



AGENDA

REGULAR BOARD MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, September 16, 2020
TIME: 6:00 p.m.

Virtually attend the September 16th Regular Board meeting at 6 PM by following the link here:

- <https://www.gotomeet.me/JamesFenlon/september-16th-regular-board-meeting>
Call-in Information: ++1 (408) 650-3123 Access Code: 860-050-253

For further details please refer to additional Information immediately following agenda.

REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Roll call of Trustees
- C. Roll call of Officers and Department Heads
- D. Public Appearance for Items Not on the Agenda
- E. Consent Agenda
Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.
 - 1. Minutes of the Regular Board of September 2, 2020
 - 2. Disbursement List
 - 3. Adopt Resolution No. 35, Series of 2020 Approving CSM 421 & 423 Hammen Ct
 - 4. Adopt Resolution No. 36, Series of 2020 Approving CSM 3100 Spirit Ct
- F. Other Informational Items—August Fire Monthly Report and August Monthly Report
- G. Public Hearing—Amending Zoning Code Section 44-46(D)
- H. Action— Adopt Ordinance No. 7, Series of 2020 Amending Zoning Code Section 44-46(D)
- I. Public Hearing—Conditional Use 1215 Buchanan

- J. Action—Conditional Use 1215 Buchanan
- K. Discussion/Action—Development Agreement with Nestle
- L. Discussion/Action— Nestle Site Improvements
- M. Discussion/Action—Hickory Drive Public Improvements
- N. Discussion/Action—Contractor for Hickory Drive Improvements
- O. Discussion/Action—DG Storage
- P. Discussion/Action—St. Johns Parking Lot
- Q. Discussion—Overview of Pine Street Parking Alternatives
- R. Discussion/Action—Ballfield Banner Spending Authority
- S. Discussion/Action—2020 Heesakker Park Deer Culling
- T. Discussion/Action Item—Revaluation Contract for 2021
- U. Discussion—Overview of Downtown Storm Sewer Project
- V. Discussion—Overview of Ebben Pond Storm Water
- W. Discussion/Action—Real Estate Inquiry Fees
- X. Discussion/Action—Trailview South Development Agreement
- Y. Presentation—Funding Street Reconstruction
- Z. Discussion—Covid-19 Updates
- AA. Department and Officers Progress Reports
- BB. Call for Unfinished Business
- CC. Items for Future Agenda
- DD. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, [email: Laurie@littlechutewi.org](mailto:Laurie@littlechutewi.org) Prepared: September 11, 2020



Information for the Regular Board Meeting – September 16th, 2020 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the September 16th Regular Board Meeting at 6:00 PM by following the link here: <https://www.gotomeet.me/JamesFenlon/september-16th-regular-board-meeting>
2. Call-in Information: United States: [+1 \(408\) 650-3123](tel:+14086503123) **Access Code:** 860-050-253
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE REGULAR BOARD MEETING OF SEPTEMBER 2, 2020

Call to Order: President Vanden Berg called the Regular Board Meeting to Order at 6:00 p.m.

Roll call of Trustees

PRESENT: Michael Vanden Berg, President
Brian Van Lankveldt, Trustee
Don Van Deurzen, Trustee
Larry Van Lankvelt, Trustee
Skip Smith, Trustee
Bill Peerenboom, Trustee
James Hietpas, Trustee

Roll call of Officers and Department Heads

PRESENT: James Fenlon, Village Administrator
Dave Kittel, Community Development Director
Lisa Remiker-DeWall, Finance Director
Tyler Claringbole, Village Attorney
Adam Breest, Director of Parks, Recreation and Forestry
Steve Thiry, Library Director
Kent Taylor, Director of Public Works
EXCUSED: Laurie Decker, Village Clerk
Chris Murawski, Village Engineer
Dan Meister, Fox Valley Metro Police Chief

Public Appearance for Items Not on the Agenda

None

Consent Agenda

Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.

1. Minutes of the Committee of the Whole Meeting of August 26, 2020
2. Disbursement List
3. Outdoor Alcohol Permit for Down The Hill

Moved by Trustee B. Van Lankveldt, seconded by Trustee Smith to Approve the Consent Agenda as presented

Ayes 7, Nays 0 – Motion Carried

Public Hearing—Pine Street Vacation

Moved by Trustee Smith, seconded by Trustee B. Van Lankveldt to enter into Public Hearing

Ayes 7, Nays 0 – Motion Carried

Director Kittel went over the vacation details of Pine Street as listed in the agenda packet and was available for questions or comments.

Moved by Trustee Smith, seconded by Trustee Van Deurzen to exit Public Hearing

Ayes 7, Nays 0 – Motion Carried

Presentation—Hickory Drive Construction

Administrator Fenlon introduced Mr. Nick Vande Hey from Mc Mahon Associates and Mr. Paul Diabartolo the Plant Manager from Nestle USA to explain the construction on Hickory Drive. Trustee Peerenboom questioned the development on the southside due to noise, the guard gate area width and trucks being able to park overnight. Mr. Diabartolo stated that trucks parking overnight will not be allowed and does not feel additional noise will be a problem. Also, to expand the guard gate you would need to add an additional guard shack which could happen in the future.

Action—Adopt Resolution No. 35, Series 2020 Vacating a portion of Pine Street and Church Street

Moved by Trustee Peerenboom, seconded by Trustee B. Van Lankveldt to Adopt Resolution No. 35, Series 2020, Vacating a portion of Pine Street and Church Street and dispersing property as presented

Ayes 7, Nays 0 – Motion Carried

Update—Pierce/Johnson Street Parking

Director Taylor updated the Board that staff brought out a fire truck with parked cars on both sides of the street and felt there is not enough room to safely have access for emergency vehicle or snowplows. The staff is recommending no parking on one side of the street from December 1st to April 1st.

Discussion—Ordinance Amendment to Zoning Code Article II Zoning Districts Section 44-46(d)

Director Kittel advised the board that staff is recommending an amendment to the above zoning ordinance to add special exceptions in the residential district to allow certain professional businesses in a residential area. Trustee Smith requested this amendment would only allow one business in at a time and Director Kittel advised that anyone that is allowed cannot be selling anything and would still have to apply for a conditional use permit from the Village.

Action—Wisconsin Economic Development Corporation Contract Renewal for 2020-2021

Administrator Fenlon presented the Board with the renewal information for WEDC Connect.

Moved by Trustee Smith, seconded by Trustee Van Deurzen to Approve the WEDC Contract Renewal for 2020-2021.

Ayes 7, Nays 0 – Motion Carried

Discussion/Action—Temporary Personnel Manual Change (Compensatory Time)

Administrator Fenlon presented the current policy 503 Limited Adjustment to compensatory time and is requesting an adjustment for the 2020 calendar year. The maximum requested would be extended to 80 hours from the current 40 hour maximum.

Moved by Trustee B. Van Lankveldt, seconded by Trustee Peerenboom to make a temporary change to the Personnel manual for compensatory time for the remainder of the 2020 year.

Ayes 7, Nays 0 – Motion Carried

Discussion Item—2020 Deer Culling

Director Breest presented the dates for deer culling which will be at Heesakker Park only due to construction. Trustee Smith asked if this would be affected by the construction workers and Director Breest advised it will not be a factor. Trustee Van Deurzen asked if it was possible to have designated spots for hunters and Director Breest advised that this would be possible if the Board makes that decision.

Discussion/Action—CARES Act Funding – Touchless Faucet/Plumbing Upgrades

Administrator Fenlon advised the board on the cost to the Village Hall upgrades related to Covid-19 and put it as not to exceed \$25,000. And apply for reimbursement through the CARES Act.

Moved by Trustee Peerenboom, seconded by Trustee B. Van Lankveldt to Approve the Village Hall upgrades as requested not to exceed \$25,000.

Roll Call Vote

| | |
|--------------------------|-----|
| Trustee Smith | Aye |
| Trustee Van Deurzen | Aye |
| Trustee L. Van Lankvelt | Nay |
| Trustee Hietpas | Aye |
| President Vanden Berg | Aye |
| Trustee Peerenboom | Aye |
| Trustee B. Van Lankveldt | Aye |

Ayes 6, Nays 1-(L. Van Lankvelt) – Motion Carried

Action—Van Lieshout Outdoor Patio Authorization and Budget Adjustment

Moved by Trustee B. Van Lankveldt, seconded by Trustee Peerenboom to execute funds that have been budgeted and donated to proceed with the Van Lieshout Patio

Roll Call Vote

| | |
|--------------------------|-----|
| Trustee B. Van Lankveldt | Aye |
| Trustee Smith | Aye |
| Trustee Van Deurzen | Aye |
| Trustee Peerenboom | Aye |
| Trustee L. Van Lankvelt | Aye |
| Trustee Hietpas | Aye |
| President Vanden Berg | Aye |

Ayes 7, Nays 0 – Motion Carried

Discussion—Covid-19 Updates

Administrator Fenlon went over updates as needed related to Covid-19.

Department and Officers Progress Reports

Departments and Officers provided progress reports to the Board

Call for Unfinished Business

None

Items for Future Agenda

None

Closed Session:

19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Development Proposal Review and Negotiation Discussions in TID #5 and TID #7*

Moved by Trustee Smith, seconded by Trustee Van Deurzen to enter into closed session

Ayes 7, Nays 0 – Motion Carried

Return to Open Session

Moved by Trustee Smith, seconded by Trustee Van Deurzen to exit closed session

Ayes 7, Nays 0 – Motion Carried

Action—Development Agreement with Resource One International

Moved by Trustee Peerenboom, seconded by Trustee B. Van Lankveldt to Direct the Village Staff to Approve the Development Agreement with Resource One International

Ayes 7, Nays 0 – Motion Carried

Adjournment

Moved by Trustee Smith, seconded by Trustee Peerenboom to Adjourn the Regular Board Meeting at 8:35 p.m.

Ayes 7, Nays 0 – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

DISBURSEMENT LIST- September 16, 2020

| | |
|---|--------------|
| Payroll & Payroll Liabilities - September 3, 2020 | \$216,863.87 |
|---|--------------|

| | |
|--------------------------------------|------------|
| Prepaid Invoices - September 4, 2020 | \$6,979.93 |
|--------------------------------------|------------|

| | |
|---------------------------------------|-------------|
| Prepaid Invoices - September 11, 2020 | \$11,436.34 |
|---------------------------------------|-------------|

| | |
|--|--------------|
| Utility Commission- September 15, 2020 | \$170,319.31 |
|--|--------------|

CURRENT ITEMS

| | |
|---------------------------------|--------------|
| Bills List - September 16, 2020 | \$137,555.26 |
|---------------------------------|--------------|

| | |
|--|---------------------|
| Total Payroll, Prepaid & Invoices | \$543,154.71 |
|--|---------------------|

The above payments are recommended for approval:

Rejected: _____

Approved September 16, 2020

Michael R Vanden Berg, Village President

Laurie Decker, Clerk

Report Criteria:

Invoice Detail.Voided = {=} FALSE

| Invoice | Description | Total Cost | Period | GL Account |
|--|---|------------|--------|---------------|
| 1000 ISLANDS ENVIRONMENTAL CTR | | | | |
| 081820 | INSTRUCTOR FOR EXPLORE NATURE | 150.00 | 09/20 | 101-55300-204 |
| Total 1000 ISLANDS ENVIRONMENTAL CTR: | | 150.00 | | |
| AMERICAN FIDELITY ASSURANCE | | | | |
| D205306 | SEPTEMBER BILLING | 1,100.74 | 09/20 | 101-21367 |
| Total AMERICAN FIDELITY ASSURANCE: | | 1,100.74 | | |
| ASCENSION MEDICAL GROUP-FOX VALLEY WI | | | | |
| 390567 | EAP STANDARD SERVICE | 77.85 | 08/20 | 101-51780-204 |
| 390567 | EAP STANDARD SERVICE | 114.18 | 08/20 | 101-53310-204 |
| 390567 | EAP STANDARD SERVICE | 160.89 | 08/20 | 207-52120-204 |
| Total ASCENSION MEDICAL GROUP-FOX VALLEY WI: | | 352.92 | | |
| ASCENSION ST ELIZABETH HOSPITAL | | | | |
| 08/20 EL.FVMPD | AUGUST BLOOD DRAWS | 118.17 | 09/20 | 207-52120-204 |
| Total ASCENSION ST ELIZABETH HOSPITAL: | | 118.17 | | |
| AUTOMOTIVE SUPPLY CO | | | | |
| 60880793 | WHEEL ASSEMBLY #56 | 100.50 | 08/20 | 101-53330-225 |
| 60881150 | OIL FOR AIR COMPRESSOR | 67.92 | 08/20 | 101-53330-217 |
| CR204889 | BATTERY RETURN #46 | 98.07 | 08/20 | 101-53330-225 |
| Total AUTOMOTIVE SUPPLY CO: | | 70.35 | | |
| BEAR GRAPHICS INC | | | | |
| 854408 | OUTER ELECTION ENVELOPE CUSTOM IMPORT | 287.35 | 09/20 | 101-51440-206 |
| 854409 | ELECTION ENVELOPE CUSTOM IMPORT | 638.72 | 09/20 | 101-51440-206 |
| Total BEAR GRAPHICS INC: | | 926.07 | | |
| CITY OF APPLETON | | | | |
| 5253 | SEPTEMBER WEIGHTS & MEASURES | 580.00 | 09/20 | 101-52050-204 |
| Total CITY OF APPLETON: | | 580.00 | | |
| EAST WISCONSIN SAVINGS BANK | | | | |
| V LIESHOUT 9/1/20 | RENTAL FEE REFUND-CANCELLED DUE TO COVI | 60.00 | 09/20 | 101-34401 |
| V LIESHOUT 9/1/20 | SECURITY DEPOSIT REFUND-CANCELLED DUE T | 20.00 | 09/20 | 101-21235 |
| Total EAST WISCONSIN SAVINGS BANK: | | 80.00 | | |
| EHLERS INVESTMENT PARTNERS LLC | | | | |
| AUGUST 2020 | AUGUST INVESTMENT MANAGEMENT | 209.68 | 08/20 | 101-51780-229 |
| AUGUST 2020 | AUGUST INVESTMENT MANAGEMENT | 444.24 | 08/20 | 630-53444-229 |
| AUGUST 2020 | AUGUST INVESTMENT MANAGEMENT | 114.12 | 08/20 | 620-53924-229 |
| AUGUST 2020 | AUGUST INVESTMENT MANAGEMENT | 223.54 | 08/20 | 610-53614-229 |
| AUGUST 2020 | AUGUST INVESTMENT MANAGEMENT | 174.83 | 08/20 | 300-57331-229 |

| Invoice | Description | Total Cost | Period | GL Account |
|--|--|------------|--------|---------------|
| Total EHLERS INVESTMENT PARTNERS LLC: | | 1,166.41 | | |
| EVERGREEN POWER LLC | | | | |
| 7848 | CHAINSAW KIT | 354.98 | 08/20 | 101-52200-218 |
| Total EVERGREEN POWER LLC: | | 354.98 | | |
| FARRELL EQUIPMENT & SUPPLY CO INC | | | | |
| 1124365 | SAFETY VESTS | 26.38 | 09/20 | 101-53300-213 |
| 1124365 | SAFETY VESTS | 8.79 | 09/20 | 101-55200-213 |
| 1124365 | SAFETY VESTS | 8.79 | 09/20 | 101-55440-218 |
| 1124368 | SAFETY EAR MUFFS | 15.99 | 08/20 | 101-53300-213 |
| 1124368 | SAFETY EAR MUFFS | 15.99 | 08/20 | 101-55440-218 |
| Total FARRELL EQUIPMENT & SUPPLY CO INC: | | 75.94 | | |
| FERGUSON ENTERPRISES LLC #448 #1020 | | | | |
| 5704379 | POOL BATHROOM SINK REPLACEMENT | 56.94 | 08/20 | 204-55420-242 |
| Total FERGUSON ENTERPRISES LLC #448 #1020: | | 56.94 | | |
| FIRELINE SPRINKLER CORP | | | | |
| 6007-20-3 | QTRLY FIRE SPRINKLER INSPECTION | 90.00 | 08/20 | 101-53310-204 |
| Total FIRELINE SPRINKLER CORP: | | 90.00 | | |
| FLEMING, SARAH | | | | |
| V LIESHOUT 8/16/2 | SECURITY DEPOSIT REFUND | 20.00 | 09/20 | 101-21235 |
| Total FLEMING, SARAH: | | 20.00 | | |
| FONSECA, BEKKI | | | | |
| CFEST 082320 | SECURITY DEPOSIT REFUND | 50.00 | 09/20 | 101-21235 |
| Total FONSECA, BEKKI: | | 50.00 | | |
| FOX CITIES JANITORIAL | | | | |
| 10290 | MONTHLY CLEANING-LCFD | 200.00 | 09/20 | 101-52250-243 |
| 10290 | MONTHLY CLEANING-METRO | 795.00 | 09/20 | 207-52120-243 |
| Total FOX CITIES JANITORIAL: | | 995.00 | | |
| FP FINANCE PROGRAM | | | | |
| 27780244 | AGREEMENT 003-1584121 POSTBASE VISION-PO | 239.50 | 09/20 | 101-51650-226 |
| Total FP FINANCE PROGRAM: | | 239.50 | | |
| FUHRMANN, NATHAN | | | | |
| 090820 | HAUL BAND TRAILER 7 TIMES | 70.00 | 09/20 | 101-55480-202 |
| Total FUHRMANN, NATHAN: | | 70.00 | | |
| GARROW OIL | | | | |
| AUGUST 2020 | OFF ROAD DIESEL | 1.14 | 09/20 | 630-53441-247 |
| AUGUST 2020 | OFF ROAD DIESEL | 8.19 | 09/20 | 630-53442-247 |
| AUGUST 2020 | OFF ROAD DIESEL | 2.43 | 09/20 | 201-53620-247 |

| Invoice | Description | Total Cost | Period | GL Account |
|----------------------------------|---|------------|--------|---------------|
| AUGUST 2020 | OFF ROAD DIESEL | 265.93 | 09/20 | 101-55200-247 |
| AUGUST 2020 | OFF ROAD DIESEL | 6.65 | 09/20 | 101-55440-247 |
| AUGUST 2020 | OFF ROAD DIESEL | 2.90 | 09/20 | 610-53612-247 |
| AUGUST 2020 | OFF ROAD DIESEL | 11.56 | 09/20 | 620-53644-247 |
| AUGUST 2020 | OFF ROAD DIESEL | .87 | 09/20 | 101-53460-247 |
| AUGUST 2020 | OFF ROAD DIESEL | 116.78 | 09/20 | 101-53330-217 |
| Total GARROW OIL: | | 416.45 | | |
| GRAEF | | | | |
| 111444 | FOX RIVER BOARDWALK-DETAILED DESIGN | 3,661.76 | 09/20 | 420-57620-277 |
| Total GRAEF: | | 3,661.76 | | |
| GRIESBACH READY-MIX LLC | | | | |
| 5274 | CONCRETE-1000 MCKINLEY | 1,009.50 | 08/20 | 101-53300-215 |
| Total GRIESBACH READY-MIX LLC: | | 1,009.50 | | |
| GUNDERSON CLEANERS | | | | |
| 08-190710 | ALTERATIONS | 2.25 | 09/20 | 207-52120-212 |
| Total GUNDERSON CLEANERS: | | 2.25 | | |
| HEART OF THE VALLEY | | | | |
| 090820MP | AUGUST HOV METER PAYABLE | 6,580.00 | 08/20 | 610-21110 |
| Total HEART OF THE VALLEY: | | 6,580.00 | | |
| HIETPAS, MELISSA | | | | |
| CFEST 08/29/20 | SECURITY DEPOSIT REFUND | 50.00 | 09/20 | 101-21235 |
| Total HIETPAS, MELISSA: | | 50.00 | | |
| JET VAC ENVIRONMENTAL | | | | |
| 3020 | PRESSURE REGULATOR #8 | 1,632.85 | 09/20 | 101-53330-225 |
| Total JET VAC ENVIRONMENTAL: | | 1,632.85 | | |
| KERRY'S VROOM SERVICE INC | | | | |
| 9419 | OIL & FILTER CHANGE/NEW BRAKES & ROTORS - | 627.13 | 09/20 | 207-52120-247 |
| 9420 | OIL & FILTER CHANGE - UNIT#191 | 43.47 | 09/20 | 207-52120-247 |
| 9424 | OIL & FILTER CHANGE - UNIT#92 | 43.47 | 09/20 | 207-52120-247 |
| 9425 | OIL & FILTER CHANGE/NEW BATTERY #93 | 341.62 | 09/20 | 207-52120-247 |
| Total KERRY'S VROOM SERVICE INC: | | 1,055.69 | | |
| LABREC, SHARON | | | | |
| HEESAKKER 08/15 | SECURITY DEPOSIT REFUND | 20.00 | 09/20 | 101-21235 |
| Total LABREC, SHARON: | | 20.00 | | |
| LUEDTKE, MOLLIE | | | | |
| DOYLE 8/15/20 | SECURITY DEPOSIT REFUND | 20.00 | 09/20 | 101-21235 |
| Total LUEDTKE, MOLLIE: | | 20.00 | | |

| Invoice | Description | Total Cost | Period | GL Account |
|------------------------------|---------------------------|------------|--------|---------------|
| MACQUEEN EQUIPMENT | | | | |
| P16341 | SEAL KIT #14 | 120.15 | 09/20 | 101-53330-225 |
| Total MACQUEEN EQUIPMENT: | | 120.15 | | |
| MADISON NATIONAL LIFE | | | | |
| 1408428 | OCTOBER LTD | 925.94 | 09/20 | 101-21385 |
| 1408428 | OCTOBER LIFE | 391.19 | 09/20 | 101-21391 |
| Total MADISON NATIONAL LIFE: | | 1,317.13 | | |
| MARTINEZ, AZUCENA | | | | |
| VLIESHOUT 8/23/2 | SECURITY DEPOSIT REFUND | 20.00 | 09/20 | 101-21235 |
| Total MARTINEZ, AZUCENA: | | 20.00 | | |
| MATTHEWS TIRE | | | | |
| 260564 | 2 NEW TIRES SQUAD #182 | 559.66 | 09/20 | 207-52120-247 |
| Total MATTHEWS TIRE: | | 559.66 | | |
| MCC INC | | | | |
| 241447 | DENSE CRUSHER RUN | 152.25 | 09/20 | 101-53330-216 |
| 241447 | DENSE CRUSHER RUN | 74.83 | 09/20 | 101-53300-215 |
| Total MCC INC: | | 227.08 | | |
| MCCLONE | | | | |
| 2170 | 4TH QTR GENERAL LIABILITY | 2,293.00 | 09/20 | 201-53620-231 |
| 2170 | 4TH QTR GENERAL LIABILITY | 2,711.00 | 09/20 | 101-51900-231 |
| 2170 | 4TH QTR GENERAL LIABILITY | 3,963.00 | 09/20 | 101-52250-231 |
| 2170 | 4TH QTR GENERAL LIABILITY | 938.00 | 09/20 | 207-52120-231 |
| 2170 | 4TH QTR GENERAL LIABILITY | 104.00 | 09/20 | 620-53924-231 |
| 2170 | 4TH QTR GENERAL LIABILITY | 417.00 | 09/20 | 630-53444-231 |
| 2170 | 4TH QTR POLICE LIABILITY | 4,103.00 | 09/20 | 207-52120-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 4,572.00 | 09/20 | 101-51900-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 64.00 | 09/20 | 101-52250-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 361.00 | 09/20 | 201-53620-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 202.00 | 09/20 | 204-55420-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 52.00 | 09/20 | 206-55110-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 5,395.00 | 09/20 | 207-52120-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 520.00 | 09/20 | 101-51900-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 435.00 | 09/20 | 610-53614-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 414.00 | 09/20 | 620-53924-231 |
| 2170 | 4TH QTR AUTO LIABILITY | 843.00 | 09/20 | 630-53444-231 |
| 2170 | 4TH QTR WORKERS COMP | 240.00 | 09/20 | 101-51900-230 |
| 2170 | 4TH QTR WORKERS COMP | 55.00 | 09/20 | 207-52120-230 |
| 2170 | 4TH QTR WORKERS COMP | 25.00 | 09/20 | 610-53614-230 |
| 2170 | 4TH QTR WORKERS COMP | 24.00 | 09/20 | 620-53924-230 |
| 2170 | 4TH QTR WORKERS COMP | 19.00 | 09/20 | 630-53444-230 |
| 2170 | 4TH QTR WORKERS COMP | 11,535.00 | 09/20 | 101-51900-230 |
| 2170 | 4TH QTR WORKERS COMP | 2,343.00 | 09/20 | 201-53620-230 |
| 2170 | 4TH QTR WORKERS COMP | 694.00 | 09/20 | 204-55420-230 |
| 2170 | 4TH QTR WORKERS COMP | 179.00 | 09/20 | 206-55110-230 |
| 2170 | 4TH QTR WORKERS COMP | 871.00 | 09/20 | 610-53614-230 |
| 2170 | 4TH QTR WORKERS COMP | 2,308.00 | 09/20 | 630-53444-230 |
| 2170 | 4TH QTR WORKERS COMP | 943.00 | 09/20 | 620-53924-230 |

| Invoice | Description | Total Cost | Period | GL Account |
|------------------------------------|---|------------|--------|---------------|
| 2170 | 4TH QTR WORKERS COMP | 10,266.00 | 09/20 | 207-52120-230 |
| 2170 | 4TH QTR WORKERS COMP | 1,371.00 | 09/20 | 101-52250-230 |
| 2170 | 4TH QTR WORKERS COMP | 370.00 | 09/20 | 620-53924-230 |
| Total MCCLONE: | | 58,630.00 | | |
| MCMAHON ASSOCIATES INC | | | | |
| 919693 | NORTH SIDE STORM SEWER INTERCEPTOR | 6,648.05 | 09/20 | 416-57600-261 |
| Total MCMAHON ASSOCIATES INC: | | 6,648.05 | | |
| NEWS PUBLISHING CO INC | | | | |
| 488343 | EMPLOYMENT AD-DPW/PARKS | 105.60 | 09/20 | 101-53310-207 |
| 488344 | PUBLIC HEARING-ZONING CHANGE | 37.78 | 09/20 | 101-51440-227 |
| 488345 | PUBLIC HEARING-CONDITIONAL USE | 38.78 | 09/20 | 101-51440-227 |
| 488969 | PUBLIC HEARING-PINE ST | 28.89 | 09/20 | 101-51440-227 |
| 488970 | PUBLIC HEARING-ZONING CHANGE | 30.85 | 09/20 | 101-51440-227 |
| 489534 | PUBLIC HEARING-PINE ST | 22.82 | 09/20 | 101-51440-227 |
| 490057 | CIVIL ENGINEER JOB POSTING | 183.60 | 09/20 | 101-51415-227 |
| 490058 | PUBLIC HEARING-PINE ST | 23.82 | 09/20 | 101-51440-227 |
| Total NEWS PUBLISHING CO INC: | | 472.14 | | |
| O'REILLY AUTOMOTIVE INC | | | | |
| 2043-222977 | COOLANT ADAPTER #45 | 42.26 | 09/20 | 101-53330-225 |
| 2043-229166 | TIRE VALVE #39 | 2.97 | 09/20 | 101-53330-225 |
| 2043-230207 | HUB ASSEMBLY #90 | 151.83 | 09/20 | 101-53330-225 |
| 2043-230544 | FLASHER #88 | 18.99 | 09/20 | 101-53330-225 |
| Total O'REILLY AUTOMOTIVE INC: | | 216.05 | | |
| OUTAGAMIE COUNTY TREASURER | | | | |
| 14633 | AUGUST SANITATION FEES | 13,262.40 | 08/20 | 201-53620-204 |
| 14633 | AUGUST SANITATION FEES | 590.52 | 08/20 | 630-53442-204 |
| AUGUST 2020 | AUGUST COURT FINES | 320.00 | 08/20 | 101-35101 |
| Total OUTAGAMIE COUNTY TREASURER: | | 14,172.92 | | |
| PERZ, KARI | | | | |
| 082420 | REFUND JETS FOOTBALL | 60.00 | 09/20 | 101-34431 |
| Total PERZ, KARI: | | 60.00 | | |
| R.N.O.W. INC | | | | |
| 2020-58581 | DRAIN KIT WITH HOSE #81 | 842.08 | 09/20 | 101-53330-225 |
| Total R.N.O.W. INC: | | 842.08 | | |
| RAILWORKS TRACK SYSTEMS INC | | | | |
| 188223 | TRACK & SWITCH MAINTENANCE | 24,000.00 | 09/20 | 101-53300-246 |
| Total RAILWORKS TRACK SYSTEMS INC: | | 24,000.00 | | |
| RASCHKA, JENEL | | | | |
| CFEST 09/20/20 | RENTAL FEE REFUND-CANCELLED DUE TO COVI | 110.00 | 09/20 | 101-34401 |
| CFEST 09/20/20 | SECURITY DEPOSIT REFUND-CANCELLED DUE T | 50.00 | 09/20 | 101-21235 |

| Invoice | Description | Total Cost | Period | GL Account |
|--|----------------------------|------------|--------|---------------|
| Total RASCHKA, JENEL: | | 160.00 | | |
| REINDERS INC | | | | |
| 2689043 | PVC COUPLINGS | 2.66 | 09/20 | 101-55200-218 |
| 2689052 | PVC COUPLINGS | 2.66 | 09/20 | 101-55200-218 |
| 2689217 | LAWN SEED MIX | 62.25 | 09/20 | 101-55200-215 |
| 2689813 | LAWN SEED MIX & FERTILIZER | 314.93 | 09/20 | 101-55200-215 |
| Total REINDERS INC: | | 382.50 | | |
| ROOVERS, NICK | | | | |
| CFEST 9/5/20 | SECURITY DEPOSIT REFUND | 50.00 | 09/20 | 101-21235 |
| Total ROOVERS, NICK: | | 50.00 | | |
| STATE OF WI COURT FINES & AUGUST 2020 AUGUST COURT FINES | | | | |
| Total STATE OF WI COURT FINES &: | | 1,306.41 | 08/20 | 101-35101 |
| SWINKLES TRUCKING & EXCAVATING CORP | | | | |
| 43675 | PULVERIZED TOPSOIL | 182.00 | 09/20 | 101-55200-215 |
| Total SWINKLES TRUCKING & EXCAVATING CORP: | | 182.00 | | |
| TANK, LORI | | | | |
| 090920 | REFUND NOV/DEC YOGA | 40.00 | 09/20 | 208-34413 |
| Total TANK, LORI: | | 40.00 | | |
| TAPCO | | | | |
| CM016661 | TRAFFIC SIGNS RETURNED | 78.80 | 09/20 | 101-53300-218 |
| I676701 | NO THRU TRAFFIC SIGNS | 119.49 | 09/20 | 101-53300-218 |
| Total TAPCO: | | 40.69 | | |
| TERRY, AMBER | | | | |
| HEESAKKER 8/22/ | SECURITY DEPOSIT REFUND | 20.00 | 09/20 | 101-21235 |
| Total TERRY, AMBER: | | 20.00 | | |
| TIME WARNER CABLE | | | | |
| 09/20 70953560100 | SEPTEMBER/OCTOBER SERVICE | 220.80 | 09/20 | 101-51650-203 |
| Total TIME WARNER CABLE: | | 220.80 | | |
| TRANSAMERICA LIFE INSURANCE COMPANY | | | | |
| 2503884441 | SEPTEMBER BILLING | 467.36 | 09/20 | 101-21364 |
| Total TRANSAMERICA LIFE INSURANCE COMPANY: | | 467.36 | | |
| UNIFIRST CORPORATION | | | | |
| 0970315759 | SHIRTS/PANTS | 4.51 | 09/20 | 101-53330-213 |
| 0970315759 | LAUNDRY BAGS/WIPERS | 15.50 | 09/20 | 101-53330-218 |
| 0970316224 | SHIRTS/PANTS | 4.51 | 09/20 | 101-53330-213 |
| 0970316224 | LAUNDRY BAGS/WIPERS | 15.50 | 09/20 | 101-53330-218 |

| Invoice | Description | Total Cost | Period | GL Account |
|--------------------------------------|-------------------------------|------------|--------|---------------|
| Total UNIFIRST CORPORATION: | | 40.02 | | |
| US VENTURE | | | | |
| L66087 | #8 SPECTRO V100 WATER AF FUEL | 20.00 | 09/20 | 101-53330-204 |
| Total US VENTURE: | | 20.00 | | |
| VALLEY LIQUOR | | | | |
| 860629 | BEVERAGES AND SUPPLIES | 149.45 | 09/20 | 101-52200-211 |
| 863842 | BEVERAGES | 145.95 | 09/20 | 101-52200-211 |
| Total VALLEY LIQUOR: | | 295.40 | | |
| VANDEN HOGEN, CLARE | | | | |
| 081820 | REFUND SEPT/OCT YOGA | 40.00 | 09/20 | 208-34413 |
| Total VANDEN HOGEN, CLARE: | | 40.00 | | |
| VANDERLOOP, AMY | | | | |
| 091020 | REFUND END OF SUMMER BASH | 8.00 | 09/20 | 101-34413 |
| Total VANDERLOOP, AMY: | | 8.00 | | |
| VON BRIESEN & ROPER S.C. | | | | |
| 330069 | GENERAL LABOR | 4,624.15 | 09/20 | 207-52120-262 |
| Total VON BRIESEN & ROPER S.C.: | | 4,624.15 | | |
| WELLS FARGO FINANCIAL LEASING | | | | |
| 5011792033 | SEPTEMBER COPIER LEASE | 450.00 | 09/20 | 101-53310-207 |
| 5011792033 | SEPTEMBER COPIER LEASE | 803.15 | 09/20 | 101-51650-207 |
| Total WELLS FARGO FINANCIAL LEASING: | | 1,253.15 | | |
| WI DEPT OF JUSTICE | | | | |
| L4504T 08/20 | AUGUST BACKGROUND CHECKS | 174.00 | 09/20 | 207-52120-218 |
| Total WI DEPT OF JUSTICE: | | 174.00 | | |
| Grand Totals: | | 137,555.26 | | |

Report GL Period Summary

Vendor number hash: 218575
Vendor number hash - split: 459184
Total number of invoices: 83
Total number of transactions: 140

| Terms Description | Invoice Amount | Net Invoice Amount |
|-------------------|----------------|--------------------|
| Open Terms | 137,555.26 | 137,555.26 |

| Terms Description | Invoice Amount | Net Invoice Amount |
|-------------------|----------------|--------------------|
| Grand Totals: | 137,555.26 | 137,555.26 |

Report Criteria:

Invoice Detail.Voided = {=} FALSE

| Invoice | Type | Description | Total Cost | Terms | 1099 | Period | GL Account |
|---|-------|---------------------------------------|------------|-------|------|--------|---------------|
| ALERT-ALL CORPORATION (34) | | | | | | | |
| 220080101 | Invoi | FIRE SAFETY KITS | 267.00 | Open | Non | 08/20 | 101-52200-225 |
| Total ALERT-ALL CORPORATION (34): | | | 267.00 | | | | |
| AMPLITEL TECHNOLOGIES (4637) | | | | | | | |
| 16143 | Invoi | MICROSOFT OFFICE 365-AUGUST | 440.40 | Open | Non | 08/20 | 404-57190-208 |
| 16146 | Invoi | MONTHLY DATTO BACK-UP SERVICES 08/20 | 325.00 | Open | Non | 08/20 | 404-57190-204 |
| 16294 | Invoi | MICROSOFT OFFICE 365-SEPTEMBER | 440.40 | Open | Non | 09/20 | 404-57190-208 |
| 16297 | Invoi | MONTHLY DATTO BACK-UP SERVICES 09/20 | 325.00 | Open | Non | 09/20 | 404-57190-204 |
| 16307 | Invoi | MONTHLY ANTI-VIRUS SERVICE-SEPTEMBER | 210.00 | Open | Non | 09/20 | 404-57190-204 |
| Total AMPLITEL TECHNOLOGIES (4637): | | | 1,740.80 | | | | |
| ASSOCIATED APPRAISAL CONSULTANTS (1939) | | | | | | | |
| 150117 | Invoi | PROFESSIONAL SERVICES-SEPTEMBER | 1,975.00 | Open | Non | 09/20 | 101-51530-204 |
| Total ASSOCIATED APPRAISAL CONSULTANTS (1939): | | | 1,975.00 | | | | |
| EMERGENCY SVCS MARKETING CORP (4640) | | | | | | | |
| 20-20994 | Invoi | YEAR THREE OF THREE YEAR SUBSCRIPTION | 735.00 | Open | Non | 08/20 | 101-52200-208 |
| Total EMERGENCY SVCS MARKETING CORP (4640): | | | 735.00 | | | | |
| ENTERPRISE ELECTRIC INC (347) | | | | | | | |
| 20308 | Invoi | ELECTRICAL REPAIR @ DOYLE PARK | 240.00 | Open | Non | 08/20 | 204-55420-242 |
| Total ENTERPRISE ELECTRIC INC (347): | | | 240.00 | | | | |
| FASTENAL COMPANY (847) | | | | | | | |
| WIKIM257130 | Invoi | MARKING PAINT | 26.38 | Open | Non | 08/20 | 620-53644-251 |
| Total FASTENAL COMPANY (847): | | | 26.38 | | | | |
| FERGUSON ENTERPRISES LLC #448 #1020 (2046) | | | | | | | |
| 5677713 | Invoi | STAINLESS STEEL CHECK VALVE | 351.67 | Open | Non | 08/20 | 620-53644-254 |
| WN253011 | Invoi | GASKETS | 42.40 | Open | Non | 08/20 | 620-53604-257 |
| Total FERGUSON ENTERPRISES LLC #448 #1020 (2046): | | | 394.07 | | | | |
| KLINK HYDRAULICS LLC (5005) | | | | | | | |
| 11107 | Invoi | CAP NUT | 6.93 | Open | Non | 08/20 | 620-53644-247 |
| Total KLINK HYDRAULICS LLC (5005): | | | 6.93 | | | | |
| KRAMER AND RIDGE CO (4059) | | | | | | | |
| 194805 | Invoi | OIL & FUEL FILTER #21 | 49.88 | Open | Non | 08/20 | 101-53330-225 |
| 194872 | Invoi | OIL FILTER | 2.61 | Open | Non | 08/20 | 101-52200-242 |
| 194953 | Invoi | OIL FILTER | 34.98 | Open | Non | 08/20 | 101-53330-218 |
| 194983 | Invoi | OIL FILTER | 34.91 | Open | Non | 08/20 | 101-53330-218 |
| 194989 | Invoi | FILTER FOR BRIDGE PUMP | 62.59 | Open | Non | 08/20 | 101-52200-242 |
| Total KRAMER AND RIDGE CO (4059): | | | 184.97 | | | | |
| MCO (2254) | | | | | | | |
| 26184 | Invoi | JULY MILEAGE REIMBURSEMENT | 206.34 | Open | Non | 08/20 | 620-53644-247 |

| Invoice | Type | Description | Total Cost | Terms | 1099 | Period | GL Account |
|--|-------|--|------------|-------|------|--------|---------------|
| Total MCO (2254): | | | 206.34 | | | | |
| MGD INDUSTRIAL CORP (5118) | | | | | | | |
| 185153 | Invoi | SCREWS #46 | 1.91 | Open | Non | 08/20 | 101-53330-225 |
| Total MGD INDUSTRIAL CORP (5118): | | | 1.91 | | | | |
| PEPSI-COLA (3493) | | | | | | | |
| 33856308 | Invoi | BEVERAGES | 82.67 | Open | Non | 09/20 | 101-52200-211 |
| Total PEPSI-COLA (3493): | | | 82.67 | | | | |
| ROTTER ADVERTISING SPECIALISTS (2976) | | | | | | | |
| 6172 | Invoi | 2-PART PAY PLAN FORMS | 164.22 | Open | Non | 08/20 | 101-51680-206 |
| Total ROTTER ADVERTISING SPECIALISTS (2976): | | | 164.22 | | | | |
| TIME WARNER CABLE (89) | | | | | | | |
| 08/20 60703290180 | Invoi | AUGUST/SEPTEMBER SERVICE | 106.16 | Open | Non | 08/20 | 620-53924-203 |
| 08/20 70590040100 | Invoi | AUGUST/SEPTEMBER SERVICE | 62.54 | Open | Non | 08/20 | 101-52200-204 |
| Total TIME WARNER CABLE (89): | | | 168.70 | | | | |
| US AUTO FORCE (3672) | | | | | | | |
| 2688517 | Invoi | TIRES FOR #56 | 297.72 | Open | Non | 08/20 | 101-53330-225 |
| 2693097 | Invoi | SENSOR #56 | 24.00 | Open | Non | 08/20 | 101-53330-225 |
| Total US AUTO FORCE (3672): | | | 321.72 | | | | |
| VALLEY PEST CONTROL (3769) | | | | | | | |
| 554627 | Invoi | SPRAY EXTERIOR OF CIVIC CENTER/LIBRARY | 200.00 | Open | Non | 08/20 | 206-55110-243 |
| Total VALLEY PEST CONTROL (3769): | | | 200.00 | | | | |
| VERIZON WIRELESS (3606) | | | | | | | |
| 9860751261 | Invoi | JULY/AUGUST SERVICE | 64.22 | Open | Non | 08/20 | 620-53924-203 |
| Total VERIZON WIRELESS (3606): | | | 64.22 | | | | |
| WI ECONOMIC DEVELOPMENT CORP (4477) | | | | | | | |
| 5285 | Invoi | CONNECT COMMUNITIES FY21 PARTICIPATION F | 200.00 | Open | Non | 08/20 | 101-56700-208 |
| Total WI ECONOMIC DEVELOPMENT CORP (4477): | | | 200.00 | | | | |
| Grand Totals: | | | 6,979.93 | | | | |

Report GL Period Summary

Vendor number hash: 93599
 Vendor number hash - split: 93599
 Total number of invoices: 29
 Total number of transactions: 29

| Terms Description | Invoice Amount | Net Invoice Amount |
|-------------------|----------------|--------------------|
| Open Terms | 6,979.93 | 6,979.93 |
| Grand Totals: | 6,979.93 | 6,979.93 |

| Invoice | Type | Description | Total Cost | Terms | 1099 | Period | GL Account |
|---|------------|--------------------------------------|------------|-------|------|--------|---------------|
| 2020 UTILITY REFUNDS (5089) | | | | | | | |
| 125065013 | Invoi | OVERPAYMENT REFUND ACCT #1-250650-13 | 143.11 | Open | Non | 09/20 | 001-15000 |
| 125126607 | Invoi | OVERPAYMENT REFUND ACCT #1-251266-07 | 25.87 | Open | Non | 09/20 | 001-15000 |
| Total 2020 UTILITY REFUNDS (5089): | | | 168.98 | | | | |
| AMBROSIUS, WILLIE (1804) | | | | | | | |
| 8/13/20 - 8/20/20 | Invoi | MEN'S SOFTBALL SUPERVISOR | 30.00 | Open | Non | 09/20 | 101-55300-111 |
| 8/13/20 - 8/20/20 | Invoi | MEN'S SOFTBALL UMPIRE | 175.50 | Open | Non | 09/20 | 101-55300-111 |
| Total AMBROSIUS, WILLIE (1804): | | | 205.50 | | | | |
| AMERICAN FIDELITY ASSURANCE (4885) | | | | | | | |
| 2078450 | Invoi | FLEX SPENDING AUGUST | 1,322.92 | Open | Non | 09/20 | 101-21368 |
| 2080487A | Invoi | FLEX SPENDING SEPTEMBER | 1,289.59 | Open | Non | 09/20 | 101-21368 |
| Total AMERICAN FIDELITY ASSURANCE (4885): | | | 2,612.51 | | | | |
| AMPLITEL TECHNOLOGIES (4637) | | | | | | | |
| 16288 | Invoi | MICROSOFT OFFICE 365-SEPTEMBER | 720.00 | Open | Non | 09/20 | 207-52120-204 |
| 16296 | Invoi | DATTO BACK UP SERVICES 09/20 | 375.00 | Open | Non | 09/20 | 207-52120-204 |
| 16315 | Invoi | MONTHLY ANTI-VIRUS SERVICE-SEPTEMBER | 143.50 | Open | Non | 09/20 | 207-52120-240 |
| Total AMPLITEL TECHNOLOGIES (4637): | | | 1,238.50 | | | | |
| AT & T (5080) | | | | | | | |
| 287294953059 | 09/2 Invoi | JULY/AUGUST SERVICE | 240.85 | Open | Non | 09/20 | 101-52200-203 |
| Total AT & T (5080): | | | 240.85 | | | | |
| GFC LEASING - WI (4989) | | | | | | | |
| 13051345 | Invoi | GFC LEASING COPIER OVERAGE CHARGES | 16.23 | Open | Non | 09/20 | 101-53310-207 |
| Total GFC LEASING - WI (4989): | | | 16.23 | | | | |
| HOME TEAM (3465) | | | | | | | |
| 39922 | Invoi | CSTARS DANCE TEAM SHIRTS | 92.88 | Open | Non | 09/20 | 101-55300-218 |
| Total HOME TEAM (3465): | | | 92.88 | | | | |
| LINDNER ACE HARDWARE LITTLE CHUTE (4702) | | | | | | | |
| 265172-325001 | Invoi | ACE BRUSH WHEEL | 8.99 | Open | Non | 09/20 | 101-53300-218 |
| 265178-325001 | Invoi | KEYS FOR VAN LIESHOUT SHED | 16.11 | Open | Non | 09/20 | 101-55200-218 |
| 265243-325003 | Invoi | VALVE | 10.99 | Open | Non | 09/20 | 620-53634-255 |
| 265244-325001 | Invoi | MOUNTING TAPE & BATTERIES | 62.12 | Open | Non | 09/20 | 206-55110-242 |
| 265257-325001 | Invoi | FUSE FOR LIFT BRIDGE | 14.97 | Open | Non | 09/20 | 101-55200-218 |
| 265258-325001 | Invoi | ITEMS FOR POOLSIDE RR REPAIRS | 19.96 | Open | Non | 09/20 | 101-55200-242 |
| 265316-325001 | Invoi | ITEMS FOR POOLSIDE RR REPAIRS | 11.08 | Open | Non | 09/20 | 101-55200-242 |
| 265318-325001 | Invoi | ITEMS FOR POOLSIDE RR REPAIRS | 4.59 | Open | Non | 09/20 | 101-55200-242 |
| 265432-325001 | Invoi | FASTENERS #14 | 2.50 | Open | Non | 09/20 | 101-53330-225 |
| 265464-325001 | Invoi | DUCT TAPE FOR PARK SIGNS | 23.96 | Open | Non | 09/20 | 101-55200-218 |
| 265479-325001 | Invoi | FASTENERS | 1.08 | Open | Non | 09/20 | 101-53330-221 |
| 265495-325001 | Invoi | DUCT TAPE & PAINTING TAPE | 27.96 | Open | Non | 09/20 | 206-55110-242 |
| 265536-325003 | Invoi | TOILET PAPER & GARBAGE BAGS | 22.98 | Open | Non | 09/20 | 620-53644-221 |
| 265548-325001 | Invoi | PAINT TO COVER GRAFFITI | 11.18 | Open | Non | 09/20 | 101-55200-218 |
| 265560-325001 | Invoi | ITEMS FOR POOLSIDE RR REPAIRS | 13.74 | Open | Non | 09/20 | 101-55200-242 |
| 265577-325003 | Invoi | NYLON TUBE BRUSH | 5.99 | Open | Non | 09/20 | 620-53634-255 |

| Invoice | Type | Description | Total Cost | Terms | 1099 | Period | GL Account |
|---|-------|--|------------|-------|------|--------|---------------|
| 265578-325001 | Invoi | BATHROOM DUSTER & INSECT FOGGER | 19.98 | Open | Non | 09/20 | 101-55200-218 |
| 265635-325001 | Invoi | PRUNING BLADE | 19.98 | Open | Non | 09/20 | 101-53300-215 |
| 265635-325001 | Invoi | CONCRETE MIX | 19.18 | Open | Non | 09/20 | 101-55200-242 |
| 265655-325001 | Invoi | ELECTRICAL TAPE | 1.98 | Open | Non | 09/20 | 101-55300-218 |
| Total LINDNER ACE HARDWARE LITTLE CHUTE (4702): | | | 319.32 | | | | |
| MARCO INC (3910) | | | | | | | |
| 27652532 | Invoi | MONTHLY COPIER LEASE-1493357-AUGUST 2020 | 318.30 | Open | Non | 09/20 | 207-52120-207 |
| Total MARCO INC (3910): | | | 318.30 | | | | |
| MATTHEWS TIRE & SERVICE CENTER (768) | | | | | | | |
| 258790 | Invoi | FLAT REPAIR-SQUAD #94 | 33.67 | Open | Non | 09/20 | 207-52120-247 |
| 260016-1 | Invoi | REMAINING BALANCE ON ORIGINAL INV 260016 | 63.00 | Open | Non | 09/20 | 207-52120-247 |
| Total MATTHEWS TIRE & SERVICE CENTER (768): | | | 96.67 | | | | |
| MOTOROLA SOLUTIONS (3816) | | | | | | | |
| 8280918914-10359 | Invoi | REPLACE SQUAD RADIO | 1,779.74 | Open | Non | 09/20 | 207-52120-248 |
| 8280918969-10359 | Invoi | REPLACE SQUAD RADIO | 2,029.50 | Open | Non | 09/20 | 207-52120-248 |
| Total MOTOROLA SOLUTIONS (3816): | | | 3,809.24 | | | | |
| NORTHEAST WI TECHNICAL COLLEGE (37) | | | | | | | |
| CS34358 | Invoi | LESB INSTRUCTOR DEVELOPMENT COURSE-GUE | 550.00 | Open | Non | 09/20 | 207-52120-201 |
| Total NORTHEAST WI TECHNICAL COLLEGE (37): | | | 550.00 | | | | |
| PUFFE, RICK (4447) | | | | | | | |
| 8/13/20 - 8/20/20 | Invoi | MEN'S SOFTBALL UMPIRE | 156.00 | Open | Non | 09/20 | 101-55300-111 |
| Total PUFFE, RICK (4447): | | | 156.00 | | | | |
| REHMAN, MICHAEL (5033) | | | | | | | |
| 8/13/20 - 8/20/20 | Invoi | MEN'S SOFTBALL UMPIRE | 156.00 | Open | Non | 09/20 | 101-55300-111 |
| Total REHMAN, MICHAEL (5033): | | | 156.00 | | | | |
| SCHOMMER, DAVE (4623) | | | | | | | |
| 8/13/20 - 8/20/20 | Invoi | MEN'S SOFTBALL UMPIRE | 175.50 | Open | Non | 09/20 | 101-55300-111 |
| Total SCHOMMER, DAVE (4623): | | | 175.50 | | | | |
| THEDACARE (1983) | | | | | | | |
| AUG 2020 1210055 | Invoi | AUGUST BLOOD DRAWS | 637.50 | Open | Med | 09/20 | 207-52120-204 |
| Total THEDACARE (1983): | | | 637.50 | | | | |
| TIME WARNER CABLE (89) | | | | | | | |
| 08/20 71391120150 | Invoi | AUGUST/SEPTEMBER SERVICE | 219.99 | Open | Non | 09/20 | 207-52120-203 |
| Total TIME WARNER CABLE (89): | | | 219.99 | | | | |
| VAN ZEELAND NURSERY (388) | | | | | | | |
| 101-04184-01 | Invoi | MARY HARP TREE DONATIONS | 422.37 | Open | Non | 09/20 | 101-55440-215 |

| Invoice | Type | Description | Total Cost | Terms | 1099 | Period | GL Account |
|----------------------------------|------|-------------|------------|-------|------|--------|------------|
| Total VAN ZEELAND NURSERY (388): | | | 422.37 | | | | |
| Grand Totals: | | | 11,436.34 | | | | |

Report GL Period Summary

| | |
|-------------------------------|--------|
| Vendor number hash: | 168213 |
| Vendor number hash - split: | 174719 |
| Total number of invoices: | 42 |
| Total number of transactions: | 44 |

| Terms Description | Invoice Amount | Net Invoice Amount |
|-------------------|----------------|--------------------|
| Open Terms | 11,436.34 | 11,436.34 |
| Grand Totals: | 11,436.34 | 11,436.34 |

VILLAGE OF LITTLE CHUTE

RESOLUTION NO. 35, SERIES OF 2020

A RESOLUTION APPROVING A CSM TO DIVIDE A PARCEL FOR JEFF HEITING BUILDER, INC.

