHORED, OVERLAPPED, STAKED AND ENTRENCHED, PER THE MANUFACTURER'S RECOMMENDATIONS. THE MANUFACTURER'S RECOMMENDATIONS SUPERCEDE THIS DETAIL AND NOTES 2,3,4 AND 5.
2. LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V- SHAPED DITCHES.
3. JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 (FOUR) FEET (1.219 m) APART.
4. EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.
5. JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET (30.48m) OF GRADES UP TO AND INCLUDING 3%, AND 50 FEET (15.24m) ON GRADES EXCEEDING 3%.



CHANNEL EROSION MAT
NOT TO SCALE



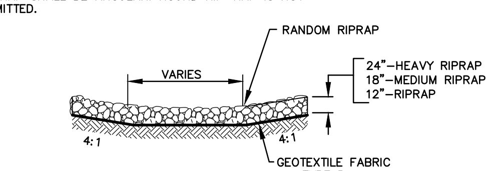
SWALE 1 & 3 DETAIL



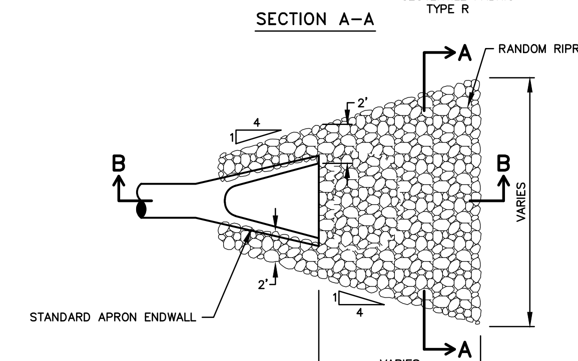
SWALE 2 & 4 DETAIL

RIP-RAP

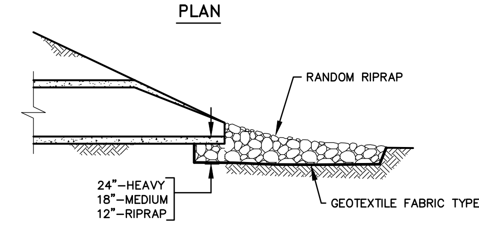
1. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION.
2. RIP-RAP SHALL BE ANGULAR. ROUND RIP-RAP IS NOT PERMITTED.



SECTION A–A



PLAN



SECTION B–B

RIPRAP AT STORM SEWER OUTFALL

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NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
EROSION CONTROL DETAILS

DESIGNED	DRAWN
NAV	KJB

PROJECT NO. N0940 9-20-00535-B
DATE AUGUST, 2020
SHEET NO. 14

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SECTION 32 31 13
CHAIN LINK FENCES AND GATES

PART 1 GENERAL

1.1 SECTION INCLUDES

A. Posts, rails, and frames.
B. Wire fabric.
C. Concrete.
D. Automatic gate operators.
E. Accessories.

1.2 REFERENCE STANDARDS

A. ASTM A428/A428M - Standard Test Method for Weight (Mass) of Coating on Aluminum-Coated Iron or Steel Articles 2010 (Reapproved 2014).
B. ASTM A491 - Standard Specification for Aluminum-Coated Steel Chain-Link Fence Fabric 2011 (Reapproved 2017).
C. ASTM F567 - Standard Practice for Installation of Chain-Link Fence 2014a.
D. ASTM F1043 - Standard Specification for Strength and Protective Coatings on Steel Industrial Fence Framework 2018.
E. ASTM F1083 - Standard Specification for Pipe, Steel, Hot-Dipped Zinc-Coated (Galvanized) Welded, for Fence Structures 2018.
F. ASTM F2200 - Standard Specification for Automated Vehicular Gate Construction 2017.
G. CLFMI CLF-SFR0111 - Security Fencing Recommendations 2014.
H. CLFMI WLG 2445 - Wind Load Guide for the Selection of Line Post and Line Post Spacing 2018.
I. NEMA 250 - Enclosures for Electrical Equipment (1000 Volts Maximum) 2018.
J. UL 50 - Enclosures for Electrical Equipment, Non-Environmental Considerations Current Edition, Including All Revisions.

1.3 SUBMITTALS

A. Product Data: Provide data on fabric, posts, accessories, fittings and hardware.
B. Design Calculations: For high wind load areas, provide calculations for fence fabric and accessory selection as well as line post spacing and foundation details. See CLFMI WLG 2445 for line post and spacing guidance.
C. Shop Drawings: Indicate plan layout, spacing of components, post foundation dimensions, hardware anchorage, and schedule of components. See CLFMI CLF-SFR0111 for planning and design recommendations.

1.4 QUALITY ASSURANCE

A. Fence Installer: Company with demonstrated successful experience installing similar projects and products, with not less than five years of documented experience.

1.5 WARRANTY

A. Correct defective Work within a five year period after Date of Substantial Completion.

PART 2 PRODUCTS

2.1 MANUFACTURERS

A. Chain Link Fences and Gates:
1. Master-Halco, Inc: www.masterhalco.com/#sle.
2. Merchants Metals: www.merchantsmetals.com/#sle.
B. Automatic Gate Operators:
1. LiftMaster: The Chamberlain Group Inc..

2.2 MATERIALS

A. Posts, Rails, and Frames:
1. ASTM A1011/A1011M, Designation SS; hot-rolled steel strip, cold formed to pipe configuration, longitudinally welded construction, minimum yield strength of 50 ksi; zinc coating complying with ASTM F1043 and ASTM F1083.
2. Line Posts: Type I round.
3. Terminal, Corner, Rail, Brace, and Gate Posts: Type I round.
B. Wire Fabric:
1. ASTM A392 zinc coated steel chain link fabric.
C. Concrete:
1. Ready-mixed, complying with ASTM C94/C94M; normal Portland cement; 2,500 psi strength at 28 days, 3 inch slump; 3/4 inch nominal size aggregate.

2.3 COMPONENTS

A. Line Posts: 2.38 inch diameter.
B. Corner and Terminal Posts: 2.88 inch diameter.
C. Gate Posts: 6.63 inch diameter.
D. Top and Brace Rail: 1.66 inch diameter, plain end, sleeve coupled.
E. Bottom Rail: 1.66 inch diameter, plain end, sleeve coupled.
F. Gate Frame: 1.90 inch diameter for welded fabrication.
G. Fabric: 2 inch diamond mesh interwoven wire, 9 gage, 0.1483 inch thick, top selvage knuckle end closed, bottom selvage twisted tight.
H. Tension Wire: 6 gage, 0.1920 inch thick steel, single strand.
I. Tie Wire: Aluminum alloy steel wire.

2.4 AUTOMATIC GATE OPERATORS

A. Sliding Gates: Pre-wired, pedestal mounted gate operator for horizontal sliding gates, per ASTM F2200 and UL 325.
1. Operating type: roller chain.
2. Control Functions: Open, Pause, Close.
3. Opening and closing speed: 12 inches per second.
4. Access: Dual control visor remote, one for ingress, one for egress..Provide 25 remotes.
5. Maximum gate weight: 1,000 pounds (373 kilograms).
6. Horsepower Rating: Suitable for connected load.
7. Entrapment Protection Devices: Provide sensing devices and safety mechanisms complying with UL 325.
8. Enclosures: Comply with NEMA 250, and list and label as complying with UL 50 and UL 50E.
a. Environment Type per NEMA 250: Unless otherwise indicated, as specified for the following installation locations:
1) Outdoor Locations: Type 3R.
2) Cabinet heater to allow use to -40 degrees F.

2.5 ACCESSORIES

A. Caps: Cast steel galvanized; sized to post diameter, set screw retainer.
B. Fittings: Sleeves, bands, clips, rail ends, tension bars, fasteners and fittings; steel.

2.6 FINISHES

A. Components (Other than Fabric): Galvanized in accordance with ASTM A123/A123M, at 1.7 ounces per square foot.
B. Hardware: Hot-dip galvanized to weight required by ASTM A153/A153M.
C. Accessories: Same finish as framing.

PART 3 EXECUTION

3.1 INSTALLATION

A. Install framework, fabric, accessories and gates in accordance with ASTM F567.
B. Place fabric on outside of posts and rails.
C. Set intermediate posts plumb , in concrete footings with top of footing 2 inches above finish grade. Slope top of concrete for water runoff.
D. Line Post Footing Depth Below Finish Grade: ASTM F567.
E. Corner, Gate and Terminal Post Footing Depth Below Finish Grade: ASTM F567.
F. Brace each gate and corner post to adjacent line post with horizontal center brace rail. Install brace rail one bay from end and gate posts.
G. Provide top rail through line post tops and splice with 6 inch long rail sleeves.
H. Install center brace rail on corner gate leaves.
I. Position bottom of fabric 2 inches above finished grade.
J. Fasten fabric to top rail, line posts, braces, and bottom tension wire with tie wire at maximum 15 inches on centers.
K. Attach fabric to end, corner, and gate posts with tension bars and tension bar clips.
L. Install bottom tension wire stretched taut between terminal posts.
M. Install operator in accordance with manufacturer's instructions and in accordance with NFPA 70.

3.2 TOLERANCES

A. Maximum Variation From Plumb: 1/4 inch.
B. Maximum Offset From True Position: 1 inch.

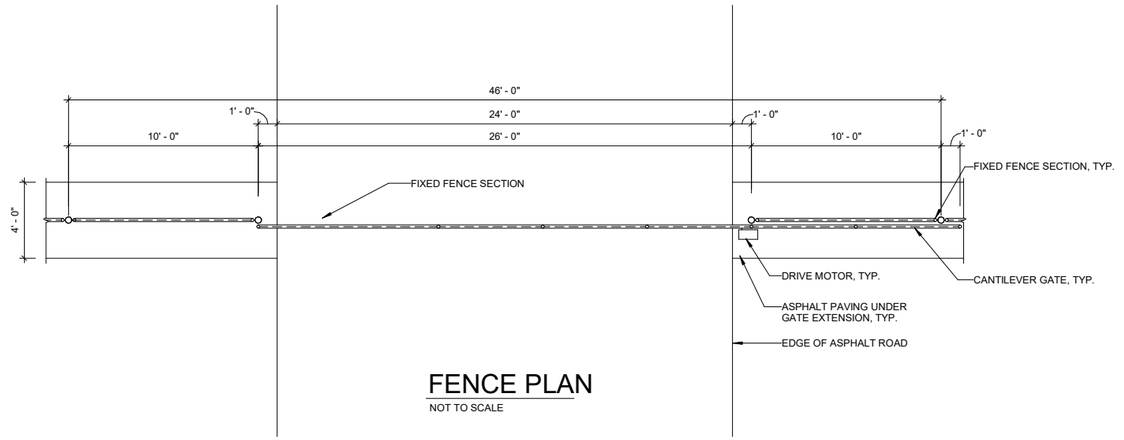
3.3 FIELD QUALITY CONTROL

A. Layout: Verify that fence installation markings are accurate to design, paying attention to gate locations, underground utilities, and property lines.
B. Gates: Inspect for level, plumb, and alignment.

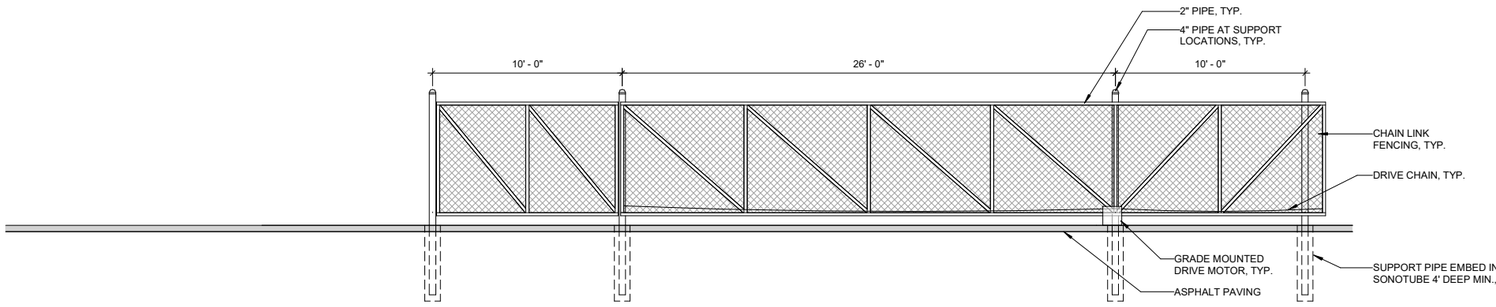
3.4 CLOSEOUT ACTIVITIES

A. Demonstration: Demonstrate operation of system to Owner's personnel.
1. Use operation and maintenance data as reference during demonstration.
2. Briefly describe function, operation, and maintenance of each component.

END OF SECTION



FENCE PLAN
NOT TO SCALE



FENCE ELEVATION
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

McMAHON ENGINEERS ARCHITECTS
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www.mcmgrp.com

NO	DATE	REVISION

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA VILLAGE OF LITTLE CHUTE, WI
ENTRY GATE PLAN & ELEVATION

DESIGNED	DRAWN
GLS	GBK

PROJECT NO.
N0940 92000535
DATE
AUGUST 2020
SHEET NO.
A211

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GENERAL ELECTRICAL NOTES

DRAWINGS

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE, AND INDICATE THE GENERAL ARRANGEMENT OF EQUIPMENT, BUT ACCURACY IS NOT GUARANTEED, AND FIELD VERIFICATION OF ALL LOCATIONS AND DIMENSIONS IS DIRECTED.
2. THESE DRAWINGS WILL NOT SHOW ALL INSTALLATION DETAILS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE A COMPLETE AND SATISFACTORY INSTALLATION IN ACCORDANCE WITH THE BEST MODERN PRACTICE METHODS.
3. E.C. SHALL MAKE OWN COUNT OF ALL EQUIPMENT TO BE WIRED BASED ON ALL PLANS AND SPECIFICATIONS IN THEIR ENTIRETY.
4. THE ELECTRICAL DRAWINGS ARE NOT TO BE USED FOR ROOM DIMENSIONS AND EQUIPMENT PLACEMENT. REFERENCE THE APPROPRIATE ARCHITECTURAL, STRUCTURAL, OR MECHANICAL PLANS. DRAWINGS ARE SCHEMATIC -- VERIFY ALL LOCATIONS BEFORE INSTALLING CONDUIT, EQUIPMENT, ETC.
5. DETAILS ARE TYPICAL OF THE INSTALLATIONS. CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE INSTALLATION AND TO PROVIDE THE PROPER INSTALLATION FOR SITUATIONS WHICH MAY VARY FROM THE DETAILS OR DRAWINGS. CONTRACTORS ARE ADVISED TO COMPLETELY SURVEY THE WORK AREA FOR NON-TYPICAL SITUATIONS, ETC.
6. ALL EQUIPMENT DIMENSIONS SHOWN ON PLANS AND ELEVATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL USE THE SHOP DRAWINGS FOR PROPER LAYOUT, FOUNDATION AND PAD, ETC. FOR FINAL INSTALLATION WITHOUT AND ADDITIONAL COST TO THE OWNER.

COORDINATION

1. E.C. SHALL BE RESPONSIBLE FOR COORDINATING THE ELECTRICAL WORK WITH CONTRACTORS OF OTHER TRADES.
2. CAREFULLY REVIEW THE FINAL EQUIPMENT LAYOUT. DO NOT ROUGH-IN ANY ELECTRICAL EQUIPMENT WITHOUT FIRST COORDINATING THE LATEST SET OF EQUIPMENT LAYOUT PLANS.
3. VERIFY THE LOCATION OF ALL DEVICES PRIOR TO ROUGH-IN.
4. FOR ALL CONTROL PANELS AND FIELD DEVICES, VERIFY ACTUAL FIELD WIRING REQUIRED PRIOR TO START OF ROUGH-IN. REVIEW SUBMITTAL DRAWINGS OF ALL EQUIPMENT TO BE WIRED.
5. IN CASE OF INTERFERENCE BETWEEN ELECTRICAL EQUIPMENT SHOWN ON THE DRAWINGS AND THE OTHER EQUIPMENT, THE CONTRACTOR SHALL NOTIFY THE FIELD REPRESENTATIVE IN WRITING AND THE ENGINEER SHALL REVIEW THE PROPOSED CHANGES BEFORE THEY ARE MADE.

DEFINITIONS

1. "PROVIDE" MEANS FURNISH AND INSTALL.
2. INSTALL" MEANS SET AND WIRE COMPLETE.

DEMOLITION

1. E.C. TO DE-ENERGIZE AND MAKE SAFE ALL AREAS, AND STRUCTURES, AND EQUIPMENT SCHEDULED FOR DEMOLITION.
2. WHERE EQUIPMENT IS IDENTIFIED FOR DEMOLITION, E.C. SHALL MAKE SAFE, AND REMOVE EXISTING WIRING TO POINT OF SUPPLY. CONDUIT SERVING DEMOLISHED EQUIPMENT SHALL ALSO BE REMOVED TO POINT OF SUPPLY EXCEPT WHERE SUCH CONDUIT MAY BE REUSED.
3. NO ABANDONED CONDUIT SHALL REMAIN AT THE CONCLUSION OF THE PROJECT, EXCEPT:
   A. CONCRETE-ENCASED CONDUIT.
   B. CONDUITS DETERMINED BY THE ENGINEER AS SUITABLE FOR SPARE OR FUTURE USE.
4. MAINTAIN AND RESTORE, IF INTERRUPTED, ALL CONDUITS AND FEEDERS PASSING THRU RENOVATED AREAS AND SERVICING UNDISTURBED AREAS. THE EXACT METHOD OF RE-ROUTING NEW CONDUIT AND WIRE TO EQUIPMENT REMAINING SHALL BE COORDINATED WITH WORK OF OTHER TRADED PRIOR TO INSTALLATION.
5. ALL ELECTRICAL EQUIPMENT BEING REMOVED OR RELOCATED BY DEMOLITION SHALL BE ELECTRICALLY DISCONNECTED BACK AT PANELBOARD WHICH SERVICES THE EQUIPMENT. REMOVE AND DISPOSE OF EQUIPMENT (OR RELOCATE IF NOTED) UNLESS NOTED OTHERWISE, AFTER TESTING TO DETERMINE THE ELECTRICITY HAS BEEN TURNED OFF.
6. LEGALLY DISPOSE OF ALL LIGHT FIXTURES, LAMPS AND BALLASTS BEING REMOVED. THIS CONTRACTOR SHALL VERIFY THE EXISTENCE OF PCB'S, DEHP'S, MERCURY AND OTHER HAZARDOUS MATERIALS AND DISPOSE OF OR RECYCLE THEM PER THE WISCONSIN EPA AND THE FEDERAL GOVERNMENT.
7. RE-ROUTE EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK. RE-ROUTED CONDUIT AND WIRE SHALL BE CONCEALED IN THE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.
8. EXISTING ELECTRICAL EQUIPMENT REQUIRED TO BE REMOVED AND/OR RELOCATED, BUT NOT SHOWN ON THE DRAWINGS, SHALL BE INCLUDED IN THE SCOPE OF WORK.
9. VISIT AND EXAMINE ELECTRICAL SYSTEMS AND EXISTING CONSTRUCTION SO AS TO BECOME FAMILIAR WITH EXISTING CONSTRUCTION AS DIFFICULTIES THAT WILL BE ENCOUNTERED AS PART OF THE PROJECT, BEFORE SUBMITTING PROPOSALS. SUBMISSIONS OF PROPOSAL WILL BE EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS WILL NOT BE RECOGNIZED.
10. SHUTDOWN OF ANY SERVICE TO EQUIPMENT REMAINING SHALL ONLY BE FOR THE TIME AGREED UPON BY THE OWNER'S REPRESENTATIVE. ALL SHUTDOWN AGREEMENTS SHALL BE IN WRITING WITH COPIES TO THE OWNER, GENERAL CONTRACTOR AND CONSULTANTS.