WHEREAS, Jeff Heiting Builder, Inc as owner of Parcel #260451928 have presented a Certified Survey Map to the Village of Little Chute Board of Trustees as prepared by Jim Sehloff a registered land surveyor; and

WHEREAS, the Village of Little Chute Planning Commission has recommended in favor of adoption of said Certified Survey Map; and

WHEREAS, a majority of the Village Board find that the attached Certified Survey Map is found to be in the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of Trustees as follows:

1. That the Certified Survey Map attached hereto (photocopy), be and the same is hereby approved; and
2. That the Village President, Village Clerk, and Finance Director, upon full payment of, if applicable, all fees, taxes, and special assessments are directed to execute signatures on behalf of the Village of Little Chute upon the Certified Survey Map documents as required.

Date introduced, approved and adopted: September 16, 2020

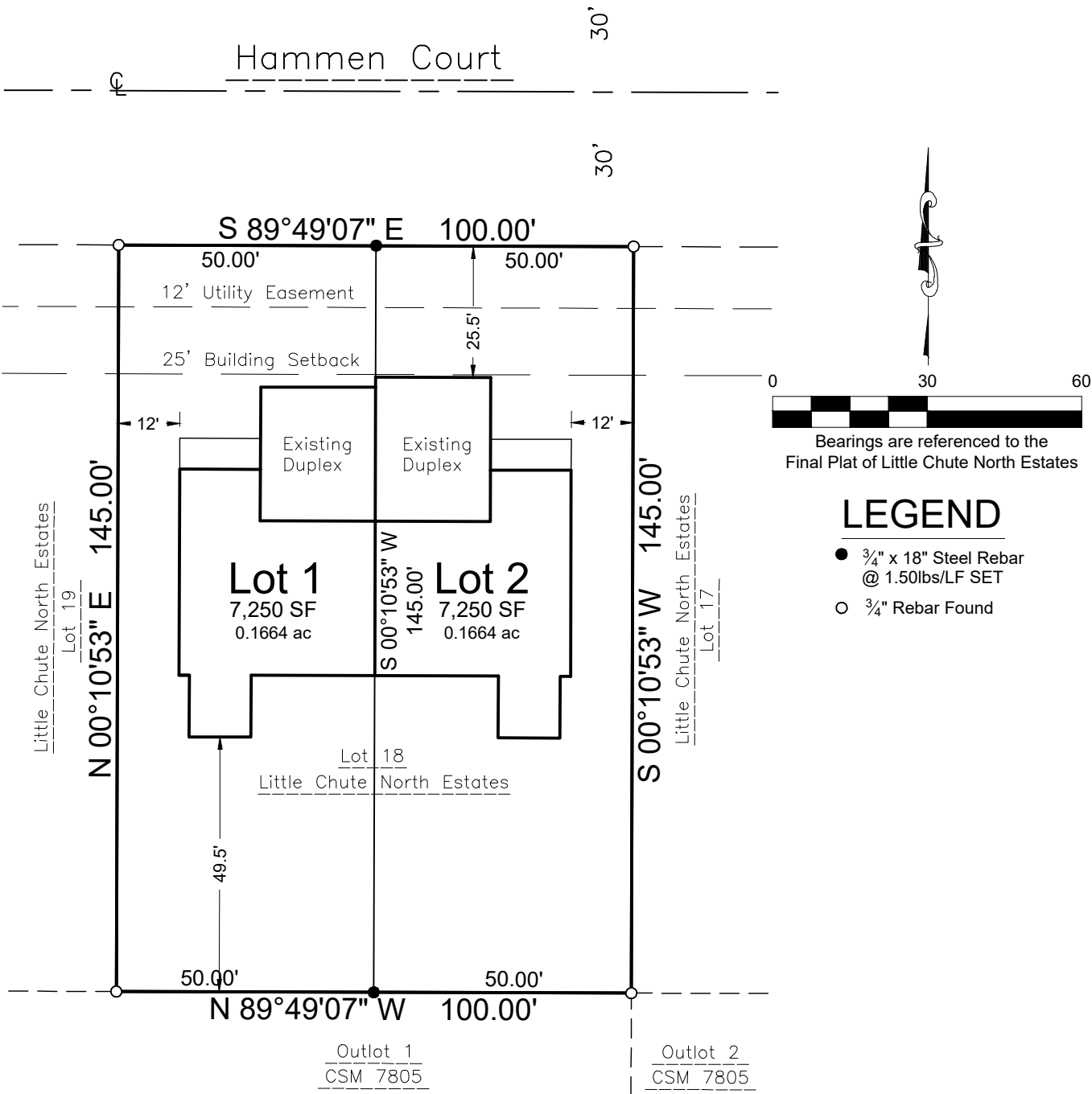
VILLAGE OF LITTLE CHUTE:

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.



Note:

1. Restrictive covenants shall be recorded at the Outagamie County Register of Deeds, providing declarations and/or by-laws similar to those typically recorded on a declaration of condominium. Said covenants shall provide for mediation of any and all disputes between owners of each unit and any third party with regard to construction, use, and maintenance of the real property. Furthermore, said covenants shall specifically state that the village of Little Chute and all approving authorities shall not be held responsible for the same, and that said covenants shall inure to all heirs and assigns.



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

James R. Sehloff
Professional Land Surveyor No. S-2692
jim@davel.pro

Date

Survey for:
Jeff Heiting Builder Inc.
4448 N. Orion Lane
Appleton, WI 54913

File: 6159CSM.dwg
Date: 09/07/2020
Drafted By: jim
Sheet: 1 of 3

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10,
Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of Jeff Heiting Builder Inc., the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin., containing 14,500 Square Feet (0.3329 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this _____ day of _____, _____.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

Corporate Owner's Certificate

Jeff Heiting Builder Inc., a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, divided and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said Jeff Heiting Builder Inc., has caused these presents to be

signed by its authorized representatives, located at, _____, Wisconsin, and its corporate seal to be hereunto affixed

this _____ day of _____, 20____.

In the Presence of: Jeff Heiting Builder Inc.

Jeff Heiting, President Date

State of Wisconsin)
)ss
_____ County)

Personally came before me this _____ day of _____, 20____,

the above named, officer of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

My commission expires: _____
Notary Public, Wisconsin

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Jeff Heiting Builder Inc., the property owner, is hereby approved by the Village Board of the Village of Little Chute.

Chairman

Date _____

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Little Chute.

Clerk

Date _____

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer

Date _____

County Treasurer

Date _____

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owners of record:
Jeff Heiting Builder Inc.

Recording Information:
Doc. 2166866

Parcel Number:
260451928

James R. Sehloff Professional Land Surveyor No. S-2692 Date

VILLAGE OF LITTLE CHUTE

RESOLUTION NO. 36, SERIES OF 2020

**A RESOLUTION APPROVING A CSM TO DIVIDE A PARCEL FOR
PROMETHEUS HOLDINGS, LLC & BLACK DIAMOND HOLDINGS, LLC**

WHEREAS, Black Diamond Holdings, LLC as owner of Parcel #260400522 have presented a Certified Survey Map to the Village of Little Chute Board of Trustees as prepared by David M. Schmalz a registered land surveyor; and

WHEREAS, the Village of Little Chute Planning Commission has recommended in favor of adoption of said Certified Survey Map; and

WHEREAS, a majority of the Village Board find that the attached Certified Survey Map is found to be in the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of Trustees as follows:

1. That the Certified Survey Map attached hereto (photocopy), be and the same is hereby approved; and
2. That the Village President, Village Clerk, and Finance Director, upon full payment of, if applicable, all fees, taxes, and special assessments are directed to execute signatures on behalf of the Village of Little Chute upon the Certified Survey Map documents as required.

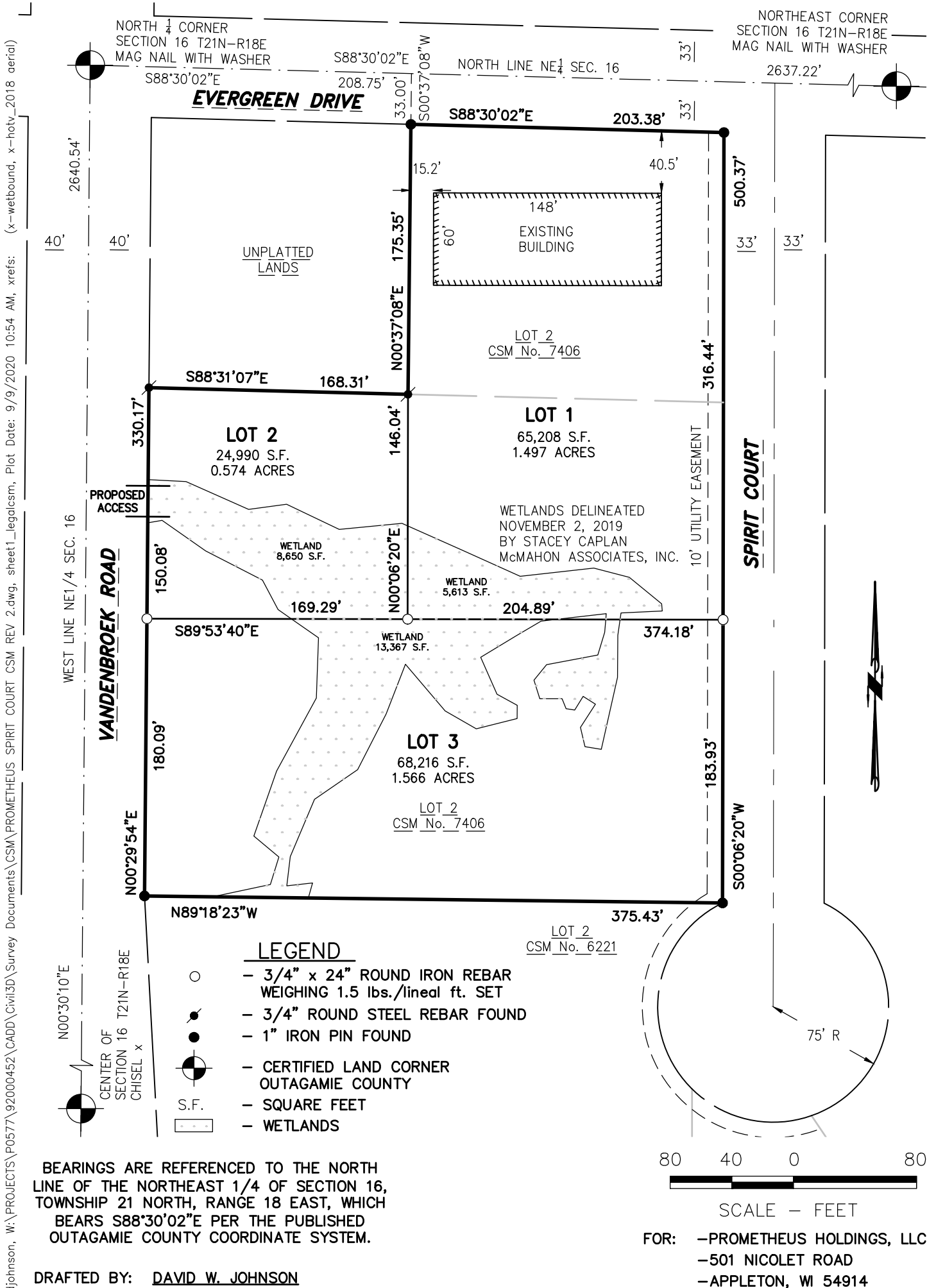
Date introduced, approved and adopted: September 16, 2020

VILLAGE OF LITTLE CHUTE:

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP No. 7406,
RECORDED AS DOCUMENT No. 2110869, ALL LOCATED IN THE
NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16,
TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE
CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, David M. Schmalz, Wisconsin Professional Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of Lots 1 & 2 of Certified Survey Map No. 7406, recorded as Document No. 2110869, located in the Northwest 1/4 of the Northeast 1/4 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 158,414 square feet (3.637 Acres) of land.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes, Village of Little Chute, Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 20____.

David M. Schmalz, WI Professional Land Surveyor S-1284

NOTES

-THIS CSM IS ALL OF TAX PARCEL No.s 26-0-4005-21 & 26-0-4005-22.

-THE PROPERTY OWNERS OF RECORD ARE PROMETHEUS HOLDINGS, LLC AND BLACK DIAMOND HOLDINGS, LLC.

-THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENTS No. 2151056 & 2187168.

-THIS CERTIFIED SURVEY MAP CONTAINS NO WATERS OF THE UNITED STATES PER THE ARMY CORPS OF ENGINEERS, REGULATORY FILE No. 2018-01179-MWM AJD REVIEW, DATED AUGUST 13, 2020

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

CERTIFIED SURVEY MAP NO. _____

SHEET 3 OF 4

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT
NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE,
OUTAGAMIE COUNTY, WISCONSIN.

VILLAGE BOARD APPROVAL CERTIFICATE

This Certified Survey Map was approved by the Village of Little Chute, Outagamie County,
Wisconsin by the Village Board on this _____ day of _____, 2020.

Village President
Michael Vanden Berg

Village Clerk
Laurie Decker

CERTIFICATE OF VILLAGE FINANCE DIRECTOR

I, being the duly elected, qualified and acting Finance Director, do hereby certify that the
records in my office show no unredeemed tax sales and no un—paid taxes or un—paid
special assessments on any of the lands included in this Certified Survey Map as of:
_____ affecting the lands.

Village Finance Director Date
Lisa Remiker—Dewall

CERTIFICATE OF COUNTY TREASURER

I, being the duly elected, qualified and acting Treasurer, do hereby certify that the records
in my office show no unredeemed tax sales and no un—paid taxes or un—paid special
assessments on any of the lands included in this Certified Survey Map as of:
_____ affecting the lands.

County Treasurer Date
Trenten J. Woelfel

CERTIFIED SURVEY MAP NO. _____

SHEET 4 OF 4

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT
NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE,
OUTAGAMIE COUNTY, WISCONSIN.

OWNER's CERTIFICATE

PROMETHEUS HOLDINGS, LLC, As Owner(s), I/We hereby certify that I/we caused the land
described on this Certified Survey Map to be surveyed, divided, and mapped as represented
on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by
s. 236.34 of the Wisconsin Statutes to be submitted to the following for approval.
Village of Little Chute

Dated this _____ day of _____, 20____.

Authorized Signature

Title

Print Name

State of _____)
_____)ss
_____County)

Personally appeared before me on the _____ day of _____, 20____, the
above named person(s) to me known to be the person(s) who executed the foregoing
instrument, and acknowledged the same.

Notary Public

_____ County, _____

My commission expires_____

OWNER's CERTIFICATE

BLACK DIAMOND HOLDINGS, LLC, As Owner(s), I/We hereby certify that I/we caused the land
described on this Certified Survey Map to be surveyed, divided, and mapped as represented
on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by
s. 236.34 of the Wisconsin Statutes to be submitted to the following for approval.
Village of Little Chute

Dated this _____ day of _____, 20____.

Authorized Signature

Title

Print Name

State of _____)
_____)ss
_____County)

Personally appeared before me on the _____ day of _____, 20____, the
above named person(s) to me known to be the person(s) who executed the foregoing
instrument, and acknowledged the same.

Notary Public

_____ County, _____

My commission expires_____

VILLAGE OF LITTLE CHUTE MONTHLY REPORT – AUGUST 2020



Little Chute

E S T A B L I S H E D 1 8 4 8

August 2020

Village Administrator Report to the Board of Trustees

Submitted to the Village Board of Trustees and the residents of Little Chute is a report of the various departments of the Village. The information contained herein is intended to keep the Board and public apprised of their government at work.

VILLAGE OF LITTLE CHUTE MONTHLY REPORT – AUGUST 2020

The information in this report is meant to provide a snapshot of Village operations for the month preceding. The goal is to provide statistics and measures that can be analyzed and viewed over time. These reports will be reported to the Board monthly. The reports will be added to the official files of the Village of Little Chute and be published on the Village's website at www.littlechutewi.org.

As we continue this effort, the style and metrics will be fine-tuned to better capture operational aspects that will serve staff, the board and public with a more robust understanding of operations. Ultimately, this information can be used to assist in policy and fiscal decisions on the future of Village operations. **New in 2020, we will be including data and information from the Little Chute Fire Department and an overview of the monthly financial statements for all Village of Little Chute accounts.**

Ultimately, it is our intention to show how our dedicated team of individuals serve the community while also indicating a monthly snapshot of the fiscal well-being for the Village of Little Chute.

If you have any questions or suggestions, please contact us!

Department Overview

The report will track monthly activities for the following:

- Village Administrator
- Clerk
- Community Development
- Finance Department
- Little Chute Fire Department
- Fox Valley Metro Police Department
- Kimberly/Little Chute Library
- Parks, Recreation and Forestry Department
- Department of Public Works
- Engineering Department
- Monthly Consolidated Financial Statement by Account – Added as a feature in June of 2020

Questions or Comments

Should you have questions or comments with the information contained herein, please contact the Village Administrator:

James P. Fenlon
Village Administrator
108 W. Main Street
Little Chute, WI 54140
920-423-3850
james@littlechutewi.org

Village Administrator

HIGHLIGHTS

- The Board of Trustees worked on the following items in the month of August:
 - At the August 5th meeting, the Village Board authorized the issuance of GO Bond notes, approved a conditional use for a housing development, approved 2021 Budget Guidance, and took action on naming the Fox River Boardwalk the David and Rita Nelson Family Heritage Parkway
 - At the August 19th meeting, the Village Board held a public hearing for a zoning change request, approved a series of special events, approved the purchase of flow meters for the sewer utility, approved the site plan for North Evergreen Pond Homes, awarded the 2020-2024 audit contract, approved the site plan and design for the Cobblestone Hotel.
 - At the August 26th meeting, the Village Board authorized the Boys and Girls Club to utilize the Civic Center as a space for an after-school space in order to assist the LC Elementary School in additional space for safety reasons.
- Continued to work with staff on an effective resolution to a billing issue with Outagamie County Landfill.
- Worked with all departments and staff on ensuring that essential operations are preserved while safeguarding the public and staff from COVID 19. We are maintaining an active resource page for residents related to our COVID-19 response here: <https://www.littlechutewi.org/624/Response-to-COVID-19>
- Worked with consultants and members of the Fire Department to finalize the organizational study.
- Spent a day working in the field with our talented DPW team and was able to pour concrete and chip brush.
- Worked with consultants on improvements to our facilities related to COVID 19.
- Worked with department heads on several advantageous developments.

TOP PRIORITIES FOR SEPTEMBER

- Continue to work with staff and various developers on projects of interest within the Village of Little Chute.
- Ensure the staff of the Village of Little Chute have the tools and support they need to continue delivery of essential services in the face of COVID 19 matters.
- Continue working with County officials on resolving the leachate billing matter at the Outagamie County Landfill.
- Work with the Village Board and Library Planning Committee to prepare for the opening of the Little Chute Library in 2021.
- With the Finance Director, finalize 2021 budget submittal to the Village Board.
- Prepare for 2021 projects, finalize mid-year evaluations, prepare for a special assessment discussion with the Board in September.
- Present for Board of Trustee action:
 - Hold a public hearing for the vacation of a portion of Pine Street
 - Hear from Nestle regarding plans to improve their site and Hickory Drive
 - Adopt a resolution to vacate portions of Pine and Church
 - Approve the 2020-2021 WEDC Connect Community Contract
 - Discuss a temporary personnel manual change
 - Present facility updates considering COVID-19
 - Consider plans for Hickory Drive and Nestle site improvements

Clerk

HIGHLIGHTS

This August we successfully facilitated the Partisan Primary Election. We had an increased number of absentee ballots which provided good practice and preparation for the upcoming General Election. We continue to focus and plan for the General Election on November 3. We worked closely with the Department of Public Works to design, print, and mail their Fall/Winter newsletter.

For the month of August, the Clerk's office completed our goals of:

- Send out and process Absentee Ballots for August Election
- Preparations and planning for August Election
- Facilitate August 11 Partisan Primary
- Design and finalization of DPW Fall newsletter
- Shared data from social media sites
- Agendas/Minutes for meetings
- Continued maintenance of the Village Website and social media outlets
- Ongoing phone/supply ordering support
- Civic Center/Village Hall rentals, and processing of cancelations and refunds
- Preparations for 2020 elections webinar training, upkeep of voter records, supply ordering
- Operator License Renewals

Goals for September:

- Agendas/Minutes for meetings
- Share data from social media sites
- Maintenance of the Village Website and social media outlets
- Ongoing phone/supply ordering support
- Civic Center/Village Hall rentals
- Send out and process a record number of Absentee Ballots and requests for General Election
- Planning and Preparations for General Election
- Begin to plan for Village Winter Newsletter

Village of Little Chute Website and Social Media Metrics - August 2020

| | This Month | This Month Last Year | % Change | Year to Date | Last Year to Date | % Change |
|------------------------|------------|----------------------|----------|--------------|-------------------|----------|
| Website Visits | 12,460 | 11,183 | 10.25% | 92,637 | 111,202 | -20.04% |
| Website Page Views | 17,596 | 14,949 | 15.04% | 132,033 | 140,639 | -6.52% |
| Facebook Likes | 4,307 | 3,660 | 15.02% | 32,544 | 27,469 | 15.59% |
| Facebook Reach | 46,858 | 67,582 | -44.23% | 576,044 | 554,781 | 3.69% |
| Village Hall Blog View | 287 | 761 | -165.16% | 2,906 | 5008 | -72.33% |
| Instagram Followers | 634 | 504 | 20.50% | 634 | 504 | 20.50% |
| Twitter Followers | 428 | 377 | 11.92% | 428 | 377 | 11.92% |
| Twitter Impressions | 781 | 656 | 16.01% | 6,802 | 4,673 | 31.30% |

Community Development

HIGHLIGHTS

- Met with Commercial Developers regarding sites and TIF in village.
- Continued Inspections of homes, apartments, and commercial projects.
- Discussions with architects regarding new projects.
- Met with local Business Owner to introduce Myself
- Finalized Site Plan Review for Hotel and North Evergreen Pond Homes
- Submitted Budget to Finance Department

TOP PRIORITIES FOR SEPTEMBER

- Meet with builders and owners about upcoming commercial projects.
- Work with developers regarding Commercial/Industrial projects.
- Continued Inspections of homes, apartments, industrial and commercial projects.
- Assist developers, surveyors, and realtors with zoning requirements.
- Continuing education classes with focus on Building Inspection
- Update more permits/ Website
- Improve Site review process (on going project)
- Vacation of Pine Street
- Meet with more Local Businesses to Introduce Myself and to collect information on potential needs for the community/business
- Zoning Ordinance amendment in the Residential Conventional District

COMMUNITY DEVELOPMENT AUGUST DATA

| Community Development Department 2020 Permit Data | | | | |
|---|-----------|-------------|-------------|-------------|
| | August-20 | 2020 Totals | 2019 Totals | 2018 Totals |
| Permits Issued | 55 | 450 | 667 | 622 |
| Property Complaints | 5 | 20 | 31 | 61 |
| Property/Field Inspections | 55 | 450 | 912 | 929 |
| Letters Sent | 0 | 6 | 0 | 0 |
| Action Corrected | 2 | 9 | 13 | 44 |
| Referred for Action | 2 | 4 | 0 | 7 |
| Ongoing | 3 | 16 | 36 | 16 |

| Community Development Department 2020 Permit Data | | | | |
|---|-------------|--------------|--------------|--------------|
| | August-20 | 2020 Totals | 2019 Totals | 2018 Totals |
| Permits Issued | 55 | 450 | 717 | 622 |
| Permit Fees | \$9,887 | \$211,439 | \$108,776 | \$257,754 |
| Permit Value | \$1,426,190 | \$34,031,809 | \$35,228,147 | \$47,343,017 |

Finance Department

HIGHLIGHTS

- Approved audit contract with Kerber Rose for years 2020-2024 resulting in an overall cost reduction from \$42,500 in 2019 for the first three years of the new contract along with minimal increases in years 2023 and 2024 at \$42,600 and \$43,800, respectively. A successful process!
- 2021 Budget requests from departments due September 4th. Payroll projections completed with exception of health and dental benefits as waiting for proposals. Locked in rates for Life, AD&D and LT Disability through 8/1/2023 with no increase.
- Finalized and released the TID 4 and TID 5 30% audited financial statements to local taxing jurisdictions. No questions have been received to date.
- Preparing for the second Cares Act submission making sure we maximize funding available between Cares Act and Wisconsin Elections Commission. Keeping up to date on numerous regulation changes and guidance notifications.
- Successful closing on the 2020 General Obligation Issue depositing the funds locally at Bank of Little Chute in a fully collateralized account while spending down proceeds. The Village is earning the maximum interest rate allowed to still follow arbitrage laws restrictions.
- Training and set up of new postage meter. Still working with previous vendor to return old machine that lease has expired on.
- 3,097 utility bills created, 92 service orders (Final Reads, High/Low Reads, Meter Installations) created/coordinated with MCO and 209 Landlord notices mailed for tenant delinquency notification, 929 ratepayers opted out of postcard billing, 1,499 ratepayers utilized PSN and 642 ACH for payments in August.
- Accounts Payable clerk took on project to send out notices for unclaimed property (stale checks outstanding). Village has not followed State mandated annual process to complete our due diligence to get funds to rightful owners for past several years.
- Review of Amazon account to make sure all accounts set up tax exempt under Village Business Account plus have free shipping on all orders over \$35. AP Clerk sent reminder to all departments to make sure they are using the business account to avoid sales tax.

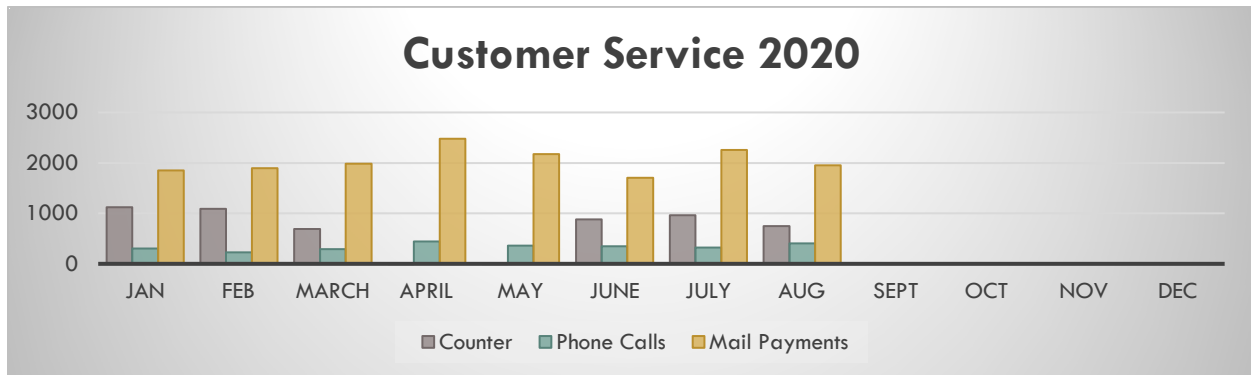
TOP PRIORITIES FOR SEPTEMBER

- File continuing disclosure requirements with all bondholders via MSRB Gateway Portal
- Working on evaluation of cell/landline phone, internet, and copier/scanner devices to determine if duplication of any services exist along with potential to consolidate services for greater cost efficiencies. Accounts Payable Clerk is gathering/coordinating data.
- Payroll Clerk preparing information to send out to employees for voluntary benefit meetings coming up in September.
- Budget preparation will keep Finance very busy in September!
- Finalization of health and dental insurance rates for 2021
- Vandebroek drainage assessment data preparation in conjunction with Engineering

CONTINUOUS IMPROVEMENT EFFORTS

- Utility Billing Clerk eliminated making extra copy for any finals she does alternatively electronically filing notes in the system so all can easily access.

AUGUST DATA AND JULY FINANCIALS



PERFORMANCE MEASUREMENTS

| | <u>2017</u> | <u>2018</u> | <u>2019</u> | <u>Target 2020</u> |
|--|-------------|-------------|-------------|--------------------|
| # months bank reconciliation completed timely | 0 | 0 | 7 | 12 |
| # of stale checks outstanding | NM | NM | 57 | 5 |
| Custodial credit risk | \$12.3K | \$6.1K | \$3K | \$0 |
| % of customers paying online | NM | NM | 42% | 55% |
| Continuous improvement initiatives | NM | NM | 25 | 10 |
| Number of special assessment billings | 277 | 296 | 67 | 125 |
| Average number of monthly utility bills | 4,076 | 4,052 | 4,033 | 4,050 |
| Annual number of utility work orders | 952 | 1,093 | 920 | 950 |
| Annual tax certification letters | 793 | 735 | 775 | 750 |
| General obligation bond rating | Aa3 | Aa3 | Aa3 | Aa2 |
| # of auditor's compliance issues | NM | 6 | 2 | 0 |
| % of time monthly financials closed within 15 days | NM | NM | 58% | 90% |
| % of staff adequately trained/cross trained | NM | NM | 70% | 100% |

| | AUGUST | YTD 2020 | BUDGET 2020 | VARIANCE | % OF BUDGET |
|---|-------------------|---------------------|---------------------|-----------------------|----------------|
| GENERAL FUND | | | | | |
| Taxes | 227,145.38 | 952,417.28 | 960,150.00 | (7,732.72) | 99.19% |
| Total Licenses and Permits | 6,147.00 | 148,549.06 | 124,760.00 | 23,789.06 | 119.07% |
| Intergovernmental Aid | 14,348.70 | 1,092,549.04 | 2,416,400.00 | (1,323,850.96) | 45.21% |
| Public Charges for Service | 9,449.76 | 94,875.84 | 137,328.00 | (42,452.16) | 69.09% |
| Fines and Forfeitures | 4,445.19 | 53,415.18 | 91,000.00 | (37,584.82) | 58.70% |
| Total Interest | 5,089.90 | 39,863.47 | 96,837.00 | (56,973.53) | 41.17% |
| Miscellaneous Revenue | 36,693.46 | 146,850.40 | 160,118.00 | (13,267.60) | 91.71% |
| Other Financing Sources | 18,180.09 | 145,389.83 | 217,700.00 | (72,310.17) | 66.78% |
| Total General Fund Revenue | 321,499.48 | 2,673,910.10 | 4,204,293.00 | (1,530,382.90) | 63.60% |
| Village Board | 2,422.13 | 48,780.74 | 77,141.00 | (28,360.26) | 63.24% |
| Administration | 7,795.41 | 68,209.65 | 122,154.00 | (53,944.35) | 55.84% |
| Engineering & GIS | 213.81 | 17,924.28 | 92,938.00 | (75,013.72) | 19.29% |
| Finance | 13,649.82 | 128,460.70 | 220,959.00 | (92,498.30) | 58.14% |
| Clerk | 11,678.61 | 111,339.77 | 168,150.00 | (56,810.23) | 66.21% |
| Community Development - Assessing | 7,157.71 | 96,202.42 | 117,364.00 | (21,161.58) | 81.97% |
| Village Hall | 5,302.35 | 43,674.72 | 69,116.00 | (25,441.28) | 63.19% |
| Municipal Court | 4,117.19 | 39,435.70 | 65,897.00 | (26,461.30) | 59.84% |
| Unallocated | 8,087.48 | 64,726.66 | 221,932.00 | (157,205.34) | 29.17% |
| Insurance | 8,096.62 | 150,834.02 | 267,384.00 | (116,549.98) | 56.41% |
| Village Promotion and Goodwill | - | 6,216.00 | 52,064.00 | (45,848.00) | 11.94% |
| Inspections | 7,706.05 | 71,975.83 | 115,232.00 | (43,256.17) | 62.46% |
| Fire Operations | 17,406.83 | 152,790.15 | 295,859.00 | (143,068.85) | 51.64% |
| Fire Allocated | 27,524.65 | 238,919.47 | 364,070.00 | (125,150.53) | 65.62% |
| Crossing Guards | 56.88 | 45,382.69 | 89,135.00 | (43,752.31) | 50.91% |
| Public Works Administration | 1,130.47 | 9,920.05 | 29,947.00 | (20,026.95) | 33.13% |
| Street Repair and Maintenance | 56,757.29 | 311,750.30 | 651,284.00 | (339,533.70) | 47.87% |
| Public Works Support Services | 2,301.46 | 30,653.01 | 45,256.00 | (14,602.99) | 67.73% |
| Public Works Vehicle Maintenance | 9,881.76 | 97,810.11 | 177,179.00 | (79,368.89) | 55.20% |
| Snow and Ice Control | 4,339.24 | 135,122.04 | 244,895.00 | (109,772.96) | 55.18% |
| Weed Control | 1,046.43 | 5,953.48 | 18,301.00 | (12,347.52) | 32.53% |
| Recycling | 5,334.12 | 29,695.44 | 51,195.00 | (21,499.56) | 58.00% |
| Park | 25,344.46 | 196,519.57 | 384,616.00 | (188,096.43) | 51.10% |
| Recreation | 25,865.74 | 168,448.83 | 308,655.00 | (140,206.17) | 54.58% |
| Forestry | 9,692.34 | 152,248.25 | 154,233.00 | (1,984.75) | 98.71% |
| Youth Football | - | 1,367.86 | 15,100.00 | (13,732.14) | 9.06% |
| Community Band | 342.21 | 1,460.48 | 6,100.00 | (4,639.52) | 23.94% |
| Economic Development | 850.00 | 3,729.56 | 7,600.00 | (3,870.44) | 49.07% |
| Transfers | - | - | - | - | #DIV/0! |
| Total General Fund Expenses | 264,101.06 | 2,429,551.78 | 4,433,756.00 | (2,004,204.22) | 54.80% |
| GENERAL FUND NET REVENUES (EXPENSES) | 57,398.42 | 244,358.32 | (229,463.00) | 473,821.32 | |
| SANITATION | | | | | |
| Sanitation Revenues | 45,711.87 | 376,855.98 | 514,200.00 | 137,344.02 | 73.29% |
| Sanitation Expenses | 40,285.15 | 306,464.91 | 509,346.00 | (202,881.09) | 60.17% |
| SANITATION NET REVENUES (EXPENSES) | 5,426.72 | 70,391.07 | 4,854.00 | 340,225.11 | |

| | AUGUST | YTD 2020 | BUDGET 2020 | VARIANCE | % OF BUDGET |
|---|-------------------|---------------------|---------------------|---------------------|-------------|
| FIRE EQUIPMENT DONATION | | | | | |
| Fire Equipment Donation Revenues | 19,403.96 | 83,198.32 | 82,350.00 | 848.32 | 101.03% |
| Flag Pole Memorial Expenses | - | 1,009.75 | 2,100.00 | (1,090.25) | 48.08% |
| FIRE EQUIPMENT DONATION NET REVENUES (EXPENSES) | 19,403.96 | 82,188.57 | 80,250.00 | 1,938.57 | |
| AQUATICS | | | | | |
| Aquatics Revenue | 37,981.93 | 157,802.36 | 173,794.00 | (15,991.64) | 90.80% |
| Aquatics | 32,058.43 | 112,841.23 | 173,794.00 | (60,952.77) | 64.93% |
| AQUATICS NET REVENUES (EXPENSES) | 5,923.50 | 44,961.13 | - | 44,961.13 | |
| LIBRARY/CIVIC CENTER | | | | | |
| Library/Civic Center Revenues | 103,075.11 | 437,497.44 | 429,520.00 | 7,977.44 | 101.86% |
| Library/Civic Center | 4,986.16 | 279,727.04 | 489,520.00 | (209,792.96) | 57.14% |
| LIBRARY/CIVIC CENTER NET REVENUES (EXPENSES) | 98,088.95 | 157,770.40 | (60,000.00) | 217,770.40 | |
| CONSOLIDATED POLICE SERVICES | | | | | |
| Consolidated Police Services Revenue | 511,978.71 | 3,122,663.83 | 3,477,028.00 | (354,364.17) | 89.81% |
| Police Services Consolidated | 224,637.81 | 2,091,991.55 | 3,477,028.00 | (1,385,036.45) | 60.17% |
| CONSOLIDATED POLICE SERVICES NET REVENUES (EXPENSES) | 287,340.90 | 1,030,672.28 | - | 1,030,672.28 | |
| VAN LIESHOUT RECREATION CENTER | | | | | |
| Van Lieshout Rec Center Revenues | 922.24 | 3,366.75 | 14,750.00 | (11,383.25) | 22.83% |
| Van Lieshout Rec Center Expenses | 146.04 | 20,984.11 | 30,766.24 | (8,328.13) | 68.20% |
| VAN LIESHOUT NET REVENUES (EXPENSES) | 776.20 | (17,617.36) | (16,016.24) | (3,055.12) | |
| PROMOTIONAL FUND | | | | | |
| Promotional Fund Revenues | 1,390.12 | 5,303.29 | 18,400.00 | (13,096.71) | 28.82% |
| Promotional Fund Expenses | 4,497.50 | 13,659.80 | 17,800.00 | (4,140.20) | 76.74% |
| PROMOTIONAL NET REVENUES (EXPENSES) | (3,107.38) | (8,356.51) | 600.00 | (8,956.51) | |
| SPECIAL ASSESSMENTS | | | | | |
| Special Assessment Revenue | 8,707.56 | 188,107.17 | 276,489.00 | (88,381.83) | 68.03% |
| Special Assessment Expense | 177.33 | 601,515.21 | 601,650.00 | (134.79) | 99.98% |
| SPECIAL ASSESSMENTS NET REVENUES (EXPENSES) | 8,530.23 | (413,408.04) | (325,161.00) | (88,247.04) | |
| EQUIPMENT REVOLVING FUND | | | | | |
| Equipment Revolving Revenue | 50,956.07 | 82,240.24 | 170,076.00 | (87,835.76) | 48.35% |
| Equipment Revolving Expenses | - | 47,392.59 | 123,000.00 | (75,607.41) | 38.53% |
| EQUIPMENT NET REVENUES (EXPENSES) | 50,956.07 | 34,847.65 | 47,076.00 | (12,228.35) | |

| | AUGUST | YTD 2020 | BUDGET 2020 | VARIANCE | % OF BUDGET |
|--|---------------------|---------------------|---------------------|-----------------------|----------------|
| FACILITY AND TECHNOLOGY FUND | | | | | |
| Facility and Technology Fund Revenues | 18,499.56 | 74,668.69 | 73,250.00 | 1,418.69 | 101.94% |
| Facility and Technology Fund Expenditures | 2,795.40 | 65,096.18 | 158,250.00 | (93,153.82) | 41.14% |
| FACILITY AND TECHNOLOGY NET REVENUES (EXPENSES) | 15,704.16 | 9,572.51 | (85,000.00) | 94,572.51 | |
| TAX INCREMENT DISTRICT 4 | | | | | |
| Tax Increment District 4 Revenues | 321,674.70 | 1,351,580.67 | 1,457,830.00 | (106,249.33) | 92.71% |
| Tax Increment District 4 Expenses | 483,205.42 | 1,345,659.70 | 1,056,923.00 | 288,736.70 | 127.32% |
| TAX INCREMENTAL DISTRICT 4 NET REVENUES (EXPENSES) | (161,530.72) | 5,920.97 | 400,907.00 | (394,986.03) | |
| TAX INCREMENT DISTRICT 5 | | | | | |
| Tax Increment District 5 Revenues | 94,781.68 | 442,472.87 | 464,909.00 | (22,436.13) | 95.17% |
| Tax Increment District 5 Expenses | 203,718.97 | 294,639.20 | 313,917.00 | (19,277.80) | 93.86% |
| TAX INCREMENTAL DISTRICT 5 NET REVENUES OVER EXPENSES | (108,937.29) | 147,833.67 | 150,992.00 | (3,158.33) | |
| TAX INCREMENT DISTRICT 6 | | | | | |
| Tax Increment District 6 Revenues | 5,130,198.85 | 5,882,198.46 | 2,317,617.00 | 3,564,581.46 | 253.80% |
| Tax Increment District 6 Expenses | 826,971.37 | 915,347.47 | 3,035,669.00 | (2,120,321.53) | 30.15% |
| TAX INCREMENTAL DISTRICT 6 NET REVENUES (EXPENSES) | 4,303,227.48 | 4,966,850.99 | (718,052.00) | 5,684,902.99 | |
| TAX INCREMENT DISTRICT 7 | | | | | |
| Tax Increment District 7 Revenues | 22,141.10 | 93,317.88 | 97,612.00 | (4,294.12) | 95.60% |
| Tax Increment District 7 Expenses | 2,811.70 | 41,611.97 | 155,630.00 | (114,018.03) | 26.74% |
| TAX INCREMENTAL DISTRICT 7 NET REVENUES (EXPENSES) | 19,329.40 | 51,705.91 | (58,018.00) | 109,723.91 | |
| TAX INCREMENT DISTRICT 8 | | | | | |
| Tax Increment District 8 Revenues | 1,840,761.92 | 2,012,507.13 | 614,600.00 | 1,397,907.13 | 327.45% |
| Tax Increment District 8 Expenses | 33,075.97 | 140,538.38 | 775,273.00 | (634,734.62) | 18.13% |
| TAX INCREMENTAL DISTRICT 8 NET REVENUES (EXPENSES) | 1,807,685.95 | 1,871,968.75 | (160,673.00) | 2,032,641.75 | |
| PARK IMPROVEMENT | | | | | |
| Park Improvement Revenue | 83,995.09 | 179,824.92 | 921,367.00 | (741,542.08) | 19.52% |
| Park Improvement Expenses | 17,102.49 | 76,471.57 | 1,518,653.00 | (1,442,181.43) | 5.04% |
| PARK IMPROVEMENTS NET REVENUES (EXPENSES) | 66,892.60 | 103,353.35 | (597,286.00) | 700,639.35 | |
| CAPITAL PROJECTS | | | | | |
| Capital Projects Revenue | 451,632.03 | 745,296.83 | 735,406.00 | 9,890.83 | 101.34% |
| Construction Projects | 1,205.12 | 18,216.63 | 1,066,250.00 | (1,048,033.37) | 1.71% |
| Administration Capital Projects | 25,422.95 | 155,216.82 | 209,720.00 | (54,503.18) | 74.01% |
| TOTAL CONSTRUCTION EXPENSES | 26,628.07 | 173,433.45 | 1,275,970.00 | (1,102,536.55) | 13.59% |
| CAPITAL PROJECTS NET REVENUES (EXPENSES) | 425,003.96 | 571,863.38 | (540,564.00) | 1,112,427.38 | |

| | AUGUST | YTD 2020 | BUDGET 2020 | VARIANCE | % OF BUDGET |
|---|---------------------|---------------------|-----------------------|-----------------------|----------------|
| SEWER | | | | | |
| Sewer Revenues | 214,962.05 | 1,868,597.16 | 2,851,035.00 | (982,437.84) | 65.54% |
| Sewer Capital | 15,181.89 | 86,331.55 | 113,696.00 | (27,364.45) | 75.93% |
| Sewer Financing | 25,623.75 | 169,729.52 | 231,853.00 | (62,123.48) | 73.21% |
| Sewer Treatment | 127,407.28 | 1,224,244.72 | 1,701,600.00 | (477,355.28) | 71.95% |
| Sewer Collection | 23,322.90 | 108,567.48 | 175,033.00 | (66,465.52) | 62.03% |
| Sewer Customer A/R | 4,393.43 | 54,505.57 | 119,144.00 | (64,638.43) | 45.75% |
| Sewer Admin and General | 6,456.80 | 90,608.80 | 153,405.00 | (62,796.20) | 59.07% |
| TOTAL SEWER EXPENSES | 202,386.05 | 1,733,987.64 | 2,494,731.00 | (760,743.36) | 69.51% |
| SEWER NET REVENUES (EXPENSES) | 12,576.00 | 134,609.52 | 356,304.00 | (221,694.48) | |
| WATER UTILITY | | | | | |
| Water Utility Revenues | 202,480.47 | 1,524,681.14 | 2,325,196.00 | (800,514.86) | 65.57% |
| Water Capital Projects | 267,182.30 | 457,980.88 | 1,205,051.00 | (747,070.12) | 38.01% |
| Water Financing | 76,826.70 | 451,295.35 | 716,265.00 | (264,969.65) | 63.01% |
| Water Source | 1,370.76 | 16,786.41 | 140,343.00 | (123,556.59) | 11.96% |
| Pumping | 15,995.50 | 133,329.67 | 223,079.00 | (89,749.33) | 59.77% |
| Water Treatment | 26,569.41 | 226,292.01 | 484,619.00 | (258,326.99) | 46.69% |
| Water Distribution | 32,172.61 | 311,284.68 | 427,163.00 | (115,878.32) | 72.87% |
| Customer A/R | 3,929.67 | 32,555.40 | 56,600.00 | (24,044.60) | 57.52% |
| Admin and General | 5,663.58 | 94,354.67 | 156,366.00 | (62,011.33) | 60.34% |
| TOTAL WATER EXPENSES | 429,710.53 | 1,723,879.07 | 3,409,486.00 | (1,685,606.93) | 50.56% |
| WATER NET REVENUES (EXPENSES) | (227,230.06) | (199,197.93) | (1,084,290.00) | 885,092.07 | |
| STORMWATER UTILITY | | | | | |
| Stormwater Revenue | 115,055.45 | 940,933.12 | 1,317,845.00 | (376,911.88) | 71.40% |
| Stormwater Capital Projects | 149,485.77 | 385,040.83 | 921,527.00 | (536,486.17) | 41.78% |
| Storm Financing | 51,210.43 | 328,447.10 | 474,646.00 | (146,198.90) | 69.20% |
| Storm Pond Maintenance | 11,156.78 | 66,650.26 | 117,531.00 | (50,880.74) | 56.71% |
| Storm Collection | 12,040.50 | 134,012.65 | 322,766.00 | (188,753.35) | 41.52% |
| Storm Customer A/R | 3,294.23 | 28,346.32 | 44,125.00 | (15,778.68) | 64.24% |
| Storm Admin and General | 9,889.14 | 138,984.07 | 210,202.00 | (71,217.93) | 66.12% |
| TOTAL STORM EXPENSES | 237,076.85 | 1,081,481.23 | 2,090,797.00 | (1,009,315.77) | 51.73% |
| STORMWATER NET REVENUES (EXPENSES) | (122,021.40) | (140,548.11) | (772,952.00) | 632,403.89 | |

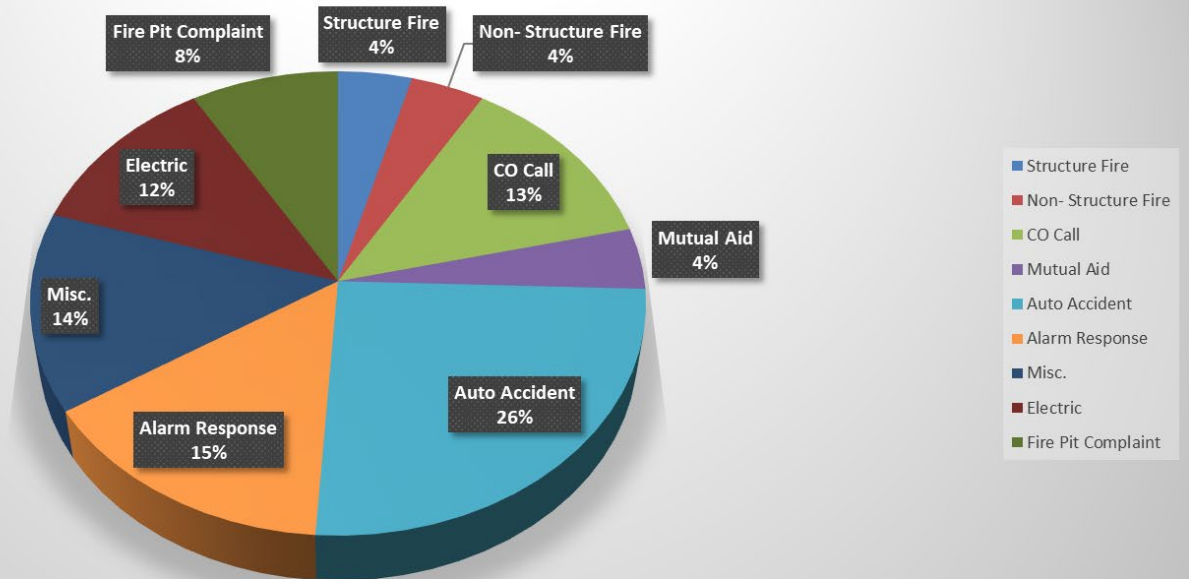
TID 4 Crosswinds Development Incentive more than budget as missed that was partial assessment in 2019, TID Revenue to offset
 Van Lieshout Center lease payment processed in June
 Property and Workers Comp Insurance premiums for first, second and third quarter due in January/March/June
 Reminder that capital assets are shown as expense in utilities until capitalized as part of year end audit preparation

Little Chute Fire Department

Little Chute Fire Department - 2020 Calls for Service

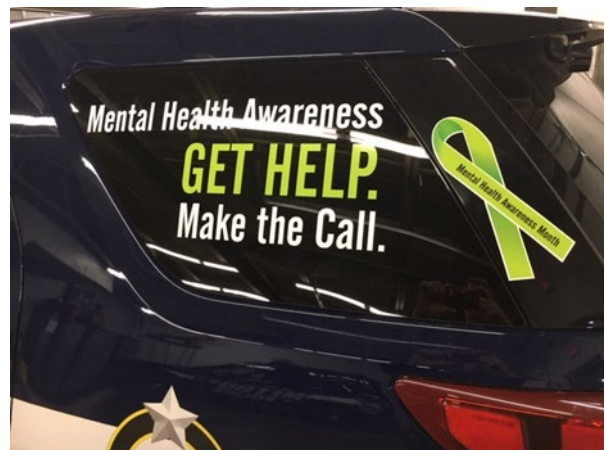
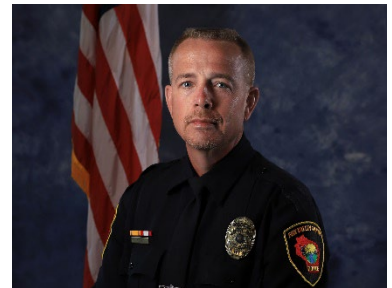
| | Structure Fire | Non-Structure Fire | CO Call | Mutual Aid | Auto Accident | Alarm Response | Misc. | Electric | Fire Pit Complaint | 2020 Total Responses | 2019 Total Responses | 2018 Total Responses | 2017 Total Responses | 2016 Total Responses | 2015 Total Responses |
|---------------------|----------------|--------------------|-----------|------------|---------------|----------------|-----------|-----------|--------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|
| 2020 SUMMARY | 4 | 4 | 12 | 4 | 24 | 14 | 13 | 11 | 8 | 94 | 202 | 165 | 172 | 155 | 132 |
| August 2020 Calls | | 1 | 1 | | 3 | 3 | 1 | 2 | | 11 | | | | | |

Call by Type - January through August of 2020 (94 Responses Total)





- Officer Randall Lefebber has been awarded the 2019 FVMPD Officer of the Year award. The following is some language from the nomination:
 - ... hard working, trustworthy and reliable.
 - Randy can be counted on in every aspect of the job. He is there for you when you need help, when asked to assist with follow up he doesn't think twice about helping. Randy shoulders more than his share of duties at the PD and still is a reliable co-worker in terms of taking calls. Randy always has a pleasant attitude and positively impacts officer morale.
- Officer Jeff Nett is getting settled in as the new Little Chute Police School Liaison Officer.
- We have made a conditional offer of employment to a candidate from the police officer eligibility list. If they meet all the pre-employment requirements, we hope to have them start by the end of this month.
- September is Suicide Awareness Month. At metro, we try to raise awareness on this topic and advertise resources for people struggling with mental illness and suicidal ideations. We have squad cars with resources printed on them...



- Chief Meister will be meeting with the Wisconsin Professional Police Association and the Fox Valley Metro Professional Police Association in the coming weeks to discuss potential labor agreement language regarding the new position of K-9 Handler.
- The 2019, FVMPD Annual Report is published. It can be found on our webpage for interested readers.

ACTIVITY / PERFORMANCE METRICS

Below is a table showing a three-month comparison of calls for service and incidents in Little Chute.



FOX VALLEY METRO POLICE DEPARTMENT

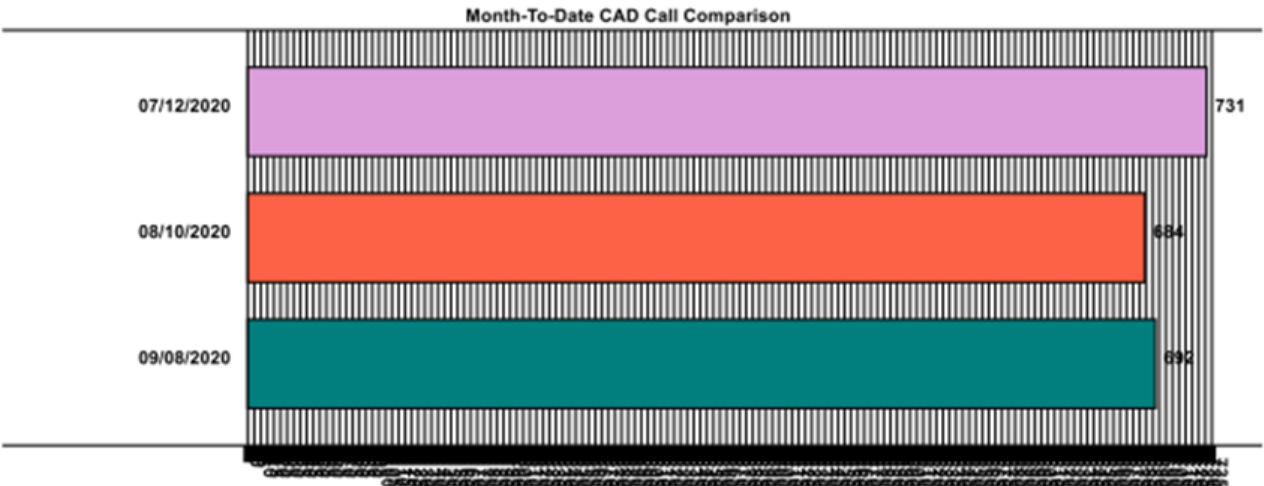
Month-to-Date CAD Call Detail

Month-To-Date CAD Received Calls

| Call Nature | 08/11/2020 | 07/13/2020 | 1 mo % | 06/14/2020 | 2 mo % |
|--------------------------------|----------------|----------------|---------|----------------|---------|
| | to 09/08/2020: | to 08/10/2020: | change: | to 07/12/2020: | change: |
| 911 Misdial | 70 | 67 | 4.5% | 64 | 9.4% |
| Abandoned Vehicle | 4 | 3 | 33.3% | 7 | -42.9% |
| Abdominal A-Adam Response | 1 | 0 | N/A | 0 | N/A |
| Accident in a Parking Lot | 4 | 1 | 300.0% | 3 | 33.3% |
| Accident with Injury | 0 | 0 | N/A | 2 | -100.0% |
| Accident with Scene Safety | 0 | 0 | N/A | 2 | -100.0% |
| Accident with Spill Cleanup | 1 | 0 | N/A | 0 | N/A |
| Allergies A-Adam Response | 1 | 0 | N/A | 0 | N/A |
| Allergies C-Charles Response | 2 | 0 | N/A | 0 | N/A |
| Allergies D-David Response | 1 | 0 | N/A | 0 | N/A |
| Animal Bite | 2 | 3 | -33.3% | 2 | 0.0% |
| Animal Call | 19 | 16 | 18.8% | 21 | -9.5% |
| Assist Citizen or Agency | 35 | 50 | -30.0% | 54 | -35.2% |
| Back Problem C-CharlesResponse | 0 | 0 | N/A | 1 | -100.0% |
| Battery | 0 | 1 | -100.0% | 1 | -100.0% |
| Bicycle Stop | 0 | 0 | N/A | 1 | -100.0% |
| Bleeding C-Charles Response | 1 | 0 | N/A | 0 | N/A |
| Bleeding D-David Response | 0 | 1 | -100.0% | 0 | N/A |
| Breathing Problem C-Charles | 0 | 0 | N/A | 1 | -100.0% |
| Breathing Problem D-David | 1 | 2 | -50.0% | 5 | -80.0% |
| Burglary | 2 | 1 | 100.0% | 2 | 0.0% |
| Carbon Monoxide Alarm | 1 | 0 | N/A | 1 | 0.0% |
| Chest Complaint C-Charles | 0 | 0 | N/A | 1 | -100.0% |
| Chest Complaint D-David | 3 | 2 | 50.0% | 1 | 200.0% |
| Civil Matter Assist | 3 | 4 | -25.0% | 4 | -25.0% |
| Civil Process | 7 | 14 | -50.0% | 0 | N/A |
| Crime Prevention | 55 | 42 | 31.0% | 66 | -16.7% |
| Damage to Property | 5 | 9 | -44.4% | 4 | 25.0% |
| Diabetic Issue A-Adam | 0 | 0 | N/A | 1 | -100.0% |
| Diabetic Issue C-Charles | 0 | 0 | N/A | 1 | -100.0% |
| Diabetic Issue D-David | 0 | 0 | N/A | 1 | -100.0% |

| | | | | | |
|------------------------------|----|----|---------|----|---------|
| Disorderly Conduct | 0 | 1 | -100.0% | 0 | N/A |
| Disturbance | 23 | 11 | 109.1% | 13 | 76.9% |
| Domestic Disturbance | 7 | 6 | 16.7% | 5 | 40.0% |
| Drowning E-Edward Response | 0 | 0 | N/A | 1 | -100.0% |
| Drug Complaint | 2 | 2 | 0.0% | 6 | -66.7% |
| Dumpster Fire | 0 | 0 | N/A | 1 | -100.0% |
| Emergency Committal | 0 | 1 | -100.0% | 0 | N/A |
| Fainting A-Adam | 0 | 2 | -100.0% | 1 | -100.0% |
| Fainting C-Charles | 1 | 0 | N/A | 1 | 0.0% |
| Falls A-Adam Response | 1 | 2 | -50.0% | 1 | 0.0% |
| Falls B-Boy Response | 0 | 1 | -100.0% | 1 | -100.0% |
| Falls D-David Response | 0 | 1 | -100.0% | 0 | N/A |
| Fire Alarm Commercial | 4 | 0 | N/A | 3 | 33.3% |
| Fire Unauthorized Burning | 0 | 1 | -100.0% | 1 | -100.0% |
| Fire Vegetation or Grass | 1 | 0 | N/A | 0 | N/A |
| Fire Vehicle Small | 1 | 0 | N/A | 0 | N/A |
| Fireworks Complaint | 3 | 3 | 0.0% | 20 | -85.0% |
| Follow Up | 17 | 29 | -41.4% | 16 | 6.2% |
| Fraud Complaint | 11 | 4 | 175.0% | 3 | 266.7% |
| Garbage or Rubbish Fire | 0 | 0 | N/A | 1 | -100.0% |
| Graffiti Complaint | 0 | 2 | -100.0% | 0 | N/A |
| Harassment | 6 | 8 | -25.0% | 9 | -33.3% |
| Hazard in Roadway | 14 | 11 | 27.3% | 15 | -6.7% |
| Heart Problem C-Charles | 1 | 0 | N/A | 0 | N/A |
| Heart Problem D-David | 1 | 1 | 0.0% | 2 | -50.0% |
| Jail GPS Checks | 12 | 10 | 20.0% | 0 | N/A |
| Juvenile Complaint | 13 | 9 | 44.4% | 5 | 160.0% |
| K9 Assist | 0 | 1 | -100.0% | 1 | -100.0% |
| Law Alarms - Burglary Panic | 5 | 10 | -50.0% | 6 | -16.7% |
| Lost or Found Valuables | 11 | 5 | 120.0% | 18 | -38.9% |
| Medical Assistance No Injury | 3 | 1 | 200.0% | 2 | 50.0% |
| Medical Pre-Alert | 2 | 2 | 0.0% | 5 | -60.0% |
| Missing Person | 0 | 0 | N/A | 2 | -100.0% |
| Motorist Assist | 17 | 22 | -22.7% | 16 | 6.2% |
| Natural Gas or Propane Leak | 0 | 1 | -100.0% | 0 | N/A |
| Noise Complaint | 5 | 4 | 25.0% | 6 | -16.7% |
| Ordinance Violation | 18 | 21 | -14.3% | 25 | -28.0% |
| PNB E-Edward Response | 0 | 1 | -100.0% | 1 | -100.0% |
| Parking Enforcement | 7 | 13 | -46.2% | 9 | -22.2% |
| Parking Request | 1 | 1 | 0.0% | 0 | N/A |
| Reckless Driving Complaint | 20 | 22 | -9.1% | 21 | -4.8% |

| | | | | | |
|--------------------------------|-----|-----|---------|-----|---------|
| Residence Lockout | 0 | 1 | -100.0% | 0 | N/A |
| Retail Theft | 0 | 0 | N/A | 1 | -100.0% |
| Runaway Juvenile | 1 | 1 | 0.0% | 0 | N/A |
| Scam | 1 | 1 | 0.0% | 3 | -66.7% |
| Seizure D-David Response | 1 | 0 | N/A | 0 | N/A |
| Sex Offense | 3 | 0 | N/A | 0 | N/A |
| Sick A-Adam | 0 | 1 | -100.0% | 3 | -100.0% |
| Sick C-Charles | 0 | 1 | -100.0% | 3 | -100.0% |
| Sick D-David | 0 | 1 | -100.0% | 1 | -100.0% |
| Spill Cleanup | 2 | 0 | N/A | 0 | N/A |
| Stroke C-Charles | 2 | 0 | N/A | 1 | 100.0% |
| Structure Fire Smoke or Flame | 1 | 3 | -66.7% | 1 | 0.0% |
| Suspicious Incident | 22 | 20 | 10.0% | 25 | -12.0% |
| Suspicious Person | 4 | 3 | 33.3% | 6 | -33.3% |
| Suspicious Vehicle | 18 | 7 | 157.1% | 7 | 157.1% |
| Theft Complaint | 8 | 7 | 14.3% | 9 | -11.1% |
| Theft of Automobile Complaint | 0 | 1 | -100.0% | 3 | -100.0% |
| Traffic Enforcement | 7 | 2 | 250.0% | 11 | -36.4% |
| Traffic Stop | 121 | 147 | -17.7% | 126 | -4.0% |
| Transport | 1 | 0 | N/A | 0 | N/A |
| Transport Accident B-Boy | 0 | 0 | N/A | 1 | -100.0% |
| Transport Accident D-David | 1 | 1 | 0.0% | 0 | N/A |
| Traumatic Injuries A-Adam | 0 | 1 | -100.0% | 1 | -100.0% |
| Traumatic Injuries D-David | 0 | 0 | N/A | 1 | -100.0% |
| Trespassing | 6 | 2 | 200.0% | 3 | 100.0% |
| Unconscious D-David | 1 | 1 | 0.0% | 3 | -66.7% |
| Unknown Problem D-David | 1 | 0 | N/A | 0 | N/A |
| Unlocked or Standing Open Door | 3 | 4 | -25.0% | 7 | -57.1% |
| Vehicle Accident | 15 | 16 | -6.2% | 20 | -25.0% |
| Vehicle Lockout | 8 | 5 | 60.0% | 2 | 300.0% |
| Vehicle Pursuit | 0 | 1 | -100.0% | 0 | N/A |
| Violation of Court Order | 2 | 2 | 0.0% | 2 | 0.0% |
| Wanted Person or Apprehension | 3 | 0 | N/A | 0 | N/A |
| Water Problem | 0 | 0 | N/A | 1 | -100.0% |
| Water Rescue | 0 | 0 | N/A | 1 | -100.0% |
| Weapon Violation | 1 | 0 | N/A | 0 | N/A |
| Welfare Check | 33 | 29 | 13.8% | 24 | 37.5% |
| Wire Down | 1 | 1 | 0.0% | 2 | -50.0% |



Kimberly/Little Chute Joint Public Library

HIGHLIGHTS

- CarlX Implementation August 15
- Continued curbside service has been appreciated and well used
- Pop-Up Library circulation is growing Tuesday afternoons in Kimberly
- WiFi hotspots are circulating
- Updated Unattended Children Policy

TOP PRIORITIES FOR SEPTEMBER

- Continue to review and revise practices to serve during COVID-19 and prepare for possibilities of reopening
- Census Event and Walking Art Gallery
- Collection development and digital services review
- Facilitate installation of outdoor wifi access points
- Follow up on laptops for circulation grants
- Marketing library services – Library card Sign Up Month
- Begin Circulating Roku Sticks

UPCOMING EVENTS

- Watch our Social Media and digital newsletter for program announcements.

Parks, Recreation and Forestry Department

HIGHLIGHTS

- Construction began on the Van Lieshout Playground and Pour in Place Surfacing.
- Submitted the 2021 department operating budget.
- Finished all work on the Van Lieshout Baseball Field.
- Construction on the David and Rita Nelson Family Heritage Crossing began. We also held the groundbreaking ceremony.
- Hosted a Dive In Movie with Unison Credit Union on August 7.
- Held socially distanced Drive In Movie at Doyle Park on Monday, August 17.
- Registration for fall/winter rec programs began on Monday, August 3.
- The Doyle Pool closed for the season on August 23, 2020.
- Prep work for start of jets football - equipment handout 8/27 AM; meeting with coaches and players 8/27 PM; first team practice scheduled for 9/8 PM due to delayed start to season.
- Planning for fall programs – youth flag football, youth soccer program, adult yoga, indoor archery, sitter course, wine walk, fall dance classes (equipment, staff, supplies, etc.).

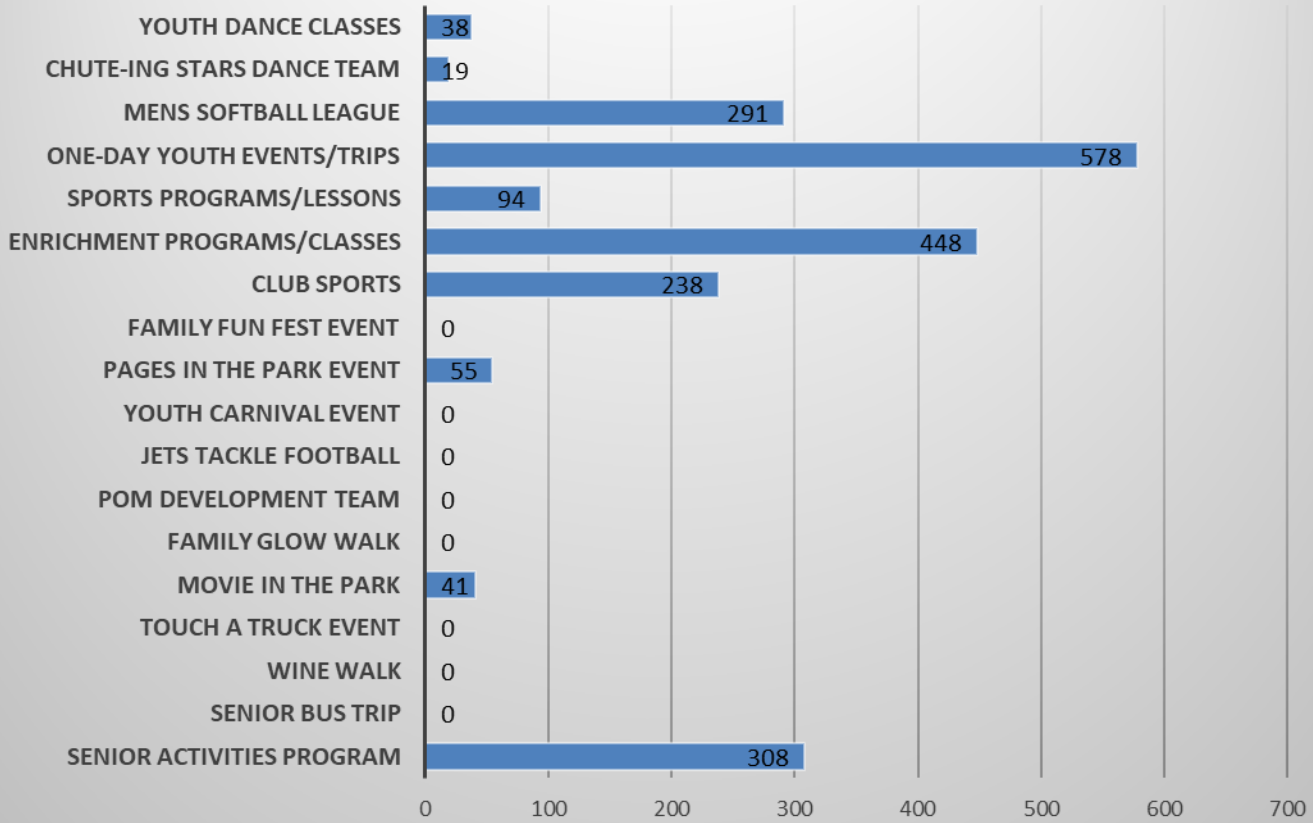


TOP PRIORITIES FOR AUGUST

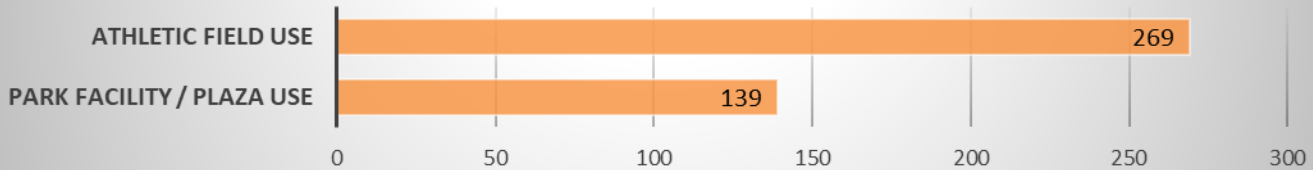
- Finish installing the pour in place surfacing at the Van Lieshout Playground.
- Van Lieshout Outdoor Patio project construction.
- Plant 94 trees in the village terrace and park system. Work to be completed by Van Zeeland's Nursery.
- Drain the Doyle Pool and complete winterization of the pool systems. Begin painting the pool for 2021.
- Install 5 benches at Creekview Park that were donated by Nestle Freedom of Little Chute.
- Conduct a park planning committee meeting on Tuesday, September 1, 2020.
- Continue construction on the David and Rita Nelson Family Heritage Crossing.
- Propose hosting the 2020 Deering Culling only in Heesakker Park.
- Install the concrete sidewalk around the Heesakker Playground area.
- Park staff to prep fields for youth soccer, youth flag football, Jets Football, and the high school soccer team.
- Fall programs begin. These programs include Flag Football, Soccer, Jets Football, Archery, Youth Dance, and more.
- Host the Glow Walk at Van Lieshout park on Friday, September 25.



2020 Year-To-Date PROGRAM PARTICIPATION



2020 Year-To-Date...



2020 TO-DATE POOL PARTICIPATION COUNTS



Department of Public Works

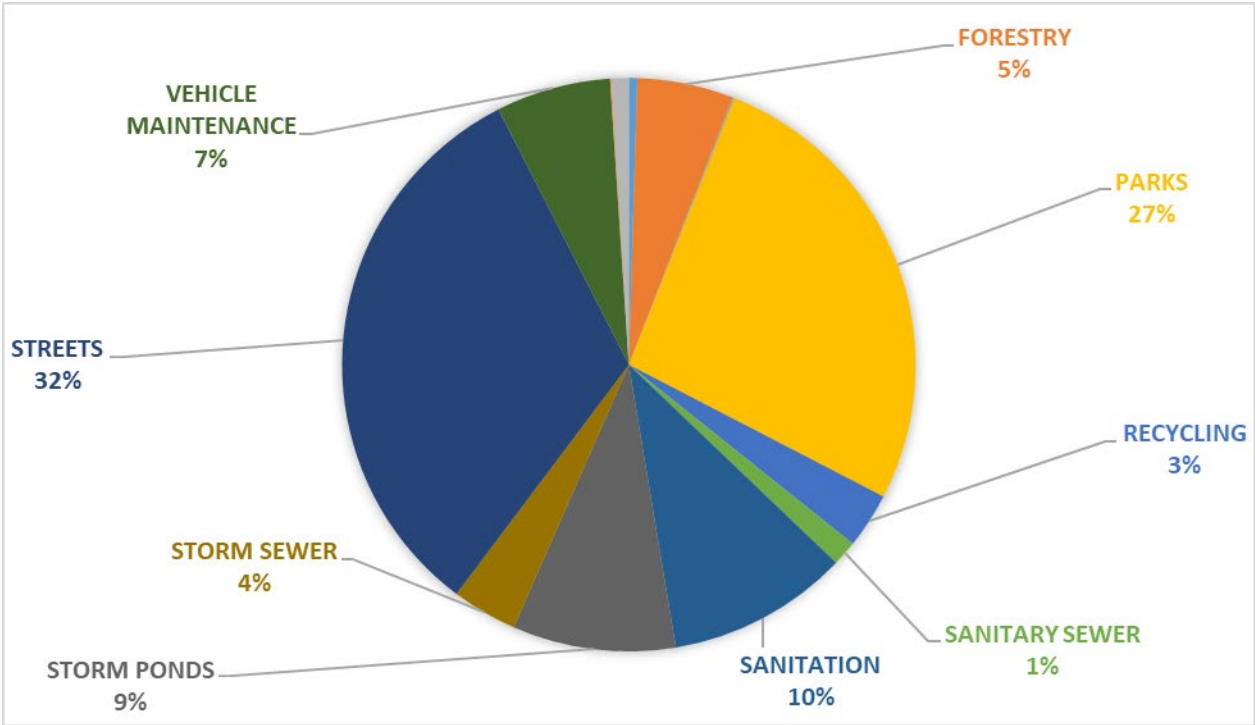
HIGHLIGHTS

- All erosion control and storm water permits were monitored.
- Continued to work to find resolution regarding Outagamie County Landfill leachate entering the sanitary collection system.
- Investigated backyard drainage concerns and located storm laterals as requested.
- Evaluated storm inlets and painted educational stencils stating – “Dump No Waste Drains to River”.
- Storm Ponds – seasonal trapping of muskrats, restored residential storm corridor, removed goose fence Buchanan pond, out fall screening preparation, and pond dredging research.
- Crew poured and finished 29.5 yards of concrete (94 cakes of sidewalk).
- Eradicated weeds around the railroad in Industrial Park.
- Checked all traffic signals and pedestrian lights before the start of the school year.
- Chip sealed the following streets – Taylor, Washington, Van Buren, and Harrison.
- Completed work with contractor on Village rail spur maintenance.
- Abandoned utility services, raze, and dispose of refuse from properties on Karen Drive.
- Hired new Public Works / Parks and Forestry employee. Welcome to the team Dan Kamps!

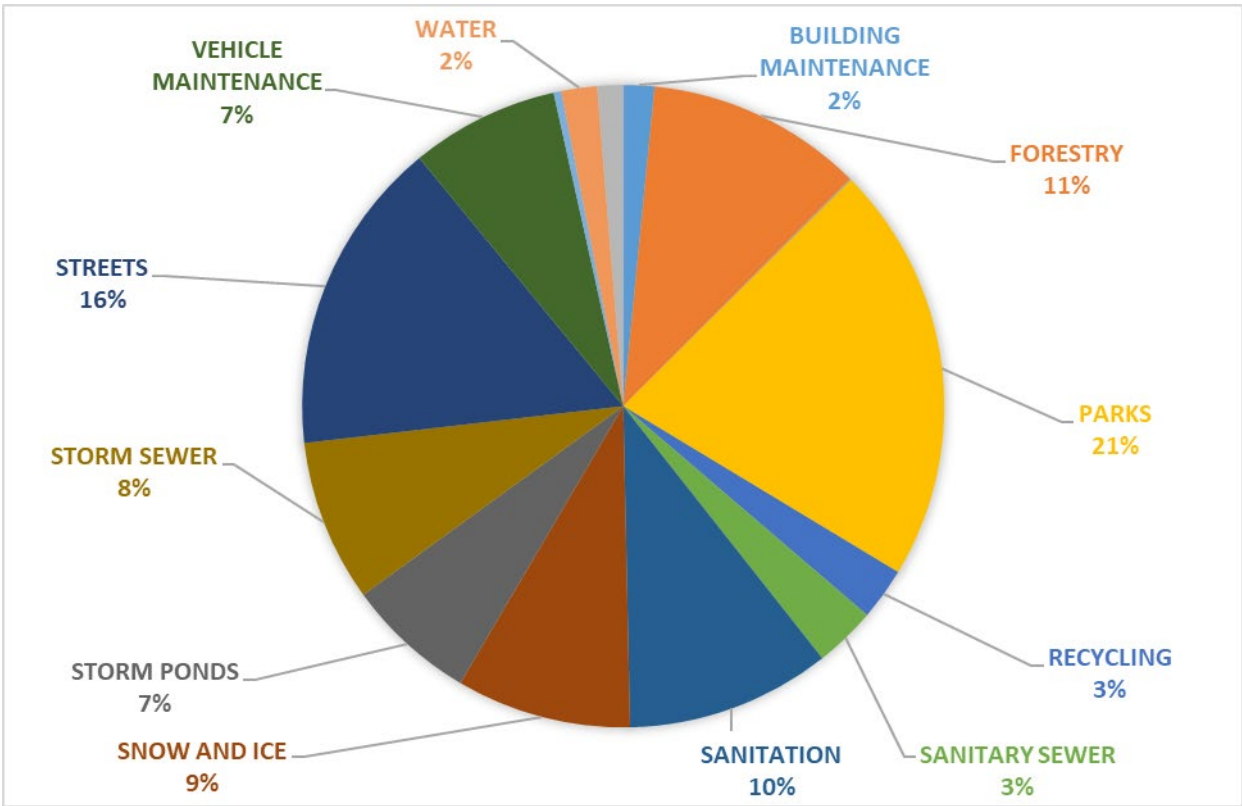
TOP PRIORITIES FOR SEPTEMBER

- Continue to evaluate the Village storm water ponds.
- Update preventive maintenance plans for sanitary and storm sewers.
- Update the Fleet Management Plan.
- Track down and repair sanitary sewer inflow and infiltration (I&I).
- Complete the 2021 budget and mission statements.
- Continue to work with surrounding communities to prepare for TDS fiber installation in 2021.

August Department of Public Works & Parks Department Hours Worked (Includes Full & Part-time Hours)



Year to Date Department of Public Works & Parks Department Hours Worked (Includes Full & Part-time Hours)



Engineering Department

HIGHLIGHTS

- Carol Lynn Drive, Homewood Court, Moasis Drive Utilities – The utility installation completed for the month of August is presented below. Full time inspection, documentation, and construction management work for the installation of public utilities continues to be our priority during the construction season.

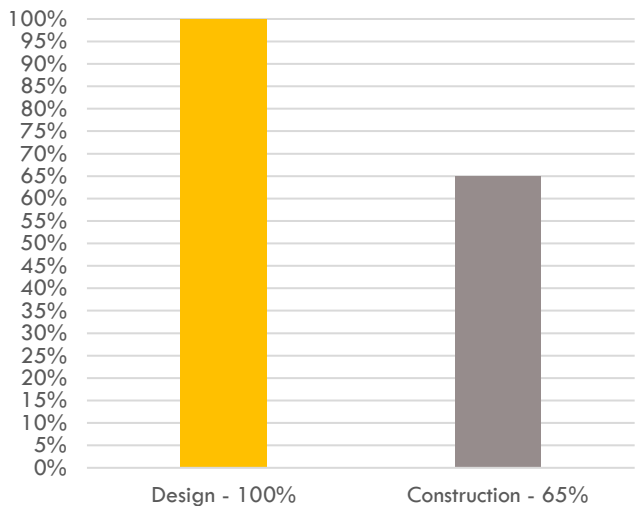
| SANITARY | | Installed | Abandoned/Remove |
|------------------------------------|----|-----------|------------------|
| No Sanitary Utility Work in August | EA | None | None |
| WATER | | Installed | Abandoned/Remove |
| 6" PVC Water Main | LF | 27.0 | 27.0 |
| 8" PVC Water Main | LF | 6.0 | 6.0 |
| 10" PVC Water Main | LF | 1,628.0 | 1,628.0 |
| 12" PVC Water Main | LF | 12.0 | 12.0 |
| 6" Water Valves | EA | 2 | 0 |
| 8" Water Valves | EA | 2 | 2 |
| 10" Water Valves | EA | 5 | 4 |
| 12" Water Valves | EA | 1 | 1 |
| Fire Hydrants | EA | 2 | 2 |
| STORM | | Installed | Abandoned/Remove |
| 12 Inch and Smaller Storm Sewer | LF | 174.6 | 2,321.0 |
| 15 to 30 Inch Storm Sewer | LF | 586.1 | 91.0 |
| 6 Inch PVC Storm Lateral | LF | 912.0 | 289.0 |
| Inlets/Catch Basins | EA | 11 | 3 |
| Manholes | EA | 2 | 0 |

- Moasis Water Main Reconstruction – Work began on August 17th for water main improvements. Traffic control for a truck detour was also provided and improved during the month of August to direct traffic away from Elm and Florida.
- Downtown Hotel Storm Sewer Project – Design is wrapping up on this project with a bid sheet and project manual being finalized.
- Lyle Street Storm Sewer - Design is also near completion for this project with a bid sheet and project manual being finalized.
- Other active work projects - We continue to make progress on showing lateral locations in GIS for the storm, sanitary, and water utilities. Our summer intern has returned to school. We wish Kade Riley all the best at the University of Wisconsin this fall.

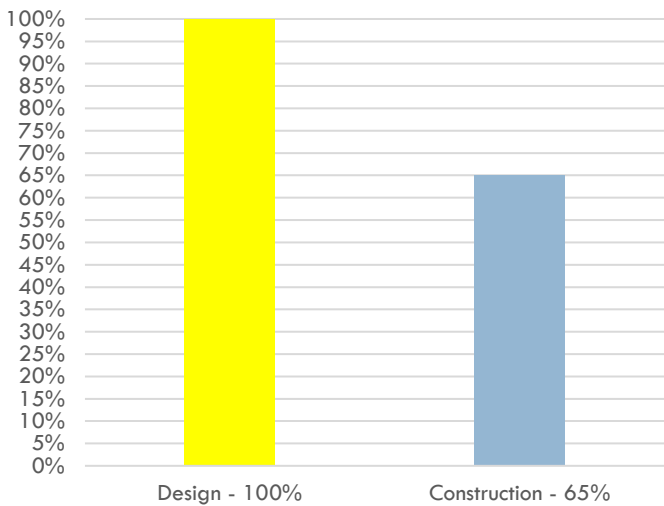
TOP PRIORITIES FOR SEPTEMBER

- Carol Lynn Drive & Homewood Court Paving – The Paving Contractor is scheduled to begin concrete paving for the new street in Homewood Court and Carol Lynn Drive during the first week in September
- Lyle Street Storm Sewer & Downtown Storm Sewer Extension – A mid-September bid notification is scheduled for these projects.
- Moasis Water Main Reconstruction – Most of the water main installed for the month of August was for the Moasis Drive. Storm sewer improvements are being discussed with the contractor to enlarge the pipe sizes of the storm sewer inlet leads while the contractor is on-site.
- Ebben Storm Sewer – This project is being designed by a Consultant and is reaching the final phase of design. It is expected that a mid-September bid notification will be scheduled for this project.
- 2021 Engineering Budget – The Engineering Department budget is expected to be submitted to finance in early September.
- Hickory Drive Urbanization – A draft development agreement has been provided to Nestle with full utilities and an 8-inch doweled concrete pavement. A 90 percent plan review has been completed with construction expected to begin in mid-September.
- Site Plan Review - Many private development projects are being reviewed in September with time being devoted to the review of storm water management plans.
- Pine Street Parking – Two Concept Plans are in development by engineering staff with design elements being provided by Community Development. These exhibits will be made available to the Village board for discussion purposes in September.

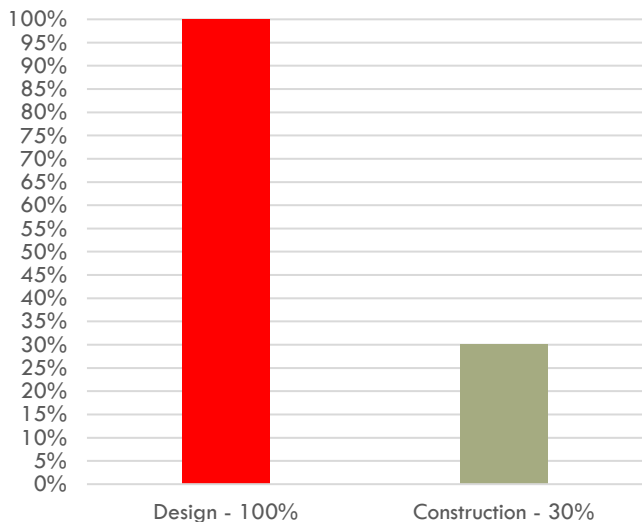
Carol Lynn Drive



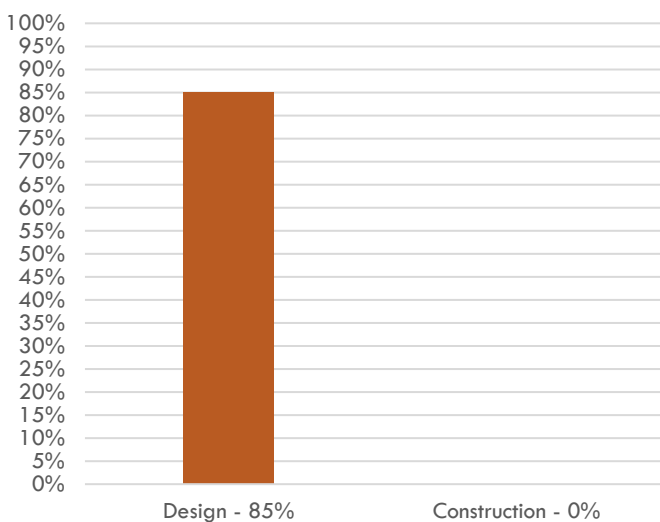
Homewood Court



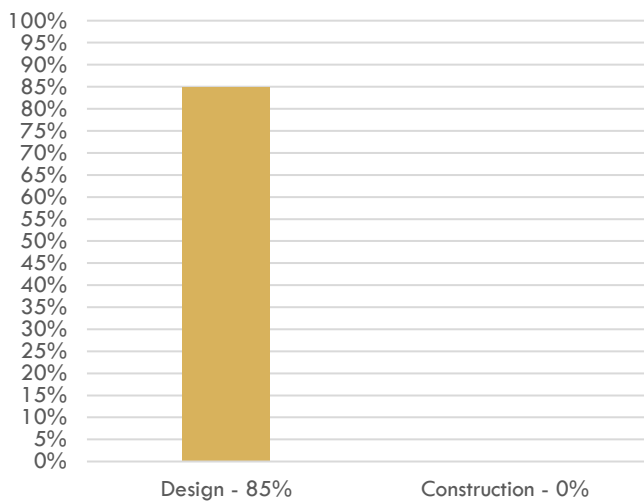
Moasis Drive Water Main



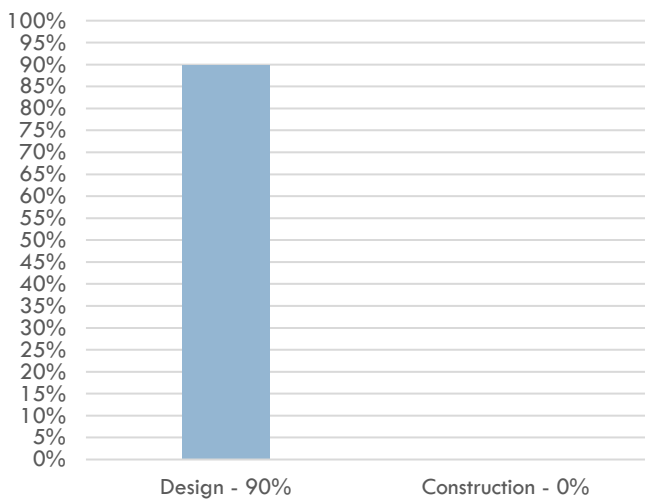
Downtown Storm Sewer - Hotel



Ebben Storm Sewer



Hickory Drive Reconstruction



**VILLAGE OF LITTLE CHUTE
Notice of Public Hearing**

The Little Chute Village Board will conduct a public hearing at the Little Chute Village Hall on Wednesday, September 16th, 2020 at 6:00 p.m. to hear comments from the public in support or objection to the amendment of the Zoning Code Article II Residential Conventional Single Family District Section 44-46 (d)

The proposed ordinance shall be available for public inspection at the office of the Village Clerk during regular office hours prior to the scheduled date of the public hearing.

PURPOSE: to add offices and clinics to the special exceptions in this district subject to the conditional use process

If you have any questions, please contact the Zoning Administrator at (920) 423-3870

Notice is further given that the said meeting is open to the public and that all persons wishing to be heard in support or objecting to the amendment of the Zoning Code Article II Residential Conventional Single Family District Section 44-46 (d) are requested to be present at this public hearing.

**DATE OF HEARING: September 16th, 2020
TIME OF HEARING: 6:00 P.M.
PLACE OF HEARING: Village Hall
Board Room
108 West Main Street
Little Chute, WI 54140**

David Kittel
Community Development Director

Run: September 2 & September 9, 2020

Any person wishing to attend who, because of a disability, requires special accommodations, should contact the Village Clerk, 108 W. Main St., Little Chute, (920) 788-7380, at least 48 hours prior to the meeting so that arrangements can be made.

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: To update the Zoning ordinance as it pertains to special exceptions in the Residential Conventional (RC) district

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/19/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

There are a few uses that are allowed in the Residential Conventional (RC) district that are not residential in use. These would be public and semipublic nonprofit institutional uses including churches, schools, libraries and the like. On occasion these other allowed use buildings are no longer needed and placed for sale. What results is a building that sits vacant with only a few uses allowed. Many of these buildings are still economically useful for a different use such as an office or clinic. Yet due to how our current ordinances are set up this would require rezoning the property. Depending on the location of these buildings this may be viable, but on occasion a rezoning could open up a future use that would not be desirable in a residential setting. In these situations a conditional use would be appropriate and allow for certain uses like an office/clinic that has minimal impact to the area to be allowed where applicable and allow for stipulations to be placed on the conditional use to minimize impact to the residences while allowing the building to be occupied. Currently the Special exception uses and structures for the RC district are below with the proposed change/addition in red:

d) *Special exception uses and structures.* The following are special exception uses and structures in the RC district:

- (1) Day nurseries and kindergartens with at least 100 square feet of open play space for each child enrolled.
- (2) Convalescent, children's and nursing homes and group homes under Wis. Stats. ch. 61.
- (3) Public utility installations.
- (4) Cemeteries.
- (5) Gardens, nurseries, and orchards, provided no office or store is maintained on the premises.
- (6) Bed and breakfast establishments.
- (7) **Business and Professional Offices, public and private clinics.**

Adding this would set up a clear process for these instances and allow the Village to ensure any use would be fitting to the property while not being intrusive to our existing residential areas. This would also assist in preventing otherwise useable building from being vacant, and unsightly, with the potential to add value to the community.

RECOMMENDATION:

Amend Sec 44-46(d) to include business, professional offices, and public, private clinics as a special exception use in the Residential Commercial district.

VILLAGE OF LITTLE CHUTE

ORDINANCE NO. 7, SERIES OF 2020

AN ORDINANCE AMENDING THE ZONING CODE ARTICLE II ZONING DISTRICTS SECTION 44-46(d) OF THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE.

WHEREAS, the Plan Commission of the Village of Little Chute has recommended the following ordinance amendments; and,

WHEREAS, the required public hearing has been held before the Village Board of Trustees, Village of Little Chute; and,

WHEREAS, the Village Board of Trustees, Village of Little Chute, finds the following ordinance amendments to be in the public interest;

NOW, THEREFORE, the Village Board of Trustees, Village of Little Chute, do ordain as follows:

Section 1. That the Zoning Ordinance, Section 44-Article II, Section 44-46(d) of the Municipal Code of the Village of Little Chute are hereby amended to read as follows:

- (d) *Special exception uses and structures.* The following are special exception uses and structures in the RC district:
- (1) Day nurseries and kindergartens with at least 100 square feet of open play space for each child enrolled.
 - (2) Convalescent, children's and nursing homes and group homes under Wis. Stats. ch. 61.
 - (3) Public utility installations.
 - (4) Cemeteries.
 - (5) Gardens, nurseries, and orchards, provided no office or store is maintained on the premises.
 - (6) Bed and breakfast establishments.
 - (7) Business and Professional Offices, public and private clinics.

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: September 2, 2020

Approved and adopted: September 16, 2020

VILLAGE OF LITTLE CHUTE

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
VILLAGE BOARD
NOTICE OF PUBLIC HEARING**

CONDITIONAL USE REQUEST

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on September 16, 2020 at 6:00 p.m. by the Village Board, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Owner requests a conditional use permit for a Clinic occupancy, more specifically to operate a clinic for occupational therapy dealing with sensory issues. The property is Zoned; RC- Residential Conventional in the Village of Little Chute, Outagamie County, Wisconsin.

Address: 1215 Buchanan St

Parcel #260105100

Legal Description: ASSRS PLAT N143FT OF S401FT OF E147.5FT LOT 13 BLK 61

Current Owner: Home Church

Applicant: Home Church

DATE OF HEARING: September 16, 2020

TIME OF HEARING: 6:00pm

PLACE OF HEARING: Village Hall
Board Room
108 West Main Street
Little Chute, WI 54140

If you have any questions, please contact the Zoning Administrator at (920) 423-3870

Publish: September 9, 2020

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

CHRIS J HARTWIG
PO BOX 165
LITTLE CHUTE, WI 54140

BRADLEY J HIETPAS
RITA M HIETPAS
1007 COOLIDGE AV
LITTLE CHUTE, WI 54140

JENNIFER GLOUDEMANS
JONATHAN HIETPAS
1214 ROOSEVELT ST
LITTLE CHUTE, WI 54140

ANTHONY ZIPPI
CANDEE ZIPPI
1212 ROOSEVELT ST
LITTLE CHUTE, WI 54140

JEFFERY J SMITH
MARIE K SMITH
1200 ROOSEVELT ST
LITTLE CHUTE, WI 54140

JACOB R JOSEPH
EMILY E JOSEPH
1135 BUCHANAN ST
LITTLE CHUTE, WI 54140

CARL F VOSTERS
MARGARET A VOSTERS
1129 BUCHANAN ST
LITTLE CHUTE, WI 54140

CHAD M FREUND
1208 BUCHANAN ST
LITTLE CHUTE, WI 54140

KENNETH J VOSTERS
1210 BUCHANAN ST
LITTLE CHUTE, WI 54140

JAMES A JACKSON
AMBER SKINKIS
1212 BUCHANAN ST
LITTLE CHUTE, WI 54140

ANTHONY H SCHUMACHER
MARYLYN J BETHE
%ANTHONY H SCHUMACHER
1514 E HENRY ST
APPLETON, WI 54915

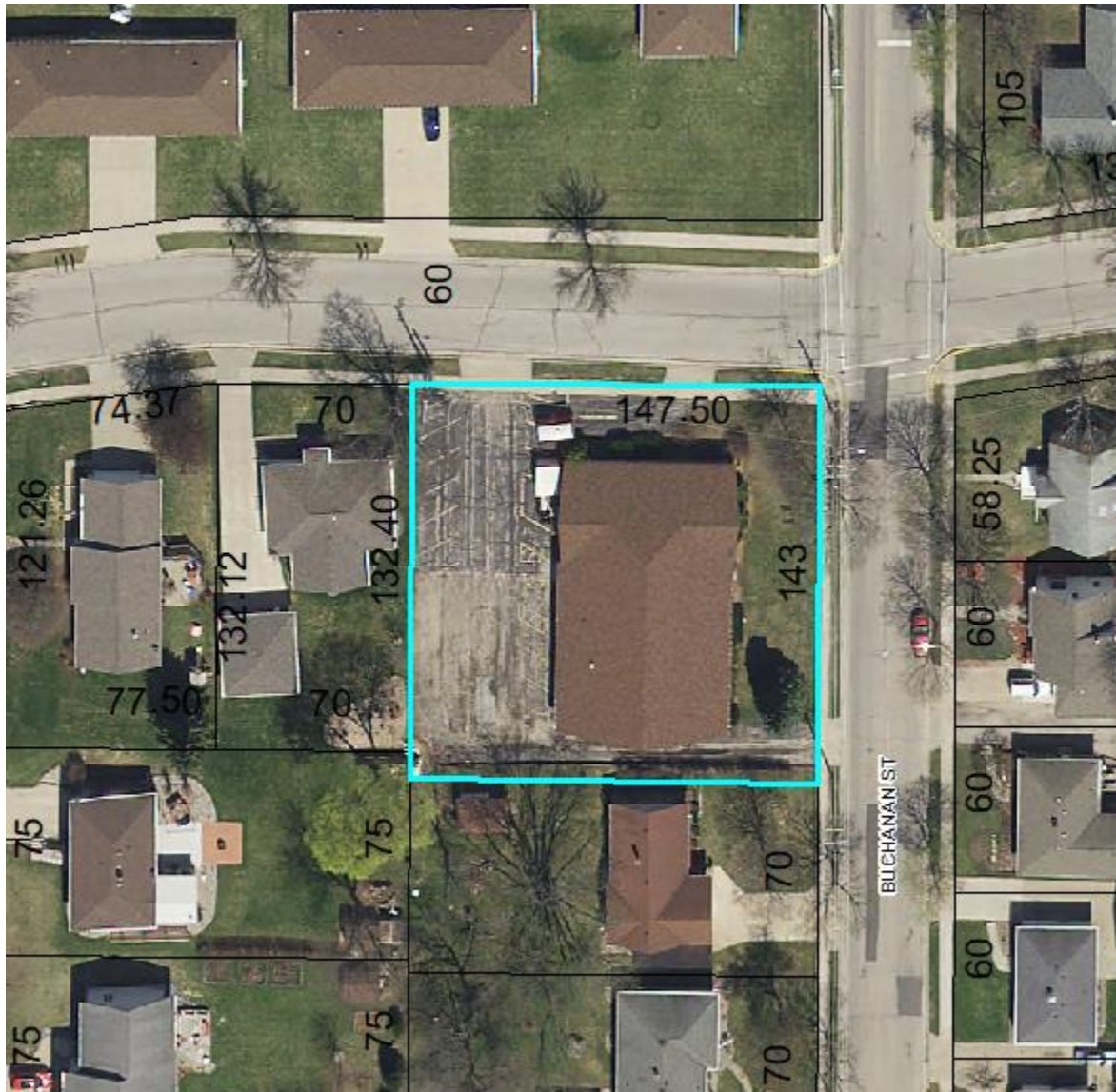
COLIN T HUOLIHAN
1224 BUCHANAN ST
LITTLE CHUTE, WI 54140

HOME CHURCH
PO BOX 1273
APPLETON, WI 54912

Conditional Use request for 1215 Buchanan:

The request is to utilize existing building previously used as a church for a private Clinic. There is ample onsite parking for this use. This proposed use would have low amount of additional traffic, not operate on the weekends, and hold normal business hours during the week.

Some areas of concern brought up by adjacent property owners are regarding a buffer between the residential properties and this property. An easy solution would be to have a fence constructed on the boundary area



**DEVELOPMENT AGREEMENT
BETWEEN
VILLAGE OF LITTLE CHUTE
AND
NESTLE USA, INC.**

This Agreement is made by the Village of Little Chute (herein “Village”) and Nestle USA, Inc. (herein “Nestle”). The Village and Nestle may be referred to herein as “party” or collectively as “parties”.

BACKGROUND RECITALS

WHEREAS, Nestle operates a food products distribution facility (herein “Facility”) in the Village located on the east side of County Highway N and on the south side of Hickory Drive; and

WHEREAS, Hickory Drive is currently not developed to Village road standards; and

WHEREAS, Nestle desires Hickory Drive to be improved to Village road standards to accommodate greater levels of usage for the benefit of the Facility; and

WHEREAS, County Highway N will have to be improved to accommodate traffic entering and exiting Hickory Drive; and

WHEREAS, the improvements of Hickory Drive and County Highway N will also require the installation of additional Infrastructure; and

WHEREAS, Nestle is further in need of some design modifications to the driveway and parking areas on the south side of the Facility grounds owned by Nestle (“Facility property”); and

WHEREAS, the Village requires permanent storm water management easements from Nestle related to public right-of-way surface water in conjunction with the subject matter of this Agreement; and

WHEREAS, Nestle occupies the Nestle facility grounds as a Tenant of Hickory Drive Holdings, LLC which has its own consent letter requirements for parking lot expansion stated in a letter dated August 18, 2020;

NOW, THEREFORE, the Village and Nestle agree as follows:

1. **Road Improvements and Permits.** Nestle agrees to pay for the design and construction of road improvements to both Hickory Drive and County Highway N as described in this Agreement (herein collectively “Road Improvements”).

2. **County Highway N Improvements.** The County Highway N improvements will include the following areas of road work located on the east side of Highway N both north and south of the intersection with Hickory Drive as shown on **Exhibit A** on **Plan Sheets 03** and **04**

from the **Freedom Road and Hickory Drive Reconstruction Bid Documents**, stamped and dated, August 17, 2020.

- a. Entrance to Hickory Drive from Highway N
- b. Right turn lane north of the County Highway N entrance
- c. Deceleration lane markings beginning south of the County Highway N entrance
- d. All constructed to Outagamie County specifications

3. **Hickory Drive Improvements.** The Hickory Drive improvements will include the following features located along the northern border of the Nestle Facility property and running from and including the intersection of Highway N (STA 1+57) in an easterly direction approximately 2,003 feet (STA 21+60) to a point east of the eastern boundary of the Nestle Facility property at the intersection of Don Degroot Drive, as shown on **Exhibit A on Plan Sheets 05 through 08** from the **Freedom Road and Hickory Drive Reconstruction Bid Documents**, stamped and dated, August 17, 2020.

- a. Fully improved urbanized roadway consisting of three lanes of concrete pavement with integral curb and gutter.
- b. Driveway access points at three locations to Nestle Facility property
- c. Associated gravel base and pipe network for storm sewer, sanitary sewer, and water main to be constructed to Village technical specifications.

4. **Technical Specifications for Road Improvements.** Road Improvements construction standards shall follow Wisconsin DOT standards for paving, including but not limited to, construction processes, procedures, quality of completed installation and materials, and consideration of weather conditions at time(s) chosen for installation. A complete set of Village technical specifications is provided in the **Request for Proposal** document for **Freedom Road, Hickory Drive, & Phase 1 Site Improvements**, dated August 18, 2020 attached hereto as **Exhibit B**.

5. **Payment For, and Approval of, Road Designs.** The design for Road Improvements on both County Highway N and Hickory Drive will be prepared by McMahon Associates, Inc. at Nestle's sole and exclusive expense. Prior to construction commencement, (i) the Hickory Drive Road Improvements design shall be submitted to and approved by the Village at a meeting of the Village Board of Trustees; and also, (ii) the Highway N Road Improvements shall be submitted to the Outagamie County Highway Commission for approval.