LEGEND

X – EXISTING TO REMAIN
X/D – EXISTING TO BE DEMOLISHED
X/R – EXISTING TO BE RELOCATED
X/S – EXISTING TO BE SALVAGED
//// – DEMO

CONDUCTORS AND CABLE

1. EVERY WIRE/CABLE SHALL BE MARKED AT BOTH ENDS IN ALL JUNCTION BOXES, TERMINAL BOXES, AND FINAL DESTINATION EQUIPMENT. USE PRINTED HEAT SHRINK SLEEVE TYPE MARKERS. HAND MARKING IS NOT ACCEPTABLE. VERIFY WITH ENGINEER WHAT THE IDENTIFICATION SHALL BE IF NOT DESCRIBED WITHIN THESE DRAWINGS.
2. E.C. SHALL TERMINATE ALL CONDUCTORS INDICATED IN DRAWINGS, UNLESS OTHERWISE NOTED.
3. A 24" SEPARATION SHALL BE MAINTAINED BETWEEN INSTRUMENT, CONTROL, AND COMMUNICATION CABLES AND A.C. CABLES. IF CONDUITS MUST BE RUN PROXIMATE TO EACH OTHER, RIGID STEEL CONDUIT SHALL BE USED FOR THE LOW VOLTAGE CABLE.
4. ALL DATA CABLES SHALL INCLUDE ENDS, BY CONTRACTOR.
5. ROUTE A SEPARATE NEUTRAL CONDUCTOR FOR ALL CIRCUITS THAT REQUIRE A NEUTRAL. DO NOT USE CIRCUIT BREAKER TIE HANDLES.

GROUNDING

1. ALL METALLIC STRUCTURES, METALLIC ENCLOSURES, AND ELECTRICAL EQUIPMENT SHALL BE PERMANENTLY AND EFFECTIVELY GROUNDED AND GROUND CONNECTIONS SHALL BE MADE TO THE PLANT GROUND GRID. THE GROUND CONDUCTOR SHALL BE SIZED PER N.E.C. UNLESS OTHERWISE SHOWN.
2. GROUNDING CONDUCTORS STUB-UPS AND INSERT LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATIONS IN FIELD, WITH ENGINEER. ALL GROUND GRID CONDUCTORS SHALL BE #4/0 SIZE UNLESS OTHERWISE NOTED.
3. ALL GROUNDING GRID CONDUCTORS SHALL BE A MINIMUM OF 36" BELOW GRADE EXCEPT UNDER BUILDING SLAB WHEN THEY SHALL BE A MINIMUM OF 6" BELOW SLAB.

RACEWAYS AND BOXES

1. CONDUIT FITTINGS AND SUPPORTS ARE NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH ALL SUPPORT CHANNELS, CLAMPS, HARDWARE, ETC. MATERIAL TO BE SUITABLE FOR THE AREA IN WHICH THEY ARE INSTALLED.
2. UNDERGROUND CONDUITS SHALL BE BURIED A MINIMUM OF 36" BELOW GRADE, U.O.N. WARNING MARKER TAPE SHALL BE LAID IN TRENCHES AND GROUND SYSTEM TRENCHES A MINIMUM OF 12" ABOVE CONDUIT. ALL UNDERGROUND CONDUIT RUNS SHALL BE WITH LONG RADIUS SWEEP BENDS. THE MINIMUM BENDING RADIUS SHALL BE 12 TIMES NOMINAL DIAMETER OF THE CONDUIT.
3. THE MINIMUM SIZE OF CONDUITS INSTALLED BELOW GRADE SHALL BE 1", UNLESS OTHERWISE NOTED.
4. THE MINIMUM SIZE OF CONDUIT INSTALLED ABOVE GRADE SHALL BE 3/4", UNLESS OTHERWISE NOTED.
5. ARRANGE STUB-UPS SO CURVED PORTIONS OF BENDS ARE NOT VISIBLE ABOVE FINISHED SLAB.
6. INSTALL NO MORE THAN THE EQUIVALENT OF THREE 90-DEGREE BENDS IN ANY CONDUIT RUN.

LIGHTING

1. TYPICAL LUMINAIRE NOMENCLATURE:

LUMINAIRE TYPE → RF1 b,c ← SWITCHING - FIRST LETTER INDICATES CONTROL OF (2) OUTBOARD LAMPS, SECOND LETTER: CENTER LAMP. (NL) INDICATES NIGHTLIGHT CIRCUIT

8'-6" ← MOUNTING HEIGHT

SYMBOL	DESCRIPTION	SUBSCRIPTS
	POLE MOUNTED FIXTURE	
	WALL LIGHT	

POWER/SPECIAL SYSTEMS

SYMBOL	DESCRIPTION	SUBSCRIPTS
	DUPLEX RECEPTACLE	WP = WEATHER PROTECTIVE GFI = GROUND FAULT INTERRUPTING
—UE—	CONDUIT	UE = UNDERGROUND ELECTRIC UT = UNDERGROUND TELEPHONE UTV = UNDERGROUND CABLE T.V.
	CONDUIT STUBBED DOWN	
	CONDUIT STUBBED UP	
	CONDUIT STUBBED OUT	
	BRANCH CIRCUIT	
	HOMERUN	
	GROUND WIRE	
		SHORT TICK = HOT LONG TICK = NEUTRAL
	GROUND PLATE	
M	MOTOR	
	DISCONNECT OR SAFETY SWITCH	*F = FUSED* *none = NON-FUSED* *# = NEMA DESIGNATION*
MI	DOOR ENTRY MASTER CONTROL STATION	
IC	DOOR ENTRY INTERCOM/CAMERAL STATION	
	CIRCUIT BREAKER	
SPD	SURGE PROTECTION DEVICE	
	TRANSFORMER	

TELEPHONE/DATA

SYMBOL	DESCRIPTION	SUBSCRIPTS
	DATA OUTLET	*"No" = QUANTITY OF DATA PORTS*

ABBREVIATIONS

ABBR.	DESCRIPTION
A	AMPERES
AF	AMPERES FRAME SIZE
A.F.F.	ABOVE FINISHED FLOOR
AIC	AMPERE INTERRUPTING CAPACITY
AT	AMPERES TRIP
ATRVS	AUTO TRANSFORMER REDUCED VOLTAGE STARTER
ATS	AUTOMATIC TRANSFER SWITCH
AUTO	AUTOMATIC
AUX	AUXILIARY
AWG	AMERICAN WIRE GAUGE
BC	BYPASS CONTACTOR
C	CONDUIT, CONTACTOR
C/B	CIRCUIT BREAKER
CKT	CIRCUIT
CNTL	CONTROL
CPT	CONTROL POWER TRANSFORMER
CR	CONTROL RELAY
CT	CURRENT TRANSFORMER
CU	COPPER
D.C.	DIRECT CURRENT OR DRIVE CONTACTOR
DET.	DETAIL
DISC	DISCONNECT
DSW	DISCONNECT SWITCH
E.C.	ELECTRICAL CONTRACTOR
E.C.C.	EDDY CURRENT CONTROLLER
EF	EXHAUST FAN
EGC	EQUIPMENT GROUNDING CONDUCTOR
EH	ELECTRIC HEATER
EL	ELEVATION
EMT	ELECTRICAL METALLIC TUBING
ES	EMERGENCY STOP
ETM	ELAPSED TIME METER
EWC	ELECTRIC WATER COOLER
EX.	EXISTING
F.B.O.	FURNISHED BY OTHERS
F.C.	FAIL CLOSED
FCP	FAN CONTROL PANEL
FDR	FEEDER
FDSW	FUSIBLE DISCONNECT SWITCH
FHP	FRACTIONAL HORSEPOWER
F.O.	FAIL OPEN
FUT	FUTURE
FVNR	FULL VOLTAGE NON-REVERSING
FVR	FULL VOLTAGE REVERSING
G.C.	GENERAL CONTRACTOR
GEC	GROUNDING ELECTRODE CONDUCTOR
GFEP	GROUND FAULT INTERRUPTING FOR EQUIPMENT PROTECTION
GFI	GROUND FAULT INTERRUPTING FOR PERSONNEL
GND	GROUND
GP	GROUND
GW	GROUND WELL
HOA	HANDS-OFF-AUTO
HP	HORSEPOWER
HW	HOT WATER
HWH	HOT WATER HEATER
HZ	HERTZ, CYCLES PER SECOND
IC	ISOLATION CONTACTOR
IMC	INTERMEDIATE METAL CONDUIT
INSTALL	INSTALLATION, WIRING, & CONNECTIONS BY E.C.
INTLK	INTERLOCK
IS	INTRINSICALLY SAFE
ISB	INTRINSIC SAFETY BARRIER
I/O	INPUT/OUTPUT
Kcmil	THOUSAND CIRCULAR MILS
KV	KILOVOLTS
KVA	KILOVOLT AMPERES (APPARENT POWER)
KVAR	KILOVARS (REACTIVE POWER)
KW	KILOWATTS (REAL POWER)
LC	LIGHTING CONTRACTOR
LCS	LOCAL CONTROL STATION
LP	LIGHTING PANEL
LV	LOW VOLTAGE
MAN	MANUAL
MCC	MOTOR CONTROL CENTER
MCM	THOUSAND CIRCULAR MILS
MCP	MOTOR CIRCUIT PROTECTOR
M, MTR	MOTOR
MOD	MOTOR OPERATED DAMPER
MPA	MANUAL PURGE/ALARM
mA	MILLIAMPERE
mV	MILLIVOLT
N.C.	NORMALLY CLOSED
N.I.C.	NOT IN CONTRACT
N.O.	NORMALLY OPEN
N.U.	NEAR UNIT
NEC	NATIONAL ELECTRICAL CODE
NL	NIGHT LIGHT
O.C.	ON CENTER
OH	OVER HEAD
O.L.	OVERLOAD
O/O	ON/OFF
O/S/C	OPEN/STOP/CLOSE PUSH BUTTONS
O.T.	OVER TEMPERATURE
OVR.	TQ OVER TORQUE
PB	PUSHBUTTON
PLC	PROGRAMMABLE LOGIC CONTROLLER
PROVIDE	FURNISHED, INSTALLED, WIRED AND CONNECTED BY E.C.
PTT	PUSH TO TEST
PVC	POLYVINYL CHLORIDE CONDUIT
RAC	RIGID ALUMINUM CONDUIT
RECPT	RECEPTACLE
RGC	RIGID GALVANIZED CONDUIT
RMC	RIGID METAL CONDUIT
RMS SYM.	ROOT-MEAN-SQUARED VALUE OF SYMMETRICAL COMPONENT
RPC	RIGID PVC-COATED CONDUIT
S.C.KVA	SHORT CIRCUIT KVA
SD	SMOKE DETECTOR
S.O.	SPECIAL OUTLET
SPD	SURGE PROTECTIVE DEVICE
SPEC	SPECIFICATIONS
SSRVS	SOLID STATE REDUCED VOLTAGE STARTER
SW	SWITCH
SSW	SAFETY SWITCH
ST	SHUNT TRIP
SUSE	SUITABLE FOR USE AS SERVICE EQUIPMENT
T.C.C.	TEMPERATURE CONTROL CONTRACTOR
TM	THERMAL MAGNETIC
TR	TIMING RELAY
TS	TEMPERATURE SWITCH
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UPS	UNINTERRUPTABLE POWER SUPPLY
V	VOLTS
VAC	VOLTS ALTERNATING CURRENT
VDC	VOLTS DIRECT CURRENT
VFD	VARIABLE FREQUENCY AC DRIVE
VSD	VARIABLE SPEED DC DRIVE
W/	WITH
W/O	WITHOUT
WP	WEATHER PROTECTIVE
XDCR	TRANSDUCER
XFER	TRANSFER
XFMR	TRANSFORMER
XMTR	TRANSMITTER
Z	IMPEDENCE

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NO.	DATE	REVISION

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
SPECIFICATIONS AND ABBREVIATIONS

DESIGNED	DRAWN
JAF	GYV

PROJECT NO.
N0940 9-20-00535-A

DATE
AUGUST 2020

SHEET NO.
E1

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ELECTRICAL SPECIFICATIONS

DIVISION 26 ELECTRICAL

01 11 00 GENERAL REQUIREMENTS

A. SUBSTITUTIONS:
1. CONTRACTOR SHALL PROVIDE ALL SUPPORTING DATA AND ASSUME THE BURDEN OF PROOF THAT ANY SUBSTITUTION IS EQUIVALENT AS TO APPEARANCE, CONSTRUCTION, CAPACITY, AND PERFORMANCE. THE JUDGEMENT OF EQUIVALENCY SHALL BE MADE BY THE ENGINEER AT THE TIME OF SHOP DRAWING REVIEW, NOT DURING BIDDING.
2. WHERE SUBSTITUTE EQUIPMENT REQUIRES REDESIGN OF ANY PART OF THE PROJECT, THE COST OF REDESIGN AND ADDITIONAL COSTS OF THE WORK SHALL BE PAID BY THE CONTRACTOR. REDESIGN SHALL BE SUBJECT TO THE APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK INCLUDING THE ARCHITECT / ENGINEER.

B. SHOP DRAWINGS, PRODUCT DATA, TEST RESULTS, SAMPLE SUBMITTALS:
1. SHOP DRAWINGS SHALL BE SUBMITTED FOR THE FOLLOWING:
   a. LIGHT FIXTURES
   b. SWITCHBOARDS
   c. PANELBOARDS
3. INCLUDE OUTLINE AND GENERAL ARRANGEMENT DRAWINGS, DATA SHEETS, AND WIRING DIAGRAMS.
4. SHOP DRAWINGS SHALL CLEARLY INDICATE SPECIFIC MODEL BEING PROVIDED WHERE CUT SHEETS SHOW MULTIPLE MODELS.
5. FAILURE TO SUBMIT SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE SPECIFIED EQUIPMENT AND MATERIALS.
6. SYSTEM WIRING RISER DIAGRAMS SHALL INDICATE ALL COMPONENTS SHOWN ON THE FLOOR PLANS, TYPE AND TERMINATION POINT OF CABLE TO EACH COMPONENT.

09 91 00 FINISH AND PAINTING

A. PREPARE EXPOSED CONDUIT, FITTINGS, SUPPORTS, AND ACCESSORIES FOR FINISH PAINTING.

B. E.C. SHALL PROVIDE A FACTORY OF FIELD APPLIED PRIME AND FINISH COAT OF COLOR SELECTED BY THE OWNER'S REPRESENTATIVE TO ALL ROOF MOUNTED EQUIPMENT AND OTHER EXTERIOR MATERIALS, INCLUDING SUPPORT HARDWARE.

C. COORDINATE WORK WITH THE PAINTERS SO THAT ALL EQUIPMENT IS INSTALLED PRIOR TO PAINTING. E.C. SHALL PAINT ITEMS IF NOT IN PLACE PRIOR TO NORMAL ROUTINE PAINTING.

D. IF FINISH BECOMES RUSTED, CORRODED, SCRATCHED, OR FLAKED DURING STORAGE OR INSTALLATION, REFINISH THE EQUIPMENT TO THE SATISFACTION OF THE OWNER.

26 05 01 BASIC ELECTRICAL REQUIREMENTS

A. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENTS FOR TEMPORARY LIGHTING AND POWER WITH GENERAL CONTRACTOR AND INCLUDE IN HIS SCOPE OF WORK WHEN DIRECTED BY G.C. INSTALL IN ACCORDANCE WITH ALL CODE AND OSHA REQUIREMENTS FOR CONSTRUCTION PROJECTS.

B. DETAILS AND SCHEDULES ARE SHOWN TO AID THE CONTRACTOR AND ARE NOT MEANT TO BE INCLUSIVE OF ALL DEVICES. PROVIDE REQUIRED EQUIPMENT AND ACCESSORIES FOR A COMPLETE INSTALLATION.

C. INSTALL ALL EQUIPMENT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS. PROVIDE ADDITIONAL WORK AND MATERIALS AS REQUIRED.

D. THE CONTRACTOR HAS THE SOLE RESPONSIBILITY FOR AND SHALL HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS AND PROCEDURES USED TO CONSTRUCT THE WORK.

E. COORDINATE INSTALLATION OF ELECTRICAL WORK WITH THE OTHER CONTRACTORS TO AVOID CONFLICTS WITH OTHER WORK.

F. COMPLY WITH THE REQUIREMENTS OF NFPA; NATIONAL, STATE, AND LOCAL ELECTRICAL CODES, AND LOCAL UTILITY REGULATIONS.

G. MATERIAL SHALL BEAR U.L. AND / OR OTHER APPROVAL AGENCY LISTING.

H. VERIFY ELECTRICAL SIZE AND CONNECTION REQUIREMENTS FOR EQUIPMENT FURNISHED BY OTHERS WITH FINAL SHOP DRAWINGS.

I. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATING SERVICE AND CONDUCT A PRIVATE UTILITY LOCATE TO ENSURE THAT ALL ELECTRICAL FEEDERS, BRANCH CIRCUITS, LOW VOLTAGE CABLES, AND FIBER OPTIC HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER AND GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

J. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR ELECTRICAL WORK INSTALLATION UNLESS THIS WORK IS IDENTIFIED TO BE THE WORK OF OTHER CONTRACTORS. PATCHING SHALL MATCH ADJACENT SURFACES.

K. PROJECT COMPLETION:
1. CLEAN FIXTURES AND EQUIPMENT AND LEAVE IN PROPER WORKING CONDITION AT THE TIME OF FINAL CLEAN-UP.
2. MARK RECORD DRAWINGS ON A FINAL SET OF DRAWINGS WHICH INCLUDES ALL FIELD MODIFICATIONS.

L. EXCAVATION AND BACKFILL:
1. VERIFY ALL EXISTING UNDERGROUND ELECTRICAL FEEDERS, BRANCH CIRCUITS, LOW VOLTAGE CABLES AND FIBER OPTIC HAVE BEEN LOCATED PRIOR TO EXCAVATION. CONTRACTOR SHALL NOT USE MACHINE EXCAVATORS AROUND EXISTING BURIED ELECTRICAL LINES.
2. EXCAVATE AND BACKFILL TRENCHES FOR ELECTRICAL WORK. BACKFILL AND COMPACTION SHALL MEET REQUIREMENTS SPECIFIED ELSEWHERE.
3. RESTORE EXISTING GROUND, LAWNS, PAVING, WALKS, ETC. TO ORIGINAL CONDITION.

26 05 19 LOW VOLTAGE POWER CONDUCTORS AND CABLES (600V AND LESS)

A. TYPE AND SIZE:
1. No. 10 & 12: SOLID OR STRANDED COPPER, 600V, THHN / THWN OR XHHW-2 FOR UNDERGROUND.
2. No. 8 TO 3: STRANDED COPPER, 600V, THHN / THWN OR XHHW-2 FOR UNDERGROUND.
3. No. 2 TO 250 KCMIL: STRANDED COPPER, 600V, THHN / THWN OR XHHW-2 FOR UNDERGROUND.
4. MINIMUM BRANCH CIRCUIT WIRE SIZE No. 12.
5. CONTROL WIRING: STRANDED COPPER, MINIMUM No. 14.
6. GREEN INSULATION, COPPER STRANDED EQUIPMENT GROUND.