6. **Payment for Construction.** Nestle shall pay for all labor and materials for the Road Improvements on both Highway N and on Hickory Drive in full. The Village is not obligated to reimburse Nestle for payment of the road improvements.

7. **Design, Technical Specifications, and Construction of Infrastructure.** Nestle also agrees to pay for the design and construction of infrastructure consisting of street lights, water main, sanitary sewer, and storm sewer, together with associated manholes, valves, and related facilities, to be located in the public right-of-way of County Highway N, Freedom Road, and/or

Hickory Drive, the locations of which are depicted on **Exhibit C Freedom Road and Hickory Drive Reconstruction Bid Documents, sheets 01 through 26** stamped and dated, August 17, 2020 (herein collectively “Infrastructure”), and subject to the requirements in the Specifications Manual (a complete set of Village technical specifications are provided in the **Request for Proposal** document for **Freedom Road, Hickory Drive, & Phase 1 Site Improvements**, dated August 18, 2020) previously described as **Exhibit B**. Nestle is also required to install and/or enlarge an existing storm water detention pond and additional conveyance facilities on the Nestle facility grounds for connection to the Infrastructure located in the public right-of-way referenced above. Nestle is required to obtain all necessary state, county, and local permits for the work and improvements contemplated by this Agreement. Nestle is also required to design and install, at its own expense, on its own Facility grounds additional infrastructure, as depicted on **Exhibit D (2020 Site Improvements Plan Set – Preliminary, sheets 1 through 13** and dated August 2020) consisting of a storm water detention pond, water main/laterals, sanitary main/laterals, storm main/laterals, and related facilities reasonable or necessary associated therewith.

8. **General Contractor.** The general contractor for Road Improvements shall be hired by Nestle, but approved in advance by the Village as being fully qualified for the work to be performed. All payments due to the general contractor shall be made in full when due by Nestle.

9. **Ownership of Improvements.** The Pavement and Utility Improvements on Hickory Drive will constitute property and assets owned by the Village. The Pavement and Storm Sewer Improvements on County Highway N will constitute property and assets owned by Outagamie County. The Sanitary Sewer and Water Main Improvements located in the right of way of County Highway N will constitute property and assets owned by the Village. All Road Improvements, including design, labor and materials, paid for by Nestle, constitute a gift from Nestle to the Village and the County as applicable to their respective ownership stated above.

10. **Commencement Date of Construction.** The parties intend that the Road Improvements design and Infrastructure design will be approved, and construction of the Road Improvements and Infrastructure may begin as early as _____, 2020 if all necessary requirements, approvals, and permits can be obtained on or before that date.

11. **Inspection and Approval of Road Improvements and Testing Infrastructure.** The Village has the right to inspect and reject or approve the Road Improvements upon substantial completion, including the right to require additional or corrective work and materials as reasonable or necessary to assure that the original specifications have been complied with by the contractor doing the work. The Village also has the right to inspect and test all Infrastructure installed by Nestle in conjunction with the Road Improvements. Nestle shall reimburse the Village for the Village’s reasonable costs and expenses incurred for inspection of the installation of the Road Improvements and Infrastructure being located in the right-of-way, and also for testing the Infrastructure installed in road right-of-way for appropriate adequacy of all intended functions and purposes. The Village will inspect at a not to exceed cost of \$33,000 with an additional testing budget of \$10,000, if needed, to verify test results provided by the Contractor. This estimate for work is expected to be completed within the 2020 construction season. Overtime hours or weekend inspections are not included in the above fees.

12. **Road Improvements and Infrastructure Warranty by Nestle.** All Road Improvements and Infrastructure shall be warranted for both workmanship, installation, and materials being of good quality consistent with Village specifications and industry standards for a period of one (1) year following acceptance of the Road Improvements by the Village upon substantial completion.

13. **Nestle to Provide Record Drawings.** Record drawings of the completed Road and Utility Improvements shall be provided to the Village upon substantial completion for the improvements installed in County Highway N and Hickory Drive.

14. **Nestle to Provide Detailed Invoices.** Nestle shall provide to the Village copies of all invoices for all construction, labor and materials associated with installation of the Road Improvements and the Infrastructure for the reason that the Village needs these invoices to document detailed contributed capital fixed asset records for municipal accounting and audit purposes. All such invoices for work completed in 2020 shall be provided to the Village no later than February 15, 2021. If the Project is not completed in 2020, all invoices related to 2021 work must be provided within 60 days of installation completion. All such invoices, whether for 2020 or 2021, shall be identified in terms of whether they apply to Road Improvements, sewer infrastructure, water infrastructure, or storm infrastructure.

15. **Nestle's Road Obligations are Conditional.** Nestle's obligations in this Agreement for the design, construction, and payment for all Road Improvements are conditioned upon the requirement that the Village approve the "Nestle Site Plan Modifications" described in paragraph 18 below.

16. **Nestle to Treat Public Storm Water.** Nestle agrees to treat, by means of settlement or other appropriate means, storm water being transported to the private detention pond located on Nestle's Facility grounds. The storm water system being designed for the public right-of-way as part of the Road Improvements will route storm water coming from Hickory Drive right of way to the detention pond on Nestle's Facility grounds. This accommodation to the Village is being made by Nestle as part of its consideration for the Village authorizing the Road Improvements for Nestle's benefit in this Agreement.

17. **Nestle to Grant Storm Water Easements.** Nestle is required to install, operate, repair, maintain, and replace storm water facilities located on the Nestle Facility grounds. In accordance with the approved Storm Water Management Plan (SWMP) and the Operation and Maintenance Plan (O&M). The submitted documents are dated August 19, 2020. Nestle shall grant permanent storm water easements on the Nestle's Facility grounds to the Village for receiving storm water from public right-of-way, and for operation, repair, maintenance, and replacement of storm sewer, storm sewer facilities, and a storm water detention pond deemed reasonable or necessary by the Village, in the event such operation, maintenance, repairs, and replacements are not undertaken as required by Nestle. Said storm water facilities are to enable Village management of storm water pertaining to public right-of-way surfaces which storm water requires transportation, settlement, or other treatment in accordance with applicable storm water management standards of the Village. Such easements shall be granted by Nestle, upon request by the Village, on usual and customary recordable easement forms. Nestle is responsible for the

installation, operation, repair, maintenance, and replacement for such storm water facilities and all costs associated therewith; however to the extent Nestle fails to maintain satisfactory operational condition of these facilities, the Village may go upon Nestle's Facility grounds to undertake this work and charge back the cost thereof to Nestle as a special charge under Chapter 66.0627 Wisconsin Statutes.

18. **Nestle Site Plan Modifications.** As consideration for this Agreement, and full payment for the design and construction of the Road Improvements by Nestle, the Village has conditionally approved (as further explained below) preliminary site plan modifications to the Facility property owned by Nestle as shown on **Exhibit D** (2020 Site Improvements Plan Set – Preliminary, sheets 1 through 13 and dated August 2020) and described as follows:

- a. Installation of new parking stalls and drive isles
- b. Guard Shack installation
- c. New private storm sewer to convey storm water from public right of way
- d. Storm water management pond improvements to accommodate additional offsite storm water for water quality and detention as specified in the SWMP and O&M documents.
- e. Compliance requirements by Nestle to those terms in a letter dated August 18, 2020 from Broadstone Net Lease, Inc. referencing Hickory Drive Holdings LLC as Landlord in a Lease of the Nestle Facility and grounds to Nestle attached hereto as **Exhibit E.**

Notwithstanding anything contained herein to the contrary, the Village's conditional approval of Nestle's preliminary site plan modifications as shown on **Exhibit D** is conditioned (i) on Nestle's submission of final site plan modifications per Village standards and requirements for final Board consideration and discretionary approval when site plan modifications are finalized and (ii) on Nestle's final site plan modifications compliance with all Village code provisions.

19. **Construction of the Site Plan Improvements.** Construction of the site plan improvements shall not be commenced until the Road Improvements have been designed, completed, record documents provided for the improved facilities, and the work accepted by the Village including that all construction work and materials have been fully paid for by Nestle.

20. **Site Plan Improvements Approval.** The Village is granted the right to require additional work or corrective work as necessary to be performed by Nestle to assure the site plan improvements are constructed in accordance with the design and specifications approved by the Village.

21. **Site Plan Design Specifications.** Detailed site plan design specifications, for the Nestle Facility grounds are attached hereto as **Exhibit B.**

22. **Enforcement.** The obligations of Nestle may be enforced by the Village by an action at law and/or by an action for equitable relief in the Circuit Court for Outagamie County.

23. **Complete Agreement.** This constitutes the complete agreement between the parties and there have been no other oral or written representations, warranties, or agreements upon which any party hereto has relied, except those in writing and signed by the party or parties to be bound.

24. **Parties Bound.** This Agreement shall be binding on the parties hereto and their respective heirs, successors and assigns.

25. **Signatures.** Fax or email copies of this document, and copies of signatures transmitted by fax or email, and counterpart signature pages of this document shall be deemed as binding and valid as originals.

Dated this _____ day of _____, 2020.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael R. Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

NESTLE USA, INC.

BY: _____

**TABLE OF EXHIBITS
TO
DEVELOPMENT AGREEMENT
BETWEEN
VILLAGE OF LITTLE CHUTE
AND
NESTLE USA, INC.**

Exhibit A – paragraph 2 and paragraph 3 – locations of Road Improvements.

Exhibit B – paragraph 4 and 7– Technical Specifications for Road Improvements and Infrastructure

Exhibit C – paragraph 7 – locations of Infrastructure Improvements in right-of-way

Exhibit D – paragraph 7 – locations of Infrastructure Improvements within Nestle facility grounds

Exhibit E – paragraph 18. e. – Broadstone Consent Letter and requirements to Nestle for reference.

August 18, 2020

Paul DiBartolo
Operations Manager
Nestle Dryer DC
3900 North Freedom Road
Little Chute, WI 54913

Via email: Paul.Dibartolo@us.nestle.com

Re: Landlord Consent for Nestle's Proposed Parking Lot Expansion Project
3900 North Freedom Road, Little Chute, WI 54913 [958]

Dear Mr. DiBartolo,

We are in receipt of and have reviewed the most recent supporting documents, provided to us by Scannell Properties, for the Parking Lot Expansion Project currently estimated to cost \$ 3,122,849.25 at the above referenced property. The support documents include:

- Proposal for Nestle Paving Expansion, dated June 10, 2020 by Scannell Properties
- Drawings from McMahon Engineers & Architects, titled 'Alternative 4 – Site Plan', sheets 10 thru 14, dated March 2020
- Proposal for Geotechnical Engineering Services from Intertek PSI dated June 12, 2020
- Proposal for Traffic Study from McMahon Engineers & Architects, dated May 15, 2020
- Revised Budget Proposal for 'Nestle Concept Alt 4', from Northeast Asphalt Inc. (Grading & Paving Contractor) June 9, 2020

Please be advised that pursuant to Section 14, 'Improvements and Alterations' of the Commercial Lease Agreement, dated September 30, 2016 [by and between Assignor and Hickory Drive Holdings, LLC, as amended by that certain Amendment No. 1 to Commercial Lease dated February 7, 2017 and that certain Amendment No. 2 to Commercial Lease dated September 28, 2017, for the property located at 3900 Freedom Road, Appleton, Village of Little Chute, Wisconsin], our approval granted to your Parking Lot Expansion Project is contingent on the following:

1. All Consent-Required Alterations must be performed under the supervision of a licensed architect or engineer in accordance with detailed plans and specifications that are submitted to Landlord at the time Landlord's consent is sought.
2. All improvements made by Tenant shall comply with all applicable laws, codes, and ordinances and the requirements of any permits in connection therewith, including, without limitation, the following:
 - a. any ADA requirements arising from such Improvements
 - b. Wisconsin DOT standards and requirements for exterior concrete and asphalt paving as it relates to the type and intended use of this parking lot expansion, including use for

heavy commercial truck and tractor trailer vehicular access, loading/unloading, and parking of such vehicles

- c. any geo-technical surveys previously furnished for this property
3. Tenant shall promptly pay all costs and expenses associated with this project and must discharge (by payment, bonding or otherwise), within thirty (30) days of the filing thereof, any construction lien claim filed against the Premises for work claimed to have been done for, or materials claimed to have been furnished to, or on behalf of Tenant (excluding, however, Landlord's Work).
 - a. Tenant may contest any such lien in a manner prescribed by law after posting security for the benefit of Landlord in an amount reasonably determined by Landlord, but in no event more than 125% of the amount claimed by such lien unless such additional amount is required under applicable law to prohibit the foreclosure of any such lien.
4. Upon project completion, Tenant shall in turn bear full responsibility to pay for and execute the care, maintenance, (future) repairs, alterations or replacement of all new work defined by the scope of this parking lot expansion, throughout the remaining portion of the Lease terms, with no exception
5. Tenant, and/or Tenant's contractor shall provide an updated proposed Project Schedule indicating estimated commencement date, milestone events and expected completion date for approved use and occupancy of new expansion area(s)
6. Northeast Asphalt's services described in the Revised Budget Proposal include 'Strip topsoil and stockpile onsite for re-use' as well as 'Place topsoil in greenspace areas for landscaping'. Please ensure that all excavated materials associated with this expansion work is completely removed from the site at Tenant's expense, such that there is no stockpiling that remains on site, if not utilized by tenant for finished and completed landscaping work at the time of this project completion.
7. If a Notice of Completion is required by local law for such work, Tenant shall file it and provide Landlord with a copy.
8. Tenant shall, at Tenant's cost, provide Landlord with a set of "as-built" drawings, upon completion of the project, for any work which Tenant undertakes.
9. All such work shall be performed in a good and workmanlike manner using only licensed contractors and new materials, and expeditiously completed in compliance in all material respects with all Legal Requirements.
10. All such work shall comply with all Insurance Requirements (see attached to this letter).
11. All such improvements will become the property of the Landlord and subject to the Master Lease.

12. Tenant shall procure and pay for all Permits and licenses required in connection with any Alteration and provide copies to the Landlord.
13. Tenant shall promptly repair any damage and perform any necessary cleanup resulting from any Improvements.
14. Tenant shall provide a complete list of all contractors, sub-contractors and major suppliers who will be working on this project.

Once your project is completed, please forward to us evidence of payment for the total cost of the project, along with final waivers of mechanics liens from all contractors, subcontractors and or suppliers who worked on the project.

Please let me know if you have any further questions or if I can be of any further assistance. I can be reached directly at 585-413-5522.

Sincerely,

Broadstone Net Lease, Inc.
Managing Agent



Frank DeLuca
VP, Portfolio Management

cc: Steve Haupt, SVP of Property Management – Broadstone Net Lease Inc
Rick Kingery, VP Enterprise Clients – Colliers International
Mike Schultz, Supervisor DC Operations – Nestle
Cassi Benson, Sr. Property Manager – Scannell Properties

INSURANCE REQUIREMENTS: General Contractor shall procure and maintain (during the entire term of this Project) at their own expense and from insurers acceptable (no less than A Rating by A.M. Best) to Owner, such insurance policies as will fully protect Contractor, all subcontractors, Tenant and Owner, from all claims for injuries or damages, including attorneys' fees, by whomever caused, arising out of, or in any way related to, the performance of the Services, whether before or after completion. General Contractor shall also maintain at their own expense any other insurance required by law, including the following (Only if checked below):

| | | |
|---|---|--|
| ✓ | General Liability, including Completed Operations and Contractual Liability | \$1,000,000 (per occurrence) \$2,000,000 (aggregate) |
| ✓ | Automobile Liability | \$1,000,000 (combined single limit) |
| ✓ | Umbrella Liability | \$5,000,000 |
| ✓ | Worker's Compensation including Employer's Liability | Statutory |
| | Builder's Risk Insurance | Equal to Total Completed Value |

Owner and Tenant shall be named as additional insured on all of these policies, including the coverage for ongoing and completed operations, except Worker's Compensation. All such policies shall be primary and non-contributory over any and all collectible insurance and shall include a waiver of subrogation in favor of the Owner and Tenant. **Prior to commencing any of the Services, Contractor shall deliver to Owner binding certificates of insurance evidencing all insurance coverages required to be maintained by Contractor.**

Hickory Drive Holdings, LLC
800 Clinton Square
Owner: **Rochester, NY 14604**

Tenant: **Nestle USA Inc.**

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Nestle Site Improvements

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/10/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

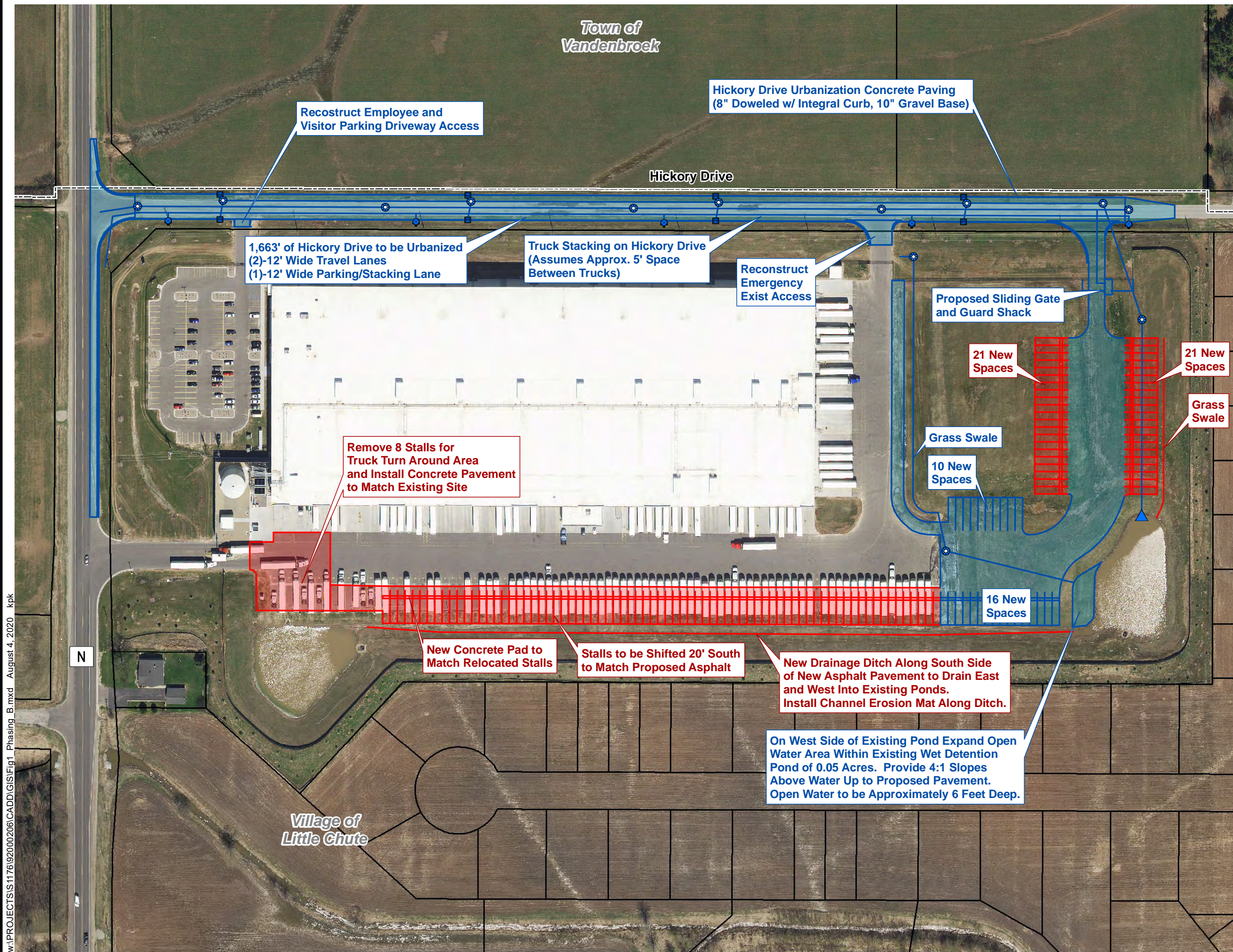
Nestle is looking at upgrading and improving the facility at 3900 Freedom road. Part of this work is to improve Hickory road to better handle truck traffic as well as some site improvements. These improvements will improve the flow of the trucks into the facility and assist in preventing trucks stacking on CTY N. There will be a new entrance created and driving lane off Hickory to allow trucks to enter off Hickory and then exit at the existing gate off CTY N. The Site improvements on the property are listed below:

- Shift existing stalls 20' to the south
- Add 26 stalls along the southern portion of property (16 following the existing parking area and 10 on the other side of the driving lane)
- Add 42 stalls on the eastern portion of the property
- Add Guard shack
- Adding asphalt to widen portions of the existing lot/driving lane

Typically, the trucks parked along the southern portion of the property are not idling and the refers are off. These changes should not be increasing the noise at the facility and our performance standards laid out in Sec 44-245 still apply (No operation or activity shall transmit any noise exceeding 70 dBA from 7:00 a.m. to 10:00 p.m. and 60 dBA from 10:00 p.m. to 7:00 a.m. beyond the property line).

RECOMMENDATION: For the Plan Commission to discuss and make a recommendation to the Village Board to Approve the Site Plan for Nestle.

w:\PROJECTS\1176\92000206\CADD\GIS\Fig1_Phasings_B.mxd August 4, 2020 kpk



Phase I Improvements

- Sanitary System
- Water System
- Storm System
- Pavement or Pond

Phase II Improvements

- Storm System
- Pavement

Other Mapped Features

- Municipal Boundary
- Parcel Line

Source: Outagamie County, 2018-20.

Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



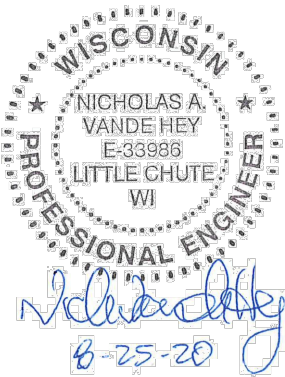
0 150 300 Feet

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.

FIGURE 1
PHASING
DISTRIBUTION FACILITY
IMPROVEMENTS
SCANNELL PROPERTIES
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

2020 SITE IMPROVEMENTS NESTLE USA

VILLAGE OF LITTLE CHUTE, WISCONSIN
MCM # N0940 9-20-00535-B



CONTACT INFORMATION

UTILITIES

VILLAGE OF LITTLE CHUTE
CHRIS MURAWSKI (SANITARY, STORM, WATER)
108 W. MAIN STREET
LITTLE CHUTE, WI 54140
920-423-3865

TIME WARNER CABLE
VINCE ALBIN (CABLE)
3520 DESTINATION DRIVE
APPLETON, WI 54915
920-378-0444

KAUKAUNA ELECTRIC
KELLY O'KEEFE (ELECTRIC)
777 ISLAND STREET
KAUKAUNA, WI 54130
920-462-0222

WE ENERGIES
TOM BORCHART (GAS)
800 SOUTH LYNNDAL DRIVE
APPLETON, WI 54912
920-380-3349

AT&T MIDWEST
JOE KASSAB (TELEPHONE)
205 S. JEFFERSON STREET
GREEN BAY, WI 54301
920-202-4002

OWNER CONTACT

MORGAN HOOKER
NESTLE USA
3900 N FREEDOM RD
APPLETON, WI 54913
PHONE: (951) 360-7293

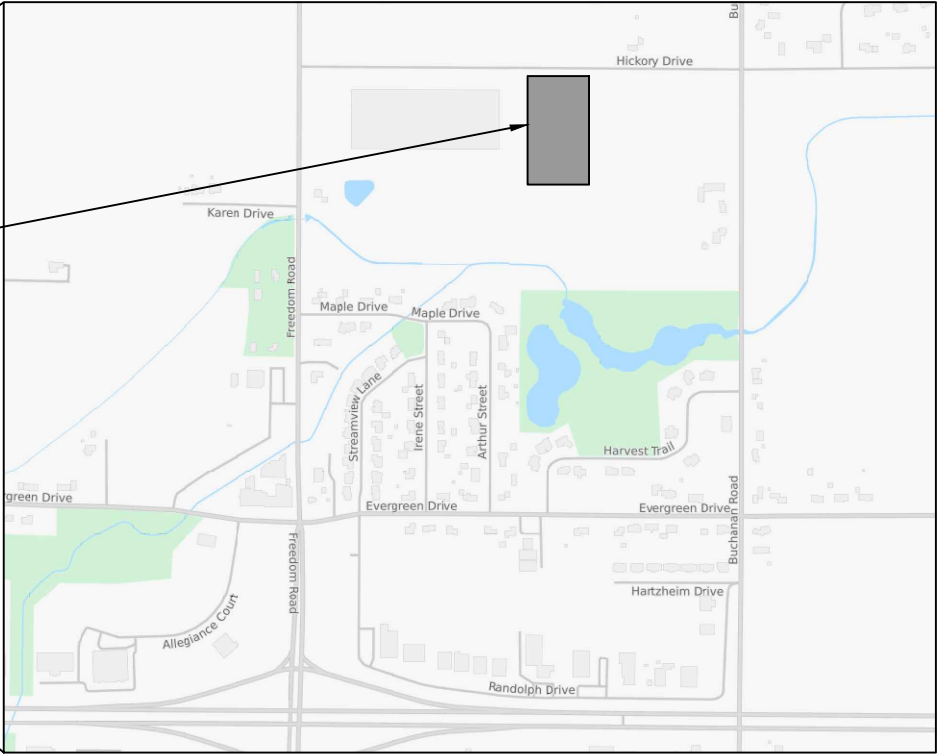
DESIGN CONTACT

McMAHON
1445 McMAHON DRIVE
P.O. BOX 1025
NEENAH, WI 54957-1025
NICK VANDE HEY, PROJECT ENGINEER
PHONE: (920) 751-4200
EMAIL: nvandehey@mcmgrp.com



Dial 811 or (800) 242-8511
www.DiggersHotline.com

PROJECT LOCATION



SHEET INDEX

| | |
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| 01 | ABBREVIATIONS, SYMBOLS & NOTES |
| 02 | SURVEY CONTROL |
| 03 | OVERALL SITE PLAN |
| 04-06 | PHASE I PROPOSED GRADING, UTILITY, & EROSION CONTROL PLAN |
| 07-09 | PHASE II PROPOSED GRADING, UTILITY, & EROSION CONTROL PLAN |
| 10 | SITE PLAN & PAVING PLAN |
| 11-14 | DETAILS |
| A211 | GATE & FENCE DETAILS |
| E1-E12 | ELECTRICAL PLAN & DETAILS |



STANDARD ABBREVIATIONS

| | | | |
|------|---------------------------|-------|---|
| AC | ACRE | LT | LEFT |
| AGG | AGGREGATE | LVC | LENGTH OF VERTICAL CURVE |
| AH | AHEAD | MAINT | MAINTENANCE |
| ASPH | ASPHALT PAVEMENT | MATL | MATERIAL |
| AVG | AVERAGE | MAX | MAXIMUM |
| B-B | BACK TO BACK | MIN | MINIMUM |
| BEG | BEGIN | MH | MANHOLE |
| BIT | BITUMINOUS | MP | MILE POST |
| BK | BACK | NB | NORTHBOUND |
| B/L | BASE LINE | NO | NUMBER |
| BLDG | BUILDING | NOR | NORMAL |
| BM | BENCH MARK | OD | OUTSIDE DIAMETER |
| BOC | BACK OF CURB | OBUT | OBUTLERATE |
| BRG | BEARING | PAV'T | PAVEMENT |
| C-C | CENTER TO CENTER | PC | POINT OF CURVATURE |
| CY | CUBIC YARD | PCC | PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE |
| C&G | CURB AND GUTTER | PE | PRIVATE ENTRANCE |
| C&B | CATCH BASIN | PED | PEDESTAL |
| CE | COMMERCIAL ENTRANCE | PGL | PROFILE GRADE LINE |
| CHD | CHORD | PI | POINT OF INTERSECTION |
| C/L | CENTER LINE | P/L | PROPERTY LINE |
| CL | CLASS (FOR CONC PIPE) | PLE | PERMANENT LIMITED EASEMENT |
| CMO | CORRUGATED METAL PIPE | PP | POWER POLE |
| CNP | CLEAN OUT | PRC | POINT OF REVERSE CURVATURE |
| CONC | CONCRETE | PROP | PROPOSED |
| CORR | CORRUGATED | PSD | PASSING SIGHT DISTANCE |
| CP | CONTROL POINT | PSI | POUNDS PER SQUARE INCH |
| CR | CRUSHED | PT | POINT OF TANGENCY |
| CS | CURB STOP | PVC | POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE |
| CSW | CONCRETE SIDEWALK | PV | POINT OF VERTICAL INTERSECTION |
| CTH | COUNTY TRUNK HIGHWAY | PVT | POINT OF VERTICAL TANGENCY |
| CULV | CULVERT | R | RADIUS |
| D | DEPTH OR DELTA | RCP | REINFORCED CONCRETE PIPE |
| DI | DUCTILE IRON | RD | ROAD |
| DIA | DIAMETER | REBAR | REINFORCEMENT ROD |
| DIS | DISCHARGE | REM | REMOVE |
| EA | EACH | RECON | RECONSTRUCT |
| EB | EASTBOUND | REQ'D | REQUIRED |
| EBS | EXCAVATION BELOW SUBGRADE | R/L | REFERENCE LINE |
| EG | EDGE OF GRAVEL | RP | RADIUS POINT |
| ELEV | ELEVATION | RR | RAILROAD |
| ELEC | ELECTRIC | RT | RIGHT |
| EMB | EMBANKMENT | R/W | RIGHT-OF-WAY |
| EMAT | EROSION MAT | SB | SOUTHBOUND |
| ENT | ENTRANCE | SE | SUPERELEVATION |
| EOR | END OF RADIUS | SEF | SQUARE FEET |
| EP | EDGE OF PAVEMENT | SL | SLOPE INTERCEPT |
| EXC | EXCAVATION | STH | STATE TRUNK HIGHWAY |
| EX | EXISTING | SY | SQUARE YARD |
| EW | ENDWALL | SALV | SALVAGED |
| F-F | FACE TO FACE | SAN | SANITARY |
| FDN | FOUNDATION | SEC | SECTION |
| FE | FIELD ENTRANCE | SHLDR | SHOULDER |
| FERT | FERTILIZER | S/L | SURVEY LINE |
| FG | FINISHED GRADE | SQ | SQUARE |
| F/L | FLOW LINE | STA | STATION |
| FT | FOOT | STD | STANDARD |
| FTG | FOOTING | STO | STORM |
| GRAV | GRAVEL | SW | SIDEWALK |
| GN | GRID NORTH | TC | TOP OF CURB |
| GV | GAS VALVE | TEL | TELEPHONE |
| HDPE | HIGH DENSITY POLYETHYLENE | TEMP | TEMPORARY |
| HE | HIGHWAY EASEMENT | TLE | TEMPORARY LIMITED EASEMENT |
| HMA | HOT MIX ASPHALT | TV | TELEVISION |
| HP | HIGH POINT | TYP | TYPICAL |
| HT | HEIGHT | UG | UNDERGROUND |
| HYD | HYDRANT | USH | U.S. HIGHWAY |
| ID | INSIDE DIAMETER | VAR | VARIES |
| IN | INCH | VC | VERTICAL CURVE |
| INL | INLET | VERT | VERTICAL |
| INV | INVERT | WB | WESTBOUND |
| IP | IRON PIPE | WM | WATER MAIN |
| JCT | JUNCTION | WV | WATER VALVE |
| LB | POUND | | |
| LF | LINEAR FOOT | | |
| LP | LIGHT POLE | | |

GENERAL NOTES

- THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
- EXISTING STREET RIGHT-OF-WAY AND INTERSECTING PROPERTY LINES ARE ESTABLISHED FROM FIELD LOCATED SURVEY MONUMENTATION, PREVIOUS SURVEYS, PLATS AND CURRENT PROPERTY DEEDS.
- NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
- A SAWED JOINT IS REQUIRED WHERE NEW PAVEMENT MATCHES EXISTING PAVEMENT.
- ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- UTILITY IMPROVEMENTS WITHIN FREEDOM ROAD (CTH N) AND HICKORY DRIVE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH VILLAGE OF LITTLE CHUTE SPECIFICATIONS AND PERMITS.
- STREET IMPROVEMENTS WITHIN HICKORY DRIVE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH VILLAGE OF LITTLE CHUTE SPECIFICATIONS AND PERMITS.
- STREET IMPROVEMENTS WITHIN FREEDOM ROAD (CTH N) RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND COUNTRY HIGHWAY PERMIT.

THIS PLAN SET WAS CREATED WITH CIVIL3D 2018. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

STANDARD SYMBOLS (PLAN VIEW ONLY)

| | | | |
|--|---|--|---------------------------------------|
| | 2" IRON PIPE FOUND | | TELEPHONE CABLE - BURIED |
| | 1 1/4" REBAR FOUND | | ELECTRIC CABLE - BURIED |
| | 1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET | | UTILITIES - OVERHEAD |
| | 1" (1.315 OD) IRON PIPE FOUND | | FIBER OPTIC CABLE - BURIED |
| | 1" IRON PIPE SET | | GAS MAIN |
| | 3/4" IRON REBAR FOUND | | CABLE TELEVISION - BURIED |
| | 3/4" IRON PIPE FOUND | | DITCH LINE |
| | 3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET | | STREET C/L OR R/L |
| | MAG NAIL FOUND | | PROPERTY LINE |
| | MAG NAIL SET | | RIGHT-OF-WAY LINE |
| | MAG SPIKE FOUND | | SECTION LINE |
| | MAG SPIKE SET | | EXISTING CONTOURS |
| | CHISEL CROSS FOUND | | PROPOSED CONTOURS |
| | CHISEL CROSS SET | | EXISTING FORCEMAIN SEWER |
| | COUNTY MONUMENT | | EXISTING SANITARY SEWER |
| | CONCRETE MONUMENT FOUND | | PROPOSED SANITARY SEWER |
| | CONTROL POINT HORIZONTAL | | EXISTING WATER MAIN |
| | VERTICAL BENCHMARK | | PROPOSED WATER MAIN |
| | SOIL BORING or MONITORING WELL | | EXISTING STORM SEWER |
| | POWER POLE | | PROPOSED STORM SEWER |
| | POWER POLE W/GUY WIRE | | EXISTING CURB & GUTTER |
| | TELEPHONE OR TELEVISION PEDESTAL | | PROPOSED CURB & GUTTER |
| | MAILBOX | | PROPOSED REJECT CURB & GUTTER |
| | SIGN | | EXISTING CULVERT WITH END SECTIONS |
| | RAILROAD CROSS BUCK | | PROPOSED CULVERT WITH END SECTIONS |
| | RAILROAD GATE ARM | | BUILDING OUTLINE |
| | RAILROAD TRACKS | | FENCE LINE |
| | LIGHT POLE | | SAW CUT REQ'D |
| | WOOD POLE | | SILT FENCE |
| | TRAFFIC SIGNAL | | GUARD RAIL |
| | TRAFFIC SIGNAL MAST ARM | | DITCH CHECK |
| | CONIFEROUS TREE | | INLET PROTECTION |
| | DECIDUOUS TREE | | TRACKING PAD |
| | TREE OR BRUSH LINE | | TURBIDITY BARRIER OR SHEET PILING |
| | BED ROCK (IN PROFILE VIEW) | | SANDBAG COFFERDAM |
| | HANDICAPPED PARKING STALL | | SLOPE INTERCEPT |
| | EXISTING SPOT ELEVATION | | LIMITS OF DISTURBANCE |
| | PROPOSED SPOT ELEVATION | | |
| | DRAINAGE HIGH POINT | | CONCRETE SIDEWALK/DRIVEWAY |
| | DRAINAGE DIRECTION | | GRAVEL |
| | EXISTING MANHOLE | | RIP-RAP (SIZE AS SPECIFIED) |
| | PROPOSED MANHOLE | | BRICK/PAVERS |
| | EXISTING INLET | | |
| | PROPOSED INLET | | PROPOSED EROSION MAT |
| | EXISTING YARD DRAIN | | |
| | PROPOSED YARD DRAIN | | PROPOSED TURF REINFORCEMENT MAT (TRM) |
| | EXISTING CLEAN OUT | | EXISTING DELINEATED WETLANDS |
| | PROPOSED CLEAN OUT | | |
| | EXISTING DOWNSPOUT | | |
| | PROPOSED DOWNSPOUT | | |
| | EXISTING WATER VALVE | | |
| | PROPOSED WATER VALVE | | |
| | EXISTING CURB STOP | | |
| | PROPOSED CURB STOP | | |
| | EXISTING FIRE HYDRANT | | |
| | PROPOSED FIRE HYDRANT | | |
| | PROPOSED WATER FITTING | | |
| | PROPOSED WATER REDUCER | | |
| | PROPOSED ENDCAP | | |
| | GAS VALVE | | |

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wi.gov/runoff/stormwater/techsids.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

| | |
|---|--|
| [] LAND APPLICATION OF POLYACRYLAMIDE (1050) | [X] DE-WATERING (1061) |
| [] WATER APPLICATION OF POLYMERS (1051) | [X] DITCH CHECK (1062) |
| [X] NON-CHANNEL EROSION MAT (1052) | [] SEDIMENT TRAP (1063) |
| [X] CHANNEL EROSION MAT (1053) | [] SEDIMENT BASIN (1064) |
| [] VEGETATIVE BUFFER (1054) | [X] RIP-RAP (1065) |
| [] SEDIMENT BALE BARRIER (1055) | [] CONSTRUCTION DIVERSION (1066) |
| [X] SILT FENCE (1056) | [] GRADING PRACTICES (1067) |
| [X] TRACKING PAD & TIRE WASHING (1057) | [X] DUST CONTROL (1068) |
| [X] MULCHING (1058) | [] TURBIDITY BARRIER (1069) |
| [X] SEEDING (1059) | [] SILT CURTAIN (1070) |
| [X] STORM DRAIN INLET PROTECTION (1060) | [] MANUFACTURED PERIMETER PRODUCTS (1071) |

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

- DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.
- TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

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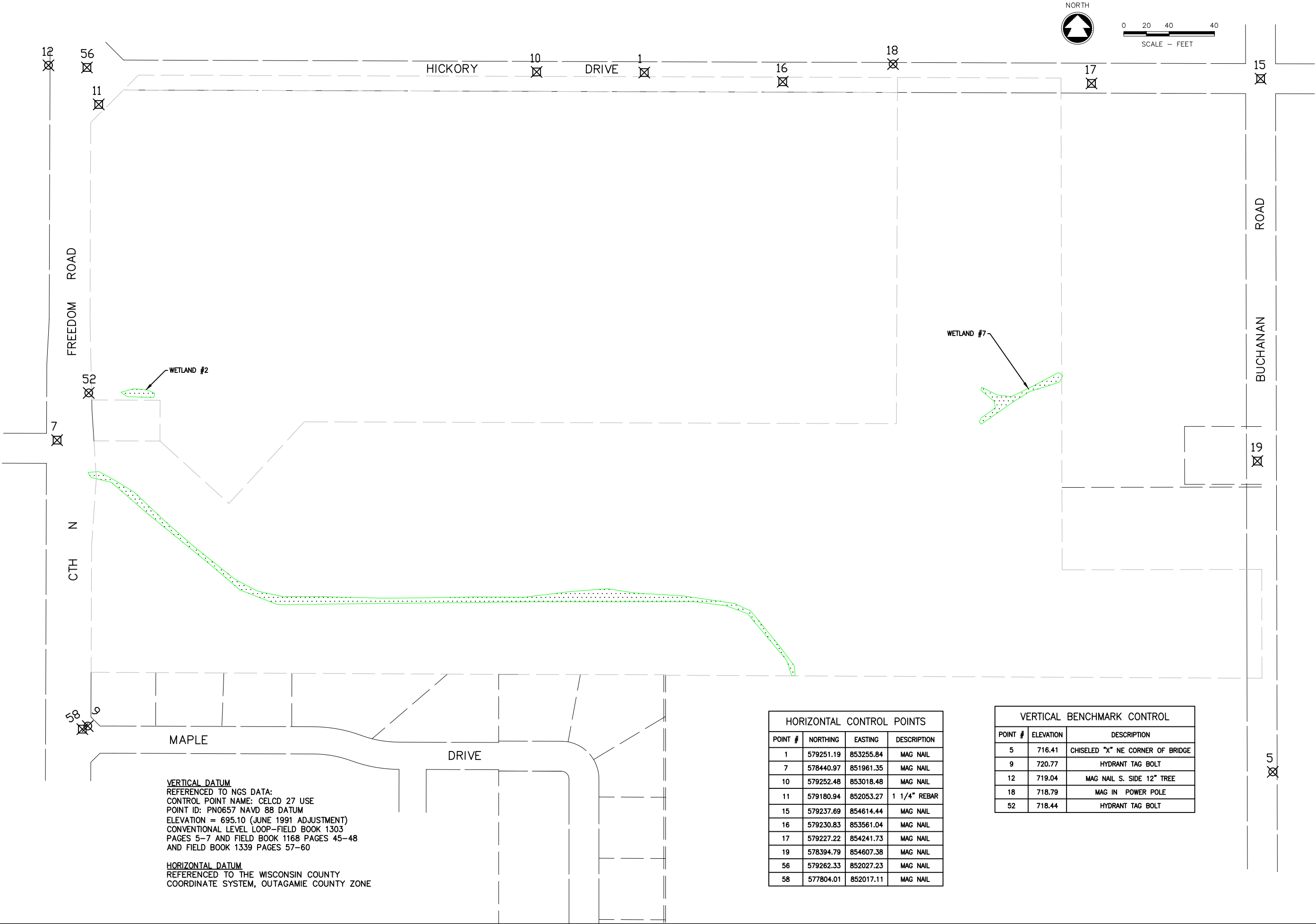
2020 SITE IMPROVEMENTS

NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN

ABBREVIATIONS, SYMBOLS & NOTES

| | |
|-----------------------------------|--------------|
| DESIGNED NAV | DRAWN KJB |
| PROJECT NO. N0940 9-20-00535-B | |
| DATE AUGUST, 2020 | |
| SHEET NO. 01 | |

kbesaw, W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\02-Survey Control Site Improvements.dwg, 02 survey control, Plot Date: 8/26/2020 11:02 AM, xrefs: (x-exist topo hickory-cth n, x-exist shade hickory-cth n, x-varosten site topo)



VERTICAL DATUM
REFERENCED TO NGS DATA:
CONTROL POINT NAME: CELCD 27 USE
POINT ID: PN0657 NAVD 88 DATUM
ELEVATION = 695.10 (JUNE 1991 ADJUSTMENT)
CONVENTIONAL LEVEL LOOP—FIELD BOOK 1303
PAGES 5–7 AND FIELD BOOK 1168 PAGES 45–48
AND FIELD BOOK 1339 PAGES 57–60

HORIZONTAL DATUM
REFERENCED TO THE WISCONSIN COUNTY
COORDINATE SYSTEM, OUTAGAMIE COUNTY ZONE

| HORIZONTAL CONTROL POINTS | | | |
|---------------------------|-----------|-----------|--------------|
| POINT # | NORTHING | EASTING | DESCRIPTION |
| 1 | 579251.19 | 853255.84 | MAG NAIL |
| 7 | 578440.97 | 851961.35 | MAG NAIL |
| 10 | 579252.48 | 853018.48 | MAG NAIL |
| 11 | 579180.94 | 852053.27 | 1 1/4" REBAR |
| 15 | 579237.69 | 854614.44 | MAG NAIL |
| 16 | 579230.83 | 853561.04 | MAG NAIL |
| 17 | 579227.22 | 854241.73 | MAG NAIL |
| 19 | 578394.79 | 854607.38 | MAG NAIL |
| 56 | 579262.33 | 852027.23 | MAG NAIL |
| 58 | 577804.01 | 852017.11 | MAG NAIL |

| VERTICAL BENCHMARK CONTROL | | |
|----------------------------|-----------|----------------------------------|
| POINT # | ELEVATION | DESCRIPTION |
| 5 | 716.41 | CHISELED "X" NE CORNER OF BRIDGE |
| 9 | 720.77 | HYDRANT TAG BOLT |
| 12 | 719.04 | MAG NAIL S. SIDE 12" TREE |
| 18 | 718.79 | MAG IN POWER POLE |
| 52 | 718.44 | HYDRANT TAG BOLT |

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
SURVEY CONTROL

DESIGNED
NAV

DRAWN
KJB

PROJECT NO.
N0940 9–20–00535–B

DATE
AUGUST, 2020

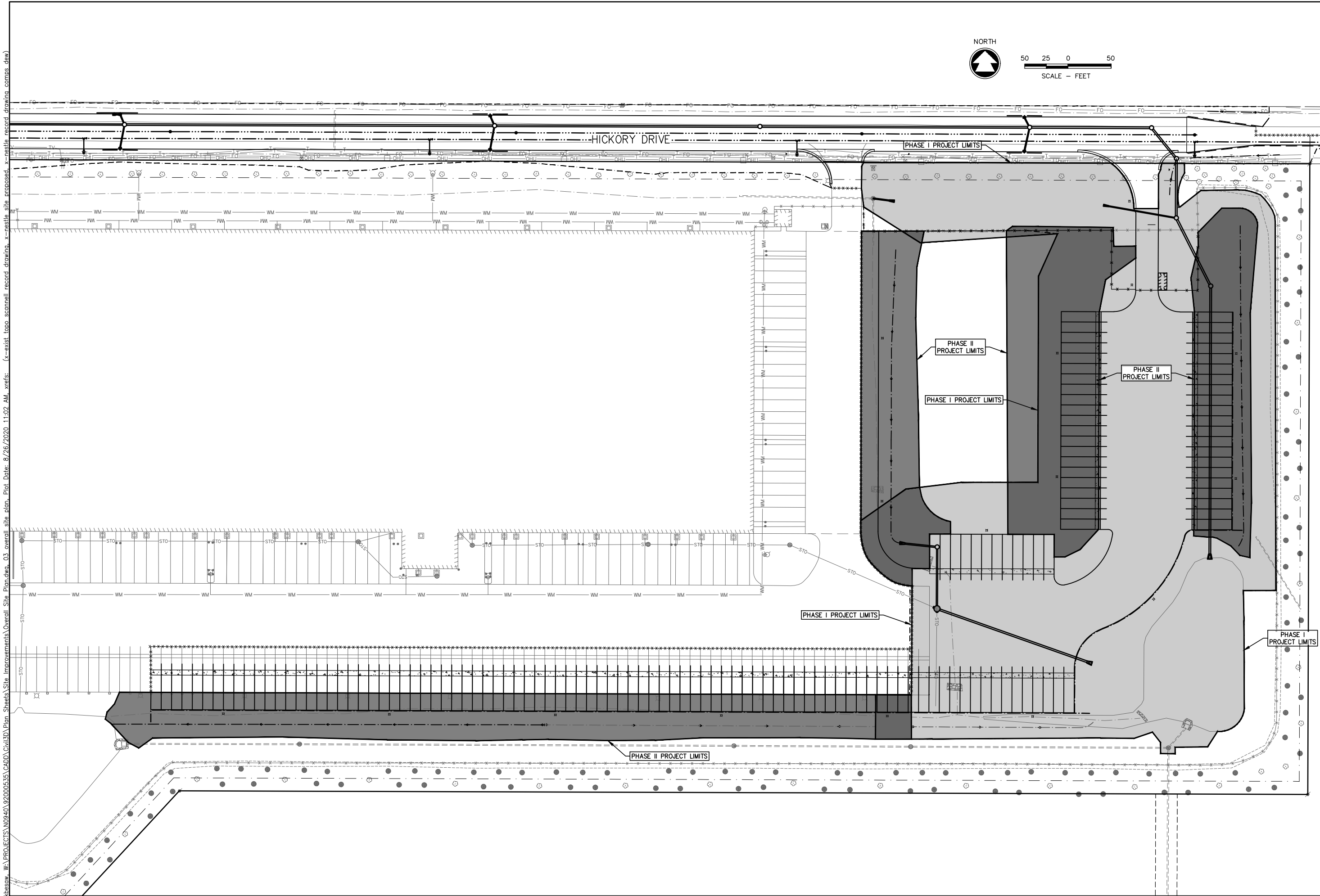
SHEET NO.
02

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W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Overall Site Plan.dwg, 03 Overall Site Plan, 8/26/2020 11:02:56 AM, KBesaw, 1:2



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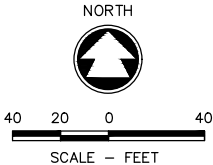
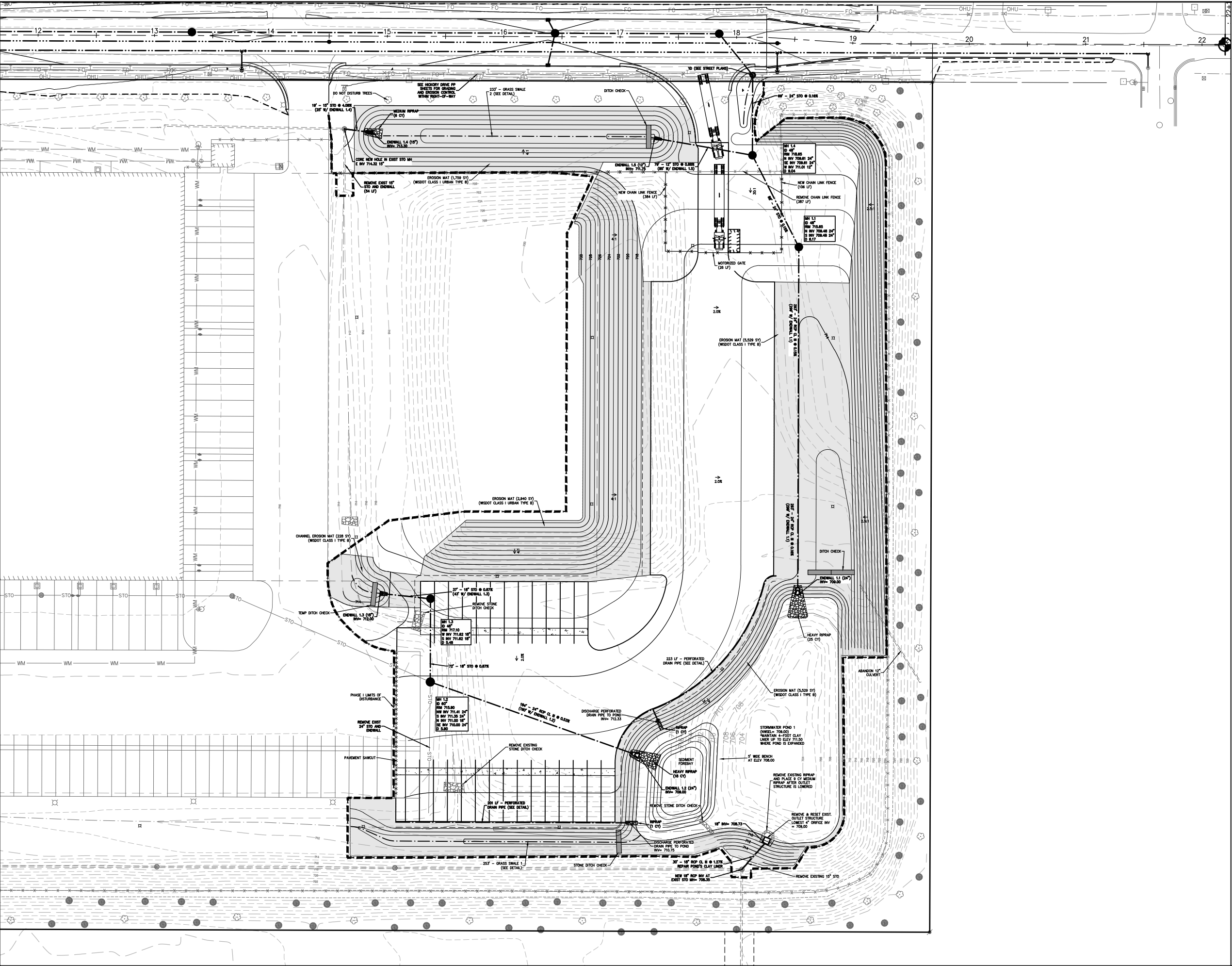
2020 SITE IMPROVEMENTS

NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN

OVERALL SITE PLAN

| | |
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| DESIGNED NAV | DRAWN KJB |
| PROJECT NO. N0940 9-20-00535-B | |
| DATE AUGUST, 2020 | |
| SHEET NO. 03 | |

kbewaw, W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Nestle Site Grading Plan_Phase I.dwg, 04 PROPOSED GRADING UTILITY & EROSION CONTROL PLAN, 8/26/2020 11:03:34 AM, KBesaw, 1:2
scannell record drawing, x=oil points scannell record drawing, x=nestle record drawing comps dew



2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
PROPOSED GRADING UTILITY & EROSION CONTROL PLAN

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| DESIGNED NAV | DRAWN KJB |
| PROJECT NO. N0940 9-20-00535-B | |
| DATE AUGUST, 2020 | |
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04

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REVISION

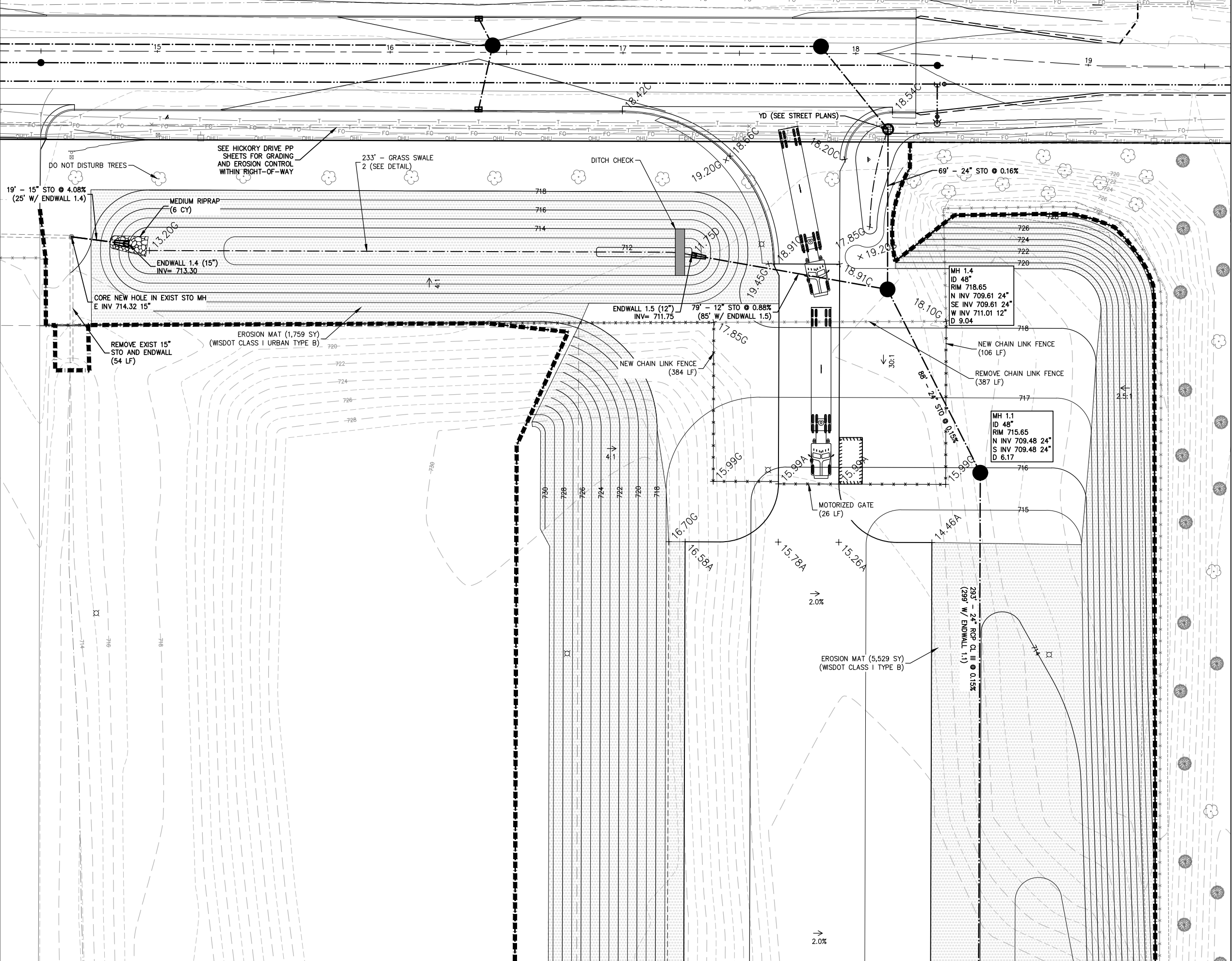
NO. DATE



LEGEND

2020 SITE IMPROVEMENTS

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| DESIGNED NAV | DRAWN KJB |
| PROJECT NO. N0940 9-20-00535 | |
| DATE AUGUST, 2020 | |
| SHEET NO. | |



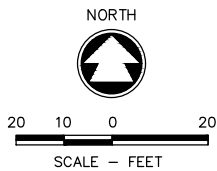
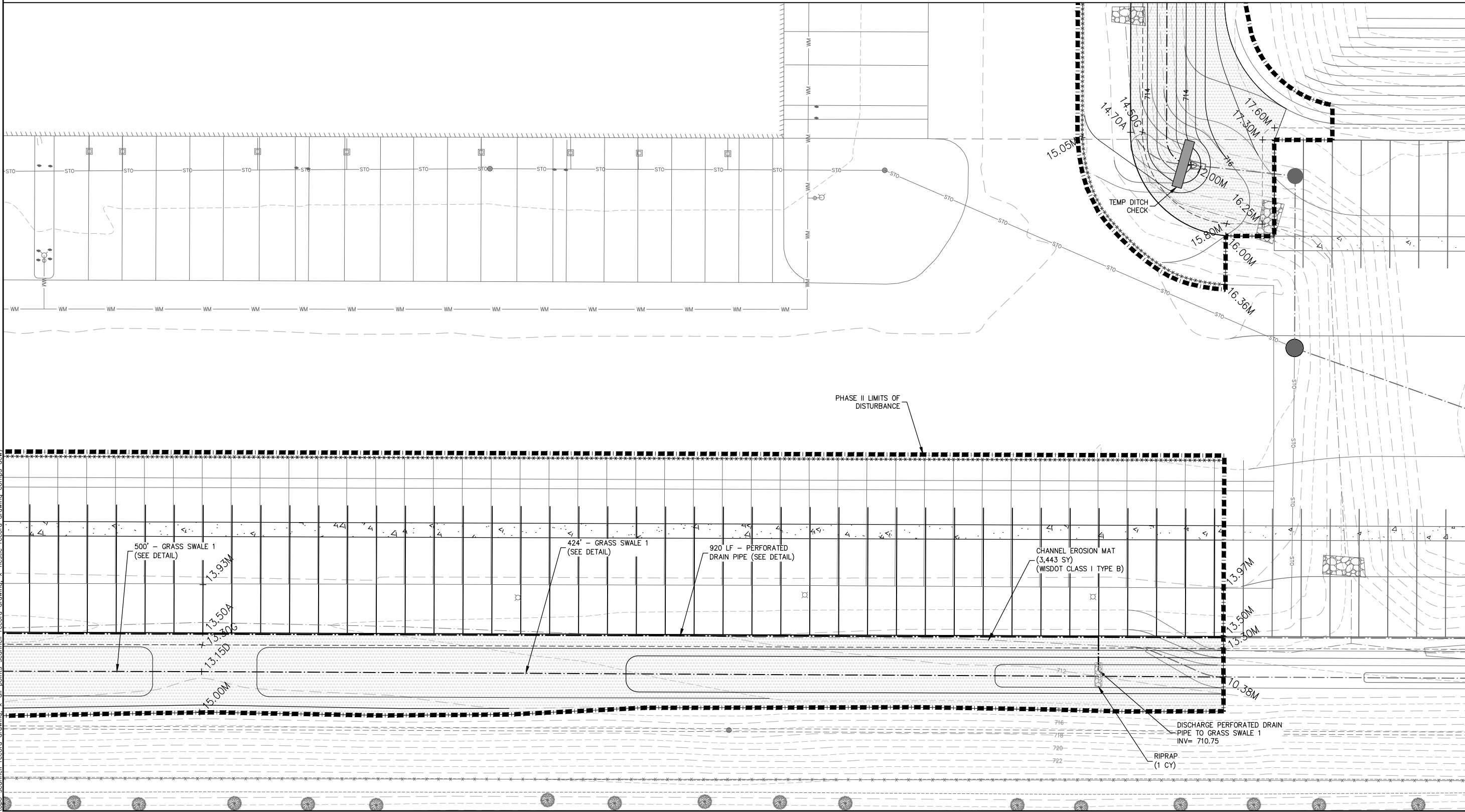
| LEGEND | |
|----------|------------------------------|
| × 16.26A | FINISHED ASPH ELEV |
| × 16.26C | FINISHED CONC ELEV |
| × 16.26D | FINISHED SWALE BOTTOM ELEV |
| × 16.26G | FINISHED GROUND (GRASS) ELEV |
| × 16.26M | MATCH ELEV |

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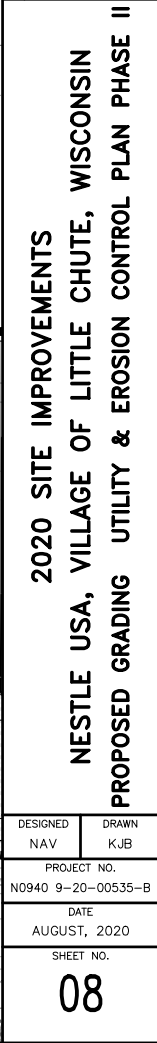
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| 2020 SITE IMPROVEMENTS | |
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| Nestle USA, Village Of Little Chute, Wisconsin | |
| PROPOSED GRADING, UTILITY & EROSION CONTROL PLAN PHASE I | |
| DESIGNED NAV | DRAWN KJB |
| PROJECT NO. N0940 9-20-00535-B | |
| DATE AUGUST, 2020 | |
| SHEET NO. 06 | |



| LEGEND | | | |
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| × 16.26A | FINISHED ASPH ELEV | × 16.26D | FINISHED SWALE BOTTOM ELEV |
| × 16.26M | MATCH ELEV | × 16.26G | FINISHED GROUND (GRASS) ELEV |

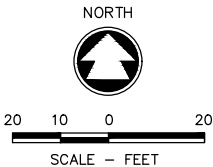
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| <div> <div>2020 SITE IMPROVEMENTS</div> <div>NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN</div> <div>PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II</div> </div> | | NO. | DATE | REVISION | |
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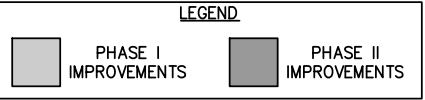
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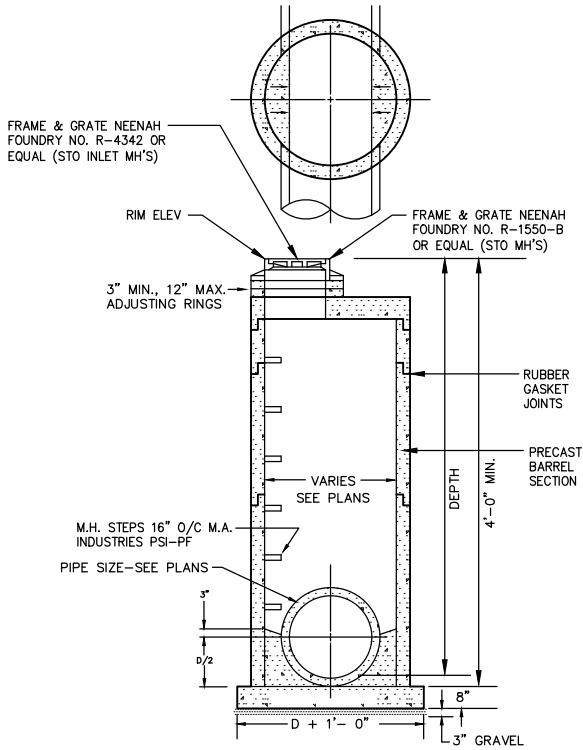
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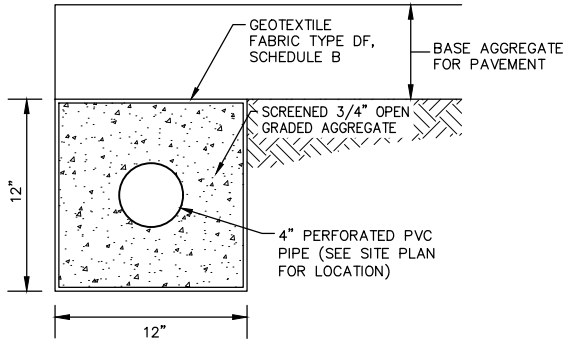


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| × 16.26C | FINISHED CONC ELEV |
| × 16.26D | FINISHED SWALE BOTTOM ELEV |
| × 16.26G | FINISHED GROUND (GRASS) ELEV |
| × 16.26M | MATCH ELEV |

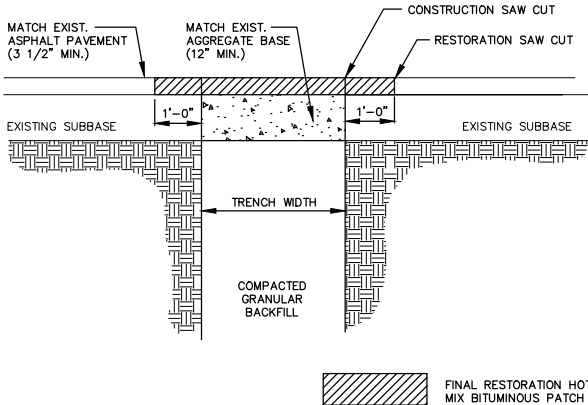




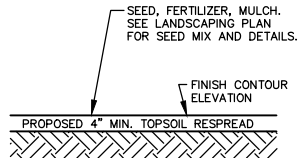
STORM MH OR INLET MH DETAIL



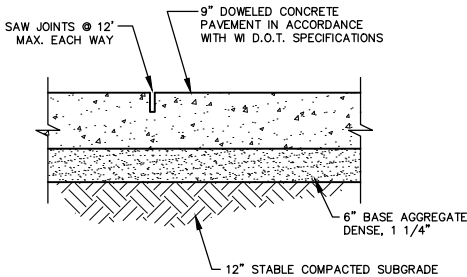
PERFORATED DRAIN PIPE DETAIL (NTS)



BITUMINOUS PAVEMENT RESTORATION

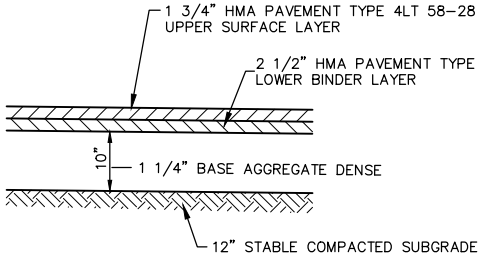


TYPICAL LAWN SECTION



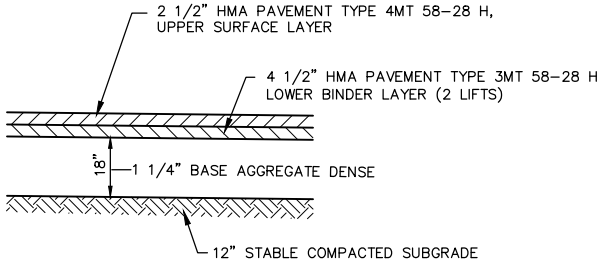
NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

SEMI-TRUCK/HEAVY DUTY CONCRETE PAVEMENT DETAIL



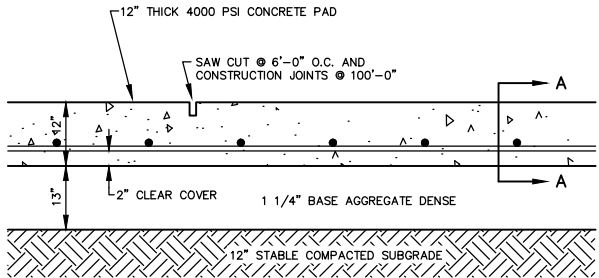
NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

LIGHT DUTY ASPHALT DETAIL



NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

SEMI-TRUCK/HEAVY DUTY ASPHALT DETAIL



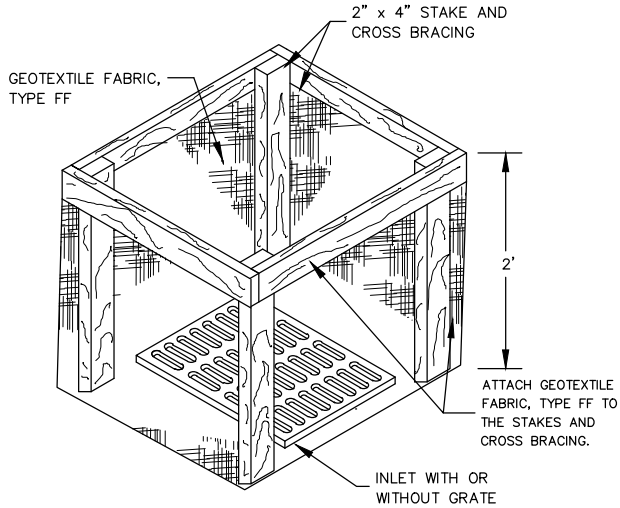
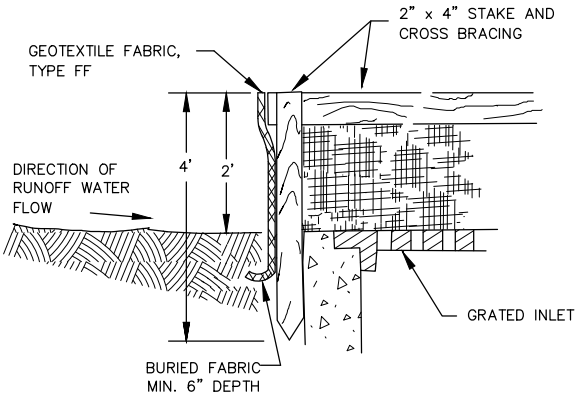
SECTION A-A

NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

CONCRETE TRAILER PAD DETAIL

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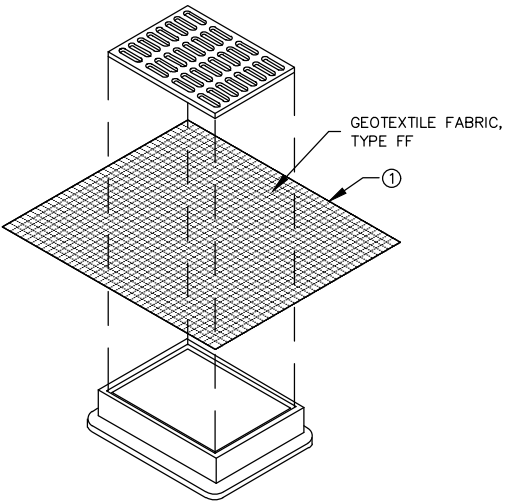
INLET PROTECTION, TYPE A

GENERAL NOTES

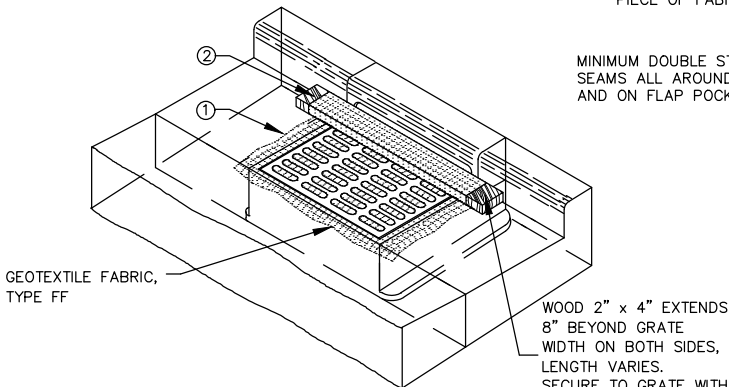
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX) (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

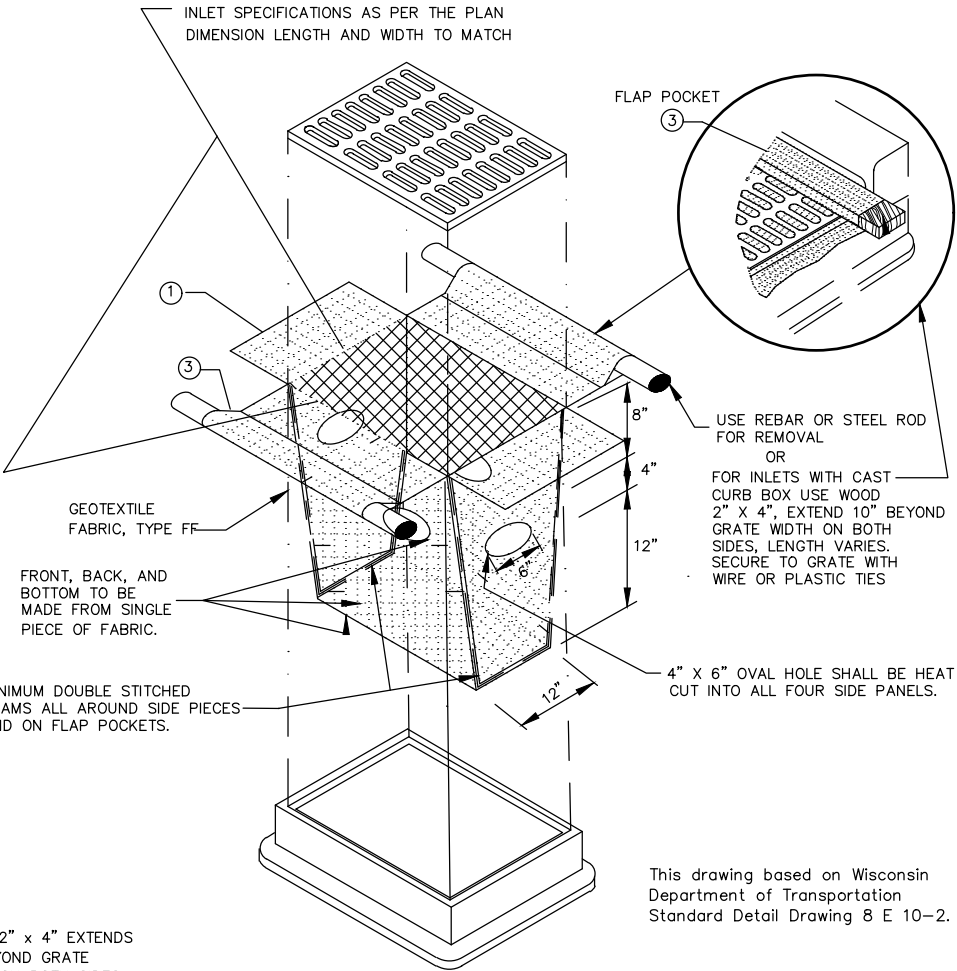
TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

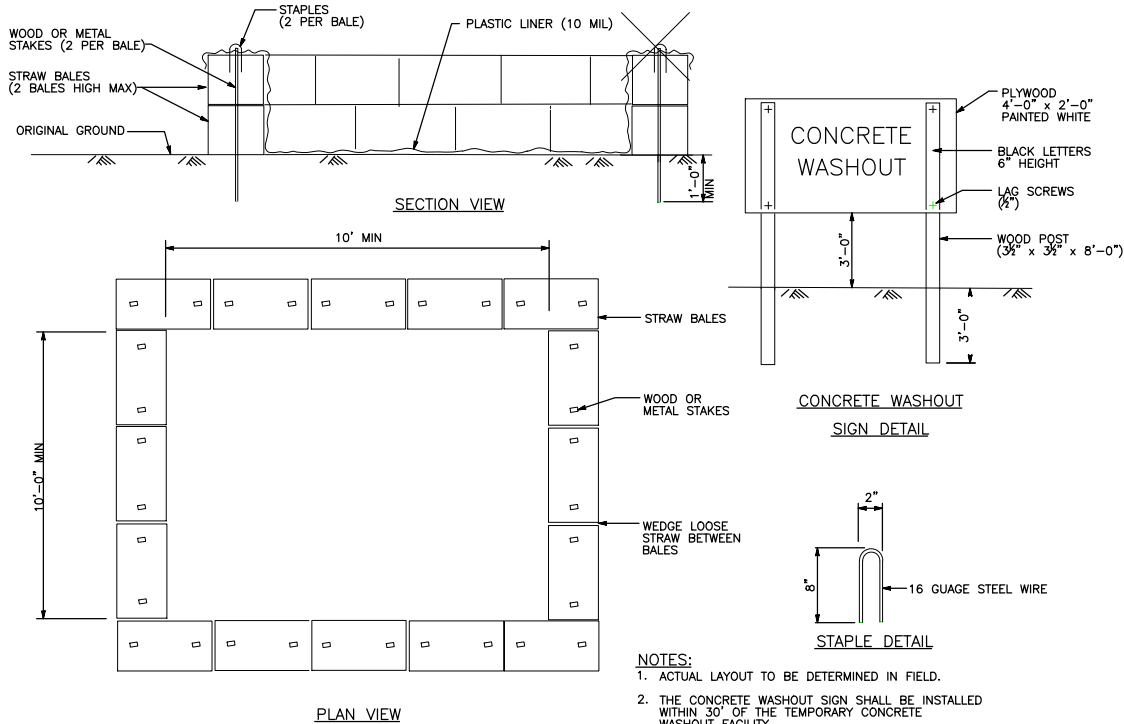
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

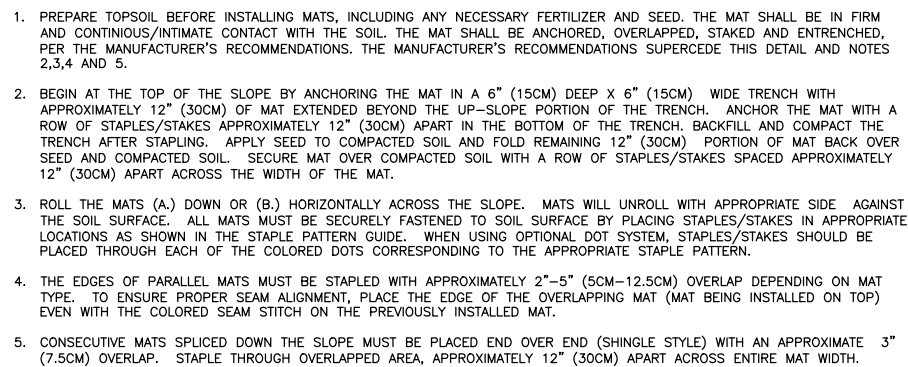
STORM DRAIN INLET PROTECTION



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)





CHANNEL EROSION MAT

NOT TO SCALE



SECTION 32 31 13
CHAIN LINK FENCES AND GATES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Posts, rails, and frames.
- B. Wire fabric.
- C. Concrete.
- D. Automatic gate operators.
- E. Accessories.

1.2 REFERENCE STANDARDS

- A. ASTM A428/A428M - Standard Test Method for Weight (Mass) of Coating on Aluminum-Coated Iron or Steel Articles 2010 (Reapproved 2014).
- B. ASTM A491 - Standard Specification for Aluminum-Coated Steel Chain-Link Fence Fabric 2011 (Reapproved 2017).
- C. ASTM F567 - Standard Practice for Installation of Chain-Link Fence 2014a.
- D. ASTM F1043 - Standard Specification for Strength and Protective Coatings on Steel Industrial Fence Framework 2018.
- E. ASTM F1083 - Standard Specification for Pipe, Steel, Hot-Dipped Zinc-Coated (Galvanized) Welded, for Fence Structures 2018.
- F. ASTM F2200 - Standard Specification for Automated Vehicular Gate Construction 2017.
- G. CLFMI CLF-SFR0111 - Security Fencing Recommendations 2014.
- H. CLFMI WLG 2445 - Wind Load Guide for the Selection of Line Post and Line Post Spacing 2018.
- I. NEMA 250 - Enclosures for Electrical Equipment (1000 Volts Maximum) 2018.
- J. UL 50 - Enclosures for Electrical Equipment, Non-Environmental Considerations Current Edition, Including All Revisions.

1.3 SUBMITTALS

- A. Product Data: Provide data on fabric, posts, accessories, fittings and hardware.
- B. Design Calculations: For high wind load areas, provide calculations for fence fabric and accessory selection as well as line post spacing and foundation details. See CLFMI WLG 2445 for line post and spacing guidance.
- C. Shop Drawings: Indicate plan layout, spacing of components, post foundation dimensions, hardware anchorage, and schedule of components. See CLFMI CLF-SFR0111 for planning and design recommendations.

1.4 QUALITY ASSURANCE

- A. Fence Installer: Company with demonstrated successful experience installing similar projects and products, with not less than five years of documented experience.

1.5 WARRANTY

- A. Correct defective Work within a five year period after Date of Substantial Completion.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Chain Link Fences and Gates:
 - 1. Master-Halco, Inc: www.masterhalco.com/#sle.
 - 2. Merchants Metals: www.merchantsmetals.com/#sle.

B. Automatic Gate Operators:

- 1. LiftMaster: The Chamberlain Group Inc..

2.2 MATERIALS

A. Posts, Rails, and Frames:

- 1. ASTM A1011/A1011M, Designation SS; hot-rolled steel strip, cold formed to pipe configuration, longitudinally welded construction, minimum yield strength of 50 ksi; zinc coating complying with ASTM F1043 and ASTM F1083.
- 2. Line Posts: Type I round.
- 3. Terminal, Corner, Rail, Brace, and Gate Posts: Type I round.

B. Wire Fabric:

- 1. ASTM A392 zinc coated steel chain link fabric.

C. Concrete:

- 1. Ready-mixed, complying with ASTM C94/C94M; normal Portland cement; 2,500 psi strength at 28 days, 3 inch slump; 3/4 inch nominal size aggregate.

2.3 COMPONENTS

- A. Line Posts: 2.38 inch diameter.
- B. Corner and Terminal Posts: 2.88 inch diameter.
- C. Gate Posts: 6.63 inch diameter.
- D. Top and Brace Rail: 1.66 inch diameter, plain end, sleeve coupled.
- E. Bottom Rail: 1.66 inch diameter, plain end, sleeve coupled.

- F. Gate Frame: 1.90 inch diameter for welded fabrication.
 - G. Fabric: 2 inch diamond mesh interwoven wire, 9 gage, 0.1483 inch thick, top selvage knuckle end closed, bottom selvage twisted tight.
 - H. Tension Wire: 6 gage, 0.1920 inch thick steel, single strand.
 - I. Tie Wire: Aluminum alloy steel wire.
- 2.4 AUTOMATIC GATE OPERATORS
- A. Sliding Gates: Pre-wired, pedestal mounted gate operator for horizontal sliding gates, per ASTM F2200 and UL 325.
 - 1. Operating type: roller chain.
 - 2. Control Functions: Open, Pause, Close.
 - 3. Opening and closing speed: 12 inches per second.
 - 4. Access: Dual control visor remote, one for ingress, one for egress..Provide 25 remotes.
 - 5. Maximum gate weight: 1,000 pounds (373 kilograms).
 - 6. Horsepower Rating: Suitable for connected load.
 - 7. Entrapment Protection Devices: Provide sensing devices and safety mechanisms complying with UL 325.
 - 8. Enclosures: Comply with NEMA 250, and list and label as complying with UL 50 and UL 50E.
 - a. Environment Type per NEMA 250: Unless otherwise indicated, as specified for the following installation locations:
 - 1) Outdoor Locations: Type 3R.
 - 2) Cabinet heater to allow use to -40 degrees F.

2.5 ACCESSORIES

- A. Caps: Cast steel galvanized; sized to post diameter, set screw retainer.
- B. Fittings: Sleeves, bands, clips, rail ends, tension bars, fasteners and fittings; steel.

2.6 FINISHES

- A. Components (Other than Fabric): Galvanized in accordance with ASTM A123/A123M, at 1.7 ounces per square foot.
- B. Hardware: Hot-dip galvanized to weight required by ASTM A153/A153M.
- C. Accessories: Same finish as framing.

PART 3 EXECUTION

3.1 INSTALLATION

- A. Install framework, fabric, accessories and gates in accordance with ASTM F567.
- B. Place fabric on outside of posts and rails.
- C. Set intermediate posts plumb , in concrete footings with top of footing 2 inches above finish grade. Slope top of concrete for water runoff.
- D. Line Post Footing Depth Below Finish Grade: ASTM F567.
- E. Corner, Gate and Terminal Post Footing Depth Below Finish Grade: ASTM F567.
- F. Brace each gate and corner post to adjacent line post with horizontal center brace rail. Install brace rail one bay from end and gate posts.
- G. Provide top rail through line post tops and splice with 6 inch long rail sleeves.
- H. Install center brace rail on corner gate leaves.
- I. Position bottom of fabric 2 inches above finished grade.
- J. Fasten fabric to top rail, line posts, braces, and bottom tension wire with tie wire at maximum 15 inches on centers.
- K. Attach fabric to end, corner, and gate posts with tension bars and tension bar clips.
- L. Install bottom tension wire stretched taut between terminal posts.
- M. Install operator in accordance with manufacturer's instructions and in accordance with NFPA 70.

3.2 TOLERANCES

- A. Maximum Variation From Plumb: 1/4 inch.
- B. Maximum Offset From True Position: 1 inch.

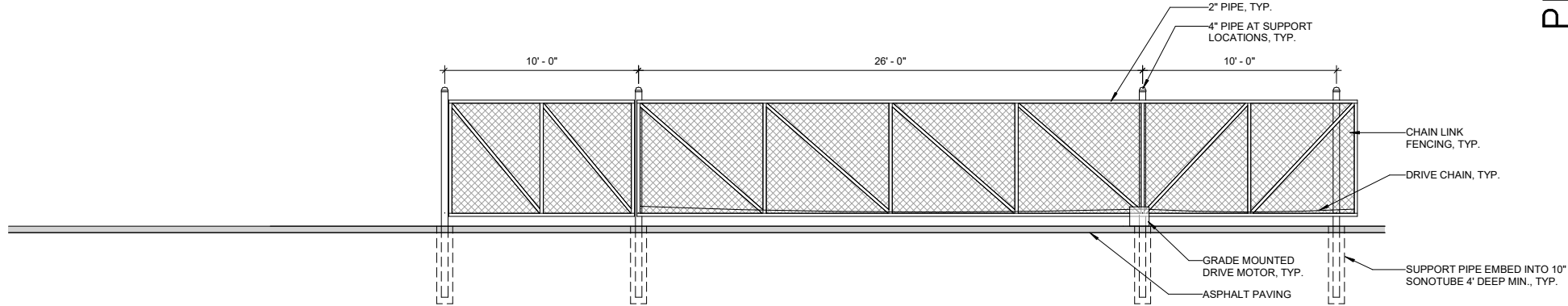
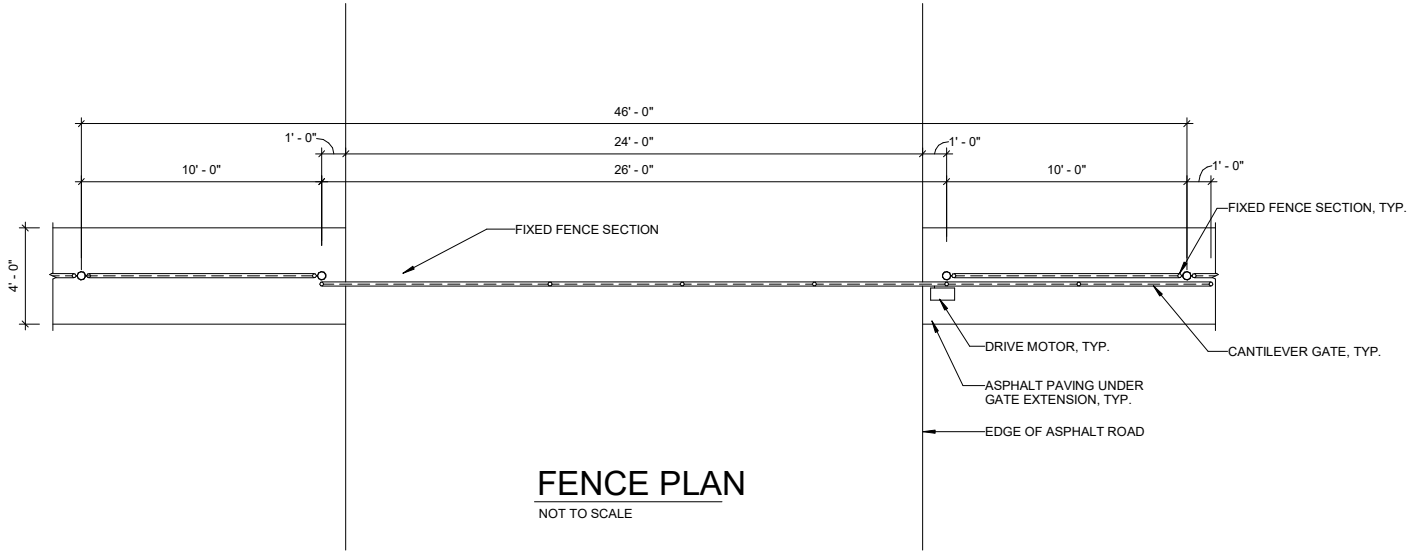
3.3 FIELD QUALITY CONTROL

- A. Layout: Verify that fence installation markings are accurate to design, paying attention to gate locations, underground utilities, and property lines.
- B. Gates: Inspect for level, plumb, and alignment.

3.4 CLOSEOUT ACTIVITIES

- A. Demonstration: Demonstrate operation of system to Owner's personnel.
 - 1. Use operation and maintenance data as reference during demonstration.
 - 2. Briefly describe function, operation, and maintenance of each component.

END OF SECTION



PRELIMINARY NOT FOR CONSTRUCTION

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION

NESTLE USA VILLAGE OF LITTLE CHUTE, WI

ENTRY GATE PLAN & ELEVATION

| | |
|-------------------------------|--------------|
| DESIGNED GLS | DRAWN GBK |
| PROJECT NO. N0940 92000535 | |
| DATE AUGUST 2020 | |
| SHEET NO. | |

A211

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GENERAL ELECTRICAL NOTES

DRAWINGS

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE, AND INDICATE THE GENERAL ARRANGEMENT OF EQUIPMENT, BUT ACCURACY IS NOT GUARANTEED, AND FIELD VERIFICATION OF ALL LOCATIONS AND DIMENSIONS IS DIRECTED.
2. THESE DRAWINGS WILL NOT SHOW ALL INSTALLATION DETAILS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE A COMPLETE AND SATISFACTORY INSTALLATION IN ACCORDANCE WITH THE BEST MODERN PRACTICE METHODS.
3. E.C. SHALL MAKE OWN COUNT OF ALL EQUIPMENT TO BE WIRED BASED ON ALL PLANS AND SPECIFICATIONS IN THEIR ENTIRETY.
4. THE ELECTRICAL DRAWINGS ARE NOT TO BE USED FOR ROOM DIMENSIONS AND EQUIPMENT PLACEMENT. REFERENCE THE APPROPRIATE ARCHITECTURAL, STRUCTURAL, OR MECHANICAL PLANS. DRAWINGS ARE SCHEMATIC -- VERIFY ALL LOCATIONS BEFORE INSTALLING CONDUIT, EQUIPMENT, ETC.
5. DETAILS ARE TYPICAL OF THE INSTALLATIONS. CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE INSTALLATION AND TO PROVIDE THE PROPER INSTALLATION FOR SITUATIONS WHICH MAY VARY FROM THE DETAILS OR DRAWINGS. CONTRACTORS ARE ADVISED TO COMPLETELY SURVEY THE WORK AREA FOR NON-TYPICAL SITUATIONS, ETC.
6. ALL EQUIPMENT DIMENSIONS SHOWN ON PLANS AND ELEVATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL USE THE SHOP DRAWINGS FOR PROPER LAYOUT, FOUNDATION AND PAD, ETC. FOR FINAL INSTALLATION WITHOUT AND ADDITIONAL COST TO THE OWNER.

COORDINATION

1. E.C. SHALL BE RESPONSIBLE FOR COORDINATING THE ELECTRICAL WORK WITH CONTRACTORS OF OTHER TRADES.
2. CAREFULLY REVIEW THE FINAL EQUIPMENT LAYOUT. DO NOT ROUGH-IN ANY ELECTRICAL EQUIPMENT WITHOUT FIRST COORDINATING THE LATEST SET OF EQUIPMENT LAYOUT PLANS.
3. VERIFY THE LOCATION OF ALL DEVICES PRIOR TO ROUGH-IN.
4. FOR ALL CONTROL PANELS AND FIELD DEVICES, VERIFY ACTUAL FIELD WIRING REQUIRED PRIOR TO START OF ROUGH-IN. REVIEW SUBMITTAL DRAWINGS OF ALL EQUIPMENT TO BE WIRED.
5. IN CASE OF INTERFERENCE BETWEEN ELECTRICAL EQUIPMENT SHOWN ON THE DRAWINGS AND THE OTHER EQUIPMENT, THE CONTRACTOR SHALL NOTIFY THE FIELD REPRESENTATIVE IN WRITING AND THE ENGINEER SHALL REVIEW THE PROPOSED CHANGES BEFORE THEY ARE MADE.

DEFINITIONS

1. "PROVIDE" MEANS FURNISH AND INSTALL.
2. INSTALL" MEANS SET AND WIRE COMPLETE.

DEMOLITION

1. E.C. TO DE-ENERGIZE AND MAKE SAFE ALL AREAS, AND STRUCTURES, AND EQUIPMENT SCHEDULED FOR DEMOLITION.
2. WHERE EQUIPMENT IS IDENTIFIED FOR DEMOLITION, E.C. SHALL MAKE SAFE, AND REMOVE EXISTING WIRING TO POINT OF SUPPLY. CONDUIT SERVING DEMOLISHED EQUIPMENT SHALL ALSO BE REMOVED TO POINT OF SUPPLY EXCEPT WHERE SUCH CONDUIT MAY BE REUSED.
3. NO ABANDONED CONDUIT SHALL REMAIN AT THE CONCLUSION OF THE PROJECT, EXCEPT:
A. CONCRETE-ENCASED CONDUIT.
B. CONDUITS DETERMINED BY THE ENGINEER AS SUITABLE FOR SPARE OR FUTURE USE.
4. MAINTAIN AND RESTORE, IF INTERRUPTED, ALL CONDUITS AND FEEDERS PASSING THRU RENOVATED AREAS AND SERVICING UNDISTURBED AREAS. THE EXACT METHOD OF RE-ROUTING NEW CONDUIT AND WIRE TO EQUIPMENT REMAINING SHALL BE COORDINATED WITH WORK OF OTHER TRADED PRIOR TO INSTALLATION.
5. ALL ELECTRICAL EQUIPMENT BEING REMOVED OR RELOCATED BY DEMOLITION SHALL BE ELECTRICALLY DISCONNECTED BACK AT PANELBOARD WHICH SERVICES THE EQUIPMENT. REMOVE AND DISPOSE OF EQUIPMENT (OR RELOCATE IF NOTED) UNLESS NOTED OTHERWISE, AFTER TESTING TO DETERMINE THE ELECTRICITY HAS BEEN TURNED OFF.
6. LEGALLY DISPOSE OF ALL LIGHT FIXTURES, LAMPS AND BALLASTS BEING REMOVED. THIS CONTRACTOR SHALL VERIFY THE EXISTENCE OF PCB'S, DEHP'S, MERCURY AND OTHER HAZARDOUS MATERIALS AND DISPOSE OF OR RECYCLE THEM PER THE WISCONSIN EPA AND THE FEDERAL GOVERNMENT.
7. RE-ROUTE EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK. RE-ROUTED CONDUIT AND WIRE SHALL BE CONCEALED IN THE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.
8. EXISTING ELECTRICAL EQUIPMENT REQUIRED TO BE REMOVED AND/OR RELOCATED, BUT NOT SHOWN ON THE DRAWINGS, SHALL BE INCLUDED IN THE SCOPE OF WORK.
9. VISIT AND EXAMINE ELECTRICAL SYSTEMS AND EXISTING CONSTRUCTION SO AS TO BECOME FAMILIAR WITH EXISTING CONSTRUCTION AS DIFFICULTIES THAT WILL BE ENCOUNTERED AS PART OF THE PROJECT, BEFORE SUBMITTING PROPOSALS. SUBMISSIONS OF PROPOSAL WILL BE EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE, AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS WILL NOT BE RECOGNIZED.
10. SHUTDOWN OF ANY SERVICE TO EQUIPMENT REMAINING SHALL ONLY BE FOR THE TIME AGREED UPON BY THE OWNER'S REPRESENTATIVE. ALL SHUTDOWN AGREEMENTS SHALL BE IN WRITING WITH COPIES TO THE OWNER, GENERAL CONTRACTOR AND CONSULTANTS.

LEGEND

X - EXISTING TO REMAIN
X/D - EXISTING TO BE DEMOLISHED
X/R - EXISTING TO BE RELOCATED
X/S - EXISTING TO BE SALVAGED
//// - DEMO

CONDUCTORS AND CABLE

1. EVERY WIRE/CABLE SHALL BE MARKED AT BOTH ENDS IN ALL JUNCTION BOXES, TERMINAL BOXES, AND FINAL DESTINATION EQUIPMENT. USE PRINTED HEAT SHRINK SLEEVE TYPE MARKERS. HAND MARKING IS NOT ACCEPTABLE. VERIFY WITH ENGINEER WHAT THE IDENTIFICATION SHALL BE IF NOT DESCRIBED WITHIN THESE DRAWINGS.
2. E.C. SHALL TERMINATE ALL CONDUCTORS INDICATED IN DRAWINGS, UNLESS OTHERWISE NOTED.
3. A 24" SEPARATION SHALL BE MAINTAINED BETWEEN INSTRUMENT, CONTROL, AND COMMUNICATION CABLES AND A.C. CABLES. IF CONDUITS MUST BE RUN PROXIMATE TO EACH OTHER, RIGID STEEL CONDUIT SHALL BE USED FOR THE LOW VOLTAGE CABLE.
4. ALL DATA CABLES SHALL INCLUDE ENDS, BY CONTRACTOR.
5. ROUTE A SEPARATE NEUTRAL CONDUCTOR FOR ALL CIRCUITS THAT REQUIRE A NEUTRAL. DO NOT USE CIRCUIT BREAKER TIE HANDLES.

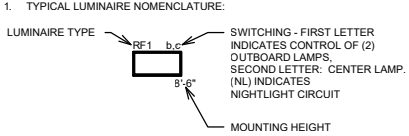
GROUNDING

1. ALL METALLIC STRUCTURES, METALLIC ENCLOSURES, AND ELECTRICAL EQUIPMENT SHALL BE PERMANENTLY AND EFFECTIVELY GROUNDED AND GROUND CONNECTIONS SHALL BE MADE TO THE PLANT GROUND GRID. THE GROUND CONDUCTOR SHALL BE SIZED PER N.E.C. UNLESS OTHERWISE SHOWN.
2. GROUNDING CONDUCTORS STUB-UPS AND INSERT LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATIONS IN FIELD, WITH ENGINEER. ALL GROUND GRID CONDUCTORS SHALL BE #4/0 SIZE UNLESS OTHERWISE NOTED.
3. ALL GROUNDING GRID CONDUCTORS SHALL BE A MINIMUM OF 36" BELOW GRADE EXCEPT UNDER BUILDING SLAB WHEN THEY SHALL BE A MINIMUM OF 6" BELOW SLAB.

RACEWAYS AND BOXES

1. CONDUIT FITTINGS AND SUPPORTS ARE NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH ALL SUPPORT CHANNELS, CLAMPS, HARDWARE, ETC. MATERIAL TO BE SUITABLE FOR THE AREA IN WHICH THEY ARE INSTALLED.
2. UNDERGROUND CONDUITS SHALL BE BURIED A MINIMUM OF 36" BELOW GRADE, U.O.N. WARNING MARKER TAPE SHALL BE LAID IN TRENCHES AND GROUND SYSTEM TRENCHES A MINIMUM OF 12" ABOVE CONDUIT. ALL UNDERGROUND CONDUIT RUNS SHALL BE WITH LONG RADIUS SWEEP BENDS. THE MINIMUM BENDING RADIUS SHALL BE 12 TIMES NOMINAL DIAMETER OF THE CONDUIT.
3. THE MINIMUM SIZE OF CONDUITS INSTALLED BELOW GRADE SHALL BE 1", UNLESS OTHERWISE NOTED.
4. THE MINIMUM SIZE OF CONDUIT INSTALLED ABOVE GRADE SHALL BE 3/4", UNLESS OTHERWISE NOTED.
5. ARRANGE STUB-UPS SO CURVED PORTIONS OF BENDS ARE NOT VISIBLE ABOVE FINISHED SLAB.
6. INSTALL NO MORE THAN THE EQUIVALENT OF THREE 90-DEGREE BENDS IN ANY CONDUIT RUN.