B. NEUTRALS AND GROUNDS SHALL BE COLOR CODED PER NEC.

C. WIRE COLORS:
1. 120 / 208 - VOLT SYSTEM: PHASE-A (BLACK), PHASE-B (RED), PHASE-C (BLUE).
2. 277 / 480 - VOLT SYSTEM: PHASE-A (BROWN), PHASE-B (ORANGE), PHASE-C (YELLOW).

D. TWO PERCENT VOLTAGE DROP AT PANELBOARDS AND THREE PERCENT FOR BRANCH CIRCUITS FOR FIVE PERCENT VOLTAGE DROP PER NEC.

E. PROVIDE GROUND CONDUCTOR(S) WITH EVERY BRANCH CIRCUIT AND EVERY FEEDER.

F. PROVIDE A SEPARATE GROUND CONDUCTOR AND A SEPARATE NEUTRAL CONDUCTOR WHEN AN INDIVIDUAL RECEPTACLE OR PIECE OF EQUIPMENT IS SHOWN WITH AN INDIVIDUAL HOMERUN.

26 05 26 GROUNDING AND BONDING

A. GROUNDING AND BONDING PRODUCTS
1. GOVERNING REQUIREMENTS: WHERE TYPES, SIZES, RATINGS, AND QUANTITIES INDICATED ARE IN EXCESS OF NEC REQUIREMENTS, MORE STRINGENT REQUIREMENTS AND GREATER SIZE, RATING, AND QUANTITY INDICATIONS GOVERN.

B. WIRE AND CABLE GROUNDING CONDUCTORS
1. CONFORM TO NEC TABLE 8, EXCEPT AS OTHERWISE INDICATED FOR CONDUCTOR PROPERTIES, INCLUDING STRANDING.
2. MATERIAL: COPPER.
3. EQUIPMENT GROUNDING CONDUCTORS: INSULATED WITH GREEN COLOR INSULATION.
4. GROUNDING-ELECTRODE CONDUCTORS: STRANDED CABLE.
5. UNDERGROUND CONDUCTORS: BARE, TINNED, STRANDED, EXCEPT AS OTHERWISE INDICATED.
6. BARE COPPER CONDUCTORS:
   a. SOLID CONDUCTORS: AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) B3.
   b. ASSEMBLY OF STRANDED CONDUCTORS: ASTM B8.
   c. TINNED CONDUCTORS: ASTM B33.

C. MISCELLANEOUS CONDUCTORS
1. GROUNDING BUS: BARE, ANNEALED-COPPER BARS OF RECTANGULAR CROSS SECTION.
2. BRAIDED BONDING JUMPERS: COPPER TAPE, BRAIDED No. 3 / 0 AMERICAN WIRE GAUGE (AWG) BARE COPPER WIRE, TERMINATED WITH COPPER FERRULES.
3. BONDING STRAPS: SOFT COPPER, 0.05 INCH (1 MILLIMETER) THICK AND 2 INCHES (50 MILLIMETERS) WIDE, EXCEPT AS INDICATED.

D. CONNECTOR PRODUCTS
1. PRESSURE CONNECTORS: HIGH-CONDUCTIVITY-PLATED UNITS.
2. BOLTED CLAMPS: HEAVY-DUTY TYPE.
3. EXOTHERMIC-WELDED CONNECTIONS: PROVIDED IN KIT FORM AND SELECTED PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND CONNECTED ITEMS.

E. APPLICATION
1. EQUIPMENT GROUNDING CONDUCTORS: COMPLY WITH NEC ARTICLE 250 FOR TYPES, SIZES, AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, EXCEPT WHERE SPECIFIC TYPES, LARGER SIZES, OR MORE CONDUCTORS THAN REQUIRED BY NEC ARE INDICATED.
   a. INSTALL EQUIPMENT GROUNDING CONDUCTOR WITH CIRCUIT CONDUCTORS FOR ITEMS BELOW IN ADDITION TO THOSE REQUIRED BY CODE:
      - FEEDERS AND BRANCH CIRCUITS.
      - LIGHTING CIRCUITS.
      - RECEPTACLE CIRCUITS.
   b. NONMETALLIC RACEWAYS: INSTALL EQUIPMENT GROUNDING CONDUCTOR IN NONMETALLIC RACEWAYS UNLESS THEY ARE DESIGNED FOR TELEPHONE OR DATA CABLES.
2. METAL POLES SUPPORTING OUTDOOR LIGHTING FIXTURES: GROUND POLE TO GROUNDING ELECTRODE IN ADDITION TO SEPARATE EQUIPMENT GROUNDING CONDUCTOR RUN WITH SUPPLY BRANCH CIRCUIT.
3. PIPING SYSTEMS AND OTHER EQUIPMENT: COMPLY WITH NEC ARTICLE 250 FOR BONDING REQUIREMENTS.

F. INSTALLATION
1. GROUND ELECTRICAL SYSTEMS AND EQUIPMENT ACCORDING TO NEC REQUIREMENTS, EXCEPT WHERE DRAWINGS OR SPECIFICATIONS EXCEED NEC REQUIREMENTS.
2. GROUNDING RODS: LOCATE MINIMUM OF (1) ROD LENGTH FROM EACH OTHER AND AT LEAST SAME DISTANCE FROM ANY OTHER GROUNDING ELECTRODE.
   a. DRIVE UNTIL TOPS ARE 2 INCHES (50 MILLIMETERS) BELOW FINISHED FLOOR OR FINAL GRADE, EXCEPT AS OTHERWISE INDICATED.
   b. INTERCONNECT WITH GROUNDING-ELECTRODE CONDUCTORS. USE EXOTHERMIC WELS, EXCEPT AT TEST WELLS AND AS OTHERWISE INDICATED. MAKE THESE CONNECTIONS WITHOUT DAMAGING COPPER COATING OR EXPOSING STEEL.
3. GROUNDING CONDUCTORS: ROUTE ALONG SHORTEST AND STRAIGHTEST PATHS POSSIBLE, EXCEPT AS OTHERWISE INDICATED. AVOID OBSTRUCTING ACCESS OR PLACING CONDUCTORS WHERE THEY MAY BE SUBJECTED TO STRAIN, IMPACT, OR DAMAGE.
4. UNDERGROUND GROUNDING CONDUCTORS: USE BARE TINNED COPPER WIRE. BURY AT LEAST 24 INCHES (600 MILLIMETERS) BELOW GRADE.

26 05 26 GROUNDING AND BONDING - CONT.

G. CONNECTIONS
1. MAKE CONNECTIONS SO POSSIBILITY OF GALVANIC ACTION OR ELECTROLYSIS IS MINIMIZED. SELECT CONNECTORS, CONNECTION HARDWARE, CONDUCTORS, AND CONNECTION METHODS SO METALS IN DIRECT CONTACT WILL BE GALVANICALLY COMPATIBLE.
   a. USE ELECTROPLATED OR HOT-TIN-COATED MATERIALS TO ASSURE HIGH CONDUCTIVITY AND TO MAKE CONTACT POINTS CLOSER IN ORDER OF GALVANIC SERIES.
   b. MAKE CONNECTIONS WITH CLEAN, BARE METAL AT POINT OF CONTACT.
   c. MAKE ALUMINUM-TO-STEEL CONNECTIONS WITH TIN-PLATED COPPER JUMPERS AND MECHANICAL CLAMPS.
   d. MAKE ALUMINUM-TO-GALVANIZED STEEL CONNECTIONS WITH TIN-PLATED COPPER JUMPERS AND MECHANICAL CLAMPS.
   e. COAT AND SEAL CONNECTIONS HAVING DISSIMILAR METALS WITH INERT MATERIAL TO PREVENT FUTURE PENETRATION OF MOISTURE TO CONTACT SURFACES.
   f. EXOTHERMIC-WELDED CONNECTIONS: USE FOR CONNECTIONS TO STRUCTURAL STEEL AND FOR UNDERGROUND CONNECTIONS, EXCEPT THOSE AT TEST WELLS. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. WELDS THAT ARE PUFFED UP OR THAT SHOW CONVEX SURFACES INDICATING IMPROPER CLEANING ARE NOT ACCEPTABLE.
2. EQUIPMENT GROUNDING-WIRE TERMINATIONS: FOR No. 8 AWG AND LARGER, USE PRESSURE-TYPE GROUNDING LUGS. No. 10 AWG AND SMALLER GROUNDING CONDUCTORS MAY BE TERMINATED WITH WINGED PRESSURE-TYPE CONNECTORS.
3. NONCONTACT METAL RACEWAY TERMINATIONS: WHERE METALLIC RACEWAYS TERMINATE AT METAL HOUSINGS WITHOUT MECHANICAL AND ELECTRICAL CONNECTION TO HOUSING, TERMINATE EACH CONDUIT WITH A GROUNDING BUSHING. CONNECT GROUNDING BUSHINGS WITH BARE GROUNDING CONDUCTOR TO GROUNDING BUS OR TERMINAL IN HOUSING. BOND ELECTRICALLY NONCONTINUOUS CONDUITS AT BOTH ENTRANCES AND EXITS WITH GROUNDING BUSHINGS AND BARE GROUNDING CONDUCTORS, EXCEPT AS OTHERWISE INDICATED.
4. TIGHTEN SCREWS AND BOLTS FOR GROUNDING AND BONDING CONNECTORS AND TERMINALS ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. WHERE THESE REQUIREMENTS ARE NOT AVAILABLE, US THOSE SPECIFIED IN UL 486A AND UL 486B.
5. COMPRESSION-TYPE CONNECTIONS: USE HYDRAULIC COMPRESSION TOOLS TO PROVIDE CORRECT CIRCUMFERENTIAL PRESSURE FOR COMPRESSION CONNECTORS. USE TOOLS AND DIES RECOMMENDED BY MANUFACTURER OF CONNECTORS. PROVIDE EMBOSSING DIE CODE OR OTHER STANDARD METHOD TO MAKE VISIBLE INDICATION THAT CONNECTOR HAS BEEN ADEQUATELY COMPRESSED ON GROUND CONDUCTOR.
6. MOISTURE PROTECTION: WHERE INSULATED GROUNDING CONDUCTORS ARE CONNECTED TO GROUNDING RODS OR GROUNDING BUSES, INSULATE ENTIRE AREA OF CONNECTION AND SEAL AGAINST MOISTURE PENETRATION OF INSULATION AND CABLE.

26 05 29 HANGERS AND SUPPORTS

A. CONDUIT HANGERS, ATTACHMENTS, AND SUPPORTS
1. PROVIDE PROPER FITTINGS AND SUPPORT SUITABLE FOR AMBIENT / ENVIRONMENTAL CONDITIONS AND SERVICE DUTY.
2. ATTACH TO STRUCTURAL COMPONENTS TO NOT JEOPARDIZE STRUCTURAL INTEGRITY.
3. PROVIDE ANGLES, CHANNELS, AND BEAMS AS REQUIRED.

B. EXTERIOR LIGHT POLE AND BOLLARD BASES
1. PROVIDE EXTERIOR LIGHT POLE AND BOLLARD CONCRETE BASES PER DETAILS.

26 05 30 CONDUIT

A. RMC
1. ALLOWED FOR ALL SIZES BELOW GRADE AND INSIDE ABOVE GRADE.
2. REQUIRED FOR ALL SIZES OF OUTDOOR ABOVE GRADE CONDUIT.
3. GALVANIZED RIGID STEEL REQUIRED FOR ALL UNDERGROUND 90 DEGREE BENDS.
4. GALVANIZED RIGID STEEL WITH GALVANIZED RIGID STEEL FITTINGS, THREADED WATERTIGHT.

B. EMT
1. ALLOWED FOR ALL SIZES INSIDE ABOVE GRADE.

C. FLEXIBLE
1. MINIMUM SIZE 1/2"
2. MAXIMUM LENGTH 36" FOR CONNECTION TO HVAC EQUIPMENT.
3. MAXIMUM LENGTH 72" FOR CONNECTION TO FIXTURES IN TILE CEILINGS.
4. STEEL FITTINGS WITH INSULATED THROAT, UL LISTED.
5. USE LIQUIDTIGHT FLEXIBLE METALLIC CONDUIT FOR EXTERIOR ABOVE GRADE CONNECTIONS TO VIBRATING EQUIPMENT

C. PVC
1. USE FOR CONDUIT IN EARTH WHEN PERMITTED BY CODE AND LOCAL ORDINANCES.
2. SCHEDULE 40 PVC.

D. FITTINGS
1. FITTING MATERIAL SHALL MATCH CONDUIT MATERIAL UNLESS OTHERWISE NOTED IN PLANS AND SPECIFICATIONS OR WITH WRITTEN APPROVAL BY ENGINEER.

E. INSTALLATION
1. DRAWINGS AND DIAGRAMS SHOW SIZE AND APPROXIMATE LOCATION OF CONDUIT. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION. PROVIDE ADDITIONAL OFFSETS AS REQUIRED FOR FIELD CONDITIONS. ROUTE CONDUIT IN ORDERLY MANNER, PARALLEL TO BUILDING STRUCTURE. CONCEAL CONDUIT IN FINISHED AREAS.
2. INSTALL UL APPROVED EXPANSION FITTINGS COMPLETE WITH GROUNDING JUMPERS WHERE CONDUITS CROSS BUILDINGS EXPANSION JOINTS AND IN LONG CONDUIT RUNS WHERE DIFFERENTIAL EXPANSION OF CONTRACTION WOULD CAUSE BENDING OR SEPARATION.
3. INSTALL CONDUIT WITH ADEQUATE DRAINAGE.
4. SECURE CONDUITS WITH AT LEAST (1) CORROSION PROOF MALLEABLE ALLOY STRAP OR HANGER EVERY 8 FT. DO NOT USE PERFORATED STRAPPING.
5. PROVIDE SEPARATE CONDUIT / RACEWAY FOR TELECOMMUNICATIONS SYSTEMS.
6. ROUTE CONDUIT ABOVE LAY-IN SUSPENDED CEILINGS SO AS NOT TO INTERFERE WITH TILE REMOVAL.
7. INSTALL FLEXIBLE STEEL CONDUIT DROPS FROM INDEPENDENT JUNCTION BOX MOUNTED ABOVE CEILING TO RECESSED LIGHT FIXTURES.
8. SECURE CONDUITS WITH AT LEAST (1) CORROSION PROOF MALLEABLE ALLOY STRAP OR HANGER EVERY 8 FT. DO NOT USE PERFORATED STRAPPING.
9. PROVIDE UL LISTED FIRE-WALL PENETRATIONS WHEN CONDUIT PASS THROUGH A FIRE RATED WALL.
10. USE A CONDUIT BUSHING TO TERMINATE CONDUIT STUB-UPS.
11. PROVIDE CONDUIT SEALS IN RACEWAYS THAT EXTEND FROM INTERIOR TO EXTERIOR OF BUILDING.

26 05 33 BOXES

A. FLUSH INTERIOR 4" SQUARE STEEL BOXES WITH RAISED CORNERS AND SQUARE CUT CORNERS. PROVIDE BOXES RATED FOR THROUGH FEED.

B. PROVIDE CAST BOXES FOR EXTERIOR USE DEVICES. PROVIDE COVERS WITH GASKETS.

C. JUNCTION AND SPLICE BOXES SHALL HAVE GALVANIZED SCREW COVERS AND BE NOT LESS THAN CODE DIMENSIONS. THROUGH-WALL AND BACK-TO-BACK BOXES NOT ALLOWED.

D. OUTLET AND JUNCTION BOXES USED AS SURFACE METAL RACEWAY SHALL BE MANUFACTURED BY THE SURFACE METAL RACEWAY MANUFACTURER TO BE COMPATIBLE WITH THE RACEWAY USED.

E. VERIFY LOCATION PRIOR TO ROUGH-IN. MATCH THE HEIGHT OF EXISTING DEVICES FOR INSTALLATIONS IN ADDITIONS TO EXISTING FACILITIES.

F. BOXES FOR LIGHTING SHALL BE RATED FOR A MINIMUM OF 50 LBS.

G. HANDHOLES:
1. POLYMER-CONCRETE TYPE
2. OPEN BOTTOM
3. COVER: WEATHERPROOF, SECURED BY TAMPER RESISTANT LOCKING DEVICES. NON-SKID FINISH. MOLDED LETTERING "ELECTRIC".

26 05 35 PENETRATIONS

A. SLEEVES
1. FURNISH RIGID CONDUIT SLEEVES FOR CABLES PASSING THROUGH MASONRY, CONCRETE, OR OTHER SIMILAR CONSTRUCTION.
2. FURNISH SLEEVE TO MASON FOR NEW MASONRY WALLS.
3. FURNISH, INSTALL, AND GROUT SLEEVE IN EXISTING MASONRY AND NEW CONCRETE WALLS.
4. SLEEVE NOT REQUIRED FOR DRYWALL WALLS OR CORE DRILLED HOLE IN CONCRETE WALL.

B. NON-FIRE RATED INTERIOR WALL AND FLOOR PENETRATIONS: FILL VOID BETWEEN CONDUIT AND SLEEVE, CONCRETE, OR DRYWALL WITH EXPANDING POLYURETHANE FOAM. CAULK BETWEEN CONDUIT AND SLEEVE OR WALL WITH NON-HARDENING CAULK.

C. PROVIDE FIRE-PROOF CAULKING AT ALL PENETRATIONS AT FIRE-RATED WALLS.

26 05 53 IDENTIFICATION FOR ELECTRICAL SYSTEMS

A. ENGRAVED LABELS: ENGRAVED 3-LAYER PHENOLIC LABEL WITH BLACK LETTERS ON WHITE MATERIAL. LABELS MINIMUM 3/4" HIGH AND 3" LONG. LABELS MAY BE ATTACHED WITH DOUBLE BACKED ADHESIVE TAPE. INCLUDE EQUIPMENT IDENTIFICATION AND IDENTIFICATION OF "FED FROM" DEVICE. LABELS REQUIRED AT:
1. SWITCHBOARDS
2. PANELBOARDS
3. DISCONNECTS
4. SURGE PROTECTION DEVICES.

B. PROVIDE TYPEWRITTEN DIRECTORY ACCURATELY INDICATING ROOMS AND / OR EQUIPMENT BEING SERVED IN PANELBOARDS.

C. PROVIDE UNDERGROUND ELECTRICAL MARKING TAPE FOR UNDERGROUND POWER AND COMMUNICATION CONDUITS.

26 24 16 PANELBOARDS

A. MANUFACTURER:
1. SIEMENS

B. REFER TO SECTION 26 24 13 SWITCHBOARDS FOR INTEGRATED POWER SYSTEMS (IPS) FOR CUSTOM ENCLOSURE SYSTEM.

C. CABINET:
1. NEMA 1 CABINET, CODE GAUGE STEEL CONSISTING OF A BOX WITH A REMOVABLE FRONT WITH HINGED DOOR AND LATCH.
2. FABRICATE WITH STRAIGHT EDGES AND SQUARE CORNERS.
3. BOXES SHALL BE MINIMUM 20" WIDE.
4. MANUFACTURER'S STANDARD FINISH, PRIME COAT AND BAKED ENAMEL FINISH.

D. PROVIDE A NAMEPLATE LISTING OF THE PANEL TYPE AND NUMBER OF PROTECTIVE AND SWITCHING DEVICES AND RATINGS.

E. BUS BARS FOR THE MAINS SHALL BE COPPER OR ALUMINUM SIZED IN ACCORDANCE WITH UL STANDARDS. INCLUDE FULL SIZE NEUTRAL BARS UNLESS OTHERWISE NOTED. PROVIDE GROUND BUS.

F. NEUTRAL BUSSING SHALL HAVE ONE LUG FOR EVERY BRANCH CIRCUIT THAT THE PANELBOARD IS CAPABLE OF SUPPORTING.

G. BUS SPACES FOR FUTURE SWITCHING AND PROTECTIVE DEVICES FOR THE MAXIMUM DEVICES AND SWITCHES THAT THE PANELBOARD CAN ACCOMMODATE.

H. PANELBOARD SHORT-CIRCUIT CURRENT RATING: FULLY RATED TO INTERRUPT SYMMETRICAL SHORT-CIRCUIT CURRENT AVAILABLE AT TERMINALS. ASSEMBLY LISTED BY AN NRTL FOR 100 PERCENT INTERRUPTING CAPACITY.

I. CIRCUIT BREAKERS:
1. UNLESS INDICATED OTHERWISE, CIRCUIT BREAKERS SHALL BE PLUG-ON, INDIVIDUALLY REPLACING, THERMAL-MAGNETIC, AUTOMATIC FREE TRIPPING, SEPARATELY INDICATING "ON", "TRIPPED", AND "OFF", AMBIENT COMPENSATED AT 40 DEGREES C., SINGLE, DOUBLE, OR TRIPLE POLE, AS REQUIRED BY THE PANEL SCHEDULES.
2. CIRCUIT BREAKERS INDICATED AS MULTIPLE POLE SHALL BE COMMON TRIP.
3. APPLICATION LISTING: APPROPRIATE FOR APPLICATION; TYPE HACR FOR MOTOR LOADS.

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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SPECIFICATIONS

DESIGNED	DRAWN
JAF	GYV

PROJECT NO. N0940 9-20-00535-A

DATE AUGUST 2020

SHEET NO. E2

ELECTRICAL SPECIFICATIONS CONTINUED

DIVISION 26 ELECTRICAL

26 43 13 SURGE PROTECTION FOR LOW-VOLTAGE ELECTRICAL POWER CIRCUITS

A. MANUFACTURER:
   1. SIEMENS

B. PANELBOARD SUPPRESSORS
   1. COMPLY WITH UL 1449 TYPE 2.
   2. PEAK SURGE CURRENT RATING: 240 PER MODE
   3. PROTECTION MODES FOR GROUNDED WYE CIRCUITS WITH 277/480V, THREE-PHASE, FOUR-WIRE CIRCUITS SHALL NOT EXCEED THE FOLLOWING:
      a. L-N - 1200V
      b. L-G - 1200V
      c. N-G - 1200V
      d. L-L - 2000V
   4. SCCR: 100 KAIC
   5. INOMINAL RATING: 20 KA.

26 05 73.13 SHORT CIRCUIT STUDIES

A. SOFTWARE MANUFACTURER:
   1. ESA
   2. SKM
   3. POWER ANALYTICS

B. SHORT-CIRCUIT STUDY REPORT CONTENTS
   1. EXECUTIVE SUMMARY OF STUDY FINDINGS.
   2. STUDY DESCRIPTIONS, PURPOSE, BASIS, AND SCOPE. INCLUDE CASE DESCRIPTIONS, DEFINITION OF TERMS, AND GUIDE FOR INTERPRETATION OF RESULTS.
   3. ONE-LINE DIAGRAM OF MODELED POWER SYSTEM, SHOWING THE FOLLOWING:
      a. PROTECTIVE DEVICE DESIGNATIONS AND AMPERE RATINGS.
      b. CONDUCTOR TYPES, SIZES, AND LENGTHS.
      c. TRANSFORMER KILOVOLT AMPERE (KVA) AND VOLTAGE RATINGS.
      d. MOTOR AND GENERATOR DESIGNATIONS AND KVA RATINGS.
      e. SWITCHGEAR, SWITCHBOARD, MOTOR-CONTROL CENTER, AND PANELBOARD DESIGNATIONS AND RATINGS.
      f. DERATING FACTORS AND ENVIRONMENTAL CONDITIONS.
      g. ANY REVISIONS TO ELECTRICAL EQUIPMENT REQUIRED BY THE STUDY.
      h. COMMENTS AND RECOMMENDATIONS FOR SYSTEM IMPROVEMENTS OR REVISIONS IN A WRITTEN DOCUMENT, SEPARATE FROM ONE-LINE DIAGRAM.
   4. PROTECTIVE DEVICE EVALUATION:
      a. EVALUATE EQUIPMENT AND PROTECTIVE DEVICES AND COMPARE TO AVAILABLE SHORT-CIRCUIT CURRENTS. VERIFY THAT EQUIPMENT WITHSTAND RATINGS EXCEED AVAILABLE SHORT-CIRCUIT CURRENT AT EQUIPMENT INSTALLATION LOCATIONS.
      b. TABULATIONS OF CIRCUIT BREAKER, FUSE, AND OTHER PROTECTIVE DEVICE RATINGS VERSUS CALCULATED SHORT-CIRCUIT DUTIES.
      c. FOR 600-V OVERCURRENT PROTECTIVE DEVICES, ENSURE THAT INTERRUPTING RATINGS ARE EQUAL TO OR HIGHER THAN CALCULATED 1/2-CYCLE SYMMETRICAL FAULT CURRENT.
      d. FOR DEVICES AND EQUIPMENT RATED FOR ASYMMETRICAL FAULT CURRENT, APPLY MULTIPLICATION FACTORS LISTED IN STANDARDS TO 1/2-CYCLE SYMMETRICAL FAULT CURRENT.
   5. SHORT-CIRCUIT STUDY INPUT DATA:
      a. ONE-LINE DIAGRAM OF SYSTEM BEING STUDIED.
      b. POWER SOURCES AVAILABLE.
      c. MANUFACTURER, MODEL, AND INTERRUPTING RATING OF PROTECTIVE DEVICES.
      d. CONDUCTORS.
      e. TRANSFORMER DATA.
   6. SHORT-CIRCUIT STUDY OUTPUT REPORTS:
      a. LOW-VOLTAGE FAULT REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH OVERCURRENT DEVICE LOCATION:

A. VOLTAGE.
C. CALCULATED FAULT-CURRENT MAGNITUDE AND ANGLE.
D. FAULT-POINT X/R RATIO.
E. EQUIVALENT IMPEDANCE.
      b. MOMENTARY DUTY REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH OVERCURRENT DEVICE LOCATION:

A. VOLTAGE.
B. CALCULATED SYMMETRICAL FAULT-CURRENT MAGNITUDE AND ANGLE.
C. FAULT-POINT X/R RATIO.
D. CALCULATED ASYMMETRICAL FAULT CURRENTS.
   - BASED ON FAULT-POINT X/R RATIO.
   - BASED ON CALCULATED SYMMETRICAL VALUE MULTIPLIED BY 1.6.
   - BASED ON CALCULATED SYMMETRICAL VALUE MULTIPLIED BY 2.7.
E. INTERRUPTING DUTY REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH OVERCURRENT DEVICE LOCATION:
   - VOLTAGE.
   - CALCULATED SYMMETRICAL FAULT-CURRENT MAGNITUDE AND ANGLE.
   - FAULT-POINT X/R RATIO.
   - NO AC DECREMENT (NACD) RATIO.
   - EQUIVALENT IMPEDANCE.
   - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A SYMMETRICAL BASIS.
   - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A TOTAL BASIS.

26 05 73.19 ARC-FLASH HAZARD ANALYSIS

A. MANUFACTURERS
   1. ESA
   2. SKM
   3. POWER ANALYTICS

B. ARC-FLASH STUDY REPORT CONTENT
   1. EXECUTIVE SUMMARY OF STUDY FINDINGS.
   2. STUDY DESCRIPTIONS, PURPOSE, BASIS, AND SCOPE. INCLUDE CASE DESCRIPTIONS, DEFINITION OF TERMS, AND GUIDE FOR INTERPRETATION OF RESULTS.
   3. ONE-LINE DIAGRAM, SHOWING THE FOLLOWING:
      a. PROTECTIVE DEVICE DESIGNATIONS AND AMPERE RATINGS.
      b. CONDUCTOR TYPES, SIZES, AND LENGTHS.
      c. TRANSFORMER KILOVOLT AMPERE (KVA) AND VOLTAGE RATINGS, INCLUDING DERATING FACTORS AND ENVIRONMENTAL CONDITIONS.
      d. MOTOR AND GENERATOR DESIGNATIONS AND KVA RATINGS.
      e. SWITCHGEAR, SWITCHBOARD, PANELBOARD DESIGNATIONS, AND RATINGS.
   4. STUDY INPUT DATA: AS DESCRIBED IN "POWER SYSTEM DATA" ARTICLE.
   5. SHORT-CIRCUIT STUDY OUTPUT DATA: AS SPECIFIED IN "SHORT-CIRCUIT STUDY OUTPUT REPORTS" PARAGRAPH IN "SHORT-CIRCUIT STUDY REPORT CONTENTS" ARTICLE IN SECTION 260573.13 "SHORT-CIRCUIT STUDIES."
   6. ARC-FLASH STUDY OUTPUT REPORTS:
      a. INTERRUPTING DUTY REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH EQUIPMENT LOCATION INCLUDED IN THE REPORT:
         - VOLTAGE.
         - CALCULATED SYMMETRICAL FAULT-CURRENT MAGNITUDE AND ANGLE.
         - FAULT-POINT X/R RATIO.
         - NO AC DECREMENT (NACD) RATIO.
         - EQUIVALENT IMPEDANCE.
         - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A SYMMETRICAL BASIS.
         - \MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A TOTAL BASIS.
      b. INCIDENT ENERGY AND FLASH PROTECTION BOUNDARY CALCULATIONS:
         - ARCING FAULT MAGNITUDE.
         - PROTECTIVE DEVICE CLEARING TIME.
         - DURATION OF ARC.
         - ARC-FLASH BOUNDARY.
         - RESTRICTED APPROACH BOUNDARY.
         - LIMITED APPROACH BOUNDARY.
         - WORKING DISTANCE.
         - INCIDENT ENERGY.
         - HAZARD RISK CATEGORY.
         - RECOMMENDATIONS FOR ARC-FLASH ENERGY REDUCTION.
         - FAULT STUDY INPUT DATA, CASE DESCRIPTIONS, AND FAULT-CURRENT CALCULATIONS INCLUDING A DEFINITION OF TERMS AND GUIDE FOR INTERPRETATION OF COMPUTER PRINTOUT.

C. ARC-FLASH WARNING LABELS
   1. PRODUCE A 3.5-BY-5-INCH SELF-ADHESIVE EQUIPMENT LABEL FOR EACH WORK LOCATION INCLUDED IN THE ANALYSIS.
   2. LABEL SHALL HAVE AN ORANGE HEADER WITH THE WORDING, "WARNING, ARC-FLASH HAZARD," AND SHALL INCLUDE THE FOLLOWING INFORMATION TAKEN DIRECTLY FROM THE ARC-FLASH HAZARD ANALYSIS:
      a. LOCATION DESIGNATION.
      b. NOMINAL VOLTAGE.
      c. PROTECTION BOUNDARIES.
         - ARC-FLASH BOUNDARY.
         - RESTRICTED APPROACH BOUNDARY.
         - LIMITED APPROACH BOUNDARY.
      d. ARC FLASH PPE CATEGORY.
         - REQUIRED MINIMUM ARC RATING OF PPE IN CAL/CM SQUARED.
         - AVAILABLE INCIDENT ENERGY.
         - WORKING DISTANCE.
         - ENGINEERING REPORT NUMBER, REVISION NUMBER, AND ISSUE DATE.

D. LABELS SHALL BE MACHINE PRINTED, WITH NO FIELD-APPLIED MARKINGS.

26 24 13 SWITCHBOARDS

A. MANUFACTURERS
   1. SIEMENS

B. FRONT CONNECTED, FRONT ACCESSIBLE SWITCHBOARDS
   1. MAIN DEVICES: PANEL MOUNTED
   2. BRANCH DEVICES: PANEL MOUNTED
   3. SECTIONS FRONT AND REAR ALIGNED

C. ENCLOSURES:
   1. OUTDOOR - NEMA TYPE 3R

D. SPACE HEATERS: FACTORY-INSTALLED ELECTRIC SPACE HEATERS OF SUFFICIENT WATTAGE IN EACH VERTICAL SECTION TO MAINTAIN ENCLOSURE TEMPERATURE ABOVE EXPECTED DEW POINT.

E. DISCONNECTING AND OVERCURRENT PROTECTIVE DEVICES
   1. MOLDED-CASE CIRCUIT BREAKER (MCCB): COMPLY WITH UL 489, WITH INTERRUPTING CAPACITY TO MEET AVAILABLE FAULT CURRENTS.
   2. THERMAL-MAGNETIC CIRCUIT BREAKERS: INVERSE TIME-CURRENT ELEMENT FOR LOW-LEVEL OVERLOADS AND INSTANTANEOUS MAGNETIC TRIP ELEMENT FOR SHORT CIRCUITS. ADJUSTABLE MAGNETIC TRIP SETTING FOR CIRCUIT-BREAKER FRAME SIZES 250 A AND LARGER.
   3. MCCB FEATURES AND ACCESSORIES:
      a. STANDARD FRAME SIZES, TRIP RATINGS, AND NUMBER OF POLES.
      b. LUGS: MECHANICAL STYLE, SUITABLE FOR NUMBER, SIZE, TRIP RATINGS, AND CONDUCTOR MATERIAL.
      c. APPLICATION LISTING: APPROPRIATE FOR APPLICATION; TYPE SWD FOR SWITCHING FLUORESCENT LIGHTING LOADS; TYPE HID FOR FEEDING FLUORESCENT AND HIGH-INTENSITY DISCHARGE (HID) LIGHTING CIRCUITS.

F. INTEGRATED POWER SYSTEMS:
   1. ENCLOSURE SHALL CONTAIN PANELBOARDS, TRANSFORMER, AND SURGE PROTECTION DEVICES.
   2. CUSTOM CONFIGURATION, CONSULT WITH FACTORY.

26 22 13 LOW-VOLTAGE DISTRIBUTION TRANSFORMERS

A. MANUFACTURERS
   1. SIEMENS

B. REFER TO 26 24 13 SWITCHBOARDS FOR INTEGRATED POWER SYSTEMS (IPS) FOR CUSTOM ENCLOSURE SYSTEM.

C. GENERAL TRANSFORMER REQUIREMENTS
   1. DESCRIPTION: FACTORY-ASSEMBLED AND -TESTED, AIR-COOLED UNITS FOR 60-Hz SERVICE.
   2. COMPLY WITH NFPA 70.
   3. TRANSFORMERS RATED 15 KVA AND LARGER:
      a. COMPLY WITH 10 CFR 431 (DOE 2016) EFFICIENCY LEVELS.
      b. MARKED AS COMPLIANT WITH DOE 2016 EFFICIENCY LEVELS BY AN NRTL.
   4. CORES: ELECTRICAL GRADE, NON-AGING SILICON STEEL WITH HIGH PERMEABILITY AND LOW HYSTERESIS LOSSES.
   5. COILS: CONTINUOUS WINDINGS WITHOUT SPLICES EXCEPT FOR TAPS.
      a. COILS MATERIAL: ALUMINUM
      b. INTERNAL COIL CONNECTIONS: BRAZED OR PRESSURE TYPE
      c. TERMINAL CONNECTIONS: WELDED

C. DISTRIBUTION TRANSFORMERS
   1. COMPLY WITH NFPA 70
   2. CORES: ONE LEG PER PHASE
   3. ENCLOSURE: VENTILATED
      a. NEMA 2501, TYPE 1: CORE AND COIL SHALL BE ENCAPSULATED WITHIN RESIN COMPOUND, SEALING OUT MOISTURE AND AIR.
      b. WIRING COMPARTMENT: SIZED FOR CONDUIT ENTRY AND WIRING INSTALLATION.
   4. TAPS FOR TRANSFORMERS 25 KVA AND LARGER: TWO 2.5 PERCENT TAPS ABOVE AND TWO 2.5 PERCENT TAPS BELOW FULL CAPACITY.
   5. INSULATION CLASS: 220 DEG C, UL-COMPONENT-RECOGNIZED INSULATION SYSTEM WITH A MAXIMUM OF 80 DEG C RISE ABOVE 40 DEG C AMBIENT TEMPERATURE.
   6. GROUNDING: PROVIDE GROUND-BAR LIT OR A GROUND BAR INSTALLED ON THE INSIDE OF THE TRANSFORMER ENCLOSURE.
   7. WALL BRACKETS: MANUFACTURER'S STANDARD BRACKETS.

D. INSTALLATION
   1. VERIFY THAT FIELD MEASUREMENTS ARE AS NEEDED TO MAINTAIN WORKING CLEARANCES REQUIRED BY NFPA 70 AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
   2. EXAMINE WALLS, FLOORS, ROOFS, AND CONCRETE BASES FOR SUITABLE MOUNTING CONDITIONS WHERE TRANSFORMERS WILL BE INSTALLED.
   3. INSTALL WALL-MOUNTED TRANSFORMERS LEVEL AND PLUMB WITH WALL BRACKETS FABRICATED BY TRANSFORMER MANUFACTURER.
   4. SECURE COVERS TO ENCLOSURE AND TIGHTEN ALL BOLTS TO MANUFACTURER-RECOMMENDED TORQUES TO REDUCE NOISE GENERATION.
   5. PROVIDE FLEXIBLE CONNECTIONS AT ALL CONDUIT AND CONDUCTOR TERMINATIONS AND SUPPORTS TO ELIMINATE SOUND AND VIBRATION TRANSMISSION TO THE BUILDING STRUCTURE.