LIGHTING



| SYMBOL | DESCRIPTION | SUBSCRIPTS |
|--------|----------------------|------------|
| | POLE MOUNTED FIXTURE | |
| | WALL LIGHT | |

POWER/SPECIAL SYSTEMS

| SYMBOL | DESCRIPTION | SUBSCRIPTS |
|--------|-------------------------------------|---|
| | DUPLEX RECEPTACLE | WP = WEATHER PROTECTIVE GFI = GROUND FAULT INTERRUPTING |
| | CONDUIT | UE = UNDERGROUND ELECTRIC UT = UNDERGROUND TELEPHONE UTV = UNDERGROUND CABLE T.V. |
| | CONDUIT STUBBED DOWN | |
| | CONDUIT STUBBED UP | |
| | CONDUIT STUBBED OUT | |
| | BRANCH CIRCUIT | |
| | HOMERUN | |
| | GROUND WIRE | |
| | GROUND PLATE | |
| | MOTOR | |
| | DISCONNECT OR SAFETY SWITCH | F = FUSED none = NON-FUSED # = NEMA DESIGNATION |
| | DOOR ENTRY MASTER CONTROL STATION | |
| | DOOR ENTRY INTERCOM/CAMERAL STATION | |
| | CIRCUIT BREAKER | |
| | SURGE PROTECTION DEVICE | |
| | TRANSFORMER | |

TELEPHONE/DATA

| SYMBOL | DESCRIPTION | SUBSCRIPTS |
|--------|-------------|-------------------------------|
| | DATA OUTLET | "No" = QUANTITY OF DATA PORTS |

ABBREVIATIONS

| ABBR. | DESCRIPTION |
|---------|--|
| A | AMPERES |
| AF | AMPERES FRAME SIZE |
| A.F.F. | ABOVE FINISHED FLOOR |
| AIC | AMPERE INTERRUPTING CAPACITY |
| AT | AMPERES TRIP |
| ATRS | AUTO TRANSFORMER REDUCED VOLTAGE STARTER |
| ATS | AUTOMATIC TRANSFER SWITCH |
| AUTO | AUTOMATIC |
| AUX | AUXILIARY |
| AWG | AMERICAN WIRE GAUGE |
| BC | BYPASS CONTACTOR |
| C | CONDUIT, CONTACTOR |
| C/B | CIRCUIT BREAKER |
| CKT | CIRCUIT |
| CONTR | CONTROL |
| CPT | CONTROL POWER TRANSFORMER |
| CR | CONTROL RELAY |
| CT | CURRENT TRANSFORMER |
| CU | COPPER |
| D.C | DIRECT CURRENT OR DRIVE CONTACTOR |
| DET | DETAIL |
| DISC | DISCONNECT |
| DSW | DISCONNECT SWITCH |
| E.C | ELECTRICAL CONTRACTOR |
| E.C.C. | EDDY CURRENT CONTROLLER |
| EF | EXHAUST FAN |
| EGC | EQUIPMENT GROUNDING CONDUCTOR |
| EH | ELECTRIC HEATER |
| EL | ELEVATION |
| EMT | ELECTRICAL METALLIC TUBING |
| ES | EMERGENCY STOP |
| ETM | ELAPSED TIME METER |
| EWG | ELECTRIC WATER COOLER |
| EX | EXISTING |
| F.B.O. | FURNISHED BY OTHERS |
| F.C | FAIL CLOSED |
| FCP | FAN CONTROL PANEL |
| FDR | FEEDER |
| FDW | FUSIBLE DISCONNECT SWITCH |
| FHP | FRACTIONAL HORSEPOWER |
| F.O | FAIL OPEN |
| FUT | FUTURE |
| FVNR | FULL VOLTAGE NON-REVERSING |
| FVR | FULL VOLTAGE REVERSING |
| G.C | GENERAL CONTRACTOR |
| GEC | GROUNDING ELECTRODE CONDUCTOR |
| GEEP | GROUND FAULT INTERRUPTING FOR EQUIPMENT PROTECTION |
| GFI | GROUND FAULT INTERRUPTING FOR PERSONNEL |
| GND | GROUND |
| GP | GROUND |
| GW | GROUND WELL |
| HOA | HANDS-OFF-AUTO |
| HP | HORSEPOWER |
| HW | HOT WATER |
| HWH | HOT WATER HEATER |
| HZ | HERTZ, CYCLES PER SECOND |
| IC | ISOLATION CONTACTOR |
| IMC | INTERMEDIATE METAL CONDUIT |
| INSTALL | INSTALLATION, WIRING, & CONNECTIONS BY E.C. |
| INTLK | INTERLOCK |
| IS | INTRINSICALLY SAFE |
| ISB | INTRINSIC SAFETY BARRIER |
| IO | INPUT/OUTPUT |
| Kcmil | THOUSAND CIRCULAR MILS |
| KV | KILOVOLTS |
| KVA | KILOVOLT AMPERES (APPARENT POWER) |
| KVAR | KILOVARS (REACTIVE POWER) |
| KW | KILOWATTS (REAL POWER) |
| LC | LIGHTING CONTRACTOR |
| LCS | LOCAL CONTROL STATION |
| LP | LIGHTING PANEL |
| LV | LOW VOLTAGE |
| MAN | MANUAL |
| MCC | MOTOR CONTROL CENTER |
| MCM | THOUSAND CIRCULAR MILS |
| MCP | MOTOR CIRCUIT PROTECTOR |
| M, MTR | MOTOR |
| MOD | MOTOR OPERATED DAMPER |
| MPA | MANUAL PURGE/ALARM |
| mA | MILLIAMPERE |
| mV | MILLIVOLT |
| N.C. | NORMALLY CLOSED |
| N.I.C | NOT IN CONTRACT |
| N.O. | NORMALLY OPEN |
| N.U. | NEAR UNIT |
| NEC | NATIONAL ELECTRICAL CODE |
| NL | NIGHT LIGHT |
| O.C. | ON CENTER |
| OH | OVER HEAD |
| O.L | OVERLOAD |
| O/O | ON/OFF |
| O/S/C | OPEN/STOP/CLOSE PUSH BUTTONS |
| O.T. | OVER TEMPERATURE |
| OVR | TQ OVER TORQUE |
| PB | PUSHBUTTON |
| PLC | PROGRAMMABLE LOGIC CONTROLLER |
| PROVIDE | FURNISHED, INSTALLED, WIRED AND CONNECTED BY E.C. |
| PTT | PUSH TO TEST |
| PVC | POLYVINYL CHLORIDE CONDUIT |
| RAC | RIGID ALUMINUM CONDUIT |
| RECP | RECEPTACLE |
| RG | RIGID GALVANIZED CONDUIT |
| RMC | RIGID METAL CONDUIT |
| RMS SYM | ROOT MEAN SQUARED VALUE OF SYMMETRICAL COMPONENT |
| RPC | RIGID PVC-COATED CONDUIT |
| S.C.KVA | SHORT CIRCUIT KVA |
| SD | SMOKE DETECTOR |
| S.O. | SPECIAL OUTLET |
| SPD | SURGE PROTECTIVE DEVICE |
| SPEC | SPECIFICATIONS |
| SSRVS | SOLID STATE REDUCED VOLTAGE STARTER |
| SW | SWITCH |
| SSW | SAFETY SWITCH |
| ST | SHUNT TRIP |
| SUSE | SUITABLE FOR USE AS SERVICE EQUIPMENT |
| T.C.C | TEMPERATURE CONTROL CONTRACTOR |
| TM | THERMAL MAGNETIC |
| TR | TIMING RELAY |
| TS | TEMPERATURE SWITCH |
| TVSS | TRANSIENT VOLTAGE SURGE SUPPRESSOR |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| UGE | UNDERGROUND ELECTRIC |
| UPS | UNINTERRUPTABLE POWER SUPPLY |
| V | VOLTS |
| VAC | VOLTS ALTERNATING CURRENT |
| VDC | VOLTS DIRECT CURRENT |
| VFD | VARIABLE FREQUENCY AC DRIVE |
| VSD | VARIABLE SPEED DC DRIVE |
| W | WITH |
| W/O | WITHOUT |
| WP | WEATHER PROTECTIVE |
| XDCR | TRANSDUCER |
| XFER | TRANSFER |
| XMTR | TRANSFORMER |
| XMTR | TRANSMITTER |
| Z | IMPEDENCE |

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
SPECIFICATIONS AND ABBREVIATIONS

DESIGNED
JAF

DRAWN
GYV

PROJECT NO.
N0940 9-20-00535-A

DATE
AUGUST 2020

SHEET NO.
E1

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DIVISION 26 ELECTRICAL

A. SUBSTITUTIONS:

- 09 91 00 FINISH AND PAINTING**

- A. PREPARE EXPOSED CONDUIT, FITTINGS, SUPPORTS, AND ACCESSORIES FOR FINISH PAINTING.
- B. E.C. SHALL PROVIDE A FACTORY OF FIELD APPLIED PRIME AND FINISH COAT OF COLOR SELECTED BY THE OWNER'S REPRESENTATIVE TO ALL ROOF MOUNTED EQUIPMENT AND OTHER EXTERIOR MATERIALS, INCLUDING SUPPORT HARDWARE.
- C. COORDINATE WORK WITH THE PAINTERS SO THAT ALL EQUIPMENT IS INSTALLED PRIOR TO PAINTING. E.C. SHALL PAINT ITEMS IF NOT IN PLACE PRIOR TO NORMAL ROUTINE PAINTING.
- D. IF FINISH BECOMES RUSTED, CORRODED, SCRATCHED, OR FLAKED DURING STORAGE OR INSTALLATION, REFINISH THE EQUIPMENT TO THE SATISFACTION OF THE OWNER.

- B. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENTS FOR TEMPORARY LIGHTING AND POWER WITH GENERAL CONTRACTOR AND INCLUDE IN HIS SCOPE OF WORK WHEN DIRECTED BY G.C. INSTALL IN ACCORDANCE WITH ALL CODE AND OSHA REQUIREMENTS FOR CONSTRUCTION PROJECTS.
- C. DETAILS AND SCHEDULES ARE SHOWN TO AID THE CONTRACTOR AND ARE NOT MEANT TO BE INCLUSIVE OF ALL DEVICES. PROVIDE REQUIRED EQUIPMENT AND ACCESSORIES FOR A COMPLETE INSTALLATION.
- D. THE CONTRACTOR HAS THE SOLE RESPONSIBILITY FOR AND SHALL HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS AND PROCEDURES USED TO CONSTRUCT THE WORK.
- E. COORDINATE INSTALLATION OF ELECTRICAL WORK WITH THE OTHER CONTRACTORS TO AVOID CONFLICTS WITH OTHER WORK.
- F. COMPLY WITH THE REQUIREMENTS OF NFPA; NATIONAL, STATE, AND LOCAL ELECTRICAL CODES, AND LOCAL UTILITY REGULATIONS.
- G. MATERIAL SHALL BEAR U.L. AND / OR OTHER APPROVAL AGENCY LISTING.
- H. VERIFY ELECTRICAL SIZE AND CONNECTION REQUIREMENTS FOR EQUIPMENT FURNISHED BY OTHERS WITH FINAL SHOP DRAWINGS.
- I. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATING SERVICE AND CONDUCT A PRIVATE UTILITY LOCATE TO ENSURE THAT ALL ELECTRICAL FEEDERS, BRANCH CIRCUITS, LOW VOLTAGE CABLES, AND FIBER OPTIC HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER AND GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- J. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR ELECTRICAL WORK INSTALLATION UNLESS THIS WORK IS IDENTIFIED TO BE THE WORK OF OTHER CONTRACTORS. PATCHING SHALL MATCH ADJACENT SURFACES.
- K. PROJECT CLEANUP:
 - 1. CLEAN FIXTURES AND EQUIPMENT AND LEAVE IN PROPER WORKING CONDITION AT THE TIME OF FINAL CLEAN-UP.
 - 2. MARK RECORD DRAWINGS ON A FINAL SET OF DRAWINGS WHICH INCLUDES ALL FIELD MODIFICATIONS.
- L. EXCAVATION AND BACKFILL:
 - 1. VERIFY ALL EXISTING UNDERGROUND ELECTRICAL FEEDERS, BRANCH CIRCUITS, LOW VOLTAGE CABLES AND FIBER OPTIC HAVE BEEN LOCATED PRIOR TO EXCAVATION. CONTRACTOR SHALL NOT USE MACHINE EXCAVATORS AROUND EXISTING BURIED ELECTRICAL LINES.
 - 2. EXCAVATE AND BACKFILL TRENCHES FOR ELECTRICAL WORK. BACKFILL AND COMPACTION SHALL MEET REQUIREMENTS SPECIFIED ELSEWHERE.
 - 3. RESTORE EXISTING GROUND, LAWNS, PAVING, WALKS, ETC. TO ORIGINAL CONDITION.

A. TYPE AND SIZE:

1. No. 10 & 12: SOLID OR STRANDED COPPER, 600V, THHN / THWN OR XHHW-2 FOR UNDERGROUND.
2. No. 8 TO 3: STRANDED COPPER, 600V, THHN / THWN OR XHHW-2 FOR UNDERGROUND.
3. No. 2 TO 250 KCMIL: STRANDED COPPER, 600V, THHN / THWN OR XHHW-2 FOR UNDERGROUND.
4. MINIMUM BRANCH CIRCUIT WIRE SIZE No. 12.
5. CONTROL WIRING: STRANDED COPPER, MINIMUM No. 14.
6. GREEN INSULATION, COPPER STRANDED EQUIPMENT GROUND.

B. NEUTRALS AND GROUNDS SHALL BE COLOR CODED PER NEC.

C. WIRE COLORS:

1. 120 / 208 - VOLT SYSTEM: PHASE-A (BLACK), PHASE-B (RED), PHASE-C (BLUE).
2. 277 / 480 - VOLT SYSTEM: PHASE-A (BROWN), PHASE-B (ORANGE), PHASE-C (YELLOW).

D. TWO PERCENT VOLTAGE DROP AT PANELBOARDS AND THREE PERCENT FOR BRANCH CIRCUITS FOR FIVE PERCENT VOLTAGE DROP PER NEC.

E. PROVIDE GROUND CONDUCTOR(S) WITH EVERY BRANCH CIRCUIT AND EVERY FEEDER.

A. **GROUNDING AND BONDING PRODUCTS**

1. GOVERNING REQUIREMENTS: WHERE TYPES, SIZES, RATINGS, AND QUANTITIES INDICATED ARE IN EXCESS OF NEC REQUIREMENTS, MORE STRINGENT REQUIREMENTS AND GREATER SIZE, RATING, AND QUANTITY INDICATIONS GOVERN.

B. **WIRE AND CABLE GROUNDING CONDUCTORS**

1. CONFORM TO NEC TABLE 8, EXCEPT AS OTHERWISE INDICATED FOR CONDUCTOR PROPERTIES, INCLUDING STRANDING.
2. MATERIAL: COPPER.
3. EQUIPMENT GROUNDING CONDUCTORS: INSULATED WITH GREEN COLOR INSULATION.
4. GROUNDING-ELECTRODE CONDUCTORS: STRANDED CABLE.
5. UNDERGROUND CONDUCTORS: BARE, TINNED, STRANDED, EXCEPT AS OTHERWISE INDICATED.
6. BARE COPPER CONDUCTORS:
 - a. SOLID CONDUCTORS: AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) B3.
 - b. ASSEMBLY OF STRANDED CONDUCTORS: ASTM B8.
 - c. TINNED CONDUCTORS: ASTM B33.

C. **MISCELLANEOUS CONDUCTORS**

1. GROUNDING BUS: BARE, ANNEALED-COPPER BARS OF RECTANGULAR CROSS SECTION.
2. BRAIDED BONDING JUMPERS: COPPER TAPE, BRAIDED No. 3/0 AMERICAN WIRE GAUGE (AWG) BARE COPPER WIRE, TERMINATED WITH COPPER FERRULES.
3. BONDING STRAPS: SOFT COPPER, 0.05 INCH (1 MILLIMETER) THICK AND 2 INCHES (50 MILLIMETERS) WIDE, EXCEPT AS INDICATED.

D. **CONNECTOR PRODUCTS**

1. PRESSURE CONNECTORS: HIGH-CONDUCTIVITY-PLATED UNITS.
2. BOLTED CLAMPS: HEAVY-DUTY TYPE.
3. EXOTHERMIC-WELDED CONNECTIONS: PROVIDED IN KIT FORM AND SELECTED PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND CONNECTED ITEMS.

E. **APPLICATION**

1. EQUIPMENT GROUNDING CONDUCTORS: COMPLY WITH NEC ARTICLE 250 FOR TYPES, SIZES, AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, EXCEPT WHERE SPECIFIC TYPES, LARGER SIZES, OR MORE CONDUCTORS THAN REQUIRED BY NEC ARE INDICATED.
 - a. INSTALL EQUIPMENT GROUNDING CONDUCTOR WITH CIRCUIT CONDUCTORS FOR ITEMS BELOW IN ADDITION TO THOSE REQUIRED BY CODE:
 - FEEDERS AND BRANCH CIRCUITS.
 - LIGHTING CIRCUITS.
 - RECEPTACLE CIRCUITS.
 - b. NONMETALLIC RACEWAYS: INSTALL EQUIPMENT GROUNDING CONDUCTOR IN NONMETALLIC RACEWAYS UNLESS THEY ARE DESIGNED FOR TELEPHONE OR DATA CABLES.
2. METAL POLES SUPPORTING OUTDOOR LIGHTING FIXTURES: GROUND POLE TO GROUNDING ELECTRODE IN ADDITION TO SEPARATE EQUIPMENT GROUNDING CONDUCTOR RUN WITH SUPPLY BRANCH CIRCUIT.
3. PIPING SYSTEMS AND OTHER EQUIPMENT: COMPLY WITH NEC ARTICLE 250 FOR BONDING REQUIREMENTS.

F. **INSTALLATION**

1. GROUND ELECTRICAL SYSTEMS AND EQUIPMENT ACCORDING TO NEC REQUIREMENTS, EXCEPT WHERE DRAWINGS OR SPECIFICATIONS EXCEED NEC REQUIREMENTS.
2. GROUNDING RODS: LOCATE MINIMUM OF (1) ROD LENGTH FROM EACH OTHER AND AT LEAST SAME DISTANCE FROM ANY OTHER GROUNDING ELECTRODE.
 - a. DRIVE UNTIL TOPS ARE 2 INCHES (50 MILLIMETERS) BELOW FINISHED FLOOR OR FINAL GRADE, EXCEPT AS OTHERWISE INDICATED.
 - b. INTERCONNECT WITH GROUNDING-ELECTRODE CONDUCTORS. USE EXOTHERMIC WELDS. EXCEPT AT TEST WELLS AND AS OTHERWISE INDICATED. MAKE THESE CONNECTIONS WITHOUT DAMAGING COPPER COATING OR EXPOSING STEEL.
3. GROUNDING CONDUCTORS: ROUTE ALONG SHORTEST AND STRAIGHTEST PATHS POSSIBLE. EXCEPT AS OTHERWISE INDICATED, AVOID OBSTRUCTING ACCESS OR PLACING CONDUCTORS WHERE THEY MAY BE SUBJECTED TO STRAIN, IMPACT, OR DAMAGE.
4. UNDERGROUND GROUNDING CONDUCTORS: USE BARE TINNED COPPER WIRE. BURY AT LEAST 24 INCHES (600 MILLIMETERS) BELOW GRADE.

G. CONNECTIONS

1. MAKE CONNECTIONS SO POSSIBILITY OF GALVANIC ACTION OR ELECTROLYSIS IS MINIMIZED. SELECT CONNECTORS, CONNECTION HARDWARE, CONDUCTORS, AND CONNECTION METHODS SO METALS IN DIRECT CONTACT WILL BE GALVANICALLY COMPATIBLE.
 - a. USE ELECTROPLATED OR HOT-TIN-COATED MATERIALS TO ASSURE HIGH CONDUCTIVITY AND TO MAKE CONTACT POINTS CLOSER IN ORDER OF GALVANIC SERIES.
 - b. MAKE CONNECTIONS WITH CLEAN, BARE METAL AT POINT OF CONTACT.
 - c. MAKE ALUMINUM-TO-STEEL CONNECTIONS WITH TIN-PLATED COPPER JUMPERS AND MECHANICAL CLAMPS.
 - d. MAKE ALUMINUM-TO-GALVANIZED STEEL CONNECTIONS WITH TIN-PLATED COPPER JUMPERS AND MECHANICAL CLAMPS.
 - e. COAT AND SEAL CONNECTIONS HAVING DISSIMILAR METALS WITH INERT MATERIAL TO PREVENT FUTURE PENETRATION OF MOISTURE TO CONTACT SURFACES.
 - f. EXOTHERMIC-WELDED CONNECTIONS: USE FOR CONNECTIONS TO STRUCTURAL STEEL AND FOR UNDERGROUND CONNECTIONS, EXCEPT THOSE AT TEST WELLS. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. WELDS THAT ARE PUFFED UP OR THAT SHOW CONVEX SURFACES INDICATING IMPROPER CLEANING ARE NOT ACCEPTABLE.
2. EQUIPMENT GROUNDING-WIRE TERMINATIONS: FOR No. 8 AWG AND LARGER, USE PRESSURE-TYPE GROUNDING LUGS. No. 10 AWG AND SMALLER GROUNDING CONDUCTORS MAY BE TERMINATED WITH WINGED PRESSURE-TYPE CONNECTORS.
3. NONCONTACT METAL RACEWAY TERMINATIONS: WHERE METALLIC RACEWAYS TERMINATE AT METAL HOUSINGS WITHOUT MECHANICAL AND ELECTRICAL CONNECTION TO HOUSING, TERMINATE EACH CONDUIT WITH A GROUNDING BUSHING. CONNECT GROUNDING BUSHINGS WITH BARE GROUNDING CONDUCTOR TO GROUNDING BUS OR TERMINAL IN HOUSING. BOND ELECTRICALLY NONCONTINUOUS CONDUITS AT BOTH ENTRANCES AND EXITS WITH GROUNDING BUSHINGS AND BARE GROUNDING CONDUCTORS, EXCEPT AS OTHERWISE INDICATED.
4. TIGHTEN SCREWS AND BOLTS FOR GROUNDING AND BONDING CONNECTORS AND TERMINALS ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. WHERE THESE REQUIREMENTS ARE NOT AVAILABLE, USE THOSE SPECIFIED IN UL 486A AND UL 486B.
5. COMPRESSION-TYPE CONNECTIONS: USE HYDRAULIC COMPRESSION TOOLS TO PROVIDE CORRECT CIRCUMFERENTIAL PRESSURE FOR COMPRESSION CONNECTORS. USE TOOLS AND DIES RECOMMENDED BY MANUFACTURER OF CONNECTORS. PROVIDE EMBOSSED DIE CODE OR OTHER STANDARD METHOD TO MAKE VISIBLE INDICATION THAT CONNECTOR HAS BEEN ADEQUATELY COMPRESSED ON GROUND CONDUCTOR.
6. MOISTURE PROTECTION: WHERE INSULATED GROUNDING CONDUCTORS ARE CONNECTED TO GROUNDING RODS OR GROUNDING BUSES, INSULATE ENTIRE AREA OF CONNECTION AND SEAL AGAINST MOISTURE PENETRATION OF INSULATION AND CABLE.

- A. CONDUIT HANGERS, ATTACHMENTS, AND SUPPORTS
 1. PROVIDE PROPER FITTINGS AND SUPPORT SUITABLE FOR AMBIENT / ENVIRONMENTAL CONDITIONS AND SERVICE DUTY.
 2. ATTACH TO STRUCTURAL COMPONENTS TO NOT JEOPARDIZE STRUCTURAL INTEGRITY.
 3. PROVIDE ANGLES, CHANNELS, AND BEAMS AS REQUIRED.
- B. EXTERIOR LIGHT POLE AND BOLLARD BASES
 1. PROVIDE EXTERIOR LIGHT POLE AND BOLLARD CONCRETE BASES PER DETAILS

- A. **RMC**
 - 1. ALLOWED FOR ALL SIZES BELOW GRADE AND INSIDE ABOVE GRADE.
 - 2. REQUIRED FOR ALL SIZES OF OUTDOOR ABOVE GRADE CONDUIT.
 - 3. GALVANIZED RIGID STEEL REQUIRED FOR ALL UNDERGROUND 90 DEGREE BENDS.
 - 4. GALVANIZED RIGID STEEL WITH GALVANIZED RIGID STEEL FITTINGS, THREADED WATERTIGHT.
- B. **EMT**
 - 1. ALLOWED FOR ALL SIZES INSIDE ABOVE GRADE.
- C. **FLEXIBLE**
 - 1. MINIMUM SIZE 1/2"
 - 2. MAXIMUM LENGTH 36" FOR CONNECTION TO HVAC EQUIPMENT.
 - 3. MAXIMUM LENGTH 72" FOR CONNECTION TO FIXTURES IN TILE CEILINGS.
 - 4. STEEL FITTINGS WITH INSULATED THROAT, UL LISTED.
 - 5. USE LIQUDTIGHT FLEXIBLE METALLIC CONDUIT FOR EXTERIOR ABOVE GRADE CONNECTIONS TO VIBRATING EQUIPMENT
- C. **PVC**
 - 1. USE FOR CONDUIT IN EARTH WHEN PERMITTED BY CODE AND LOCAL ORDINANCES.
 - 2. SCHEDULE 40 PVC.
- D. **FITTINGS**
 - 1. FITTING MATERIAL SHALL MATCH CONDUIT MATERIAL UNLESS OTHERWISE NOTED IN PLANS AND SPECIFICATIONS OR WITH WRITTEN APPROVAL BY ENGINEER.
- E. **INSTALLATION**
 - 1. DRAWINGS AND DIAGRAMS SHOW SIZE AND APPROXIMATE LOCATION OF CONDUIT. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION. PROVIDE ADDITIONAL OFFSETS AS REQUIRED FOR FIELD CONDITIONS. ROUTE CONDUIT IN ORDERLY MANNER, PARALLEL TO BUILDING STRUCTURE, CONCEAL CONDUIT IN FINISHED AREAS.
 - 2. INSTALL UL APPROVED EXPANSION FITTINGS COMPLETE WITH GROUNDING JUMPERS WHERE CONDUITS CROSS BUILDINGS EXPANSION JOINTS AND IN LONG CONDUIT RUNS WHERE DIFFERENTIAL EXPANSION OF CONTRACTION WOULD CAUSE BENDING OR SEPARATION.
 - 3. INSTALL CONDUIT WITH ADEQUATE DRAINAGE.
 - 4. SECURE CONDUITS WITH AT LEAST (1) CORROSION PROOF MALLEABLE ALLOY STRAP OR HANGER EVERY 8 FT. DO NOT USE PERFORATED STRAPPING.
 - 5. PROVIDE SEPARATE CONDUIT / RACEWAY FOR TELECOMMUNICATIONS SYSTEMS.
 - 6. ROUTE CONDUIT ABOVE LAY-IN SUSPENDED CEILINGS SO AS NOT TO INTERFERE WITH TILE REMOVAL.
 - 7. INSTALL FLEXIBLE STEEL CONDUIT DROPS FROM INDEPENDENT JUNCTION BOX MOUNTED ABOVE CEILING TO RECESSED LIGHT FIXTURES.
 - 8. SECURE CONDUITS WITH AT LEAST (1) CORROSION PROOF MALLEABLE ALLOY STRAP OR HANGER EVERY 8 FT. DO NOT USE PERFORATED STRAPPING.
 - 9. PROVIDE UL LISTED FIRE-WALL PENETRATIONS WHEN CONDUIT PASS THROUGH A FIRE RATED WALL.
 - 10. USE A CONDUIT BUSHING TO TERMINATE CONDUIT STUB-UPS.
 - 11. PROVIDE CONDUIT SEALS IN RACEWAYS THAT EXTEND FROM INTERIOR TO EXTERIOR OF BUILDING.

- A. FLUSH INTERIOR 4" SQUARE STEEL BOXES WITH RAISED CORNERS AND SQUARE CUT CORNERS. PROVIDE BOXES RATED FOR THROUGH FEED.
- B. PROVIDE CAST BOXES FOR EXTERIOR USE DEVICES. PROVIDE COVERS WITH GASKETS.
- C. JUNCTION AND SPLICE BOXES SHALL HAVE GALVANIZED SCREW COVERS AND BE NOT LESS THAN CODE DIMENSIONS. THROUGH-WALL AND BACK-TO-BACK BOXES NOT ALLOWED.
- D. OUTLET AND JUNCTION BOXES USED AS SURFACE METAL RACEWAY SHALL BE MANUFACTURED BY THE SURFACE METAL RACEWAY MANUFACTURER TO BE COMPATIBLE WITH THE RACEWAY USED.
- E. VERIFY LOCATION PRIOR TO ROUGH-IN. MATCH THE HEIGHT OF EXISTING DEVICES FOR INSTALLATIONS IN ADDITIONS TO EXISTING FACILITIES.
- F. BOXES FOR LIGHTING SHALL BE RATED FOR A MINIMUM OF 50 LBS.
- G. HANDHOLES:
 - 1. POLYMER-CONCRETE TYPE
 - 2. OPEN BOTTOM
 - 3. COVER: WEATHERPROOF, SECURED BY TAMPER RESISTANT LOCKING DEVICES. NON-SKID FINISH. MOLDED LETTERING "ELECTRIC".

- A. SLEEVES
 1. FURNISH RIGID CONDUIT SLEEVES FOR CABLES PASSING THROUGH MASONRY, CONCRETE, OR OTHER SIMILAR CONSTRUCTION.
 2. FURNISH SLEEVE TO MASON FOR NEW MASONRY WALLS.
 3. FURNISH, INSTALL, AND GROUT SLEEVE IN EXISTING MASONRY AND NEW CONCRETE WALLS.
 4. SLEEVE NOT REQUIRED FOR DRYWALL WALLS OR CORE DRILLED HOLE IN CONCRETE WALL.
- B. NON-FIRE RATED INTERIOR WALL AND FLOOR PENETRATIONS: FILL VOID BETWEEN CONDUIT AND SLEEVE, CONCRETE, OR DRYWALL WITH EXPANDING POLYURETHANE FOAM. CAULK BETWEEN CONDUIT AND SLEEVE OR WALL WITH NON-HARDENING CAULK.
- C. PROVIDE FIRE-PROOF CAULKING AT ALL PENETRATIONS AT FIRE-RATED WALLS.

A. ENGRAVED LABELS: ENGRAVED 3-LAYER PHENOLIC LABEL WITH BLACK LETTERS ON WHITE MATERIAL. LABELS MINIMUM 3/4" HIGH AND 3" LONG. LABELS MAY BE ATTACHED WITH DOUBLE BACKED ADHESIVE TAPE. INCLUDE EQUIPMENT IDENTIFICATION AND IDENTIFICATION OF "FED FROM" DEVICE. LABELS REQUIRED AT:

1. SWITCHBOARDS
2. PANELBOARDS
3. DISCONNECTS
4. SURGE PROTECTION DEVICES.

B. PROVIDE TYPEWRITTEN DIRECTORY ACCURATELY INDICATING ROOMS AND / OR EQUIPMENT BEING SERVED IN PANELBOARDS.

C. PROVIDE UNDERGROUND ELECTRICAL MARKING TAPE FOR UNDERGROUND POWER AND COMMUNICATION CONDUITS.

- B. MANUFACTURER'S:
 - 1. SIEMENS
- C. REFER TO SECTION 26 24 13 SWITCHBOARDS FOR INTEGRATED POWER SYSTEMS (IPS) FOR CUSTOM ENCLOSURE SYSTEM.
- D. CABINET:
 - 1. NEMA 1 CABINET, CODE GAUGE STEEL CONSISTING OF A BOX WITH A REMOVABLE FRONT WITH HINGED DOOR AND LATCH.
 - 2. FABRICATE WITH STRAIGHT EDGES AND SQUARE CORNERS.
 - 3. BOXES SHALL BE MINIMUM 20" WIDE.
 - 4. MANUFACTURER'S STANDARD FINISH, PRIME COAT AND BAKED ENAMEL FINISH.
- E. PROVIDE A NAMEPLATE LISTING OF THE PANEL TYPE AND NUMBER OF PROTECTIVE AND SWITCHING DEVICES AND RATINGS.
- F. BUS BARS FOR THE MAINS SHALL BE COPPER OR ALUMINUM SIZED IN ACCORDANCE WITH UL STANDARDS. INCLUDE FULL SIZE NEUTRAL BARS UNLESS OTHERWISE NOTED. PROVIDE GROUND BUS.
- G. NEUTRAL BUSSING SHALL HAVE ONE LUG FOR EVERY BRANCH CIRCUIT THAT THE PANELBOARD IS CAPABLE OF SUPPORTING.
- H. BUS SPACES FOR FUTURE SWITCHING AND PROTECTIVE DEVICES FOR THE MAXIMUM DEVICES AND SWITCHES THAT THE PANELBOARD CAN ACCOMMODATE.
- I. PANELBOARD SHORT-CIRCUIT CURRENT RATING: FULLY RATED TO INTERRUPT SYMMETRICAL SHORT-CIRCUIT CURRENT AVAILABLE AT TERMINALS. ASSEMBLY LISTED BY AN NRTL FOR 100 PERCENT INTERRUPTING CAPACITY.
- J. CIRCUIT BREAKERS:
 - 1. UNLESS INDICATED OTHERWISE, CIRCUIT BREAKERS SHALL BE PLUG-ON, INDIVIDUALLY REPLACING, THERMAL-MAGNETIC, AUTOMATIC FREE TRIPPING, SEPARATELY INDICATING "ON", "TRIPPED", AND "OFF", AMBIENT COMPENSATED AT 40 DEGREES C. SINGLE, DOUBLE, OR TRIPLE POLE, AS REQUIRED BY THE PANEL SCHEDULES.
 - 2. CIRCUIT BREAKERS INDICATED AS MULTIPLE POLE SHALL BE COMMON TRIP.
 - 3. APPLICATION LISTING: APPROPRIATE FOR APPLICATION; TYPE HACR FOR MOTOR LOADS.

[illegible]

ELECTRICAL SPECIFICATIONS CONTINUED

DIVISION 26 ELECTRICAL

26 43 13 SURGE PROTECTION FOR LOW-VOLTAGE ELECTRICAL POWER CIRCUITS

- A. MANUFACTURER:
- SIEMENS
- B. PANELBOARD SUPPRESSORS
- COMPLY WITH UL 1449 TYPE 2.
 - PEAK SURGE CURRENT RATING: 240 PER MODE
 - PROTECTION MODES FOR GROUNDED WYE CIRCUITS WITH 277/480V, THREE-PHASE, FOUR-WIRE CIRCUITS SHALL NOT EXCEED THE FOLLOWING:
 - L-N - 1200V
 - L-G - 1200V
 - N-G - 1200V
 - L-L - 2000V
 - SCCR: 100 KAIC
 - INOMINAL RATING: 20 KA.

26 05 73.13 SHORT CIRCUIT STUDIES

- A. SOFTWARE MANUFACTURER:
- ESA
 - SKM
 - POWER ANALYTICS
- B. SHORT-CIRCUIT STUDY REPORT CONTENTS
- EXECUTIVE SUMMARY OF STUDY FINDINGS.
 - STUDY DESCRIPTIONS, PURPOSE, BASIS, AND SCOPE. INCLUDE CASE DESCRIPTIONS, DEFINITION OF TERMS, AND GUIDE FOR INTERPRETATION OF RESULTS.
 - ONE-LINE DIAGRAM OF MODELED POWER SYSTEM, SHOWING THE FOLLOWING:
 - PROTECTIVE DEVICE DESIGNATIONS AND AMPERE RATINGS.
 - CONDUCTOR TYPES, SIZES, AND LENGTHS.
 - TRANSFORMER KILOVOLT AMPERE (KVA) AND VOLTAGE RATINGS.
 - MOTOR AND GENERATOR DESIGNATIONS AND KVA RATINGS.
 - SWITCHGEAR, SWITCHBOARD, MOTOR-CONTROL CENTER, AND PANELBOARD DESIGNATIONS AND RATINGS.
 - DERATING FACTORS AND ENVIRONMENTAL CONDITIONS.
 - ANY REVISIONS TO ELECTRICAL EQUIPMENT REQUIRED BY THE STUDY.
 - COMMENTS AND RECOMMENDATIONS FOR SYSTEM IMPROVEMENTS OR REVISIONS IN A WRITTEN DOCUMENT, SEPARATE FROM ONE-LINE DIAGRAM.
 - PROTECTIVE DEVICE EVALUATION:
 - EVALUATE EQUIPMENT AND PROTECTIVE DEVICES AND COMPARE TO AVAILABLE SHORT-CIRCUIT CURRENTS. VERIFY THAT EQUIPMENT WITHSTAND RATINGS EXCEED AVAILABLE SHORT-CIRCUIT CURRENT AT EQUIPMENT INSTALLATION LOCATIONS.
 - TABULATIONS OF CIRCUIT BREAKER, FUSE, AND OTHER PROTECTIVE DEVICE RATINGS VERSUS CALCULATED SHORT-CIRCUIT DUTIES.
 - FOR 600-V OVERCURRENT PROTECTIVE DEVICES, ENSURE THAT INTERRUPTING RATINGS ARE EQUAL TO OR HIGHER THAN CALCULATED 1/2-CYCLE SYMMETRICAL FAULT CURRENT.
 - FOR DEVICES AND EQUIPMENT RATED FOR ASYMMETRICAL FAULT CURRENT, APPLY MULTIPLICATION FACTORS LISTED IN STANDARDS TO 1/2-CYCLE SYMMETRICAL FAULT CURRENT.
 - SHORT-CIRCUIT STUDY INPUT DATA:
 - ONE-LINE DIAGRAM OF SYSTEM BEING STUDIED.
 - POWER SOURCES AVAILABLE.
 - MANUFACTURER, MODEL, AND INTERRUPTING RATING OF PROTECTIVE DEVICES.
 - CONDUCTORS.
 - TRANSFORMER DATA.
 - SHORT-CIRCUIT STUDY OUTPUT REPORTS:
 - LOW-VOLTAGE FAULT REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH OVERCURRENT DEVICE LOCATION:
 - VOLTAGE.
 - CALCULATED FAULT-CURRENT MAGNITUDE AND ANGLE.
 - FAULT-POINT X/R RATIO.
 - EQUIVALENT IMPEDANCE.
 - MOMENTARY DUTY REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH OVERCURRENT DEVICE LOCATION:
 - VOLTAGE.
 - CALCULATED SYMMETRICAL FAULT-CURRENT MAGNITUDE AND ANGLE.
 - FAULT-POINT X/R RATIO.
 - CALCULATED ASYMMETRICAL FAULT CURRENTS.
 - BASED ON FAULT-POINT X/R RATIO.
 - BASED ON CALCULATED SYMMETRICAL VALUE MULTIPLIED BY 1.6.
 - BASED ON CALCULATED SYMMETRICAL VALUE MULTIPLIED BY 2.7.
 - INTERRUPTING DUTY REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH OVERCURRENT DEVICE LOCATION:
 - VOLTAGE.
 - CALCULATED SYMMETRICAL FAULT-CURRENT MAGNITUDE AND ANGLE.
 - FAULT-POINT X/R RATIO.
 - NO AC DECREMENT (NACD) RATIO.
 - EQUIVALENT IMPEDANCE.
 - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A SYMMETRICAL BASIS.
 - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A TOTAL BASIS.

26 05 73.19 ARC-FLASH HAZARD ANALYSIS

- A. MANUFACTURERS
- ESA
 - SKM
 - POWER ANALYTICS
- B. ARC-FLASH STUDY REPORT CONTENT
- EXECUTIVE SUMMARY OF STUDY FINDINGS.
 - STUDY DESCRIPTIONS, PURPOSE, BASIS, AND SCOPE. INCLUDE CASE DESCRIPTIONS, DEFINITION OF TERMS, AND GUIDE FOR INTERPRETATION OF RESULTS.
 - ONE-LINE DIAGRAM, SHOWING THE FOLLOWING:
 - PROTECTIVE DEVICE DESIGNATIONS AND AMPERE RATINGS.
 - CONDUCTOR TYPES, SIZES, AND LENGTHS.
 - TRANSFORMER KILOVOLT AMPERE (KVA) AND VOLTAGE RATINGS, INCLUDING DERATING FACTORS AND ENVIRONMENTAL CONDITIONS.
 - MOTOR AND GENERATOR DESIGNATIONS AND KVA RATINGS.
 - SWITCHGEAR, SWITCHBOARD, PANELBOARD DESIGNATIONS, AND RATINGS.
 - STUDY INPUT DATA: AS DESCRIBED IN "POWER SYSTEM DATA" ARTICLE.
 - SHORT-CIRCUIT STUDY OUTPUT DATA: AS SPECIFIED IN "SHORT-CIRCUIT STUDY OUTPUT REPORTS" PARAGRAPH IN "SHORT-CIRCUIT STUDY REPORT CONTENTS" ARTICLE IN SECTION 260573.13 "SHORT-CIRCUIT STUDIES."
 - ARC-FLASH STUDY OUTPUT REPORTS:
 - INTERRUPTING DUTY REPORT: THREE-PHASE AND UNBALANCED FAULT CALCULATIONS, SHOWING THE FOLLOWING FOR EACH EQUIPMENT LOCATION INCLUDED IN THE REPORT:
 - VOLTAGE.
 - CALCULATED SYMMETRICAL FAULT-CURRENT MAGNITUDE AND ANGLE.
 - FAULT-POINT X/R RATIO.
 - NO AC DECREMENT (NACD) RATIO.
 - EQUIVALENT IMPEDANCE.
 - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A SYMMETRICAL BASIS.
 - MULTIPLYING FACTORS FOR 2-, 3-, 5-, AND 8-CYCLE CIRCUIT BREAKERS RATED ON A TOTAL BASIS.
 - INCIDENT ENERGY AND FLASH PROTECTION BOUNDARY CALCULATIONS:
 - ARCING FAULT MAGNITUDE.
 - PROTECTIVE DEVICE CLEARING TIME.
 - DURATION OF ARC.
 - ARC-FLASH BOUNDARY.
 - RESTRICTED APPROACH BOUNDARY.
 - LIMITED APPROACH BOUNDARY.
 - WORKING DISTANCE.
 - INCIDENT ENERGY.
 - HAZARD RISK CATEGORY.
 - RECOMMENDATIONS FOR ARC-FLASH ENERGY REDUCTION.
 - FAULT STUDY INPUT DATA, CASE DESCRIPTIONS, AND FAULT-CURRENT CALCULATIONS INCLUDING A DEFINITION OF TERMS AND GUIDE FOR INTERPRETATION OF COMPUTER PRINTOUT.
- ARC-FLASH WARNING LABELS
- PRODUCE A 3.5-BY-5-INCH SELF-ADHESIVE EQUIPMENT LABEL FOR EACH WORK LOCATION INCLUDED IN THE ANALYSIS.
 - LABEL SHALL HAVE AN ORANGE HEADER WITH THE WORDING, "WARNING, ARC-FLASH HAZARD," AND SHALL INCLUDE THE FOLLOWING INFORMATION TAKEN DIRECTLY FROM THE ARC-FLASH HAZARD ANALYSIS:
 - LOCATION DESIGNATION.
 - NOMINAL VOLTAGE.
 - PROTECTION BOUNDARIES.
 - ARC-FLASH BOUNDARY.
 - RESTRICTED APPROACH BOUNDARY.
 - LIMITED APPROACH BOUNDARY.
 - ARC FLASH PPE CATEGORY.
 - REQUIRED MINIMUM ARC RATING OF PPE IN CAL/CM SQUARED.
 - AVAILABLE INCIDENT ENERGY.
 - WORKING DISTANCE.
 - ENGINEERING REPORT NUMBER, REVISION NUMBER, AND ISSUE DATE.
- D. LABELS SHALL BE MACHINE PRINTED, WITH NO FIELD-APPLIED MARKINGS.

26 24 13 SWITCHBOARDS

- A. MANUFACTURERS
- SIEMENS
- B. FRONT CONNECTED, FRONT ACCESSIBLE SWITCHBOARDS
- MAIN DEVICES: PANEL MOUNTED
 - BRANCH DEVICES: PANEL MOUNTED
 - SECTIONS FRONT AND REAR ALIGNED
- C. ENCLOSURES:
- OUTDOOR - NEMA TYPE 3R
- D. SPACE HEATERS: FACTORY-INSTALLED ELECTRIC SPACE HEATERS OF SUFFICIENT WATTAGE IN EACH VERTICAL SECTION TO MAINTAIN ENCLOSURE TEMPERATURE ABOVE EXPECTED DEW POINT.
- E. DISCONNECTING AND OVERCURRENT PROTECTIVE DEVICES
- MOLDED-CASE CIRCUIT BREAKER (MCCB): COMPLY WITH UL 489, WITH INTERRUPTING CAPACITY TO MEET AVAILABLE FAULT CURRENTS.
 - THERMAL-MAGNETIC CIRCUIT BREAKERS: INVERSE TIME-CURRENT ELEMENT FOR LOW-LEVEL OVERLOADS AND INSTANTANEOUS MAGNETIC TRIP ELEMENT FOR SHORT CIRCUITS. ADJUSTABLE MAGNETIC TRIP SETTING FOR CIRCUIT-BREAKER FRAME SIZES 250 A AND LARGER.
 - MCCB FEATURES AND ACCESSORIES:
 - STANDARD FRAME SIZES, TRIP RATINGS, AND NUMBER OF POLES.
 - LUGS: MECHANICAL STYLE, SUITABLE FOR NUMBER, SIZE, TRIP RATINGS, AND CONDUCTOR MATERIAL.
 - APPLICATION LISTING: APPROPRIATE FOR APPLICATION; TYPE SWD FOR SWITCHING FLUORESCENT LIGHTING LOADS; TYPE HID FOR FEEDING FLUORESCENT AND HIGH-INTENSITY DISCHARGE (HID) LIGHTING CIRCUITS.
- F. INTEGRATED POWER SYSTEMS:
- ENCLOSURE SHALL CONTAIN PANELBOARDS, TRANSFORMER, AND SURGE PROTECTION DEVICES.
 - CUSTOM CONFIGURATION, CONSULT WITH FACTORY.

26 22 13 LOW-VOLTAGE DISTRIBUTION TRANSFORMERS

- A. MANUFACTURERS
- SIEMENS
- B. REFER TO 26 24 13 SWITCHBOARDS FOR INTEGRATED POWER SYSTEMS (IPS) FOR CUSTOM ENCLOSURE SYSTEM.
- C. GENERAL TRANSFORMER REQUIREMENTS
- DESCRIPTION: FACTORY-ASSEMBLED AND -TESTED, AIR-COOLED UNITS FOR 60-Hz SERVICE.
 - COMPLY WITH NFPA 70.
 - TRANSFORMERS RATED 15 KVA AND LARGER:
 - COMPLY WITH 10 CFR 431 (DOE 2016) EFFICIENCY LEVELS.
 - MARKED AS COMPLIANT WITH DOE 2016 EFFICIENCY LEVELS BY AN NRTL.
 - CORES: ELECTRICAL GRADE, NON-AGING SILICON STEEL WITH HIGH PERMEABILITY AND LOW HYSTERESIS LOSSES.
 - COILS: CONTINUOUS WINDINGS WITHOUT SPLICES EXCEPT FOR TAPS.
 - COILS MATERIAL: ALUMINUM
 - INTERNAL COIL CONNECTIONS: BRAZED OR PRESSURE TYPE
 - TERMINAL CONNECTIONS: WELDED
- C. DISTRIBUTION TRANSFORMERS
- COMPLY WITH NFPA 70
 - CORES: ONE LEG PER PHASE
 - ENCLOSURE: VENTILATED
 - NEMA 2501, TYPE 1: CORE AND COIL SHALL BE ENCAPSULATED WITHIN RESIN COMPOUND, SEALING OUT MOISTURE AND AIR.
 - WIRING COMPARTMENT: SIZED FOR CONDUIT ENTRY AND WIRING INSTALLATION.
 - TAPS FOR TRANSFORMERS 25 KVA AND LARGER: TWO 2.5 PERCENT TAPS ABOVE AND TWO 2.5 PERCENT TAPS BELOW FULL CAPACITY.
 - INSULATION CLASS: 220 DEG C, UL-COMPONENT-RECOGNIZED INSULATION SYSTEM WITH A MAXIMUM OF 80 DEG C RISE ABOVE 40 DEG C AMBIENT TEMPERATURE.
 - GROUNDING: PROVIDE GROUND-BAR LIT OR A GROUND BAR INSTALLED ON THE INSIDE OF THE TRANSFORMER ENCLOSURE.
 - WALL BRACKETS: MANUFACTURER'S STANDARD BRACKETS.
- D. INSTALLATION
- VERIFY THAT FIELD MEASUREMENTS ARE AS NEEDED TO MAINTAIN WORKING CLEARANCES REQUIRED BY NFPA 70 AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - EXAMINE WALLS, FLOORS, ROOFS, AND CONCRETE BASES FOR SUITABLE MOUNTING CONDITIONS WHERE TRANSFORMERS WILL BE INSTALLED.
 - INSTALL WALL-MOUNTED TRANSFORMERS LEVEL AND PLUMB WITH WALL BRACKETS FABRICATED BY TRANSFORMER MANUFACTURER.
 - SECURE COVERS TO ENCLOSURE AND TIGHTEN ALL BOLTS TO MANUFACTURER-RECOMMENDED TORQUES TO REDUCE NOISE GENERATION.
 - PROVIDE FLEXIBLE CONNECTIONS AT ALL CONDUIT AND CONDUCTOR TERMINATIONS AND SUPPORTS TO ELIMINATE SOUND AND VIBRATION TRANSMISSION TO THE BUILDING STRUCTURE.
- E. FIELD QUALITY CONTROL
- PERFORM TESTS AND INSPECTIONS
 - SMALL (UP TO 167-KVA SINGLE-PHASE OR 500-KVA THREE-PHASE) DRY-TYPE TRANSFORMER FIELD TESTS:
 - VISUAL AND MECHANICAL INSPECTION
 - INSPECT PHYSICAL AND MECHANICAL CONDITION.
 - INSPECT ANCHORAGE, ALIGNMENT, AND GROUNDING.
 - VERIFY THAT RESILIENT MOUNTS ARE FREE AND THAT ANY SHIPPING BRACKETS HAVE BEEN REMOVED.
 - VERIFY THE UNIT IS CLEAN.
 - PERFORM SPECIFIC INSPECTIONS AND MECHANICAL TESTS RECOMMENDED BY MANUFACTURER.
 - VERIFY THAT AS-LEFT TAP CONNECTION ARE AS SPECIFIED.
 - VERIFY THE PRESENCE OF SURGE ARRESTERS AND THAT THEIR RATINGS ARE AS SPECIFIED.
 - ELECTRICAL TESTS
 - MEASURE RESISTANCE AT EACH WINDING, TAP, AND BOLTED CONNECTION.
 - PERFORM INSULATION-RESISTANCE TESTS WINDING-TO-WINDING AND EACH WINDING-TO-GROUND. APPLY VOLTAGE ACCORDING TO MANUFACTURERS PUBLISHED DATA, COMPLY WITH NETA ATS, TABLE 100.5. CALCULATE POLARIZATION INDEX; THE VALUE OF THE INDEX SHALL NOT BE LESS THAN 1.0.
 - PERFORM TURNS-RATIO TESTS AT ALL TAP POSITIONS. TEST RESULTS SHALL NOT DEVIATE BY MORE THAN ONE-HALF PERCENT FROM EITHER THE ADJACENT COILS OR THE CALCULATED RATIO. IF TEST FAILS, REPLACE THE TRANSFORMER.
 - VERIFY CORRECT SECONDARY VOLTAGE, PHASE-TO-PHASE AND PHASE-TO-NEUTRAL, AFTER ENERGIZATION AND PRIOR TO LOADING.
 - REMOVE AND REPLACE UNITS THAT DO NOT PASS TESTS OR INSPECTIONS AND RETEST AS SPECIFIED ABOVE.