E. FIELD QUALITY CONTROL
   1. PERFORM TESTS AND INSPECTIONS
   2. SMALL (UP TO 167-KVA SINGLE-PHASE OR 500-KVA THREE-PHASE) DRY-TYPE TRANSFORMER FIELD TESTS:
      a. VISUAL AND MECHANICAL INSPECTION
   1. INSPECT PHYSICAL AND MECHANICAL CONDITION.
   2. INSPECT ANCHORAGE, ALIGNMENT, AND GROUNDING.
   3. VERIFY THAT RESILIENT MOUNTS ARE FREE AND THAT ANY SHIPPING BRACKETS HAVE BEEN REMOVED.
   4. VERIFY THE UNIT IS CLEAN.
   5. PERFORM SPECIFIC INSPECTIONS AND MECHANICAL TESTS RECOMMENDED BY MANUFACTURER.
   6. VERIFY THAT AS-LEFT TAP CONNECTION ARE AS SPECIFIED.
   7. VERIFY THE PRESENCE OF SURGE ARRESTERS AND THAT THEIR RATINGS ARE AS SPECIFIED.
      b. ELECTRICAL TESTS
   1. MEASURE RESISTANCE AT EACH WINDING, TAP, AND BOLTED CONNECTION.
   2. PERFORM INSULATION-RESISTANCE TESTS WINDING-TO-WINDING AND EACH WINDING-TO-GROUND. APPLY VOLTAGE ACCORDING TO MANUFACTURER'S PUBLISHED DATA, COMPLY WITH NETA ATS, TABLE 100.5. CALCULATE POLARIZATION INDEX: THE VALUE OF THE INDEX SHALL NOT BE LESS THAN 1.0.
   3. PERFORM TURNS-RATIO TESTS AT ALL TAP POSITIONS. TEST RESULTS SHALL NOT DEVIATE BY MORE THAN ONE-HALF PERCENT FROM EITHER THE ADJACENT COILS OR THE CALCULATED RATIO. IF TEST FAILS, REPLACE THE TRANSFORMER.
   4. VERIFY CORRECT SECONDARY VOLTAGE, PHASE-TO-PHASE AND PHASE-TO-NEUTRAL, AFTER ENERGIZATION AND PRIOR TO LOADING.
   3. REMOVE AND REPLACE UNITS THAT DO NOT PASS TESTS OR INSPECTIONS AND RETEST AS SPECIFIED ABOVE.

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Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SPECIFICATIONS

DESIGNED	DRAWN
JAF	GYV

PROJECT NO.
N0940 9-20-00535-A

DATE
AUGUST 2020

SHEET NO.
E3

ELECTRICAL SPECIFICATIONS CONTINUED

DIVISION 27 COMMUNICATIONS

27 15 00 COMMUNICATIONS HORIZONTAL CABLING

A. ALL CABLE CONNECTING HARDWARE SHALL COMPLY WITH TIA/EIA-568-B.2, IDC TYPE, WITH MODULES DESIGNED FOR PUNCH-DOWN CAPS OR TOOLS. CABLES SHALL BE TERMINATED WITH CONNECTING HARDWARE OF SAME CATEGORY OR HIGHER.

B. THE CONTRACTOR SHALL PROVIDE ALL DATA WIRING, OUTLET JACKS, AND LABELING FOR A COMPLETE WIRING SYSTEM. PROVIDE THE FOLLOWING MATERIALS:
1. DATA, SECURITY CAMERAS, ACCESS DOOR CONTROLLERS, VIDEO GAMES, GOLF SIMULATORS, POS SYSTEM: CATEGORY 6, PLENUM RATED, NO. 24 AWG, 100OHM, 4-PAIR UTP, FORMED INTO 25-PAIR, BINDER GROUPS COVERED WITH A BLUE THERMOPLASTIC JACKET AS MANUFACTURED BY BELDEN OR BELK-TEK.
2. WIRELESS ACCESS POINTS: CATEGORY 6A, PLENUM RATED, NO. 24 AWG, 100OHM, 4-PAIR UTP, FORMED INTO 25-PAIR, BINDER GROUPS COVERED WITH A BLUE THERMOPLASTIC JACKET AS MANUFACTURED BY BELDEN OR BELK-TEK.
3. OUTLET JACKS: MODULAR, COLOR CODED, CATEGORY 6 (OR 6A FOR WIRELESS ACCESS POINTS), RJ-45 RECEPTACLE UNITS WITH INTEGRAL IDC-TYPE TERMINAL, T568B PINOUT.
4. DATA: PANDUIT CJ688TBU - BLUE OR EQUIVALENT
5. OUTLETS: 4-JACK ASSEMBLIES MOUNTED IN A SINGLE GANG FACEPLATE.
6. FACEPLATE: PANDUIT CBIW, ACCEPTS TWO 1/2 SIZE MODULE INSERTS.
7. MODULE INSERTS: PANDUIT CHF2IW-X, TWO REQUIRED FOR EACH FACEPLATE.
8. BLANK FILLER: PANDUIT CMBIW-X, TWO REQUIRED FOR EACH FACEPLATE.
9. MOUNTING: FLUSH
10. LABELING: PRINTED, ADHESIVE TAPE LABEL IDENTIFYING THE CIRCUIT. DATA OUTLET AT PATCH PANEL LABELING SHALL MATCH. COORDINATE REQUIREMENTS WITH OWNER.
11. PATCH CORDS: 3'-0" LENGTH.

C. PROVIDE (1) CABLE DROP AT EACH DOOR ACCESS POINT. COORDINATE WITH MARTIN SYSTEMS.

D. PROVIDE (1) CABLE DROP AT EACH SECURITY CAMERA. PROVIDE 10 FEET OF COILED CABLE AT EACH CAMERA LOCATION IN ORDER TO ALLOW FOR MOVEMENT OF CAMERA. COORDINATE WITH MARTIN SYSTEMS.

E. ALL CATEGORY 6 AND 6A CABLES SHALL BE TESTED END TO END AND DOCUMENTED FOR CATEGORY 6 AND 6A COMPLIANCE. IT SHOULD BE TESTED WITH A FLUKE OMNISCANNER OR LIKE DEVICE. HARDCOPY AND SOFTCOPY SHOULD BE PROVIDED. PROVIDE SPECIAL SOFTWARE IF REQUIRED TO VIEW SOFTCOPY.

F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OPENINGS REQUIRED IN WALLS. OPENING SHALL BE REPAIRED, AND CONDUITS/CABLES THROUGH WALL SHALL BE GROUTED OR SEALED INTO OPENING.

G. ALL FLOOR AND WALL PENETRATIONS SHALL BE THROUGH A SLEEVE AND FIRE STOPPED PER LOCAL CODES. ALL MATERIAL USED TO SEAL PENETRATIONS SHALL BE U.L. LISTED.

H. INSTALLATION:
1. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
2. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
3. BUNDLE, LACE, AND TRAIN CABLES WITHIN ENCLOSURES.

I. TEST ALL CABLING END-TO-END.

27 13 00 COMMUNICATIONS BACKBONE CABLING

A. MANUFACTURERS
a. BERK-TEK
b. BELDEN
c. CORNING CABLE SYSTEM

B. 9 / 125 MICROMETER SINGLE-MODE OPTICAL FIBER CABLE (OS2)
a. 6 FIBERS, SINGLE LOOSE TUBE, ARMORED OPTICAL FIBER CABLE.
b. JACKET: YELLOW
c. PLENUM RATED, ARMORED (CONDUCTIVE): TYPE OFCP, COMPLYING WITH NFPA 262.
d. PROVIDE 1000 BASE-LX SFP TRANSCEIVER.

C. OPTICAL FIBER HARDWARE
a. COMPLY WITH TIA-568-C.3.
b. CROSS CONNECTS AND PATCH PANELS: MODULAR PANELS HOUSING MULTIPLE NUMBERED DUPLEX CONNECTORS.
c. CONNECTOR TYPE: SC-P, COMPLYING WITH TIA-604-3-B.
d. PLUGS: MALE COLOR CODED MODULAR CONNECTOR DESIGNED FOR TERMINATION OF SINGLE OPTICAL FIBER CABLE. INSERTION LOSS OF NOT LESS THAN 0.25 dB.
e. JACKS: FEMALE, QUICK CONNECT, DUPLEX, FIXED CONNECTOR DESIGNED FOR TERMINATION OF SINGLE OPTICAL FIBER CABLE. INSERTION LOSS OF NOT LESS THAN 0.25 dB. DESIGNED TO SNAP IN TO A PATCH PANEL.

D. INSTALLATION:
a. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
b. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
c. BUNDLE, LACE, AND TRAIN CABLES WITHIN ENCLOSURES.

E. TEST ALL FIBER OPTIC CABLES END-TO-END.

DIVISION 28 COMMUNICATIONS

28 60 11 DOOR ENTRY CONTROL AND VIDEO

1.1 SUMMARY
A. ADD SUB-MASTER STATION TO EXISTING AIPHONE JP-4MED SYSTEM. SUB-MASTER STATION SHALL BE ABLE TO CONTROL THE VISITOR GATE AND VISITOR ENTRY VIDEO / INTERCOM.

1.2QUALITY ASSURANCE
A. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND APPLICATION.
B. COMPLY WITH NFPA 70.
C. ALL ITEMS OF EQUIPMENT INCLUDING WIRE AND CABLE SHALL BE DESIGNED BY THE MANUFACTURER TO FUNCTION AS A COMPLETE SYSTEM AND SHALL BE ACCOMPANIED BY THE MANUFACTURER'S COMPLETE SERVICE NOTES AND DRAWINGS DETAILING ALL INTERCONNECTIONS.

1.3 COORDINATION
A. COORDINATE FLUSH MOUNTED BACK BOXES WITH OTHER TRADES.
B. COORDINATE REQUIREMENTS OF DOOR STRIKES, POWER SUPPLIES, CARD READER SYSTEMS, POWER OPERATED DOORS AND OTHER EQUIPMENT SPECIFIED UNDER OTHER SECTIONS OF SPECIFICATION AND DRAWINGS.

2.1 MANUFACTURERS
A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
a. AIPHONE.

2.2 SUB-MASTER STATION
A. JP-4HD MASTER STATION WITH TOUCHSCREEN MONITOR.
B. DESK MOUNT STAND:
C. THE MCW-S/A PROVIDES A DESK MOUNTING OPTION FOR AIPHONE MONITORS, ANGLING THEM BACK AT APPROXIMATELY 75°.

2.3 SELECTIVE DOOR RELEASE ADAPTOR
A. THE RY-3DL PROVIDES SELECTIVE DOOR RELEASE CAPABILITY WITH THE IE-2AD AUDIO DOOR ENTRY SYSTEM, THE MY-2CD PAN TILT VIDEO ENTRY SYSTEM OR THE KB-3MRD TILT COLOR VIDEO SYSTEM. WHEN COMMUNICATION IS ESTABLISHED TO A DOOR STATION, THE SINGLE DOOR RELEASE BUTTON ON THE INTERCOM WILL ACTIVATE THE DOOR RELEASE MECHANISM ASSOCIATED WITH THAT DOOR. THE ADAPTOR CAN BE INSTALLED WITH THE POWER SUPPLIES FOR THE SYSTEM.
B. SELECTIVE DOOR RELEASE WITH ONE BUTTON.
C. DOOR RELEASE CONTACTS RELEASE THE DOOR WHERE COMMUNICATION IS ESTABLISHED.
D. BOTH NORMALLY OPEN AND NORMALLY CLOSED CONTACTS.

2.4 LONG DISTANCE ADAPTOR:
A. JPW-BA - USED WHEN MASTER STATION TO DOOR STATION EXCEEDS 330 FEET.

2.5 POWER SUPPLY
A. POWER SUPPLY TO BE A PS-2420UL.
B. PACKAGE TO INCLUDE:
a. AC CORD AND PLUG.
b. MOUNTING BRACKET - AND SCREWS.

3.1 EXAMINATION
A. EXAMINE AREAS AND CONDITIONS FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK.
B. EXAMINE PRODUCTS OR MATERIALS BEFORE INSTALLATION. REJECT PRODUCTS OR MATERIALS THAT ARE WET, MOISTURE DAMAGED, OR MOLD DAMAGED.
C. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

3.2 INSTALLATION
A. COMPLY WITH NECA 1.
B. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLING, CALIBRATING AND THE START UP OF PRODUCTS.
C. WIRING METHOD: INSTALL CABLES IN RACEWAYS AND CABLE TRAYS EXCEPT WITHIN CONSOLES, CABINETS, DESKS, AND COUNTERS. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
a. INSTALL PLENUM CABLE IN ENVIRONMENTAL AIR SPACES, INCLUDING PLENUM CEILINGS.
b. COMPLY WITH REQUIREMENTS FOR RACEWAYS AND BOXES SPECIFIED IN DIVISION 26 SECTION "RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS."
D. WIRING METHOD: CONCEAL CONDUCTORS AND CABLES IN ACCESSIBLE CEILINGS, WALLS, AND FLOORS WHERE POSSIBLE.
E. WIRING WITHIN ENCLOSURES: BUNDLE, LACE, AND TRAIN CONDUCTORS TO TERMINAL POINTS WITH NO EXCESS AND WITHOUT EXCEEDING MANUFACTURER'S LIMITATIONS ON BENDING RADII. PROVIDE AND USE LACING BARS AND DISTRIBUTION SPOOLS.
F. GENERAL REQUIREMENTS:
a. TERMINATE CONDUCTORS; NO CABLE SHALL CONTAIN UNTERMINATED ELEMENTS. MAKE TERMINATIONS ONLY AT OUTLETS AND TERMINALS.
b. SPLICES, TAPS, AND TERMINATIONS: ARRANGE ON NUMBERED TERMINAL STRIPS IN JUNCTION, PULL, AND OUTLET BOXES; TERMINAL CABINETS; AND EQUIPMENT ENCLOSURES. CABLES MAY NOT BE SPLICED.
c. SECURE AND SUPPORT CABLES AT INTERVALS NOT EXCEEDING 30 INCHES AND NOT MORE THAN 6 INCHES FROM CABINETS, BOXES, FITTINGS, OUTLETS, RACKS, FRAMES, AND TERMINALS.
d. BUNDLE, LACE, AND TRAIN CONDUCTORS TO TERMINAL POINTS WITHOUT EXCEEDING MANUFACTURER'S LIMITATIONS ON BENDING RADII. INSTALL LACING BARS AND DISTRIBUTION SPOOLS.
e. DO NOT INSTALL BRUISED, KINKED, SCORED, DEFORMED, OR ABRADED CABLE. DO NOT SPLICE CABLE BETWEEN TERMINATION, TAP, OR JUNCTION POINTS. REMOVE AND DISCARD CABLE IF DAMAGED DURING INSTALLATION AND REPLACE IT WITH NEW CABLE.
f. COLD-WEATHER INSTALLATION: BRING CABLE TO ROOM TEMPERATURE BEFORE DEREELING. HEAT LAMPS SHALL NOT BE USED.
G. OPEN-CABLE INSTALLATION:
a. INSTALL CABLING WITH HORIZONTAL AND VERTICAL CABLE GUIDES IN TELECOMMUNICATION SPACES WITH TERMINATING HARDWARE AND INTERCONNECTION EQUIPMENT.
b. SUSPEND SPEAKER CABLE NOT IN A WIREWAY OR PATHWAY A MINIMUM OF 8 INCHES ABOVE CEILING BY CABLE SUPPORTS NOT MORE THAN 60 INCHES APART.
c. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
H. SEPARATION OF WIRES: SEPARATE SPEAKER-MICROPHONE, LINE-LEVEL, SPEAKER-LEVEL, AND POWER WIRING RUNS. INSTALL IN SEPARATE RACEWAYS OR, WHERE EXPOSED OR IN SAME ENCLOSURE, SEPARATE CONDUCTORS AT LEAST 12 INCHES APART FOR SPEAKER MICROPHONES AND ADJACENT PARALLEL POWER AND TELEPHONE WIRING. SEPARATE OTHER INTERCOMMUNICATION EQUIPMENT CONDUCTORS AS RECOMMENDED BY EQUIPMENT MANUFACTURER.

3.3 GROUNDING
A. GROUND CABLE SHIELDS AND EQUIPMENT TO ELIMINATE SHOCK HAZARD AND TO MINIMIZE GROUND LOOPS, COMMON-MODE RETURNS, NOISE PICKUP, CROSS TALK, AND OTHER IMPAIRMENTS.
B. SIGNAL GROUND TERMINAL: LOCATE AT MAIN EQUIPMENT CABINET. ISOLATE FROM POWER SYSTEM AND EQUIPMENT GROUNDING.

3.4 FIELD QUALITY CONTROL
A. PERFORM TESTS AND INSPECTIONS.
a. ENGAGE A FACTORY-AUTHORIZED SERVICE REPRESENTATIVE TO INSPECT COMPONENTS, ASSEMBLIES, AND EQUIPMENT INSTALLATIONS, INCLUDING CONNECTIONS, AND TO ASSIST IN TESTING.

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NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SPECIFICATIONS

DESIGNED	DRAWN
JAF	GYV

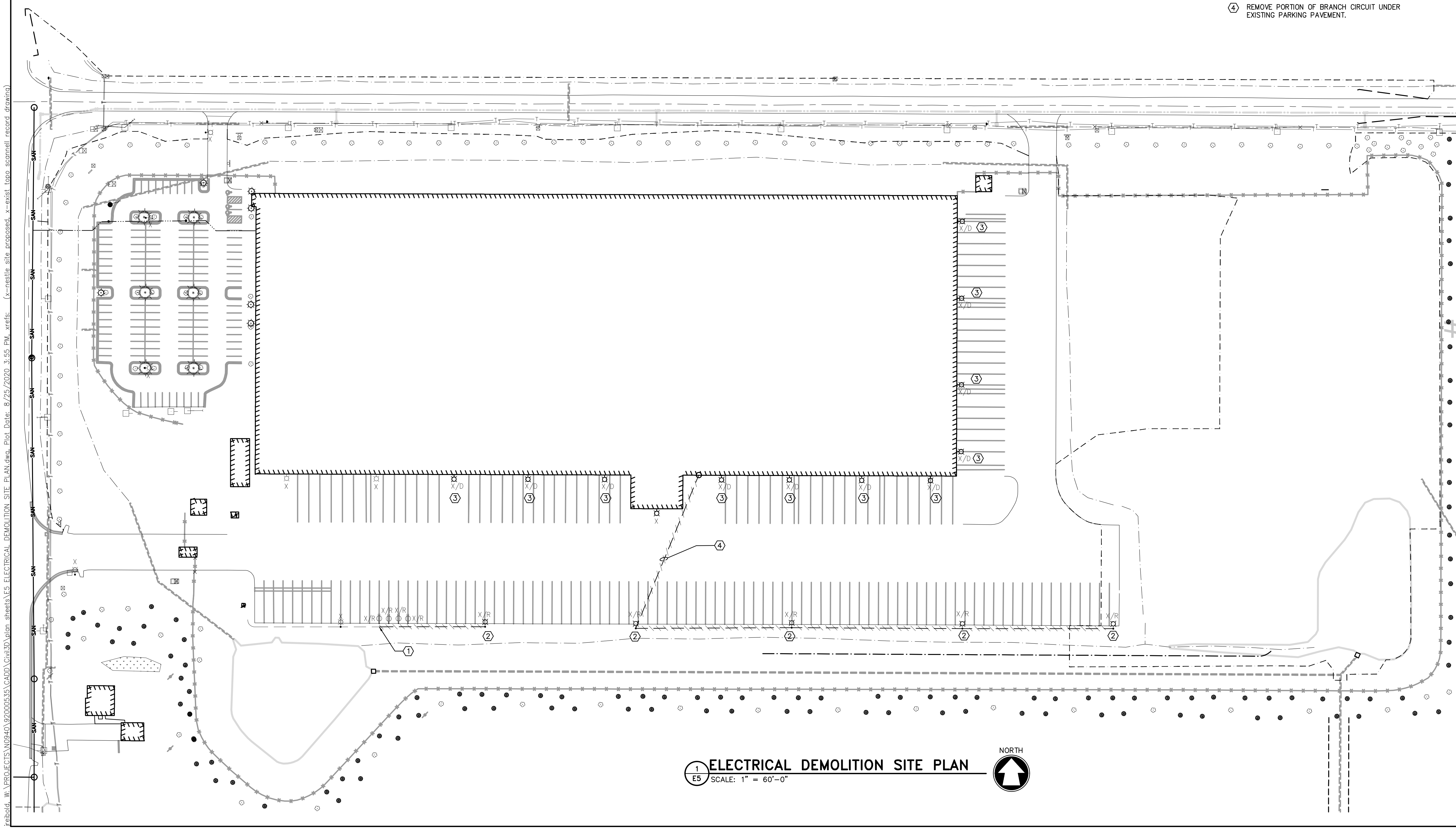
PROJECT NO. N0940 9-20-00535-A

DATE AUGUST 2020

SHEET NO. E4

KEYED NOTES

1. INTERCEPT EXISTING BRANCH CIRCUIT, SEE SHEET E6 FOR FURTHER INFORMATION.
2. ELECTRICALLY DISCONNECT FIXTURE. STORE FIXTURE AND POLE IN A SAFE LOCATION DURING CONSTRUCTION. REMOVE ASSOCIATED CONCRETE BASE AND CONDUITS. FIXTURE TO BE RE-INSTALLED, SEE SHEET E6 FOR FURTHER INFORMATION.
3. ELECTRICALLY DISCONNECT FIXTURE; SALVAGE TO OWNER. BOX AND BRANCH CIRCUIT WIRING TO BE RE-USED FOR REPLACEMENT FIXTURE.
4. REMOVE PORTION OF BRANCH CIRCUIT UNDER EXISTING PARKING PAVEMENT.



1/E5 ELECTRICAL DEMOLITION SITE PLAN
SCALE: 1" = 60'-0"

NORTH

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NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL DEMOLITION SITE PLAN

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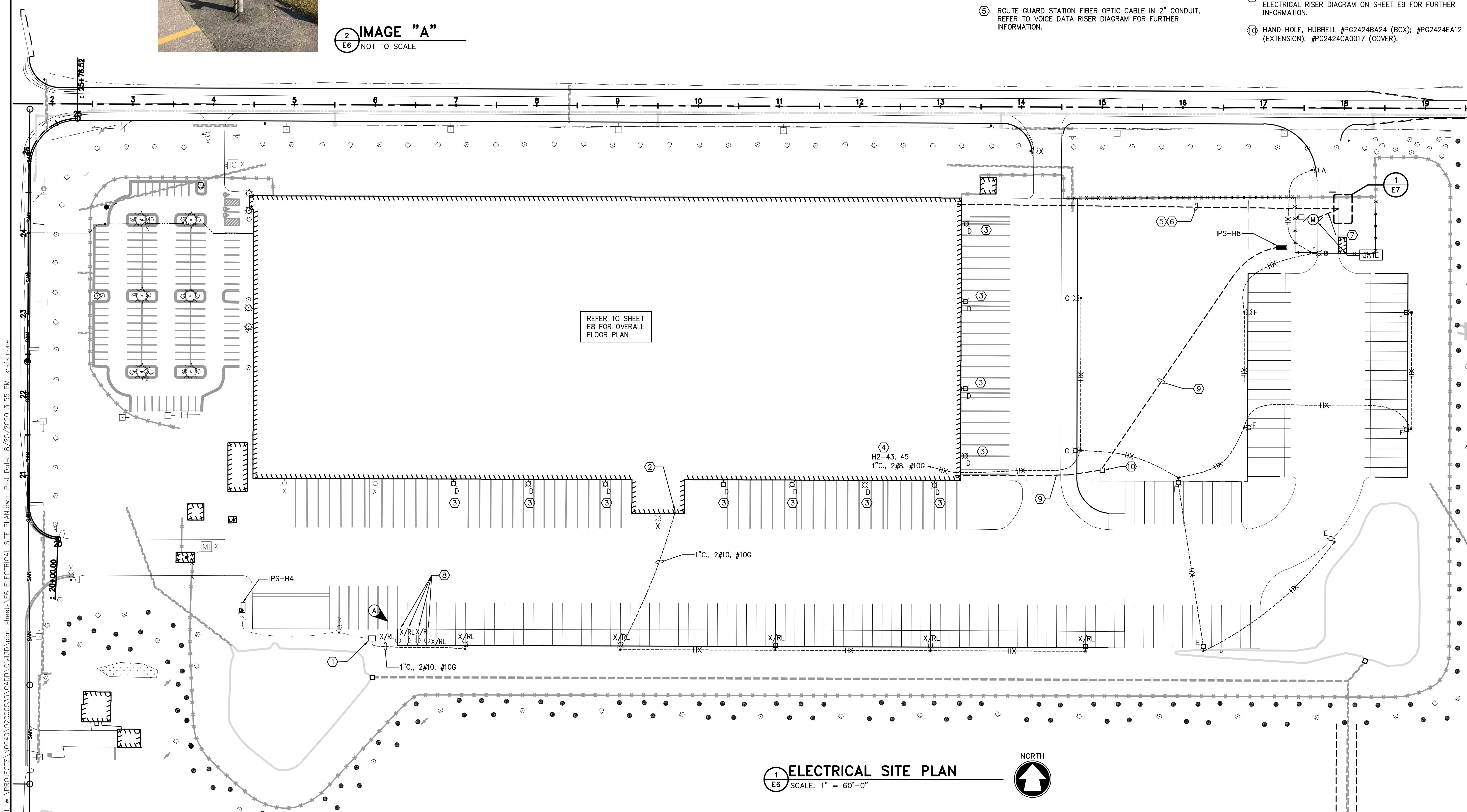
SHEET NO. E5

2 E6 IMAGE "A"
NOT TO SCALE

KEYED NOTES

1. INTERCEPT EXISTING H1-1, 3 BRANCH CIRCUIT, REFER TO DETAIL 1/E12.
2. INTERCEPT EXISTING H2-1, 3 BRANCH CIRCUIT INSIDE BUILDING AND ROUTE OUT TO RELOCATED FIXTURE.
3. CONNECT TO EXISTING BRANCH CIRCUIT THAT FED DEMOLISHED FIXTURE.
4. REMOVE (2) 20A-1P CIRCUIT BREAKERS AND SALVAGE TO OWNER. PROVIDE A 20A-2P SIEMENS NGB CIRCUIT BREAKER. ROUTE VIA H2 - LIGHTING CONTACTOR, USE SPARE 2-POLE RELAY.
5. ROUTE GUARD STATION FIBER OPTIC CABLE IN 2" CONDUIT, REFER TO VOICE DATA RISER DIAGRAM FOR FURTHER INFORMATION.
6. PROVIDE (2) 2" EMPTY CONDUITS FOR GUARD STATION LOW VOLTAGE/ SECURITY. LABEL EACH END OF THE CONDUITS AND PROVIDE PULL STRING.
7. PROVIDE A 1" EMPTY CONDUIT FOR FUTURE GATE CONTROLS. STUB INTO GUARD STATION AND CONNECT TO GATE CONTROLLER. LABEL CONDUIT IN GUARD STATION AND PROVIDE A PULL STRING.
8. ROUTE (4) 20A-1P BRANCH CIRCUITS TO PANEL L4 IN IPS-H4. PROVIDE 1" C., 2#12, #12G FOR EACH CIRCUIT.
9. SUGGESTED ROUTE FOR FEEDER FOR IPS-H8, REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E9 FOR FURTHER INFORMATION.
10. HAND HOLE, HUBBELL #PG2424BA24 (BOX); #PG2424EA12 (EXTENSION); #PG2424CA0017 (COVER).



1 E6 ELECTRICAL SITE PLAN
SCALE: 1" = 60'-0"
NORTH

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ELECTRICAL SITE PLAN

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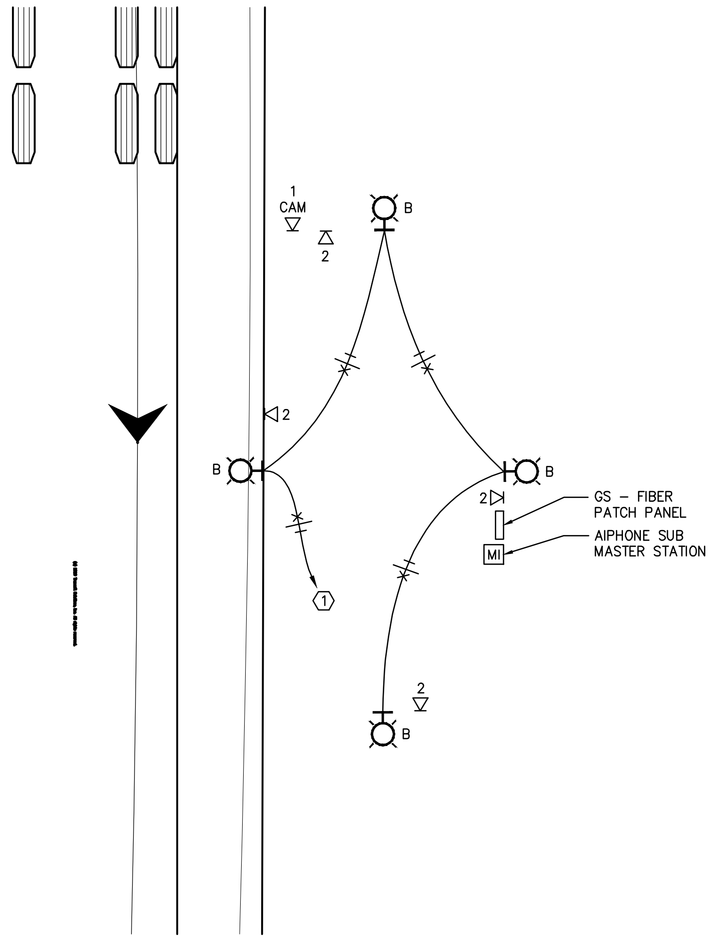

ELECTRICAL ENLARGED GUARD STATION PLAN

1 / E7

SCALE: 1/4" = 1'-0"

NORTH

KEYED NOTES:

1. PROVIDE A 20A-1P BRANCH CIRCUIT IN GUARD STATION PANEL. COORDINATE WITH PRE-FAB MANUFACTURER AND GENERAL CONTRACTOR.

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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ENLARGED GUARD STATION PLAN

DESIGNED	DRAWN
JAF	GYV

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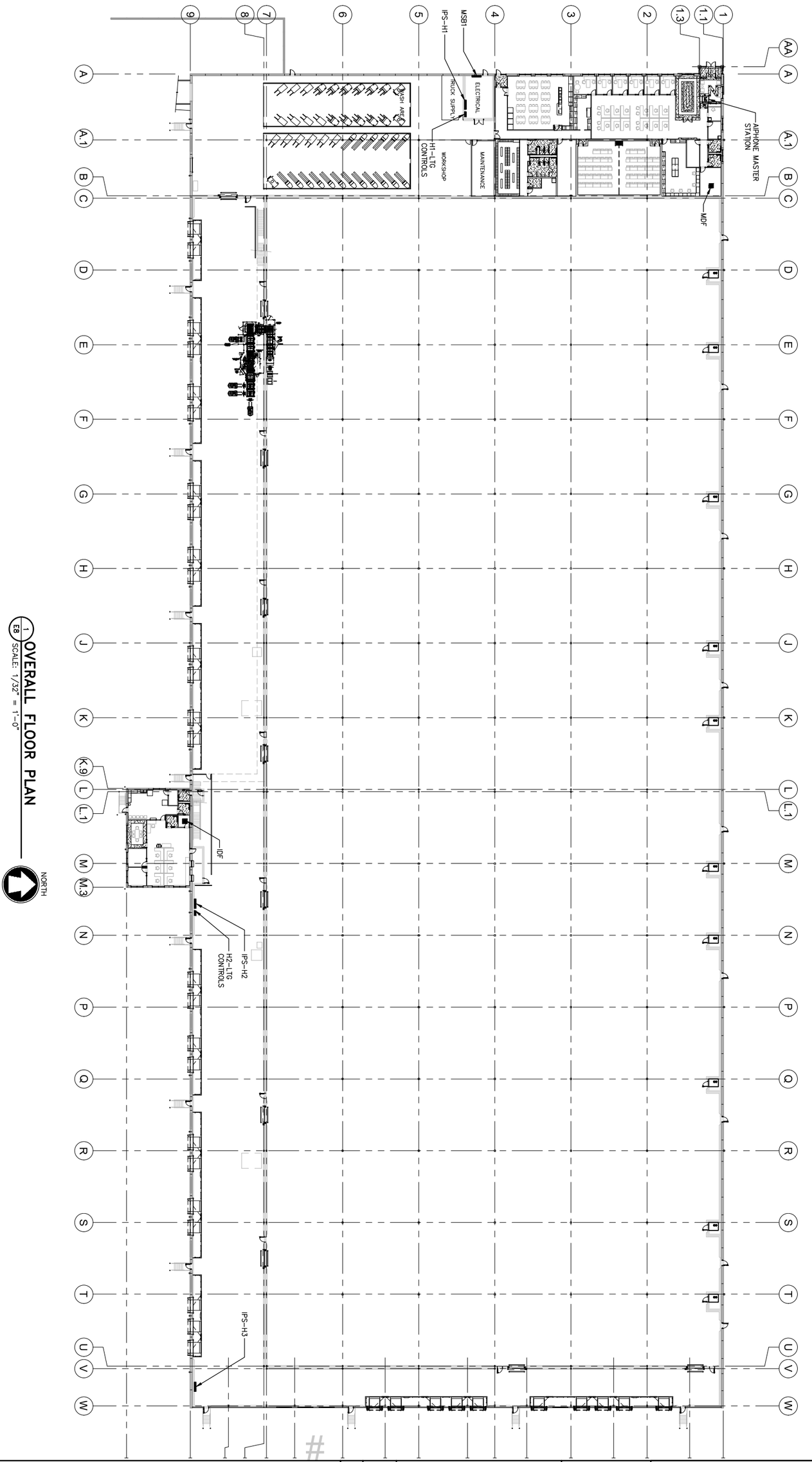
N0940 9-20-00535-A

DATE
AUGUST 2020

SHEET NO.
E7



1 E8 OVERALL FLOOR PLAN
SCALE: 1/32" = 1'-0"

NORTH

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
OVERALL ELECTRICAL PLANT FLOOR PLAN

NO.	DATE	REVISION
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DRAWN CYV
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SHEET NO. E8

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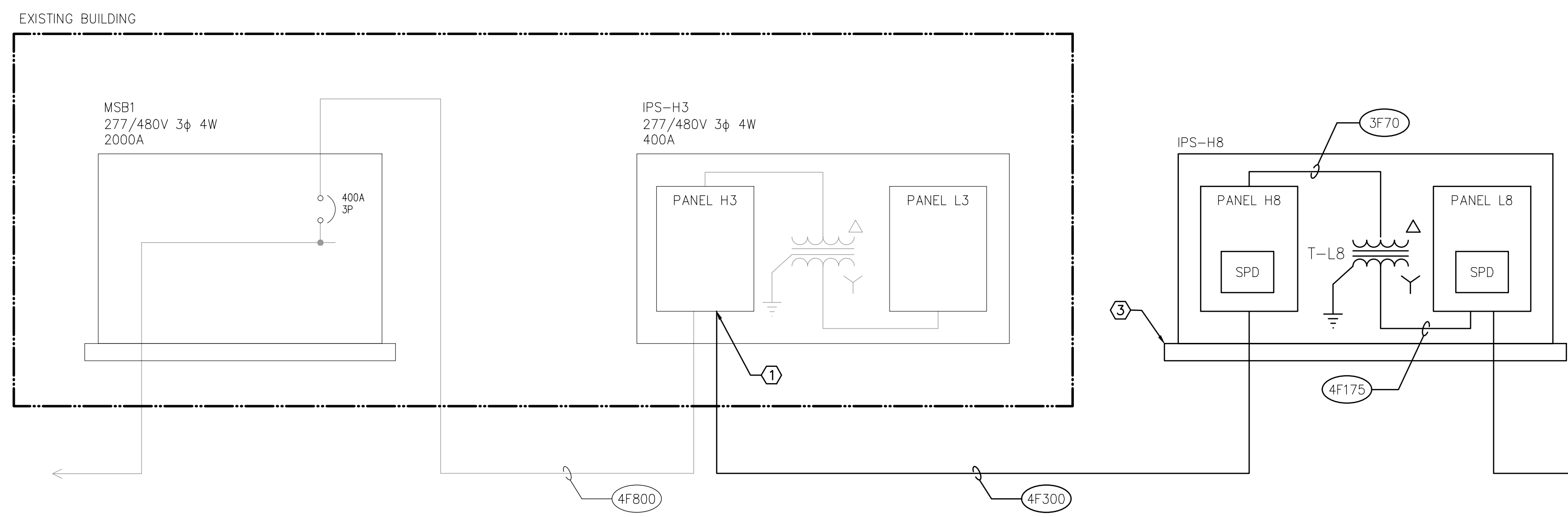

1/E9 **ELECTRICAL RISER DIAGRAM**
NO SCALE

NOTES:

1. PROVIDE A SIEMENS 100A-3P NGB CIRUIT BREAKER IN AVAILABLE BUSSED SPACE. UPDATE PANEL CIRCUIT LABEL DIRECTORY. PROVIDE CUSTOM LUGS FOR #350KCMIL CONDUCTORS.
2. GUARD STATION PANEL GS2 BY OTHERS. COORDINATE WITH PREFAB UNIT MANUFACTURER AND GENERAL CONTRACTOR.
3. PROVIDE CONCRETE PAD FOR IPS-H8, REFER TO DETAIL 4/E12.

PANEL: H8 **LOCATION:** EXTERIOR **VOLTS:** 480 Y/ 277 **PH:** 3 **W:** 4
AMP MAIN BKR: 100A **BUS AMPS:** 100A **AIC RATING:** 10K **ENCLOSURE/MOUNT:** NEMA 3R / PAD - IPS
FED FROM: IPS-H3 **MFR:** SIEMENS **PANEL TYPE:** INTEGRAL W/ IPS

LOAD/CIRCUIT DESCRIPTION	LOAD KVA	CKT BKR	P	CIR #	PH	CIR #	P	CKT BKR	LOAD KVA	LOAD/CIRCUIT DESCRIPTION
	9.40	20	1	1	A	2			0.59	
L8	9.40	20	1	3	B	4	1	20	0.59	SLIDING GATE
	6.40	20	1	5	C	6			0.59	
	0.00	20	1	7	A	8	1	20	0.00	
	0.00	20	1	9	B	10	1	20	0.00	
	0.00	20	1	11	C	12	1	20	0.00	
	0.00	20	1	13	A	14	1	20	0.00	
	0.00	20	1	15	B	16	1	20	0.00	
	0.00	20	1	17	C	18	1	20	0.00	
	0.00	20	1	19	A	20	1	20	0.00	
	0.00	20	1	21	B	22	1	20	0.00	
	0.00	20	1	23	C	24	1	20	0.00	
	0.00	20	1	25	A	26	1	20	0.00	
	0.00	20	1	27	B	28	1	20	0.00	
	0.00	20	1	29	C	30	1	20	0.00	

NOTES:
1. PANEL LABEL DIRECTORY SHALL INCLUDE LOAD DESCRIPTIONS AND FINAL ROOM NAMES / NUMBERS.
2. INTEGRAL SPD - 120KA
3. CUSTOM LUGS TO ACCOMMODATE #350KCMIL CONDUCTORS.