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SPECIFICATIONS

| | |
|-----------------------------------|--------------|
| DESIGNED JAF | DRAWN GYV |
| PROJECT NO. N0940 9-20-00535-A | |
| DATE AUGUST 2020 | |
| SHEET NO. E3 | |

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JReibold, W:\PROJECTS\N0940\92000535\CADD\Civil3D\plan sheets\E4 ELECTRICAL SPECIFICATIONS.dwg, Plot Date: 8/25/2020 3:55 PM, xrefs:none

ELECTRICAL SPECIFICATIONS CONTINUED
DIVISION 27 COMMUNICATIONS

27 15 00 COMMUNICATIONS HORIZONTAL CABLING

- A. ALL CABLE CONNECTING HARDWARE SHALL COMPLY WITH TIA/EIA-568-B.2, IDC TYPE, WITH MODULES DESIGNED FOR PUNCH-DOWN CAPS OR TOOLS. CABLES SHALL BE TERMINATED WITH CONNECTING HARDWARE OF SAME CATEGORY OR HIGHER.
- B. THE CONTRACTOR SHALL PROVIDE ALL DATA WIRING, OUTLET JACKS, AND LABELING FOR A COMPLETE WIRING SYSTEM. PROVIDE THE FOLLOWING MATERIALS:
1. DATA, SECURITY CAMERAS, ACCESS DOOR CONTROLLERS, VIDEO GAMES, GOLF SIMULATORS, POS SYSTEM: CATEGORY 6, PLENUM RATED, NO. 24 AWG, 100OHM, 4-PAIR UTP, FORMED INTO 25-PAIR, BINDER GROUPS COVERED WITH A BLUE THERMOPLASTIC JACKET AS MANUFACTURED BY BELDEN OR BELK-TEK.
 2. WIRELESS ACCESS POINTS: CATEGORY 6A, PLENUM RATED, NO. 24 AWG, 100OHM, 4-PAIR UTP, FORMED INTO 25-PAIR, BINDER GROUPS COVERED WITH A BLUE THERMOPLASTIC JACKET AS MANUFACTURED BY BELDEN OR BELK-TEK.
 3. OUTLET JACKS: MODULAR, COLOR CODED, CATEGORY 6 (OR 6A FOR WIRELESS ACCESS POINTS), RJ-45 RECEPTACLE UNITS WITH INTEGRAL IDC-TYPE TERMINAL, T568B PINOUT.
 4. DATA: PANDUIT CJ6888TBU - BLUE OR EQUIVALENT
 5. OUTLETS: 4-JACK ASSEMBLIES MOUNTED IN A SINGLE GANG FACEPLATE.
 6. FACEPLATE: PANDUIT CBIW, ACCEPTS TWO 1/2 SIZE MODULE INSERTS.
 7. MODULE INSERTS: PANDUIT CHF2IW-X, TWO REQUIRED FOR EACH FACEPLATE.
 8. BLANK FILLER: PANDUIT CMBIW-X, TWO REQUIRED FOR EACH FACEPLATE.
 9. MOUNTING: FLUSH
 10. LABELING: PRINTED, ADHESIVE TAPE LABEL IDENTIFYING THE CIRCUIT. DATA OUTLET AT PATCH PANEL LABELING SHALL MATCH. COORDINATE REQUIREMENTS WITH OWNER.
 11. PATCH CORDS: 3'-0" LENGTH.
- C. PROVIDE (1) CABLE DROP AT EACH DOOR ACCESS POINT. COORDINATE WITH MARTIN SYSTEMS.
- D. PROVIDE (1) CABLE DROP AT EACH SECURITY CAMERA. PROVIDE 10 FEET OF COILED CABLE AT EACH CAMERA LOCATION IN ORDER TO ALLOW FOR MOVEMENT OF CAMERA. COORDINATE WITH MARTIN SYSTEMS.
- E. ALL CATEGORY 6 AND 6A CABLES SHALL BE TESTED END TO END AND DOCUMENTED FOR CATEGORY 6 AND 6A COMPLIANCE. IT SHOULD BE TESTED WITH A FLUKE OMNISCANNER OR LIKE DEVICE. HARDCOPY AND SOFTCOPY SHOULD BE PROVIDED. PROVIDE SPECIAL SOFTWARE IF REQUIRED TO VIEW SOFTCOPY.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OPENINGS REQUIRED IN WALLS. OPENING SHALL BE REPAIRED, AND CONDUITS/CABLES THROUGH WALL SHALL BE GROUTED OR SEALED INTO OPENING.
- G. ALL FLOOR AND WALL PENETRATIONS SHALL BE THROUGH A SLEEVE AND FIRE STOPPED PER LOCAL CODES. ALL MATERIAL USED TO SEAL PENETRATIONS SHALL BE U.L. LISTED.
- H. INSTALLATION:
1. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 2. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 3. BUNDLE, LACE, AND TRAIN CABLES WITHIN ENCLOSURES.
- I. TEST ALL CABLING END-TO-END.

27 13 00 COMMUNICATIONS BACKBONE CABLING

- A. MANUFACTURERS
- a. BERK-TEK
 - b. BELDEN
 - c. CORNING CABLE SYSTEM
- B. 9 / 125 MICROMETER SINGLE-MODE OPTICAL FIBER CABLE (OS2)
- a. 6 FIBERS, SINGLE LOOSE TUBE, ARMORED OPTICAL FIBER CABLE.
 - b. JACKET: YELLOW
 - c. PLENUM RATED, ARMORED (CONDUCTIVE); TYPE OFCP, COMPLYING WITH NFPA 262.
 - d. PROVIDE 1000 BASE-LX SFP TRANSCEIVER.
- C. OPTICAL FIBER HARDWARE
- a. COMPLY WITH TIA-568-C.3.
 - b. CROSS CONNECTS AND PATCH PANELS: MODULAR PANELS HOUSING MULTIPLE NUMBERED DUPLEX CONNECTORS.
 - c. CONNECTOR TYPE: SC-P, COMPLYING WITH TIA-604-3-B.
 - d. PLUGS: MALE COLOR CODED MODULAR CONNECTOR DESIGNED FOR TERMINATION OF SINGLE OPTICAL FIBER CABLE. INSERTION LOSS OF NOT LESS THAN 0.25 dB.
 - e. JACKS: FEMALE, QUICK CONNECT, DUPLEX, FIXED CONNECTOR DESIGNED FOR TERMINATION OF SINGLE OPTICAL FIBER CABLE. INSERTION LOSS OF NOT LESS THAN 0.25 dB. DESIGNED TO SNAP IN TO A PATCH PANEL.
- D. INSTALLATION:
- a. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
 - b. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 - c. BUNDLE, LACE, AND TRAIN CABLES WITHIN ENCLOSURES.
- E. TEST ALL FIBER OPTIC CABLES END-TO-END.

DIVISION 28 COMMUNICATIONS

28 60 11 DOOR ENTRY CONTROL AND VIDEO

- 1.1 SUMMARY
- A. ADD SUB-MASTER STATION TO EXISTING AIPHONE JP-4MED SYSTEM. SUB-MASTER STATION SHALL BE ABLE TO CONTROL THE VISITOR GATE AND VISITOR ENTRY VIDEO / INTERCOM.
- 1.2 QUALITY ASSURANCE
- A. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND APPLICATION.
 - B. COMPLY WITH NFPA 70.
 - C. ALL ITEMS OF EQUIPMENT INCLUDING WIRE AND CABLE SHALL BE DESIGNED BY THE MANUFACTURER TO FUNCTION AS A COMPLETE SYSTEM AND SHALL BE ACCOMPANIED BY THE MANUFACTURER'S COMPLETE SERVICE NOTES AND DRAWINGS DETAILING ALL INTERCONNECTIONS.
- 1.3 COORDINATION
- A. COORDINATE FLUSH MOUNTED BACK BOXES WITH OTHER TRADES.
 - B. COORDINATE REQUIREMENTS OF DOOR STRIKES, POWER SUPPLIES, CARD READER SYSTEMS, POWER OPERATED DOORS AND OTHER EQUIPMENT SPECIFIED UNDER OTHER SECTIONS OF SPECIFICATION AND DRAWINGS.
- 2.1 MANUFACTURERS
- A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
 - a. AIPHONE.
- 2.2 SUB-MASTER STATION
- A. JP-4HD MASTER STATION WITH TOUCHSCREEN MONITOR.
 - B. DESK MOUNT STAND.
 - C. THE MCW-S/A PROVIDES A DESK MOUNTING OPTION FOR AIPHONE MONITORS, ANGLING THEM BACK AT APPROXIMATELY 75°.
- 2.3 SELECTIVE DOOR RELEASE ADAPTOR
- A. THE RY-3DL PROVIDES SELECTIVE DOOR RELEASE CAPABILITY WITH THE IE-2AD AUDIO DOOR ENTRY SYSTEM, THE MY-2CD PAN TILT VIDEO ENTRY SYSTEM OR THE KB-3MRD TILT COLOR VIDEO SYSTEM. WHEN COMMUNICATION IS ESTABLISHED TO A DOOR STATION, THE SINGLE DOOR RELEASE BUTTON ON THE INTERCOM WILL ACTIVATE THE DOOR RELEASE MECHANISM ASSOCIATED WITH THAT DOOR. THE ADAPTOR CAN BE INSTALLED WITH THE POWER SUPPLIES FOR THE SYSTEM.
 - B. SELECTIVE DOOR RELEASE WITH ONE BUTTON.
 - C. DOOR RELEASE CONTACTS RELEASE THE DOOR WHERE COMMUNICATION IS ESTABLISHED.
 - D. BOTH NORMALLY OPEN AND NORMALLY CLOSED CONTACTS.
- 2.4 LONG DISTANCE ADAPTOR:
- A. JPW-BA - USED WHEN MASTER STATION TO DOOR STATION EXCEEDS 330 FEET.
- 2.5 POWER SUPPLY
- A. POWER SUPPLY TO BE A PS-2420UL.
 - B. PACKAGE TO INCLUDE:
 - a. AC CORD AND PLUG.
 - b. MOUNTING BRACKET - AND SCREWS.
- 3.1 EXAMINATION
- A. EXAMINE AREAS AND CONDITIONS FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK.
 - B. EXAMINE PRODUCTS OR MATERIALS BEFORE INSTALLATION. REJECT PRODUCTS OR MATERIALS THAT ARE WET, MOISTURE DAMAGED, OR MOLD DAMAGED.
 - C. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- 3.2 INSTALLATION
- A. COMPLY WITH NECA 1.
 - B. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLING, CALIBRATING AND THE START UP OF PRODUCTS.
 - C. WIRING METHOD: INSTALL CABLES IN RACEWAYS AND CABLE TRAYS EXCEPT WITHIN CONSOLES, CABINETS, DESKS, AND COUNTERS. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 - a. INSTALL PLENUM CABLE IN ENVIRONMENTAL AIR SPACES, INCLUDING PLENUM CEILINGS.
 - b. COMPLY WITH REQUIREMENTS FOR RACEWAYS AND BOXES SPECIFIED IN DIVISION 26 SECTION "RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS."
 - D. WIRING METHOD: CONCEAL CONDUCTORS AND CABLES IN ACCESSIBLE CEILINGS, WALLS, AND FLOORS WHERE POSSIBLE.
 - E. WIRING WITHIN ENCLOSURES: BUNDLE, LACE, AND TRAIN CONDUCTORS TO TERMINAL POINTS WITH NO EXCESS AND WITHOUT EXCEEDING MANUFACTURER'S LIMITATIONS ON BENDING RADII. PROVIDE AND USE LACING BARS AND DISTRIBUTION SPOOLS.
 - F. GENERAL REQUIREMENTS:
 - a. TERMINATE CONDUCTORS; NO CABLE SHALL CONTAIN UNTERMINATED ELEMENTS. MAKE TERMINATIONS ONLY AT OUTLETS AND TERMINALS.
 - b. SPLICES, TAPS, AND TERMINATIONS: ARRANGE ON NUMBERED TERMINAL STRIPS IN JUNCTION, PULL, AND OUTLET BOXES; TERMINAL CABINETS; AND EQUIPMENT ENCLOSURES. CABLES MAY NOT BE SPLICED.
 - c. SECURE AND SUPPORT CABLES AT INTERVALS NOT EXCEEDING 30 INCHES AND NOT MORE THAN 6 INCHES FROM CABINETS, BOXES, FITTINGS, OUTLETS, RACKS, FRAMES, AND TERMINALS.
 - d. BUNDLE, LACE, AND TRAIN CONDUCTORS TO TERMINAL POINTS WITHOUT EXCEEDING MANUFACTURER'S LIMITATIONS ON BENDING RADII. INSTALL LACING BARS AND DISTRIBUTION SPOOLS.
 - e. DO NOT INSTALL BRUISED, KINKED, SCORED, DEFORMED, OR ABRADED CABLE. DO NOT SPLICE CABLE BETWEEN TERMINATION, TAP, OR JUNCTION POINTS. REMOVE AND DISCARD CABLE IF DAMAGED DURING INSTALLATION AND REPLACE IT WITH NEW CABLE.
 - f. COLD-WEATHER INSTALLATION: BRING CABLE TO ROOM TEMPERATURE BEFORE DEREELENG. HEAT LAMPS SHALL NOT BE USED.
 - G. OPEN-CABLE INSTALLATION:
 - a. INSTALL CABLING WITH HORIZONTAL AND VERTICAL CABLE GUIDES IN TELECOMMUNICATION SPACES WITH TERMINATING HARDWARE AND INTERCONNECTION EQUIPMENT.
 - b. SUSPEND SPEAKER CABLE NOT IN A WIREWAY OR PATHWAY A MINIMUM OF 8 INCHES ABOVE CEILING BY CABLE SUPPORTS NOT MORE THAN 60 INCHES APART.
 - c. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
 - H. SEPARATION OF WIRES: SEPARATE SPEAKER-MICROPHONE, LINE-LEVEL, SPEAKER-LEVEL, AND POWER WIRING RUNS. INSTALL IN SEPARATE RACEWAYS OR, WHERE EXPOSED OR IN SAME ENCLOSURE, SEPARATE CONDUCTORS AT LEAST 12 INCHES APART FOR SPEAKER MICROPHONES AND ADJACENT PARALLEL POWER AND TELEPHONE WIRING. SEPARATE OTHER INTERCOMMUNICATION EQUIPMENT CONDUCTORS AS RECOMMENDED BY EQUIPMENT MANUFACTURER.

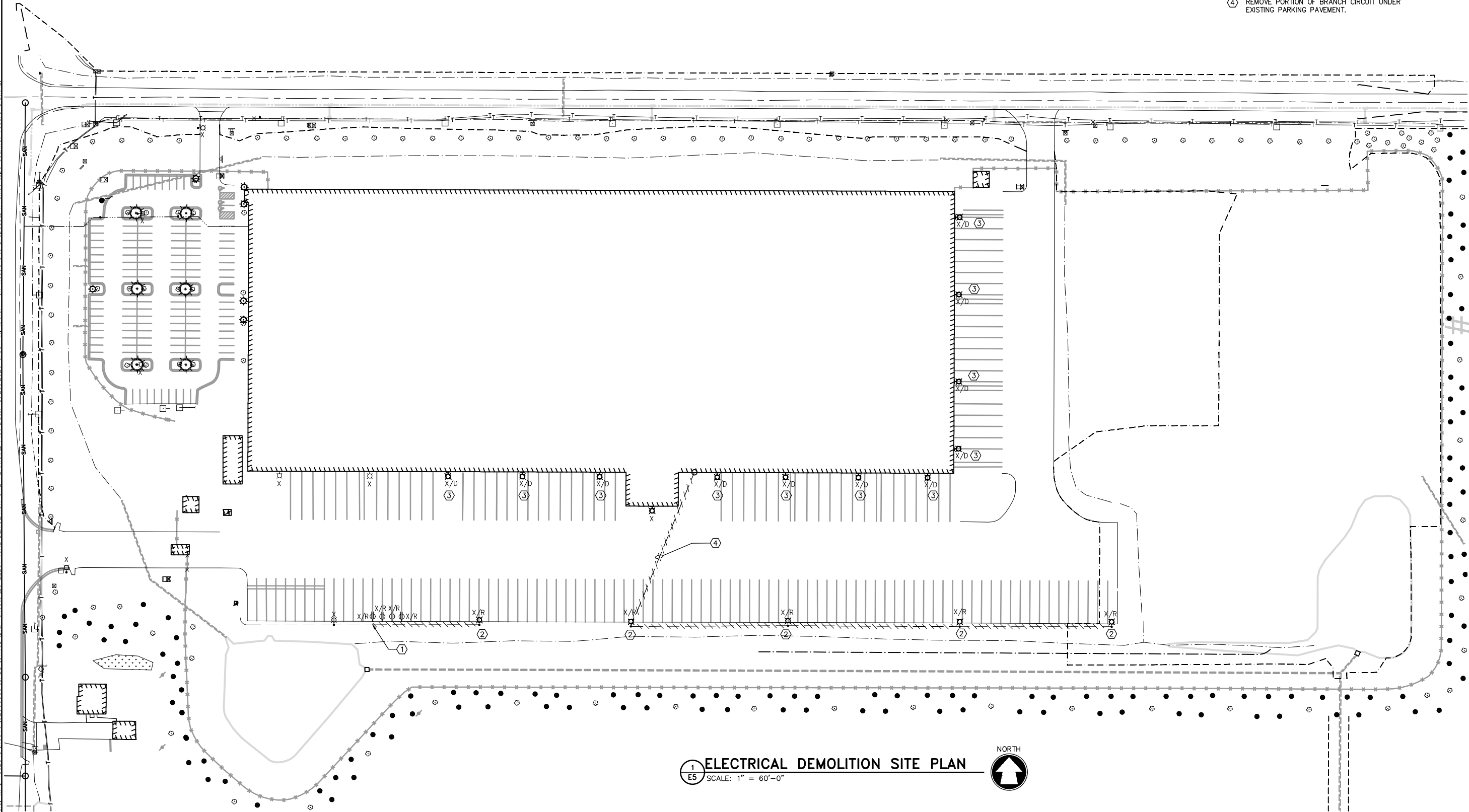
- 3.3 GROUNDING
- A. GROUND CABLE SHIELDS AND EQUIPMENT TO ELIMINATE SHOCK HAZARD AND TO MINIMIZE GROUND LOOPS, COMMON-MODE RETURNS, NOISE PICKUP, CROSS TALK, AND OTHER IMPAIRMENTS.
 - B. SIGNAL GROUND TERMINAL: LOCATE AT MAIN EQUIPMENT CABINET. ISOLATE FROM POWER SYSTEM AND EQUIPMENT GROUNDING.
- 3.4 FIELD QUALITY CONTROL
- A. PERFORM TESTS AND INSPECTIONS.
 - a. ENGAGE A FACTORY-AUTHORIZED SERVICE REPRESENTATIVE TO INSPECT COMPONENTS, ASSEMBLIES, AND EQUIPMENT INSTALLATIONS, INCLUDING CONNECTIONS, AND TO ASSIST IN TESTING.

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SPECIFICATIONS

| | |
|-----------------------------------|--------------|
| DESIGNED JAF | DRAWN GYV |
| PROJECT NO. N0940 9-20-00535-A | |
| DATE AUGUST 2020 | |
| SHEET NO. E4 | |

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ELECTRICAL DEMOLITION SITE PLAN
SCALE: 1" = 60'-0"



- ① INTERCEPT EXISTING BRANCH CIRCUIT. SEE SHEET E6 FOR FURTHER INFORMATION.
- ② ELECTRICALLY DISCONNECT FIXTURE. STORE FIXTURE AND POLE IN A SAFE LOCATION DURING CONSTRUCTION. REMOVE ASSOCIATED CONCRETE BASE AND CONDUITS. FIXTURE TO BE RE-INSTALLED, SEE SHEET E6 FOR FURTHER INFORMATION.
- ③ ELECTRICALLY DISCONNECT FIXTURE; SALVAGE TO OWNER. BOX AND BRANCH CIRCUIT WIRING TO BE RE-USED FOR REPLACEMENT FIXTURE.
- ④ REMOVE PORTION OF BRANCH CIRCUIT UNDER EXISTING PARKING PAVEMENT.

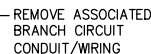
**FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL DEMOLITION SITE PLAN**

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E5

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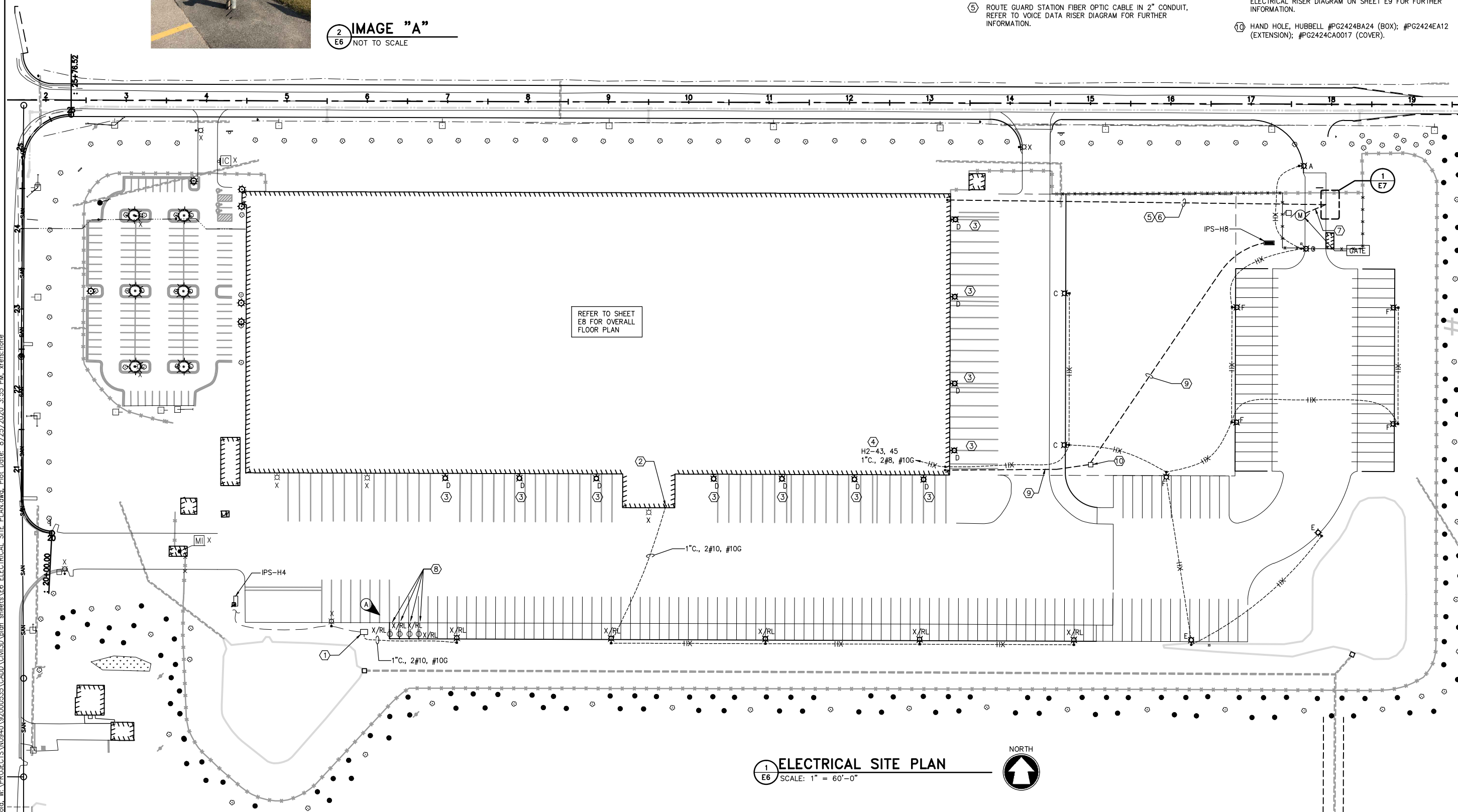


2 IMAGE "A"
E6 NOT TO SCALE

REFER TO SHEET
E8 FOR OVERALL
FLOOR PLAN

KEYED NOTES

- | | | | |
|---|---|---|--|
| ① | INTERCEPT EXISTING H1-1, 3 BRANCH CIRCUIT, REFER TO DETAIL 1/E12. | ⑥ | PROVIDE (2) 2" EMPTY CONDUITS FOR GUARD STATION LOW VOLTAGE/ SECURITY. LABEL EACH END OF THE CONDUITS AND PROVIDE PULL STRING. |
| ② | INTERCEPT EXISTING H2-1, 3 BRANCH CIRCUIT INSIDE BUILDING AND ROUTE OUT TO RELOCATED FIXTURE. | ⑦ | PROVIDE A 1" EMPTY CONDUIT FOR FUTURE GATE CONTROLS. STUB INTO GUARD STATION AND CONNECT TO GATE CONTROLLER. LABEL CONDUIT IN GUARD STATION AND PROVIDE A PULL STRING. |
| ③ | CONNECT TO EXISTING BRANCH CIRCUIT THAT FED DEMOLISHED FIXTURE. | ⑧ | ROUTE (4) 20A-1P BRANCH CIRCUITS TO PANEL L4 IN IPS-H4. PROVIDE 1" C., 2#12, #12G FOR EACH CIRCUIT. |
| ④ | REMOVE (2) 20A-1P CIRCUIT BREAKERS AND SALVAGE TO OWNER. PROVIDE A 20A-2P SIEMENS NGB CIRCUIT BREAKER. ROUTE VIA H2 - LIGHTING CONTACTOR, USE SPARE 2-POLE RELAY. | ⑨ | SUGGESTED ROUTE FOR FEEDER FOR IPS-H8, REFER TO ELECTRICAL Riser DIAGRAM ON SHEET E9 FOR FURTHER INFORMATION. |
| ⑤ | ROUTE GUARD STATION FIBER OPTIC CABLE IN 2" CONDUIT, REFER TO VOICE DATA Riser DIAGRAM FOR FURTHER INFORMATION. | ⑩ | HAND HOLE, HUBBELL #PG2424BA24 (BOX); #PG2424EA12 (EXTENSION); #PG2424CA0017 (COVER). |



ELECTRICAL SITE PLAN
SCALE: 1" = 60'-0"



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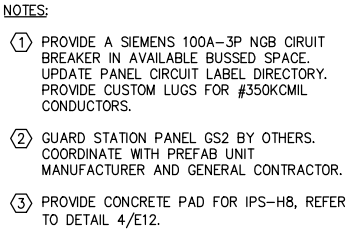
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NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SITE PLAN**

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E6

[illegible]



NO SCALE

| PANEL: L8 | | LOCATION: EXTERIOR | | VOLTS: 208 / 120 | | PH: 3 | | W: 4 | | |
|---------------------------|----------|---------------------------|---|------------------------|-----|---|---|---------|----------|--------------------------|
| AMP MAIN BKR: 175A | | BUS AMPS: 225A | | AIC RATING: 10K | | ENCLOSURE/MOUNT: NEMA 3R / PAD - IPS | | | | |
| FED FROM: T-L8/H8 | | MFR: SIEMENS | | | | PANEL TYPE: INTEGRAL W/IPS | | | | |
| LOAD/CIRCUIT DESCRIPTION | LOAD KVA | CKT BKR | P | OR # | P H | OR # | P | CKT BKR | LOAD KVA | LOAD/CIRCUIT DESCRIPTION |
| ANAL GS2 | 8.40 | 100 | 3 | 1 | A | 2 | 1 | 20 | 1.00 | SIGNAGE |
| | 8.40 | | | 3 | B | 4 | 1 | 20 | 1.00 | SIGNAGE |
| | 5.40 | | | 5 | C | 6 | 1 | 20 | 1.00 | SIGNAGE |
| | 0.00 | 20 | 1 | 7 | A | 8 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 9 | B | 10 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 11 | C | 12 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 13 | A | 14 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 15 | B | 16 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 17 | C | 18 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 19 | A | 20 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 21 | B | 22 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 23 | C | 24 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 25 | A | 26 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 27 | B | 28 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 29 | C | 30 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 31 | A | 32 | 1 | 20 | 0.00 | |
| | 0.00 | 20 | 1 | 33 | B | 34 | 1 | 20 | 0.00 | |
| SPARE | 0.00 | 20 | 1 | 35 | C | 36 | 1 | 20 | 0.00 | SPARE |
| SPARE | 0.00 | 20 | 1 | 37 | A | 38 | 1 | 20 | 0.00 | SPARE |
| SPARE | 0.00 | 20 | 1 | 39 | B | 40 | 1 | 20 | 0.00 | SPARE |
| SPARE | 0.00 | 20 | 1 | 41 | C | 42 | 1 | 20 | 0.00 | SPARE |

| | | |
|----------|-----------|----------|
| PHASE A: | 10.40 KVA | 86.7 AMP |
| PHASE B: | 10.40 KVA | 86.7 AMP |
| PHASE C: | 6.65 KVA | 55.4 AMP |
| TOTAL: | 27.45 KVA | 76.2 AMP |

EQUIPMENT SCHEDULE

| ID | LOCATION | LOAD | | | | | | | | | | | | | | POWER | | CONTROLS | | | LOCAL DISCONNECT | | | | | |
|------|-------------|---------|--------|-------------------|----------|----------|----------|----------|----------|----------|----------|--------------------------|------|-------|-------|-------|---------------------------|------------|-------------|------|------------------|-------------|------|----------------|--------------|-------|
| TAG | ROOM / AREA | 1 HP | 1 A | 1 KVA *1.25 | 2 KVA | 3 KVA | 4 KVA | 5 KVA | 6 KVA | 7 KVA | 8 KVA | CONNECTED LOAD KVA | MOCP | VOLTS | PHASE | PANEL | BRANCH CIRCUIT SIZE | FURN BY | INST. BY | TYPE | FURN BY | INST. BY | TYPE | SWITCH AMPS | FUSE AMPS | NOTES |
| GATE | EXTERIOR | 1 | 2.1 | | 1.01 | | | | | | | | | 480.0 | 3 | H8 | 20 | DIV 11 | DIV 11 | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | |

LOCAL DISCONNECT LEGEND:
3FSW: NEMA 3R FUSED DISCONNECT SWITCH

NOTES:

TRANSFORMER SCHEDULE

| CALLOUT | KVA | K-RATED | PRIMARY VOLTS | SECONDARY VOLTS | MOUNTING | GROUNDING ELECTRODE | ENCLOSURE | LOAD KVA | LOAD AMPS | NOTES |
|---------|-----|---------|---------------|-----------------|--------------|---------------------|-----------|----------|-----------|-------|
| T-L8 | 45 | NO | 480V 3PH 3W | 120/208V 3PH 4W | INTEGRAL IPS | 3/4" C., 1#4 | NEMA 3R | 27.45 | 76.2 | 1 |

NOTES:
1. LOCATED IN SIEMENS INTEGRATED POWER SYSTEM IPS-H8.

| SERVICE CALCULATION | | | | | | | |
|---------------------|--------------------|---------------|-----------------|------------------|----------|--------|-------|
| | Existing Load (KW) | New Load (KW) | Total Load (KW) | Revised Load (A) | Capacity | Load % | Notes |
| IPS-H3 | 79.9 | 17.22 | 97.12 | 116.544 | 400 | 29% | |
| MSB1 | 1341.2 | 19.22 | 1360.42 | 1632.504 | 2000 | 82% | 1 |

NOTES:
1. CIRCUIT BREAKER IN UPSTREAM SWITCHBOARD PDP-2 IS 100% RATED.

FEEDER SCHEDULE

| TAG | AMP | WIRE AND CONDUIT |
|-------|-----|--|
| 3F70 | 70 | (3) 4 AWG, (1) 8 AWG GND, IN (1) 1-1/4" C |
| 4F100 | 100 | (4) 3 AWG, (1) 8 AWG GND, IN (1) 1-1/4" C |
| 4F175 | 175 | (4) 2/0 AWG, (1) 6 AWG GND, IN (1) 2" C |
| 4F300 | 300 | (4) 350 kcmil, (1) 4 AWG GND, IN (1) 3" C |
| 4F800 | 800 | (4) 600 kcmil, (1) 1/0 AWG GND, IN EA. OF (2) 3-1/2" C |

LIGHTING CONTROL NARRATIVE

| SPACE TYPE | EXTERIOR | | REMARKS |
|---------------------------------|-----------|-----------|---------|
| | PHOTOCELL | TIMECLOCK | |
| EXTERIOR AREA LIGHTING | ON | OFF | 1 |
| GUARD STATION EXTERIOR LIGHTING | ON / OFF | | 2 |

NOTES:
1. MATCH EXISTING AREA LIGHTING CONTROL SETTINGS.
2. TRUCK ENTRANCE IS 247/365.

LIGHT FIXTURE SCHEDULE

| TYPE | MFR. | CATALOG NUMBER | LAMP | | | ELECTRICAL | | DRIVER | FIXTURE | | NOTE |
|------|------------|---|------|-------------|-----------|------------|------------|-------------|---|--|------|
| | | | TYPE | COLOR TEMP. | LUMENS | INPUT WATT | INPUT VOLT | | MOUNTING | DESCRIPTION | |
| A | VISIONAIRE | VLX-1-T3-96LC-5-5K-5-AM-BK_CLS-UPMA-S; SNTS 4S 7 25' 12BC 136 S1 BK | LED | 5000K | 18963 | 159 | 480V | NON DIMMING | CONCRETE BASE, REFER TO DETAIL #2 / E12 | LIGHTING STANDARD W/ TYPE 3 OPTICS & BACK SITE CUTOFF SHIELD 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH | |
| B | VISIONAIRE | MLB-2-T3-5-5K-UNV-WM-BZ-PC120 | LED | 5000K | 6461 | 77.7 | 120-277V | NON DIMMING | WALL | EXTERIOR WALL SCONCE INTEGRAL PHOTOCELL CONTROL BRONZE FINISH | |
| C | VISIONAIRE | VLX-1-T2-128LC-7-5K-5-AM-BK_UPMA-S; SNTS 4S 7 25' 12BC 136 S1 BK | LED | 5000K | 32360 | 285 | 480V | NON DIMMING | CONCRETE BASE, REFER TO DETAIL #2 / E12 | LIGHTING STANDARD W/ TYPE 2 OPTICS 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH | |
| D | VISIONAIRE | VLX-1-T4-192LC-7-5K-5-WM-BK_BAWP | LED | 5000K | 45061 | 421 | 480V | NON DIMMING | CONCRETE BASE, REFER TO DETAIL #2 / E12 | WALL MOUNT AREA LIGHT W/ TYPE 4 OPTICS BLACK FINISH | |
| E | VISIONAIRE | (2) VMF 7X5 96LC 7 5K 5 KM BK; RCA-2 36 2-3/8-BK; SNTS 4S 7 25' 12BC 136 T238R BK | LED | 5000K | 2 @ 24714 | 424 | 480V | NON DIMMING | CONCRETE BASE, REFER TO DETAIL #2 / E12 | POLE MOUNT FIXTURE W/ DUAL FLOOD LIGHTS W/ BULLHORN BRACKET 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH | |
| F | VISIONAIRE | VLX-1-T4-192LC-7-5K-5-AM-BK_UPMA-S; SNTS 5S 7 28' 12BC 136 S1 BK | LED | 5000K | 45061 | 421 | 480V | NON DIMMING | CONCRETE BASE, REFER TO DETAIL #2 / E12 | LIGHTING STANDARD W/ TYPE 4 OPTICS 28 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH | |
| G | VISIONAIRE | VLX-1-T2-128LC-5-5K-5-AM-BK_UPMA-S; SNTS 4S 7 25' 12BC 136 S1 | LED | 5000K | 25950 | 215 | 480V | NON DIMMING | CONCRETE BASE, REFER TO DETAIL #2 / E12 | LIGHTING STANDARD W/ TYPE 2 OPTICS 25 FOOT SQUARE STRAIGHT STEEL POLE BLACK FINISH | |

BRANCH CIRCUIT WIRING SCHEDULE

| OCPD AMPS | TAG (NOTE 2) | 1P, 2W+GND, OR 2P, 2W+GND | 2P, 3W+GND, OR 3P, 3W+GND | 3P, 4W+GND | NOTES |
|-----------|--------------|-----------------------------------|-----------------------------------|-----------------------------------|-------|
| 15 | BxW#12G | (2) #12, (1) #12 GND, (1) 3/4"C | (3) #12, (1) #12 GND, (1) 3/4"C | (4) #12, (1) #12 GND, (1) 3/4"C | |
| 20 | BxW#12G | (2) #12, (1) #12 GND, (1) 3/4"C | (3) #12, (1) #12 GND, (1) 3/4"C | (4) #12, (1) #12 GND, (1) 3/4"C | |
| 25 | BxW#10G | (2) #10, (1) #10 GND, (1) 3/4"C | (3) #10, (1) #10 GND, (1) 3/4"C | (4) #10, (1) #10 GND, (1) 3/4"C | |
| 30 | BxW#10G | (2) #10, (1) #10 GND, (1) 3/4"C | (3) #10, (1) #10 GND, (1) 3/4"C | (4) #10, (1) #10 GND, (1) 3/4"C | |
| 35 | BxW#8G | (2) #8, (1) #10 GND, (1) 3/4"C | (3) #8, (1) #10 GND, (1) 3/4"C | (4) #8, (1) #10 GND, (1) 1"C | |
| 40 | BxW#8G | (2) #8, (1) #10 GND, (1) 3/4"C | (3) #8, (1) #10 GND, (1) 3/4"C | (4) #8, (1) #10 GND, (1) 1"C | |
| 45 | BxW#8G | (2) #8, (1) #10 GND, (1) 3/4"C | (3) #8, (1) #10 GND, (1) 3/4"C | (4) #8, (1) #10 GND, (1) 1"C | |
| 50 | BxW#8G | (2) #8, (1) #10 GND, (1) 3/4"C | (3) #8, (1) #10 GND, (1) 3/4"C | (4) #8, (1) #10 GND, (1) 1"C | |
| 60 | BxW#6G | (2) #6, (1) #10 GND, (1) 1"C | (3) #6, (1) #10 GND, (1) 1"C | (4) #6, (1) #10 GND, (1) 1"C | |
| 70 | BxW#4G | (2) #4, (1) #8 GND, (1) 1-1/4"C | (3) #4, (1) #8 GND, (1) 1-1/4"C | (4) #4, (1) #8 GND, (1) 1-1/4"C | |
| 80 | BxW#4G | (2) #4, (1) #8 GND, (1) 1-1/4"C | (3) #4, (1) #8 GND, (1) 1-1/4"C | (4) #4, (1) #8 GND, (1) 1-1/4"C | |
| 90 | BxW#3G | (2) #3, (1) #8 GND, (1) 1-1/4"C | (3) #3, (1) #8 GND, (1) 1-1/4"C | (4) #3, (1) #8 GND, (1) 1-1/4"C | |
| 100 | BxW#3G | (2) #3, (1) #8 GND, (1) 1-1/4"C | (3) #3, (1) #8 GND, (1) 1-1/4"C | (4) #3, (1) #8 GND, (1) 1-1/4"C | |
| 125 | BxW#1G | (2) #1, (1) #6 GND, (1) 1-1/2"C | (3) #1, (1) #6 GND, (1) 1-1/2"C | (4) #1, (1) #6 GND, (1) 2"C | |
| 150 | BxW#1/OG | (2) #1/0, (1) #6 GND, (1) 1-1/2"C | (3) #1/0, (1) #6 GND, (1) 1-1/2"C | (4) #1/0, (1) #6 GND, (1) 2"C | |
| 200 | BxW#1G | (2) #3/0, (1) #4 GND, (1) 2"C | (3) #3/0, (1) #4 GND, (1) 2"C | (4) #3/0, (1) #4 GND, (1) 2-1/2"C | |

NOTES
1. OCPD = OVERCURRENT PROTECTIVE DEVICE
2. 'x': INSERT 2, 3, OR 4, FOR 2W, 3W, OR 4W BRANCH CIRCUIT.
3. "H" DESIGNATES AWG. EG.: "H12" INDICATES '12 AWG' CONDUCTOR.
4. PROVIDE SEPARATE INSULATED EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC TABLE 250.122.
5. CONDUCTOR AMPACITIES: NEC TABLE 310.15(B)(16), AND ADJ. FACTORS IN 310.15(B)(1), (2), & (3).
6. 12 AWG WIRE SHALL BE THE MINIMUM SIZE WIRE.
7. 20 AMP, 120 VOLT, SINGLE PHASE CIRCUITS SHALL BE SIZED AS FOLLOWS:
- BRANCH CIRCUITS LESS THAN 75 FEET SHALL BE A MINIMUM OF 12 AWG WIRE.
- BRANCH CIRCUITS GREATER THAN 75 FEET SHALL BE A MINIMUM OF 10 AWG WIRE.
- BRANCH CIRCUITS GREATER THAN 125 FEET SHALL BE A MINIMUM OF 8 AWG WIRE.
- BRANCH CIRCUITS GREATER THAN 175 FEET SHALL BE A MINIMUM OF 6 AWG WIRE.
8. 20 AMP, 277 VOLT, SINGLE PHASE CIRCUITS SHALL BE SIZED AS FOLLOWS:
- BRANCH CIRCUITS LESS THAN 125 FEET SHALL BE A MINIMUM OF 12 AWG WIRE.
- BRANCH CIRCUITS GREATER THAN 125 FEET SHALL BE A MINIMUM OF 10 AWG WIRE.
- BRANCH CIRCUITS GREATER THAN 175 FEET SHALL BE A MINIMUM OF 8 AWG WIRE.
- BRANCH CIRCUITS GREATER THAN 250 FEET SHALL BE A MINIMUM OF 6 AWG WIRE.
9. OTHER BRANCH CIRCUITS AND FEEDERS:
OTHER BRANCH CIRCUITS, FEEDERS AND VOLTAGE COMBINATIONS, SHALL BE SIZED TO COMPLY WITH THE NATIONAL ELECTRICAL CODE AND AS INDICATED ON THE DRAWINGS.

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SCHEDULES

DESIGNED
NAV

DRAWN
KJB

PROJECT NO.
N0940 9-20-00535-A

DATE
AUGUST 2020

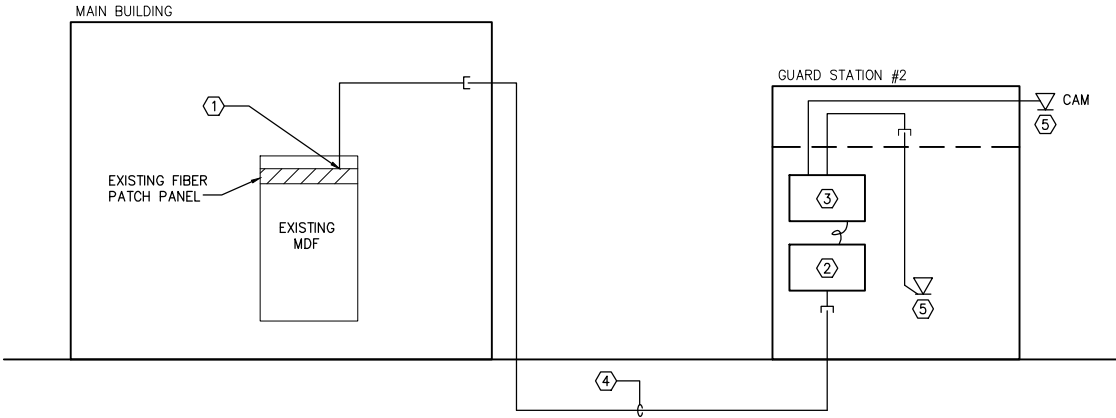
SHEET NO.
E10

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REVISION

NO. DATE



1
E11 VOICE DATA RISER DIAGRAM
NOT TO SCALE

NOTES:

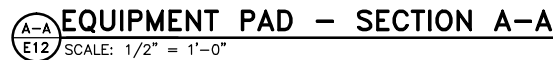
- ① PROVIDE AN OS2 LC CONNECTOR MODULAR PATCH PANEL. EITHER INSTALL IN EXISTING MODULAR PATCH PANEL OR PROVIDE NEW PATCH PANEL. PROVIDE A 1000 BASE-LX SFP TRANSCEIVER AT BOTH ENDS OF THE FIBER CABLES.
- ② PROVIDE A WALL MOUNT OS2 LC CONNECTOR PATCH PANEL. VERIFY LOCATION WITH PRE-FAB UNIT MANUFACTURER AND GENERAL CONTRACTOR.
- ③ NETWORK SWITCH BY OTHERS.
- ④ PROVIDE 6-STRAND OS2 SINGLE MODE FIBER TYPE OFCP INDOOR/OUTDOOR WITH INTERLOCKED ALUMINUM ARMOR AND SUITABLE FOR DIRECT BURIAL. REFER TO KEYED NOTE #5 ON SHEET E6 FOR FURTHER INFORMATION.
- ⑤ REFER TO PLANS FOR DATA OUTLET LOCATIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH PRE-FAB MANUFACTURER AND GENERAL CONTRACTOR.

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
VOICE DATA RISER DIAGRAM

| | |
|-----------------------------------|--------------|
| DESIGNED JAF | DRAWN GYV |
| PROJECT NO. N0940 9-20-00535-A | |
| DATE AUGUST 2020 | |
| SHEET NO. E11 | |

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[illegible]



September 2, 2020

Nick Vande Hey, P.E.
McMahon Associates, Inc.
1445 McMahon Drive
Neenah, WI 54956

**RE: Hickory Drive Plan Review – Engineering Department
Hickory Drive Reconstruction – Conc. Pavement & Utilities
Village of Little Chute, Outagamie County, Wisconsin**

Dear Mr. Vande Hey:

The following comments pertain to the Freedom Road & Hickory Drive pavement reconstruction plans received from McMahon Associates, Inc. by e-mail on August 28, 2020 and is referenced above. The Village of Little Chute Engineering Department have the following comments:

Engineering Department Final Comments:

1. Plan Sheet Number 03 – Add a note to raise manhole with precast section and not to stack rings greater than 9-inches.
2. Plan Sheet Number 04 - Extend the 15-inch diameter sanitary sewer and 12-inch diameter water main in Freedom Road (CTH N) to the north, beyond the asphalt pavement transition (approx. STA 58+40). Add a note to plug pipe ends for both utilities.
3. Plan Sheet Number 04 - If spacing allows, relocate existing hydrant (STA 56+20 approx.) to proposed end of water main (STA 58+40 approx.) to allow flushing of dead end pipe.
4. Plan Sheet Numbers 04 to 08 - The provided plans indicate that a proposed 8-inch water main will be constructed in Hickory Drive that will connect with the extended 12-inch water main in Freedom Road. The water main in Hickory Drive shall be a 12-inch diameter pipe to complete the 12-inch loop with the newly constructed pipe in Don Degroot Drive. Attached are the record plans for Don Degroot Drive for your use. The indicated 8-inch pipe after the hydrant tee appears to be incorrect. From our field notes a 12-inch valve was installed at the end of the pipe run in Don Degroot Drive.
5. Plan Sheet Number 05 - Shows a slope at 0.15% for 24-inch storm sewer between MH-3 to MH-2. The computed slope is actually 0.14%. Please change inverts or slope to match.
6. Add a note to the plan set that states all existing and proposed sanitary manholes within the project limits shall receive external chimney seals.
7. Plan Sheet Numbers 07 to 08 - Identifies a slope at 0.28% for 10-inch sanitary sewer between Existing MH to MH-A. The computed slope is actually 0.27%. Please change inverts to match plan slope.
8. Plan Sheet Number 08 – Add inlet protection to east inlet on Don Degroot Drive.

9. Plan Sheet Number 11 – A white 4-inch pavement marking is indicated in the lower viewport of this sheet with an arrow that leads to dimensions but no visible line is shown. Please indicate the end of this line or remove the note and leader if no longer needed.
10. Plan Sheet Number 12 – The Standard Valve & Valve Box Setting Detail indicates that the bonnet is to rest on blocks, revise to use a gate valve adaptor.
11. Plan Sheet Number 12 – Include a note that all hydrant tees shall be locking tees as indicated in the Technical Specifications on page number 33 10 00-6. Please revise detail accordingly.
12. Plan Sheet Number 13 – Storm Inlet Detail shall provide an 18-inch sump as indicated in the Technical Specifications on page number 33 40 00-10. Please revise detail accordingly.
13. All inlet protection in the public right of way shall use Type D Inlet protection. Please revise note for Inlet Protection (Typ.) to be Inlet Protection (Type D) for all plan sheets.
14. Plan Sheet Number 13 – Storm MH or Inlet MH Detail shall provide for a 9-inch maximum adjustment for the rings. Please revise detail accordingly.
15. Plan Sheet Number 14 – Is a saw cut line going to be provided for the indicated 30-inch integral concrete curb and gutter or is this designating a steeper slope in the pan for the gutter?
16. Provide a note on the plans that states that the Contractor is to contact Mr. Jerry Verstegen, Drinking Water Operations Manager (920-858-7477) at least 4 days prior to work associated with the public water main.
17. Parking on Hickory shall be limited for “staging” or waiting to enter the facility with the vehicle running and a driver inside. With plenty of additional on-site parking being added there is no need to park in the street. Please make changes to signage to convey this to all motorists.
18. The property owner to the north has indicated that a lateral be installed for water and sanitary sewer. These laterals shall be provided at the time the utilities are being installed. The property owner shall specify location and size prior to utility construction. These laterals are to be installed to prevent damage to the newly constructed pavement.
19. The invert of the sanitary sewer in Don Degroot Drive is at elevation 708.84. It would appear to be more beneficial to construct the sanitary sewer from both ends to provide additional depth and to be able to serve the properties to the north with a deeper service. The invert of the sanitary sewer at Manhole E is 712.58. If a slope of 0.004 ft./ft. is used for the 8-inch pipe, a new invert of approximately 710.28 or 2.3 feet lower is realized at the same location. Revise the sanitary sewer design to accommodate this additional depth. The asphalt pavement in Don Degroot Drive is installed with binder only at this time. Please call to discuss the pavement section within Don Degroot Drive.
20. The Storm Water Management Plan has been reviewed along with the Operation and Maintenance Plan. These plans are both dated August 19, 2020 and meet the storm water management requirements for the proposed Hickory Road improvements. If alterations are made either during construction for the road or changes made to the preliminary plan set for the Nestle site, these documents shall be revised to model the final condition. Record survey information will be required for the modifications to the storage or outlets to the pond(s) facilities.
21. Any additions, extensions, modifications, or changes to the reviewed information shall be approved by the Village of Little Chute prior to construction.

22. Stamp and seal final site of construction plans by a Professional Engineer that is registered in the State of Wisconsin. Incorporate all revisions as requested by the Village of Little Chute Department of Public Works and Engineering prior to final submittal.
23. The Village of Little Chute can provide final plan approval when the requested revisions have been made and re-submitted to the Village of Little Chute. A complete submittal shall include a copy of the WDNR storm water management and erosion control permit for soil disturbance related to construction activities and WDNR approval for sanitary sewer and water main extension.

If you have any questions regarding this project, please do not hesitate to contact the Village of Little Chute's Engineering Department.

Sincerely,

Christopher L. Murawski

Christopher L. Murawski, P.E.