PHASE A:	6.99 KVA	25.2 AMP
PHASE B:	6.99 KVA	25.2 AMP
PHASE C:	3.24 KVA	11.7 AMP
TOTAL:	17.22 KVA	20.7 AMP

PANEL: L8 **LOCATION:** EXTERIOR **VOLTS:** 208 / 120 **PH:** 3 **W:** 4
AMP MAIN BKR: 175A **BUS AMPS:** 225A **AIC RATING:** 10K **ENCLOSURE/MOUNT:** NEMA 3R / PAD - IPS
FED FROM: T-L8 / H8 **MFR:** SIEMENS **PANEL TYPE:** INTEGRAL W/ IPS

LOAD/CIRCUIT DESCRIPTION	LOAD KVA	CKT BKR	P	CIR #	PH	CIR #	P	CKT BKR	LOAD KVA	LOAD/CIRCUIT DESCRIPTION
	8.40			1	A	2	1	20	1.00	SIGNAGE
PANEL GS2	8.40	100	3	3	B	4	1	20	1.00	SIGNAGE
	5.40			5	C	6	1	20	1.00	SIGNAGE
	0.00	20	1	7	A	8	1	20	0.00	
	0.00	20	1	9	B	10	1	20	0.00	
	0.00	20	1	11	C	12	1	20	0.00	
	0.00	20	1	13	A	14	1	20	0.00	
	0.00	20	1	15	B	16	1	20	0.00	
	0.00	20	1	17	C	18	1	20	0.00	
	0.00	20	1	19	A	20	1	20	0.00	
	0.00	20	1	21	B	22	1	20	0.00	
	0.00	20	1	23	C	24	1	20	0.00	
	0.00	20	1	25	A	26	1	20	0.00	
	0.00	20	1	27	B	28	1	20	0.00	
	0.00	20	1	29	C	30	1	20	0.00	
	0.00	20	1	31	A	32	1	20	0.00	
	0.00	20	1	33	B	34	1	20	0.00	
SPARE	0.00	20	1	35	C	36	1	20	0.00	SPARE
SPARE	0.00	20	1	37	A	38	1	20	0.00	SPARE
SPARE	0.00	20	1	39	B	40	1	20	0.00	SPARE
SPARE	0.00	20	1	41	C	42	1	20	0.00	SPARE

NOTES:
1. PANEL LABEL DIRECTORY SHALL INCLUDE LOAD DESCRIPTIONS AND FINAL ROOM NAMES / NUMBERS.
2. INTEGRAL SPD - 120KA

PHASE A:	10.40 KVA	86.7 AMP
PHASE B:	10.40 KVA	86.7 AMP
PHASE C:	6.65 KVA	55.4 AMP
TOTAL:	27.45 KVA	76.2 AMP

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NO.	DATE	REVISION

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL RISER DIAGRAM

DESIGNED	DRAWN
JAF	GYV

PROJECT NO. N0940 9-20-00535-A
DATE AUGUST 2020
SHEET NO. E9

EQUIPMENT SCHEDULE

ID	LOCATION	LOAD														POWER		CONTROLS			LOCAL DISCONNECT					
TAG	ROOM / AREA	1 HP	1 A	1 KVA *1.25	2 KVA	3 KVA	4 KVA	5 KVA	6 KVA	7 KVA	8 KVA	CONNECTED LOAD KVA	MOCP	VOLTS	PHASE	PANEL	BRANCH CIRCUIT SIZE	FURN BY	INST. BY	TYPE	FURN BY	INST. BY	TYPE	SWITCH AMPS	FUSE AMPS	NOTES
GATE	EXTERIOR	1	2.1		1.01									480.0	3	H8	20	DIV 11	DIV 11							

LOCAL DISCONNECT LEGEND:

3FSW: NEMA 3R FUSED DISCONNECT SWITCH

NOTES:

TRANSFORMER SCHEDULE

CALLOUT	KVA	K-RATED	PRIMARY VOLTS	SECONDARY VOLTS	MOUNTING	GROUNDING ELECTRODE	ENCLOSURE	LOAD KVA	LOAD AMPS	NOTES
T-L8	45	NO	480V 3PH 3W	120/208V 3PH 4W	INTEGRAL IPS	3/4" C., 1#4	NEMA 3R	27.45	76.2	1

NOTES:
1. LOCATED IN SIEMENS INTEGRATED POWER SYSTEM IPS-H8.

SERVICE CALCULATION

	Existing Load (KW)	New Load (KW)	Total Load (KW)	Revised Load (A)	Capacity	Load %	Notes
IPS-H3	79.9	17.22	97.12	116.544	400	29%	
MSB1	1341.2	19.22	1360.42	1632.504	2000	82%	1

NOTES:
1. CIRCUIT BREAKER IN UPSTREAM SWITCHBOARD PDP-2 IS 100% RATED.

FEEDER SCHEDULE

TAG	AMP	WIRE AND CONDUIT
3F70	70	(3) 4 AWG, (1) 8 AWG GND, IN (1) 1-1/4" C
4F100	100	(4) 3 AWG, (1) 8 AWG GND, IN (1) 1-1/4" C
4F175	175	(4) 2/0 AWG, (1) 6 AWG GND, IN (1) 2" C
4F300	300	(4) 350 kcmil, (1) 4 AWG GND, IN (1) 3" C
4F800	800	(4) 600 kcmil, (1) 1/0 AWG GND, IN EA. OF (2) 3-1/2" C

LIGHTING CONTROL NARRATIVE

SPACE TYPE	EXTERIOR		REMARKS
	PHOTOCELL	TIMECLOCK	
EXTERIOR AREA LIGHTING	ON	OFF	1
GUARD STATION EXTERIOR LIGHTING	ON / OFF		2

NOTES:
1. MATCH EXISTING AREA LIGHTING CONTROL SETTINGS.
2. TRUCK ENTRANCE IS 24/7/365.

BRANCH CIRCUIT WIRING SCHEDULE

OCPD AMPS	TAG (NOTE 2)	1P, 2W+GND, OR 2P, 2W+GND	2P, 3W+GND, OR 3P, 3W+GND	3P, 4W+GND	NOTES
15	BxW#12G	(2) #12, (1) #12 GND, (1) 3/4"C	(3) #12, (1) #12 GND, (1) 3/4"C	(4) #12, (1) #12 GND, (1) 3/4"C	
20	BxW#12G	(2) #12, (1) #12 GND, (1) 3/4"C	(3) #12, (1) #12 GND, (1) 3/4"C	(4) #12, (1) #12 GND, (1) 3/4"C	
25	BxW#10G	(2) #10, (1) #10 GND, (1) 3/4"C	(3) #10, (1) #10 GND, (1) 3/4"C	(4) #10, (1) #10 GND, (1) 3/4"C	
30	BxW#10G	(2) #10, (1) #10 GND, (1) 3/4"C	(3) #10, (1) #10 GND, (1) 3/4"C	(4) #10, (1) #10 GND, (1) 3/4"C	
35	BxW#8G	(2) #8, (1) #10 GND, (1) 3/4"C	(3) #8, (1) #10 GND, (1) 3/4"C	(4) #8, (1) #10 GND, (1) 1"C	
40	BxW#8G	(2) #8, (1) #10 GND, (1) 3/4"C	(3) #8, (1) #10 GND, (1) 3/4"C	(4) #8, (1) #10 GND, (1) 1"C	
45	BxW#8G	(2) #8, (1) #10 GND, (1) 3/4"C	(3) #8, (1) #10 GND, (1) 3/4"C	(4) #8, (1) #10 GND, (1) 1"C	
50	BxW#8G	(2) #8, (1) #10 GND, (1) 3/4"C	(3) #8, (1) #10 GND, (1) 3/4"C	(4) #8, (1) #10 GND, (1) 1"C	
60	BxW#6G	(2) #6, (1) #10 GND, (1) 1"C	(3) #6, (1) #10 GND, (1) 1"C	(4) #6, (1) #10 GND, (1) 1"C	
70	BxW#4G	(2) #4, (1) #8 GND, (1) 1-1/4"C	(3) #4, (1) #8 GND, (1) 1-1/4"C	(4) #4, (1) #8 GND, (1) 1-1/4"C	
80	BxW#4G	(2) #4, (1) #8 GND, (1) 1-1/4"C	(3) #4, (1) #8 GND, (1) 1-1/4"C	(4) #4, (1) #8 GND, (1) 1-1/4"C	
90	BxW#3G	(2) #3, (1) #8 GND, (1) 1-1/4"C	(3) #3, (1) #8 GND, (1) 1-1/4"C	(4) #3, (1) #8 GND, (1) 1-1/4"C	
100	BxW#3G	(2) #3, (1) #8 GND, (1) 1-1/4"C	(3) #3, (1) #8 GND, (1) 1-1/4"C	(4) #3, (1) #8 GND, (1) 1-1/4"C	
125	BxW#1G	(2) #1, (1) #6 GND, (1) 1-1/2"C	(3) #1, (1) #6 GND, (1) 1-1/2"C	(4) #1, (1) #6 GND, (1) 2"C	
150	BxW#1/0G	(2) #1/0, (1) #6 GND, (1) 1-1/2"C	(3) #1/0, (1) #6 GND, (1) 1-1/2"C	(4) #1/0, (1) #6 GND, (1) 2"C	
200	BxW#1G	(2) #3/0, (1) #4 GND, (1) 2"C	(3) #3/0, (1) #4 GND, (1) 2"C	(4) #3/0, (1) #4 GND, (1) 2-1/2"C	

NOTES
1. OCPD = OVERCURRENT PROTECTIVE DEVICE
2. 'x': INSERT 2, 3, OR 4, FOR 2W, 3W, OR 4W BRANCH CIRCUIT.
3. "#" DESIGNATES AWG. EG.: "#12" INDICATES '12 AWG' CONDUCTOR.
4. PROVIDE SEPARATE INSULATED EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC TABLE 250.122.
5. CONDUCTOR AMPACITIES: NEC TABLE 310.15(B)(16), AND ADJ. FACTORS IN 310.15(B)(1), (2), & (3).
6. 12 AWG WIRE SHALL BE THE MINIMUM SIZE WIRE.
7. 20 AMP, 120 VOLT, SINGLE PHASE CIRCUITS SHALL BE SIZED AS FOLLOWS:
   - BRANCH CIRCUITS LESS THAN 75 FEET SHALL BE A MINIMUM OF 12 AWG WIRE.
   - BRANCH CIRCUITS GREATER THAN 75 FEET SHALL BE A MINIMUM OF 10 AWG WIRE.
   - BRANCH CIRCUITS GREATER THAN 125 FEET SHALL BE A MINIMUM OF 8 AWG WIRE.
   - BRANCH CIRCUITS GREATER THAN 175 FEET SHALL BE A MINIMUM OF 6 AWG WIRE.
8. 20 AMP, 277 VOLT, SINGLE PHASE CIRCUITS SHALL BE SIZED AS FOLLOWS:
   - BRANCH CIRCUITS LESS THAN 125 FEET SHALL BE A MINIMUM OF 12 AWG WIRE.
   - BRANCH CIRCUITS GREATER THAN 125 FEET SHALL BE A MINIMUM OF 10 AWG WIRE.
   - BRANCH CIRCUITS GREATER THAN 175 FEET SHALL BE A MINIMUM OF 8 AWG WIRE.
   - BRANCH CIRCUITS GREATER THAN 250 FEET SHALL BE A MINIMUM OF 6 AWG WIRE.
9. OTHER BRANCH CIRCUITS AND FEEDERS:
   OTHER BRANCH CIRCUITS, FEEDERS AND VOLTAGE COMBINATIONS, SHALL BE SIZED TO COMPLY WITH THE NATIONAL ELECTRICAL CODE AND AS INDICATED ON THE DRAWINGS.

LIGHT FIXTURE SCHEDULE

TYPE	MFR.	CATALOG NUMBER	LAMP TYPE	LAMP COLOR TEMP.	LAMP LUMENS	ELECTRICAL INPUT WATT	ELECTRICAL INPUT VOLT	DRIVER TYPE	FIXTURE MOUNTING	FIXTURE DESCRIPTION	NOTE
A	VISIONAIRE	VLX-1-T3-96LC-5-5K-5-AM-BK_CLS-UPMA-S; SNTS 4S 7 25' 12BC 136 S1 BK	LED	5000K	18963	159	480V	NON DIMMING	CONCRETE BASE, REFER TO DETAIL #2 / E12	LIGHTING STANDARD W/ TYPE 3 OPTICS & BACK SITE CUTOFF SHIELD 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH	
B	VISIONAIRE	MLB-2-T3-5-5K-UNV-WM-BZ-PC120	LED	5000K	6461	77.7	120-277V	NON DIMMING	WALL	EXTERIOR WALL SCONCE INTEGRAL PHOTOCELL CONTROL BRONZE FINISH	
C	VISIONAIRE	VLX-1-T2-128LC-7-5K-5-AM-BK_UPMA-S; SNTS 4S 7 25' 12BC 136 S1 BK	LED	5000K	32360	285	480V	NON DIMMING	CONCRETE BASE, REFER TO DETAIL #2 / E12	LIGHTING STANDARD W/ TYPE 2 OPTICS 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH	
D	VISIONAIRE	VLX-1-T4-192LC-7-5K-5-WM-BK_BAWP	LED	5000K	45061	421	480V	NON DIMMING	CONCRETE BASE, REFER TO DETAIL #2 / E12	WALL MOUNT AREA LIGHT W/ TYPE 4 OPTICS BLACK FINISH	
E	VISIONAIRE	(2) VMF 7X5 96LC 7 5K 5 KM BK; RCA-2 36 2-3/8-BK; SNTS 4S 7 25' 12BC 136 T238R BK	LED	5000K	2 @ 24714	424	480V	NON DIMMING	CONCRETE BASE, REFER TO DETAIL #2 / E12	POLE MOUNT FIXTURE W/ DUAL FLOOD LIGHTS W/ BULLHORN BRACKET 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH	
F	VISIONAIRE	VLX-1-T4-192LC-7-5K-5-AM-BK_UPMA-S; SNTS 5S 7 28' 12BC 136 S1 BK	LED	5000K	45061	421	480V	NON DIMMING	CONCRETE BASE, REFER TO DETAIL #2 / E12	LIGHTING STANDARD W/ TYPE 4 OPTICS 28 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH	
G	VISIONAIRE	VLX-1-T2-128LC-5-5K-5-AM-BK_UPMA-S; SNTS 4S 7 25' 12BC 136 S1	LED	5000K	25950	215	480V	NON DIMMING	CONCRETE BASE, REFER TO DETAIL #2 / E12	LIGHTING STANDARD W/ TYPE 2 OPTICS 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH	

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REVISION | DATE | NO.

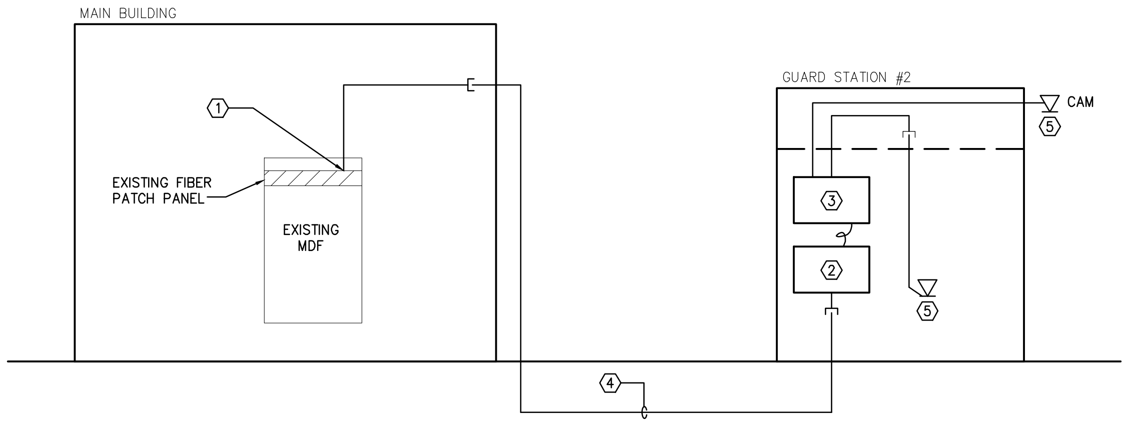
FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SCHEDULES

DESIGNED	DRAWN
NAV	KJB

PROJECT NO. N0940 9-20-00535-A

DATE AUGUST 2020

SHEET NO. E10



1 E11 VOICE DATA RISER DIAGRAM

NOT TO SCALE

NOTES:

1. PROVIDE AN OS2 LC CONNECTOR MODULAR PATCH PANEL. EITHER INSTALL IN EXISTING MODULAR PATCH PANEL OR PROVIDE NEW PATCH PANEL. PROVIDE A 1000 BASE-LX SFP TRANSCEIVER AT BOTH ENDS OF THE FIBER CABLES.
2. PROVIDE A WALL MOUNT OS2 LC CONNECTOR PATCH PANEL. VERIFY LOCATION WITH PRE-FAB UNIT MANUFACTURER AND GENERAL CONTRACTOR.
3. NETWORK SWITCH BY OTHERS.
4. PROVIDE 6-STRAND OS2 SINGLE MODE FIBER TYPE OFCP INDOOR/OUTDOOR WITH INTERLOCKED ALUMINUM ARMOR AND SUITABLE FOR DIRECT BURIAL. REFER TO KEYED NOTE #5 ON SHEET E6 FOR FURTHER INFORMATION.
5. REFER TO PLANS FOR DATA OUTLET LOCATIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH PRE-FAB MANUFACTURER AND GENERAL CONTRACTOR.

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NO.	DATE	REVISION
#	#	
#	#	
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#	#	
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
VOICE DATA RISER DIAGRAM

DESIGNED	DRAWN
JAF	GYV

PROJECT NO. N0940 9-20-00535-A

DATE AUGUST 2020

SHEET NO. E11

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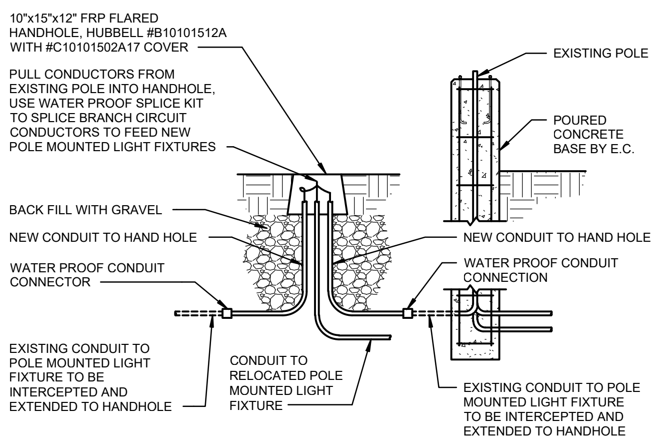
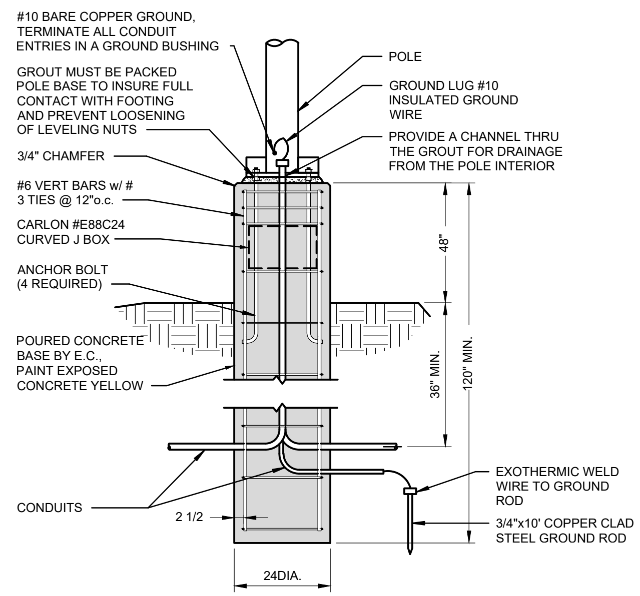
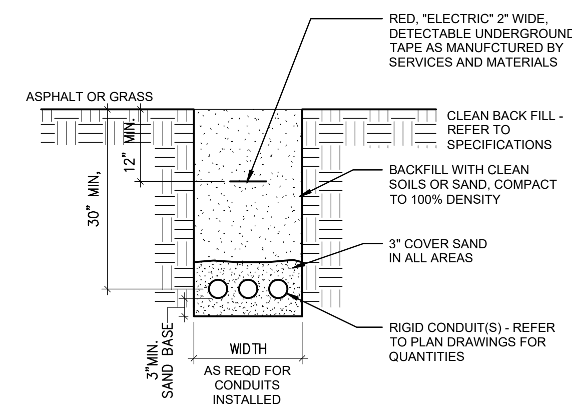


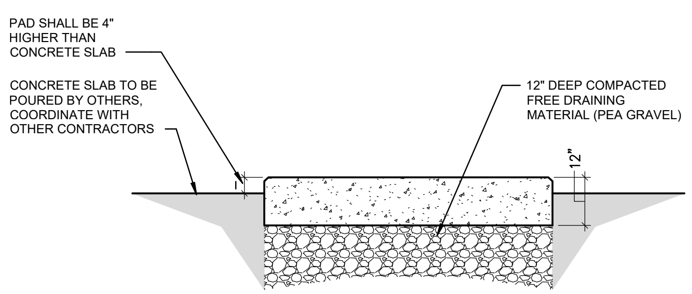
1 E12 HAND HOLE DETAIL
NOT TO SCALE



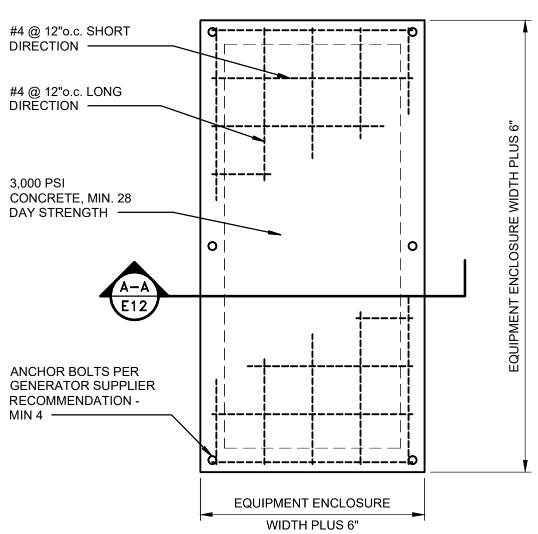
2 E12 POLE BASE DETAIL
NOT TO SCALE



3 E12 TYPICAL CONDUIT TRENCH DETAIL
NOT TO SCALE



A-A E12 EQUIPMENT PAD – SECTION A-A
SCALE: 1/2" = 1'-0"



4 E12 EQUIPMENT PAD – PLAN VIEW
NOT TO SCALE

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NO.	DATE	REVISION
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL DETAILS

DESIGNED	DRAWN
JAF	GYV

PROJECT NO. N0940 9-20-00535-A
DATE AUGUST 2020
SHEET NO. E12

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reibold, W:\PROJECTS\N0940\92000535\CADD\Civil3D\plan sheets\E12 ELECTRICAL DETAILS.dwg, Plot Date: 8/25/2020 3:55 PM, xrefs: (x-nestle site proposed, x-exist topo scannell record drawing)

Village of Little Chute
Engineering Department

REQUEST FOR BOARD'S CONSIDERATION

ITEM DESCRIPTION:	Pine Street Parking Lot Alternatives
REPORT PREPARED BY:	Christopher L. Murawski, P.E.
REPORT DATE:	September 10, 2020

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report _____
See additional comments attached _____

EXPLANATION: Village staff have been working on two preliminary layouts for the Proposed Pine Street Parking Lot configuration.

The proposed improvements is considered a redevelopment project and will require additional storm water management improvements for water quality. However, these requirements are less restrictive than for new development and can most likely be provided in the green space area provided. It is most likely that a bio-swale will accommodate the needs of this project and not a pond with a normal water surface.

Alternate 1 – an attached exhibit is providing for a pedestrian mall to be created between the two existing buildings while providing pedestrian access to Main Street for the proposed parking lot. Although vehicle access to Main Street will be removed, public access to the parking area would remain from Grand Avenue and Vandenbroek Street. The vacation of Pine Street further to the south provides an excellent opportunity to provide additional parking for the downtown area while also allowing for additional open space for pedestrians and other special event activities.

Alternate 2- is provided to show that vehicle access from Main Street can still be provided with 11-ft. sidewalks on both sides of a 15-ft wide one way street. This layout could still accomplish a pedestrian mall atmosphere by blocking off vehicle access from Main Street during special events. Removable decorative chains or fencing could be installed when vehicle access is not desired.

RECOMMENDATION: These alternatives are being provided for discussion purposes. Village staff is seeking direction from the planning commission and the Village Board as to their opinion on how to best utilize this space. Other options for discussion is also open and is not limited to the two alternatives provided.

GRAND AVENUE

PARCEL LINE (TYP.)

514 GRAND AVE.
HILST/DERMIT LLP
PRCL. NO. 260043500

EXIST. ASPH.

30 0 30 60
1"=30'

EXIST. ASPH.

GRAND AVE.
VILLAGE OF LITTLE CHUTE
PRCL. NO. 260043300

VILLAGE OF LITTLE CHUTE PRCL. NO. 260043200

532 GRAND AVE.
BIRR INVESTMENTS LLC
PRCL. NO. 260043000

106 E. MAIN ST.
SETH'S COFFEE

EXIST. CONC.

EXIST. ASPH.

111/113 E. MAIN ST.
JULBILLIE LLC
PRCL. NO. 260043100

PROPOSED CURB & GUTTER BUMP-OUT

EXIST. ASPH.

VILLAGE PARCELS

8

9

517 PINE ST.
GNH ENTERPRISES, LLC
PRCL. NO. 260044800

VILLAGE OF LITTLE CHUTE PRCL. NO. 260044900

PROPOSED PEDESTRIAN MALL

323 PINE ST.
ST. JOHN NEPOMUCENE PARISH
PRCL. NO. 260044200

PROP. ASPH.

PROP. ASPH.

VILLAGE OF LITTLE CHUTE
PRCL. NO. 260042800

6

POND

PROP. ASPH.

6

10

PINE STREET

EXIST. ASPH.

PROP. ASPH.

VILLAGE OF LITTLE CHUTE
PRCL. NO. 260042900

PROPOSED RAMP (TYP.)

119 & 121 E. MAIN ST.
S & S REAL ESTATE
ENTERPRISES LLC
PRCL. NO. 260041200

MAIN STREET

EXIST. CONC.

500 PINE ST.
VILLAGE OF LITTLE CHUTE
PRCL. NO. 260042700

12

EXIST. ASPH.

127 E. MAIN ST.
VANDERLOOP REAL ESTATE LLC
PRCL. NO. 260041300

500 PINE ST.
VILLAGE OF LITTLE CHUTE
PRCL. NO. 260042000

511 VANDENBROEK ST.
REBECCA VANGOMPEL
PRCL. NO. 260041900

519 VANDENBROEK ST.
PL219TRIER LLC
PRCL. NO. 260041800

VILLAGE OF LITTLE CHUTE PRCL. NO. 260041700

133 E. MAIN ST.
KERKHOFF PROPERTIES LLC
PRCL. NO. 260041500

Q:\Dept of Public Works\Engineering Department\2000 - Municipal Projects\Pine St - Main - Vocation\Parking Lot.dwg; 9/9/2020 3:20:11 PM; ROBERT OLKIEWICZ; ----

Little Chute
ENGINEERING DEPARTMENT
108 West Main Street
Little Chute, Wisconsin 54140

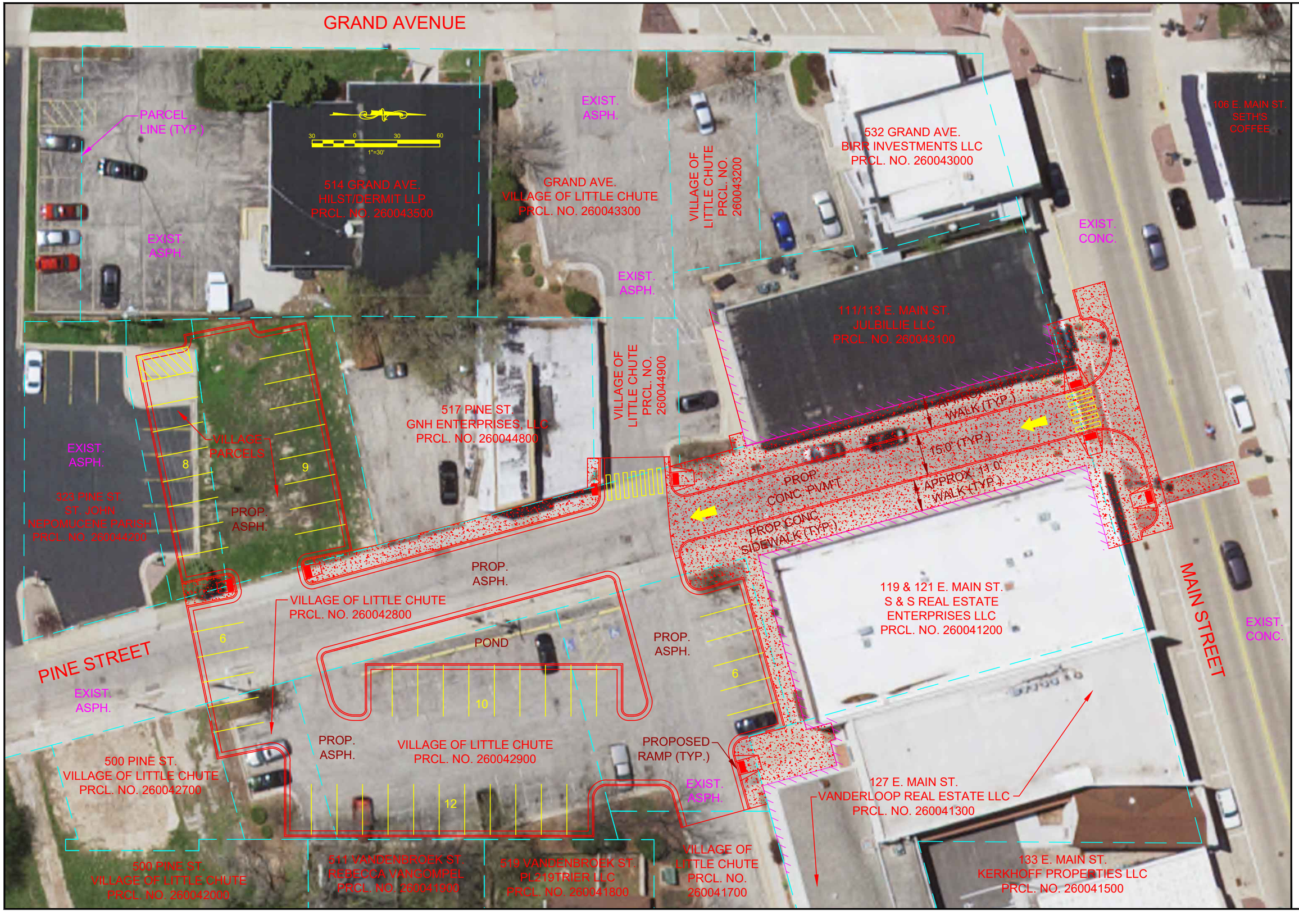
PINE STREET - PEDESTRIAN MALL & PARKING LOT LAYOUT
PRELIMINARY DESIGN
VILLAGE OF LITTLE CHUTE, WISCONSIN

Issued

Rev	Date	Description

Designed: REO
Drawn: REO
Checked: CLM
Approved:

PROJECT NUMBER
EXHIBIT
SHEET REFERENCE NUMBER
Alternate 1



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Little Chute
ENGINEERING DEPARTMENT
108 West Main Street
Little Chute, Wisconsin 54140

PINE STREET - ONE WAY STREET & PARKING LOT LAYOUT PRELIMINARY DESIGN

VILLAGE OF LITTLE CHUTE, WISCONSIN

Issued

Rev	Date	Description

Designed: REO
Drawn: REO
Checked: CLM
Approved:

PROJECT NUMBER
EXHIBIT
SHEET REFERENCE NUMBER
Alternate 2

1851 EAST ELM DRIVE CONDOMINIUM

ALL OF LOT 38 INDUSTRIAL PARK PLAT LOCATED IN THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 14, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

AREA CALCULATIONS

UNIT 1 = 2,500 S.F.
LIMITED COMMON ELEMENT UNIT 1 = 15,741 S.F.

UNIT 2=7,200 S.F.
LIMITED COMMON ELEMENT UNIT 2 = 15,277 S.F.

COMMON ELEMENT = 7,283 S.F.

TOTAL AREA = 48,000 S.F.

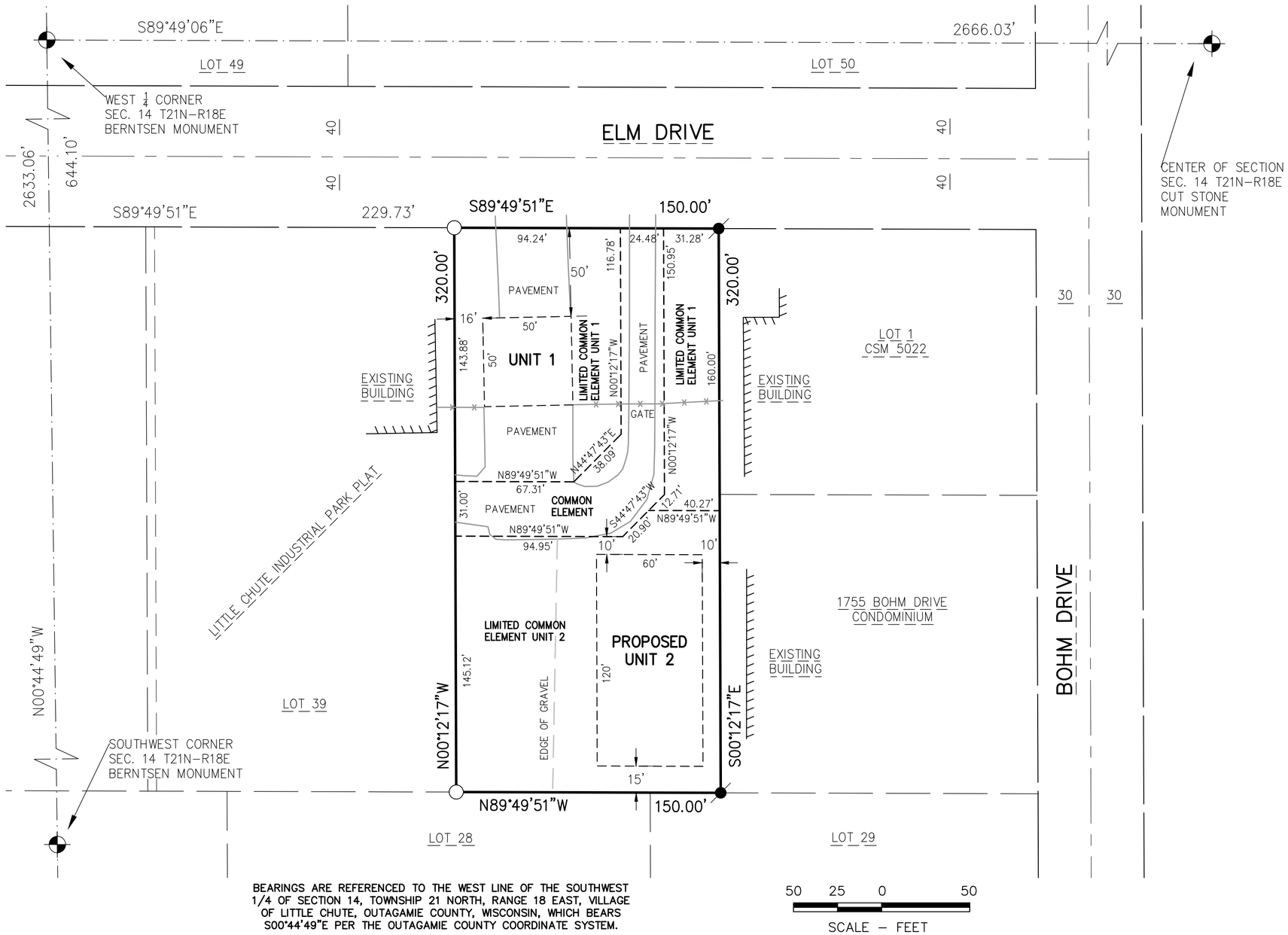
NOTES:

A SITE PLAN UNDER SECTION 44-464 IS REQUIRED FOR ALL INDUSTRIAL DISTRICT DEVELOPMENT (PROPOSED UNIT 2)

THIS CONDOMINIUM PLAT IS SUBJECT TO A CONDOMINIUM DECLARATION RECORDED BY SEPARATE INSTRUMENT.

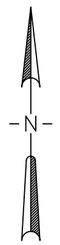
SURVEYOR'S CERTIFICATE:
I, DAVID M. SCHMALZ, PROFESSIONAL WISCONSIN LAND SURVEYOR NO. 1284, DO HEREBY CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF THE CONDOMINIUM DESCRIBED AND THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.

_____
DAVID M. SCHMALZ–PLS #1284 DATED



LEGEND

- ○ – 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- ⦁ – 3/4" ROUND STEEL REBAR FOUND
- ⊕ – CERTIFIED LAND CORNER OUTAGAMIE COUNTY
- ( ) – RECORDED BEARING AND/OR DISTANCE
- S.F. – SQUARE FEET
- –x– – EXISTING FENCE



Condominium Description: All of Lot 38 Industrial Park Plat located in the Northwest 1/4 of the Southwest 1/4 of Section 14, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin. containing 48,000 square feet (1.102 acres) of land

FOR: –PETER VANDEN HEUVEL
–ROBERT VANDEN HEUVEL
–1921 W. MAIN ST.
–LITTLE CHUTE, WI 54911

CONDOMINIUM ADDRESS:
1851 EAST ELM DRIVE
LITTLE CHUTE, WISCONSIN

McMAHON ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN, WHICH BEARS S00°44'49"E PER THE OUTAGAMIE COUNTY COORDINATE SYSTEM.

djohnson, W:\PROJECTS\V0609\92000640\CADD\Civil3D\Survey Documents\CONDO\1851 E. Elm Dr. Condominium.dwg, 22x14–condoplat, Plot Date: 9/10/2020 12:43 PM, xrefs:none