Engineering Department

Village Engineer

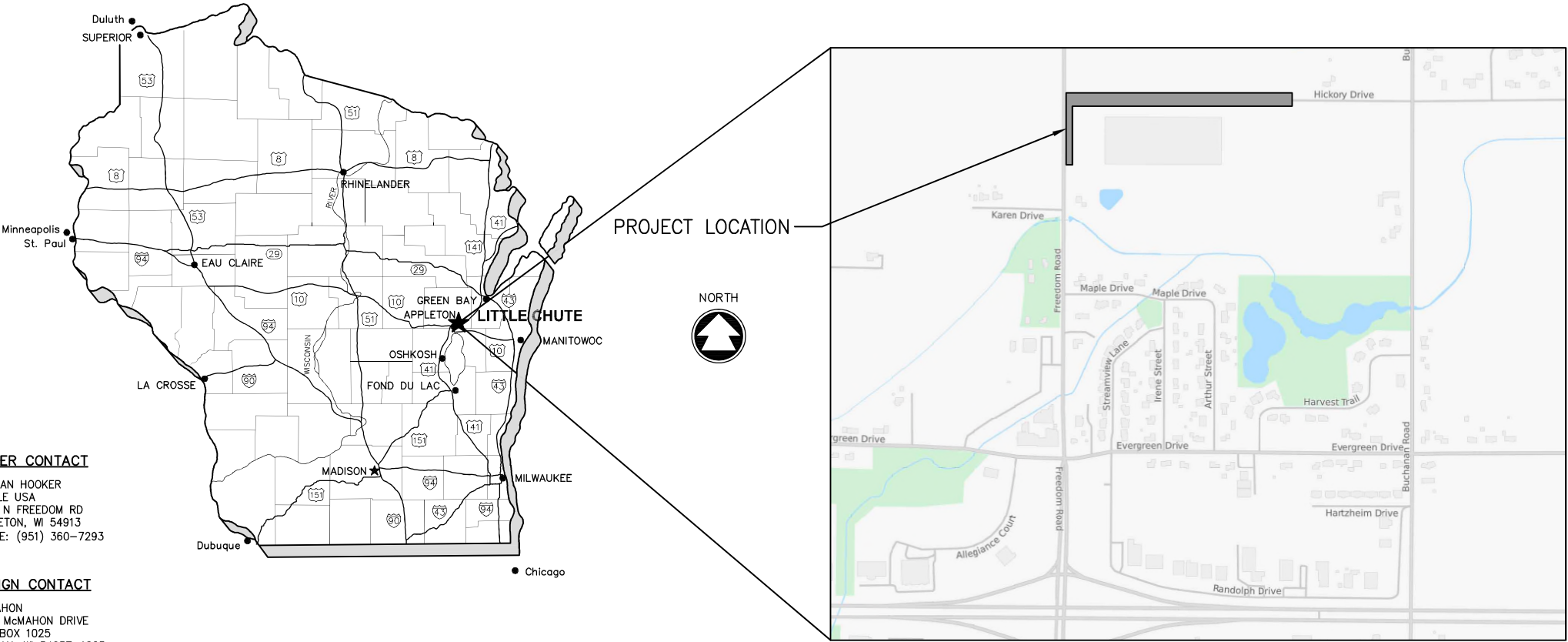
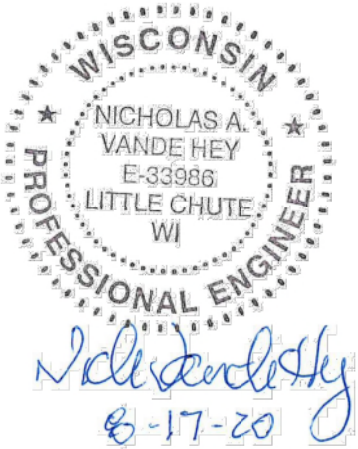
Office: 920.423.3865

cc: Kent Taylor, Public Works Director
File

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION NESTLE USA

VILLAGE OF LITTLE CHUTE, WISCONSIN
MCM # N0940 9-20-00535-A

Exhibit A - Locations of Road Improvements



CONTACT INFORMATION

UTILITIES

VILLAGE OF LITTLE CHUTE
CHRIS MURAWSKI (SANITARY, STORM, WATER)
108 W. MAIN STREET
LITTLE CHUTE, WI 54140
920-423-3865

TIME WARNER CABLE
VINCE ALBIN (CABLE)
3520 DESTINATION DRIVE
APPLETON, WI 54915
920-378-0444

KAUKAUNA ELECTRIC
KELLY O'KEEFE (ELECTRIC)
777 ISLAND STREET
KAUKAUNA, WI 54130
920-462-0222

WE ENERGIES
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APPLETON, WI 54912
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AT&T MIDWEST
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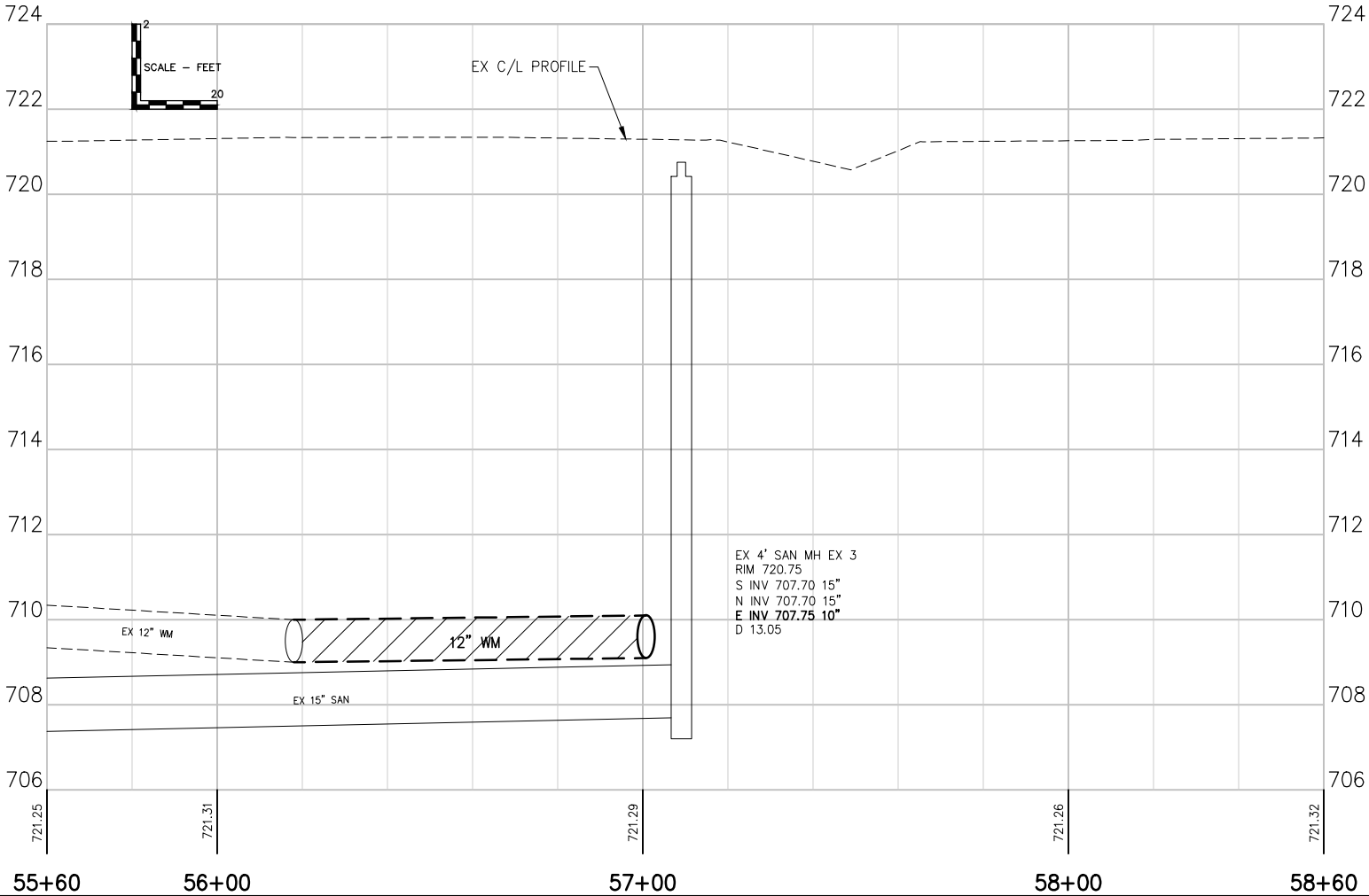
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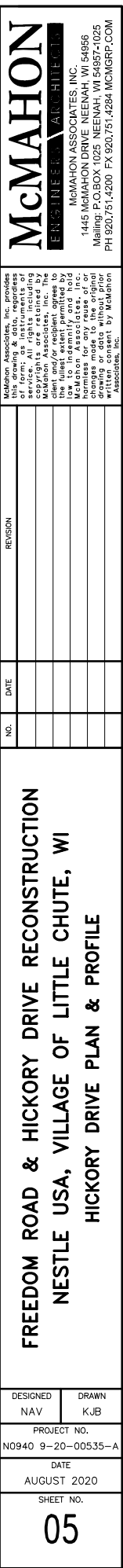
| | |
|-------|--------------------------------|
| 01 | ABBREVIATIONS, SYMBOLS & NOTES |
| 02 | SURVEY CONTROL |
| 03-04 | FREEDOM ROAD PLAN & PROFILE |
| 05-08 | HICKORY DRIVE PLAN & PROFILE |
| 09-11 | PAVEMENT MARKING PLAN |
| 12-26 | MISCELLANEOUS DETAILS |

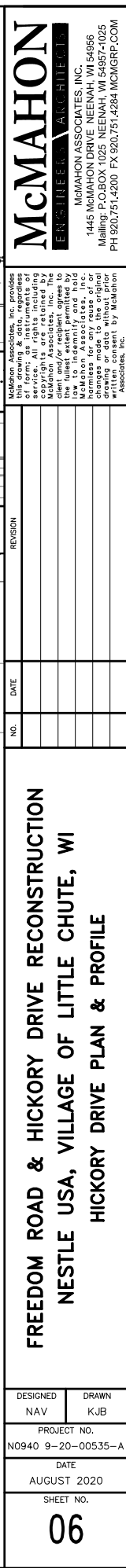
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PROJECT NO.
N0940 9-20-00535-A

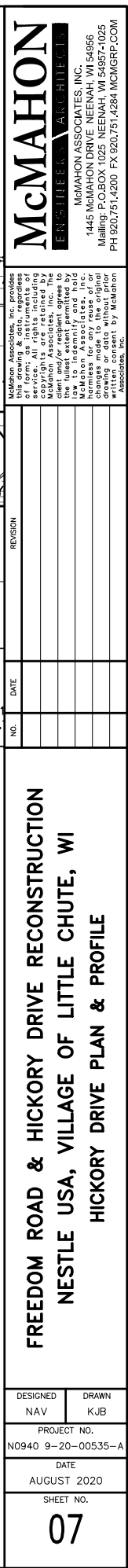


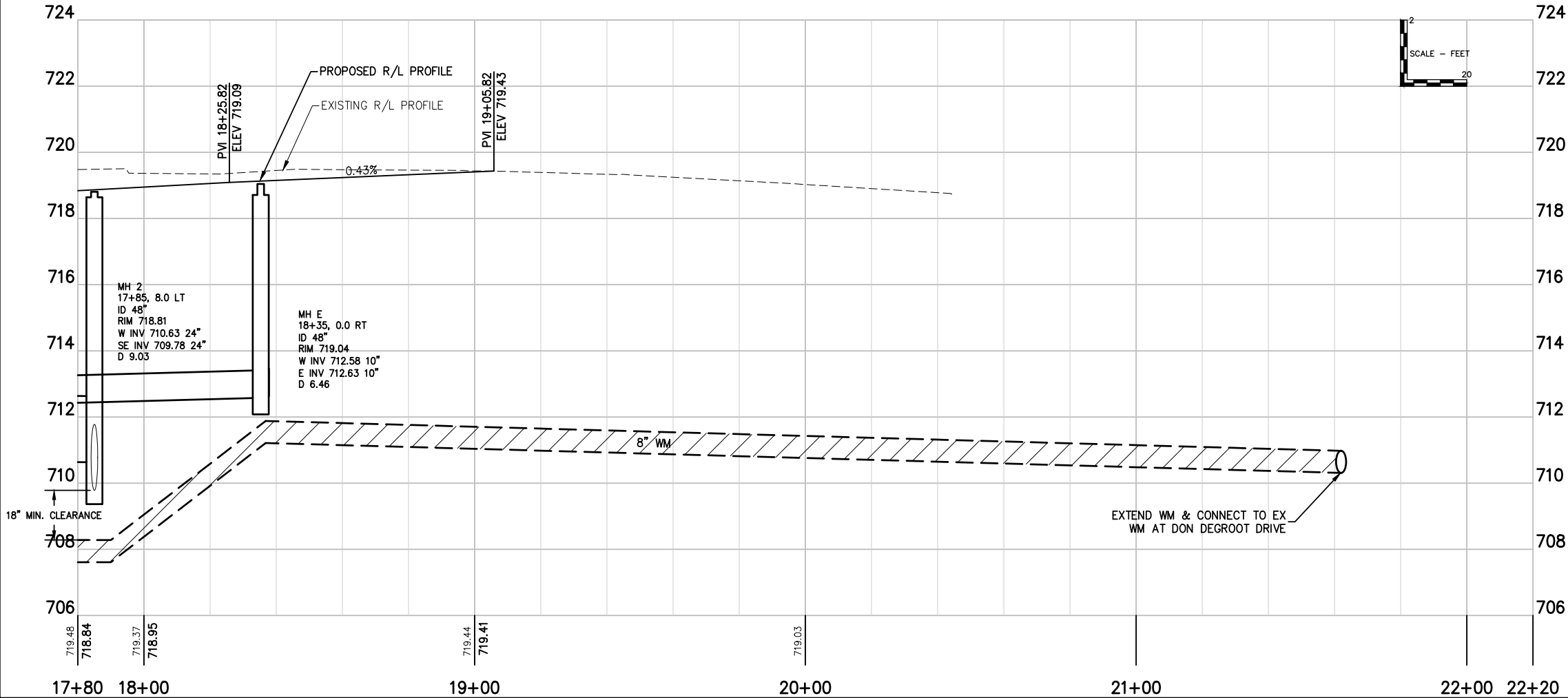
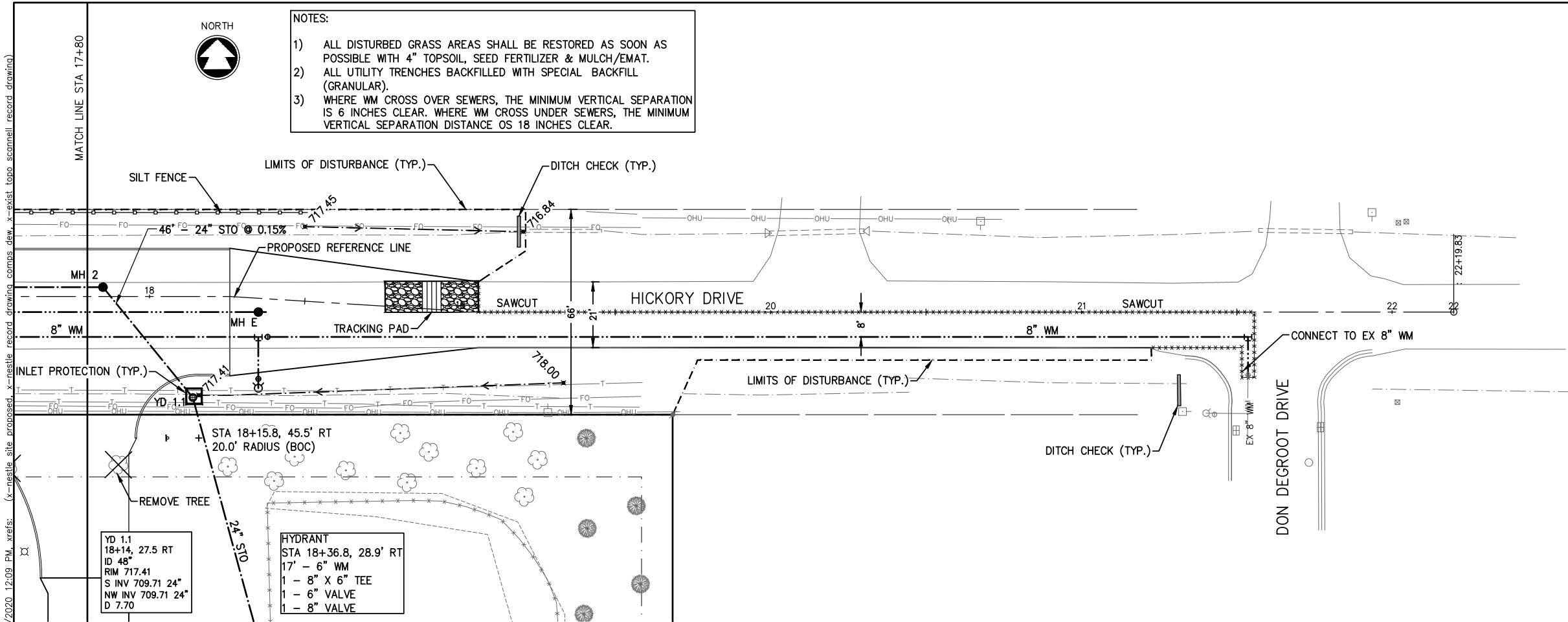
- | | |
|--------|--|
| NOTES: | |
| 1) | ALL DISTURBED GRASS AREAS SHALL BE RESTORED AS SOON AS POSSIBLE WITH 4" TOPSOIL, SEED FERTILIZER & MULCH/EMAT. |
| 2) | ALL UTILITY TRENCHES BACKFILLED WITH SPECIAL BACKFILL (GRANULAR). |
| 3) | WHERE WM CROSS OVER SEWERS, THE MINIMUM VERTICAL SEPARATION IS 6 INCHES CLEAR. WHERE WM CROSS UNDER SEWERS, THE MINIMUM VERTICAL SEPARATION DISTANCE OS 18 INCHES CLEAR. |











McMAHON

ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.

1445 McMAHON DRIVE NEENAH, WI 54956

Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025

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REVISION

NO.

DATE

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION

NESTLE USA, VILLAGE OF LITTLE CHUTE, WI

HICKORY DRIVE PLAN & PROFILE

DESIGNED

NAV

DRAWN

KJB

PROJECT NO.

N0940 9-20-00535-A

DATE

AUGUST 2020

SHEET NO.

08

| STANDARD ABBREVIATIONS | | | |
|------------------------|---------------------------|-------|---|
| AC | ACRE | LT | LEFT |
| AGG | AGGREGATE | LVC | LENGTH OF VERTICAL CURVE |
| AH | AHEAD | MAINT | MAINTENANCE |
| ASPH | ASPHALT PAVEMENT | MAT'L | MATERIAL |
| AVG | AVERAGE | MAX | MAXIMUM |
| B-B | BACK TO BACK | MIN | MINIMUM |
| BEG | BEGIN | MH | MANHOLE |
| BIT | BITUMINOUS | MP | MILE POST |
| BK | BACK | NB | NORTHBOUND |
| B/L | BASE LINE | NO | NUMBER |
| BLDG | BUILDING | NOR | NORMAL |
| BM | BENCH MARK | OD | OUTSIDE DIAMETER |
| BOC | BACK OF CURB | OBUT | OBLITERATE |
| BRG | BEARING | PAVT | PAVEMENT |
| C-C | CENTER TO CENTER | PC | POINT OF CURVATURE |
| CY | CUBIC YARD | PCC | PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE |
| C&G | CURB AND GUTTER | PE | PRIVATE ENTRANCE |
| CB | CATCH BASIN | PED | PEDESTAL |
| CE | COMMERCIAL ENTRANCE | PGL | PROFILE GRADE LINE |
| CHD | CHORD | PI | POINT OF INTERSECTION |
| C/L | CENTER LINE | P/L | PROPERTY LINE |
| CL | CLASS (FOR CONC PIPE) | PLE | PERMANENT LIMITED EASEMENT |
| OMP | CORRUGATED METAL PIPE | PP | POWER POLE |
| CO | CLEAN OUT | PRC | POINT OF REVERSE CURVATURE |
| CONC | CONCRETE | PROP | PROPOSED |
| CORR | CORRUGATED | PSD | PASSING SIGHT DISTANCE |
| CP | CONTROL POINT | PSI | POUNDS PER SQUARE INCH |
| CR | CRUSHED | PT | POINT OF TANGENCY |
| CS | CURB STOP | PVC | POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE |
| CSW | CONCRETE SIDEWALK | PV | POINT OF VERTICAL INTERSECTION |
| CTH | COUNTY TRUNK HIGHWAY | PVT | POINT OF VERTICAL TANGENCY |
| CULV | CULVERT | R | RADIUS |
| D | DEPTH OR DELTA | RCP | REINFORCED CONCRETE PIPE |
| DI | DUCTILE IRON | RD | ROAD |
| DIA | DIAMETER | REBAR | REINFORCEMENT ROD |
| DIS | DISCHARGE | RECON | RECONSTRUCT |
| EA | EACH | REQ'D | REQUIRED |
| EB | EASTBOUND | R/L | REFERENCE LINE |
| EB5 | EXCAVATION BELOW SUBGRADE | RP | RADIUS POINT |
| EG | EDGE OF GRAVEL | RR | RAILROAD |
| ELEV | ELEVATION | RT | RIGHT |
| ELEC | ELECTRIC | R/W | RIGHT-OF-WAY |
| EMB | EMBANKMENT | SB | SOUTHBOUND |
| EMAT | EROSION MAT | SE | SUPERELEVATION |
| ENT | ENTRANCE | SF | SQUARE FEET |
| EOR | END OF RADIUS | SI | SLOPE INTERCEPT |
| EXC | EXCAVATION | STH | STATE TRUNK HIGHWAY |
| EX | EXISTING | SY | SQUARE YARD |
| F | ENDWALL | SAN | SALVAGED |
| F-F | FACE TO FACE | SEC | SECTION |
| FDN | FOUNDATION | SHLDR | SHOULDER |
| FE | FIELD ENTRANCE | S/L | STATION |
| FERT | FERTILIZER | SQ | SQUARE |
| FG | FINISHED GRADE | STA | STANDARD |
| F/L | FLOW LINE | STD | STORM |
| FT | FOOT | STO | SIDEWALK |
| FTG | FOOTING | STW | TOP OF CURB |
| GN | GRAVEL | TC | TELEPHONE |
| GV | GRID NORTH | TEL | TEMPORARY |
| HDOPE | GAS VALVE | TEMP | TEMPORARY LIMITED EASEMENT |
| HE | HIGH DENSITY POLYETHYLENE | TLE | TELEVISION |
| HMA | HIGHWAY EASEMENT | TYP | TYPICAL |
| HP | HOT MIX ASPHALT | UG | UNDERGROUND |
| HT | HIGH POINT | USH | U.S. HIGHWAY |
| HYD | HYDRANT | VAR | VARIES |
| ID | INSIDE DIAMETER | VC | VERTICAL CURVE |
| IN | INCH | VERT | VERTICAL |
| INL | INLET | WB | WESTBOUND |
| INV | INVERT | WM | WATER MAIN |
| IP | IRON PIPE | WV | WATER VALVE |
| JCT | JUNCTION | | |
| LB | POUND | | |
| LF | LINEAR FOOT | | |
| LP | LIGHT POLE | | |

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY McMAHON OF ANY VERTICAL DISCREPANCY.
3. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. McMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

STANDARD SYMBOLS (PLAN VIEW ONLY)

| | |
|---|------------------------------------|
| 2" IRON PIPE FOUND | TELEPHONE CABLE - BURIED |
| 1 1/4" REBAR FOUND | ELECTRIC CABLE - BURIED |
| 1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET | UTILITIES - OVERHEAD |
| 1" (1.315 OD) IRON PIPE FOUND | FIBER OPTIC CABLE - BURIED |
| 1" IRON PIPE SET | GAS MAIN |
| 3/4" IRON REBAR FOUND | CABLE TELEVISION - BURIED |
| 3/4" IRON PIPE FOUND | DITCH LINE |
| 3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET | STREET C/L OR R/L |
| MAG NAIL FOUND | PROPERTY LINE |
| MAG NAIL SET | RIGHT-OF-WAY LINE |
| MAG SPIKE FOUND | SECTION LINE |
| MAG SPIKE SET | EXISTING CONTOURS |
| CHISEL CROSS FOUND | PROPOSED CONTOURS |
| CHISEL CROSS SET | EXISTING FORCEMAIN SEWER |
| COUNTY MONUMENT | EXISTING SANITARY SEWER |
| CONCRETE MONUMENT FOUND | PROPOSED SANITARY SEWER |
| CONTROL POINT HORIZONTAL | EXISTING WATER MAIN |
| CONTROL POINT VERTICAL | PROPOSED WATER MAIN |
| SOIL BORING or MONITORING WELL | EXISTING STORM SEWER |
| POWER POLE | PROPOSED STORM SEWER |
| POWER POLE W/GUY WIRE | EXISTING CURB & GUTTER |
| TELEPHONE OR TELEVISION PEDESTAL | PROPOSED CURB & GUTTER |
| MAILBOX | PROPOSED REJECT CURB & GUTTER |
| SIGN | EXISTING CULVERT WITH END SECTIONS |
| RAILROAD CROSS BUCK | PROPOSED CULVERT WITH END SECTIONS |
| RAILROAD GATE ARM | BUILDING OUTLINE |
| RAILROAD TRACKS | FENCE LINE |
| LIGHT POLE | SAW CUT REQ'D |
| WOOD POLE | SILT FENCE |
| TRAFFIC SIGNAL | GUARD RAIL |
| TRAFFIC SIGNAL MAST ARM | DITCH CHECK |
| CONIFEROUS TREE | INLET PROTECTION |
| DECIDUOUS TREE | TRACKING PAD |
| TREE OR BRUSH LINE | TURBIDITY BARRIER OR SHEET PILING |
| BED ROCK (IN PROFILE VIEW) | SANDBAG COFFERDAM |
| HANDICAPPED PARKING STALL | SLOPE INTERCEPT |
| EXISTING SPOT ELEVATION | LIMITS OF DISTURBANCE |
| PROPOSED SPOT ELEVATION | |
| DRAINAGE HIGH POINT | EXISTING PROPOSED |
| DRAINAGE DIRECTION | ASPHALT PAVEMENT |
| EXISTING MANHOLE | CONCRETE SIDEWALK/DRIVEWAY |
| PROPOSED MANHOLE | GRAVEL |
| EXISTING INLET | RIP-RAP (SIZE AS SPECIFIED) |
| PROPOSED INLET | BRICK/PAVERS |
| EXISTING YARD DRAIN | EROSION MAT |
| PROPOSED YARD DRAIN | TURF REINFORCEMENT MAT (TRM) |
| EXISTING CLEAN OUT | EXISTING CURB STOP |
| PROPOSED CLEAN OUT | PROPOSED CURB STOP |
| EXISTING DOWNSPOUT | EXISTING FIRE HYDRANT |
| PROPOSED DOWNSPOUT | PROPOSED FIRE HYDRANT |
| EXISTING WATER VALVE | PROPOSED WATER FITTING |
| PROPOSED WATER VALVE | PROPOSED WATER REDUCER |
| EXISTING CURB STOP | PROPOSED ENDCAP |
| PROPOSED CURB STOP | GAS VALVE |
| EXISTING FIRE HYDRANT | |
| PROPOSED FIRE HYDRANT | |
| PROPOSED WATER FITTING | |
| PROPOSED WATER REDUCER | |
| PROPOSED ENDCAP | |
| GAS VALVE | |

SITE PLAN RETURN COMMENTS

General Sheet - 1

- i. Building occupancy classification = S-1
- j. No products will be manufactured or sold on site
- k. No hazardous materials will be stored on site
- w. There is no proposal outdoor storage or display
- x. No outdoor refuse containers will be used
- y. One ground level A.C. unit will be installed along the south wall with no screening
- z. No signage is proposal
- cc. No fire protection system is used
- ee. No fire rated wall assemblies are used
- ff. Building construction classification = 5B

ARCHITECTURAL & CONSTRUCTION PLANS

C. Structure material

- Exterior metal panels - dark bronze
- Overhead doors - white
- Split face block - salt and pepper
- Sills - limestone
- Roof, standing seam 360 - galvanized



8/27/2020
pg. CL.1 to CL.6 inclusive

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PROPOSED FOR:
DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

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PROJECT MANAGER: _____

DESIGNER: _____

DRAWN BY: _____

EXPEDITOR: _____

SUPERVISOR: _____

PRELIMINARY NO: _____

CONTRACT NO: _____

DATE: _____

SHEET: _____

C1.1

ABBREVIATIONS, SYMBOLS & NOTES

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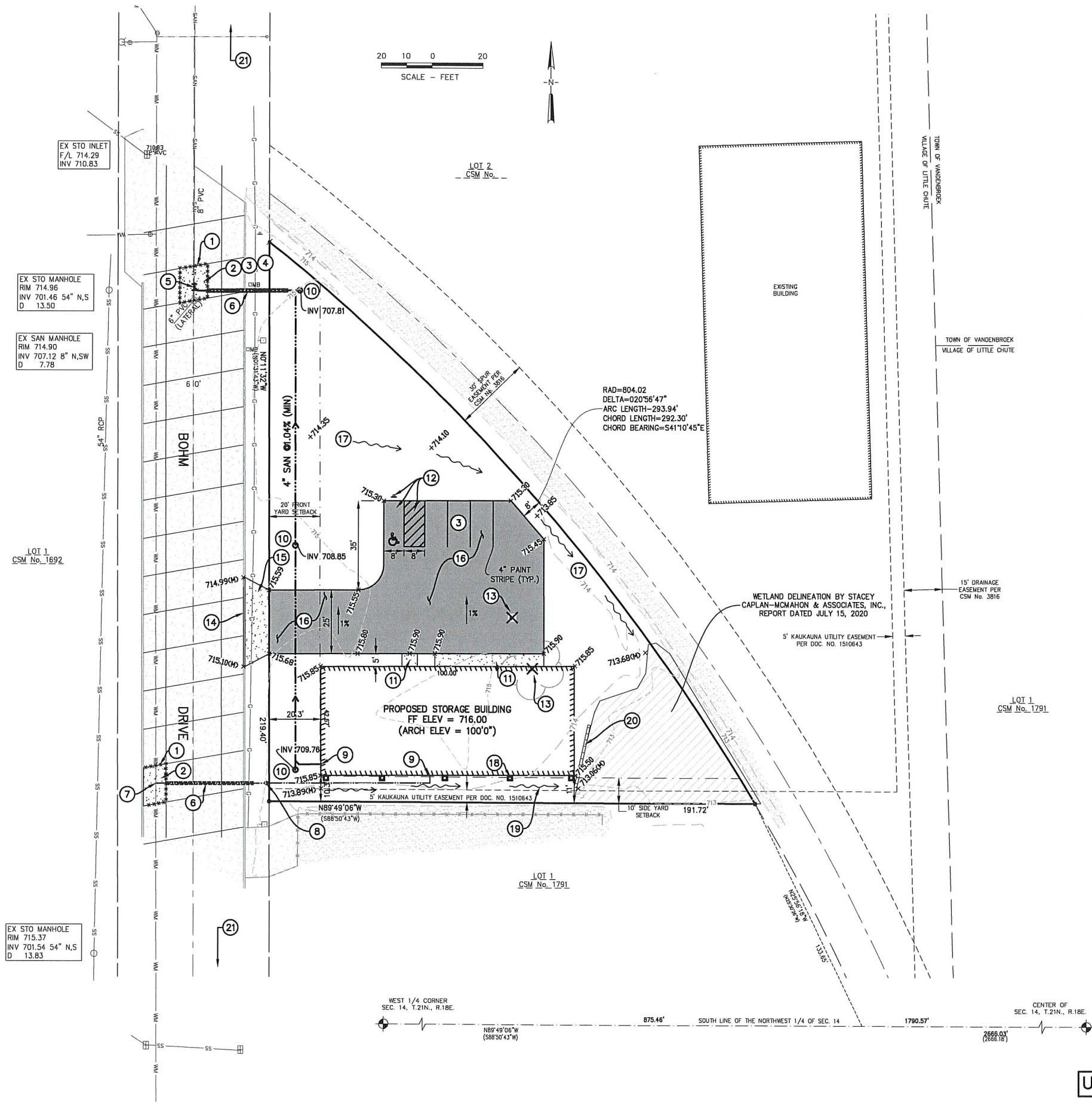
SHEET: **C1.2**

PROPOSED FOR:

DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

PRELIMINARY - NOT FOR CONSTRUCTION



Key Notes

- Full depth sawcut concrete pavement.
- Repair concrete roadway according to Village of Little Chute requirements.
- Concrete repair at sanitary lateral shall be special high early to facilitate trucking into the driveway to W.O.W. to the west.
- Normal village protocol is full panel concrete replacement for any patches. Enquire whether half-panel replacement is possible in order to better facilitate return of trucking access to W.O.W. driveway from the south. It is assumed a half panel repair will still allow truck access to the West side of the patch.
- Cut in 8X4" wye plus repair coupler at 4" Inv. = 707.37.
- Bore lateral beneath pavement to minimize street repair.
- Install saddle, tap, and 1.5" corporation in accordance with village utility requirements. Extend 1.5" water service to structure at 6.5' depth.
- Install 1.5" curb stop and box with stainless stationary rod.
- Coordinate utility entrance location with plumber. Sanitary Inv. = 709.86.
- Install sanitary wye cleanout with frost sleeve.
- Concrete stoop and apron. See building plans.
- Provide one point striped handicap stall with symbol, sign on post, and x-hatched 8' access aisle.
- Clear and grub tree.
- Diamond saw curb head to create 35' opening (25' plus two 5' flares) and tapers each side consistent with other openings on Bohm Drive.
- Install 6" thick concrete apron. See detail.
- Install stone base plus asphalt pavement. See detail.
- Grade swale in lawn at 0.50% minimum towards Southeast.
- Downspout to grade with splash block. See building plans for exact number and location.
- Rear yard swale towards east at approximately 0.90%.
- Protect wetlands from fill or disruption during construction. If necessary, construct masonry unit retaining wall or other means necessary to separate building grade from wetlands, unless permit is obtained to fill or modify wetlands.
- Provide construction signage for work in right-of-way in accordance with state of Wisconsin M.U.T.C.D. standards. Coordinate with village and W.O.W. Management for trucking disruption during sanitary connection and street repair.

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DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

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PROJECT MANAGER:

DESIGNER: RJW

DRAWN BY: RRS

EXPEDITOR:

SUPERVISOR:

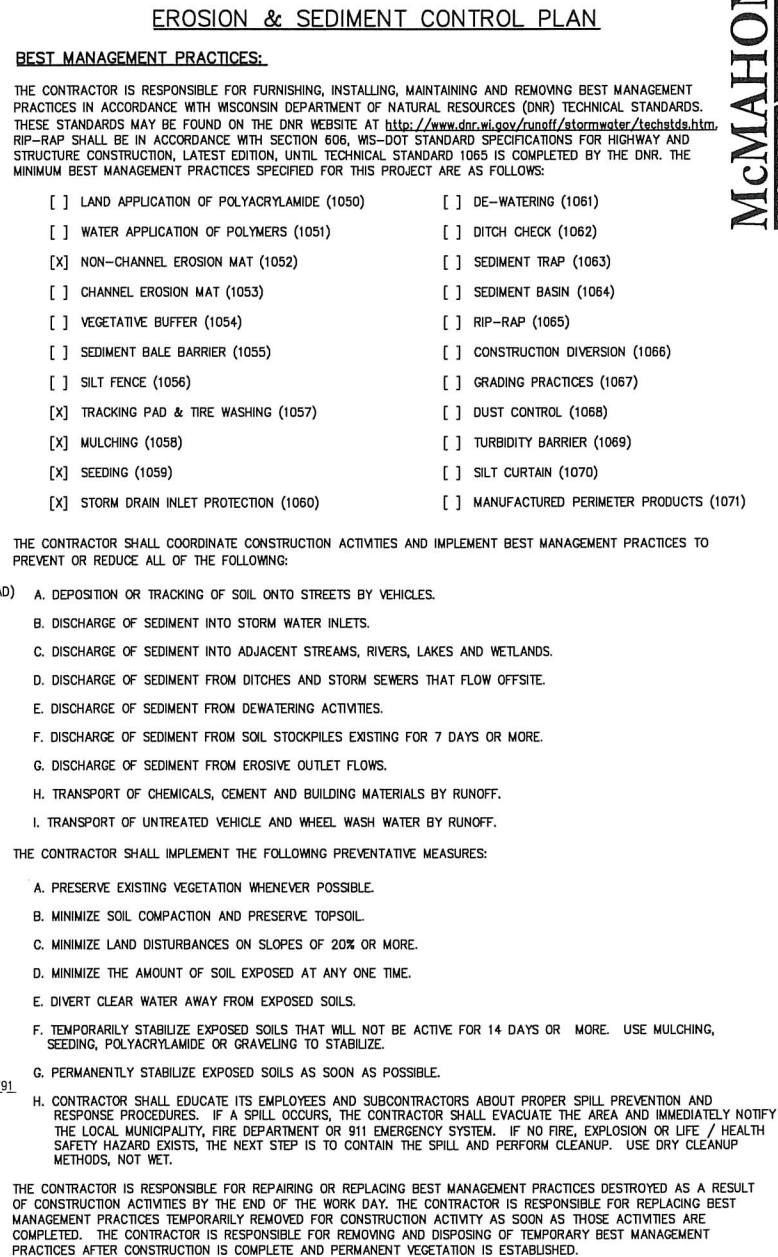
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CONTRACT NO:

DATE: AUG. 2020

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UTILITY, GRADING & DRAINAGE PLAN



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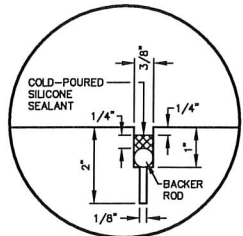
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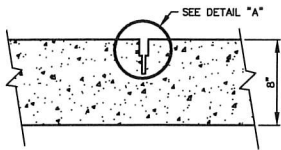
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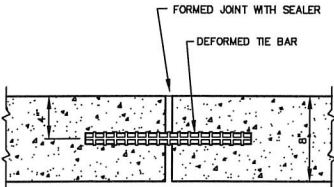
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DETAIL "A"
COLD-POURED SILICONE TYPE
JOINT SEALER

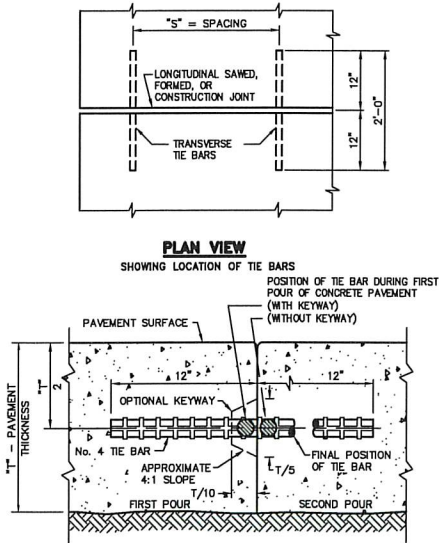


CITY STREET TRANSVERSE JOINT DETAIL



TYPE "Da" (CONSTRUCTION JOINT)

CITY STREET LONGITUDINAL JOINT DETAIL



CONSTRUCTION JOINT

NOTES:

T=TREES; S=SHRUB; E=EVERGREEN; B=B=BALLED IN BURLAP; B.R.=BARE ROOT; P=POTTED; T.S.= TREE SPADE.

THE LAYOUT OF THE PLANTING AND LOCATION OF PLANT HOLES OR BEDS SHALL BE STAKED BY THE CONTRACTOR SUBJECT TO ENGINEER/ ARCHITECTS APPROVAL.

ALL PLANTING AREAS TO BE FREE OF WEEDS AND GRASS, TREATED WITH A NON-LEACHING PRE-EMERGENT HERBICIDE, PREEN OR EQUAL, PER MANUFACTURER'S SPECIFICATIONS AND COVERED WITH TYPAR 3301 OR SUPAC 2P AND THEN COVERED WITH 4" OF 1.5" WASHED MISSISSIPPI STONE. THE MISSISSIPPI STONE SHALL BE RAKED TO PRODUCE A UNIFORM TEXTURE. SUBMIT SAMPLES OF HERBICIDE AND MISSISSIPPI STONE TO ENGINEER/ARCHITECT FOR APPROVAL. ON DAY OF INSTALLATION WATER HERBICIDE TO ACTIVATE IF NECESSARY.

SEE THIS PAGE FOR PLANTING AND STAKING DETAILS.

AREAS TO BE PAVED, SEEDED, AND BEDDED ARE INDICATED ON THE PLANS.

PLANT QUANTITIES INDICATED ON THE PLAN RULE OVER QUANTITIES ON THE PLANTS LIST.

CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING PITS FOR NEW TREES.

ALL PLANTS TO BE SIZED AND GRADED AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE USA STANDARD FOR NURSERY STOCK.

PLANT SUBSTITUTIONS PERMISSIBLE WITH ENGINEER/ARCHITECT AND TOWN APPROVAL AND WRITTEN NOTIFICATION PRIOR TO INSTALLATION.

PLASTIC OR METAL POTS TO BE REMOVED. SCORE ROOTBALL 1" DEEP WITH SHARP KNIFE. REMOVE TOP PORTION OF FIBER POT THAT EXTENDS ABOVE FINISH GRADE AND CUT SIDES OF POT TO AID IN DECOMPOSITION.

ALL LAWN AREAS TO BE SEEDED AND MULCHED WITH CHOPPED STRAW. MULCH IS TO BE CRIMPED AND SHOULD CONFORM TO DNR TECHNICAL STANDARDS 1058 AND 1059.

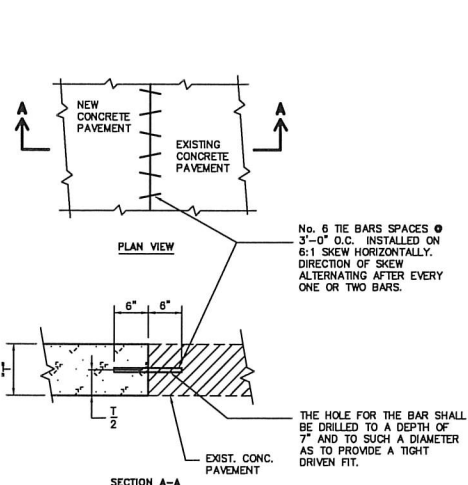
MATURE TREES SHOULD BE LINED UP TO PROVIDE A SEVEN FOOT UNDERCLEARANCE.

SEE EROSION CONTROL PLAN FOR EROSION MAT AND SPECIAL RESTORATION INFORMATION.

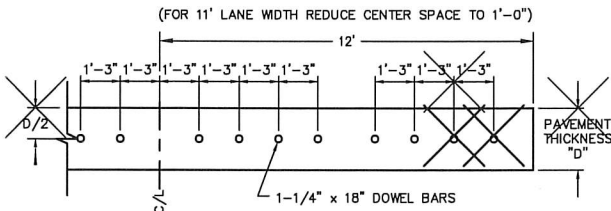
ALL BEDS EDGES TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, FORMED IN LINES OR CURVES AS SHOWN ON THE DRAWINGS.

RESTORE ALL DISTURBED AREAS AROUND PERIMETER OF SITE WITH LAWN.

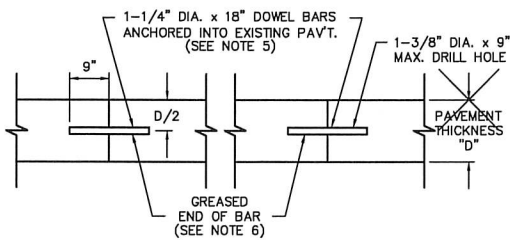
| List | | | | | | |
|----------------------|----------|--|-------------------------|------------------------------|------------------|-------------------------------|
| Large Deciduous TREE | | | | | | |
| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | SIZE AT MATURITY HEIGHT/WIDTH |
| SLL | 8 | Gleditsia triacanthos var. inermis 'Skyline' | Skyline Honey Locust | Balled & Burlapped or Potted | 2.5" | 60 x 40 |
| TOTAL | 8 | | | | | |
| Small Deciduous Tree | | | | | | |
| EVERGREEN TREE | | | | | | |
| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | SIZE AT MATURITY HEIGHT/WIDTH |
| BHS | 3 | Picea glauca den. 'Black Hills' | Black Hills Spruce | Balled & Burlapped or Potted | 5 | 50 x 25 |
| TOTAL | 3 | | | | | |
| SHRUB EVERGREEN | | | | | | |
| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | SIZE AT MATURITY HEIGHT/WIDTH |
| JkCc | 5 | Juniperus X phitzeriana 'Kallays Compacta' | Kallays Compact Juniper | Potted | 2' | 3'x3.5 |
| TOTAL | 5 | | | | | |
| SHRUB DECIDUOUS | | | | | | |
| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | SIZE AT MATURITY HEIGHT/WIDTH |
| SN | 29 | Spiraea japonica 'Norman' | Norman Spirea | Potted | 2' | 3'x3.5 |
| GMS | 1 | Spiraea japonica 'Goldmound' | Goldmound Spirea | Potted | 2' | 3'x3.5 |
| TOTAL | 30 | | | | | |



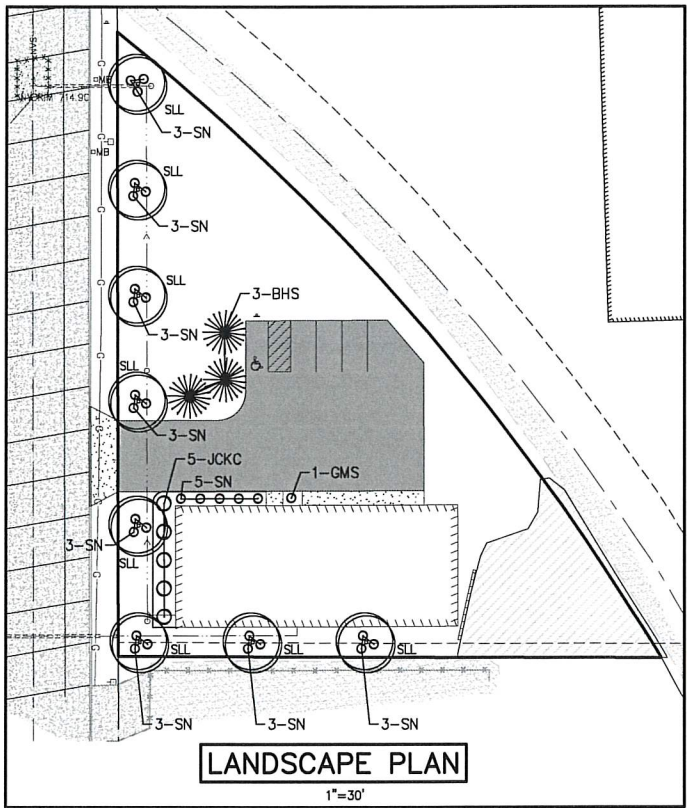
PAVEMENT TIES



SECTION E-E



SECTION D-D



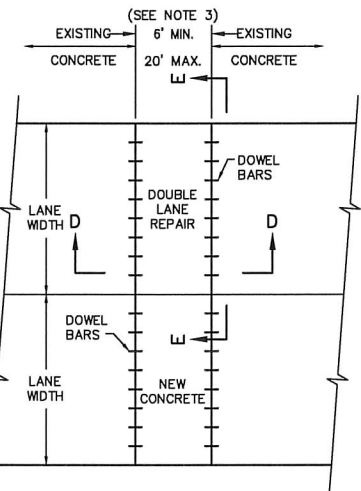
14,297 Square Feet of proposed greenspace proposed on the lot.

5082 Square Feet of off-street parking

3 standard and 1 handicapped parking spaces.

There are no interior islands or peninsulas.

CONCRETE PAVEMENT REPAIR



GENERAL NOTES

1. THE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.4 OF THE STANDARD SPECIFICATIONS. DOWEL BARS SHALL BE COATED IN CONFORMANCE WITH SUBSECTION 505.2.6 OF THE STANDARD SPECIFICATIONS.
2. DOWEL BARS SHALL BE INSTALLED PARALLEL TO THE PAVEMENT CENTERLINE AND PAVEMENT SURFACE.
3. CONCRETE REPAIR SHALL BE FULL PANELS.
4. THE PREPARATION OF FOUNDATION FOR FULL DEPTH CONCRETE PAVEMENT REPAIR SHALL BE IN ACCORDANCE WITH SUBSECTION 211.4.4 OF THE STANDARD SPECIFICATIONS.
5. DOWEL BARS SHALL BE ANCHORED INTO DRILL HOLES WITH AN APPROVED EPOXY GROUT.
6. THE FREE END OF DOWEL BARS SHALL RECEIVE A THIN UNIFORM COATING OF BOND GREASE.
7. JOINTS SHALL NOT BE SEALED OR FILLED.

MISCELLANEOUS SITEWORK DETAILS/LANDSCAPE PLAN

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
PH 920.751.4200 FX 920.751.4284 MCMAHON.COM

Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
7111 Lake Dr.
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-5795 /
1-800-236-2534
FAX (920) 766-5004

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10204 W1509
Cabrera Rd
Carmelton, WI 53022
PHONE (262) 250-9710
1-800-236-2534
FAX (262) 250-9740

MADISON
5605 Libe Ave
Watson, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

WAUSAU
5605 Libe Ave
Watson, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

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PROPOSED FOR:

DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

PRELIMINARY - NOT FOR CONSTRUCTION

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REVISIONS

PROJECT MANAGER:

DESIGNER: RJW

DRAWN BY: RRS

EXPEDITOR:

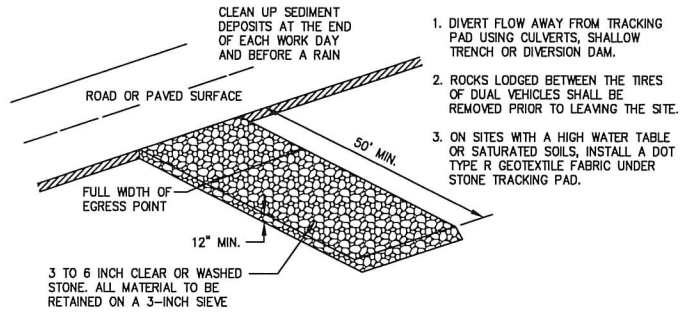
SUPERVISOR:

PRELIMINARY NO: P20139

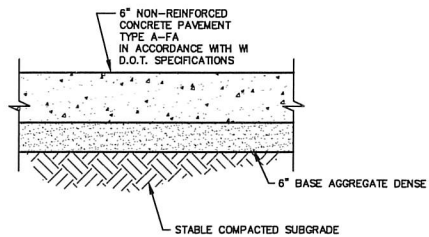
CONTRACT NO:

DATE: AUG. 2020

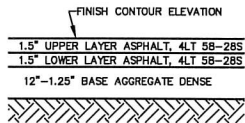
SHEET: C1.5



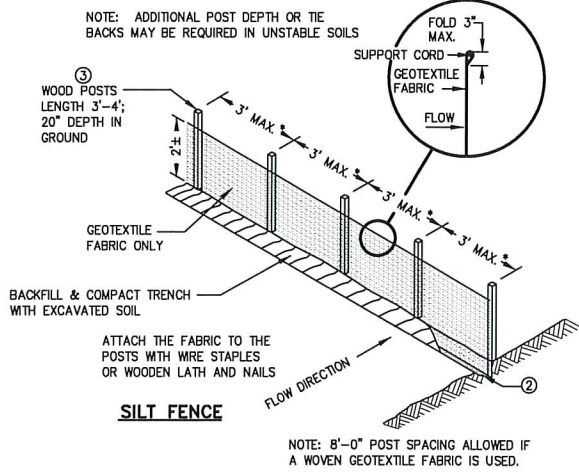
TRACKING PAD DETAIL



CONCRETE PAVEMENT DETAIL

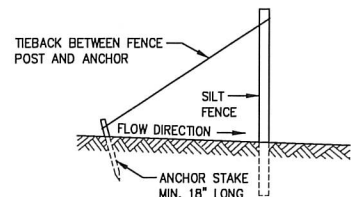


PAVEMENT/BASECOURSE TYPICAL SECTIONS



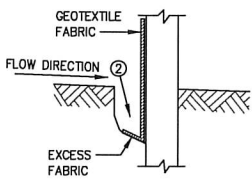
SILT FENCE

NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.



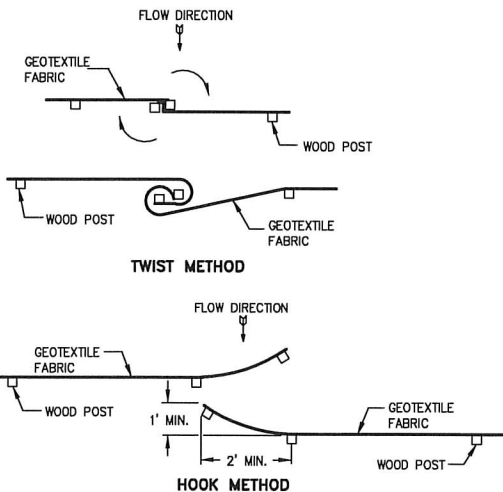
SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



TRENCH DETAIL

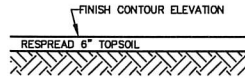
SILT FENCE DETAIL



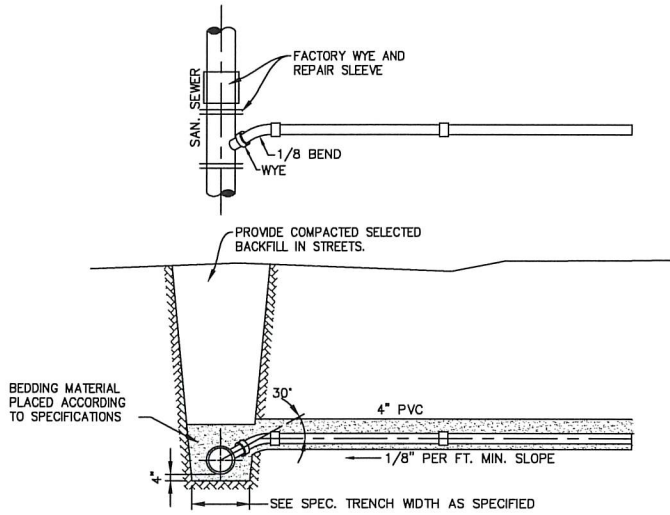
JOINING TWO LENGTHS OF SILT FENCE

GENERAL NOTES

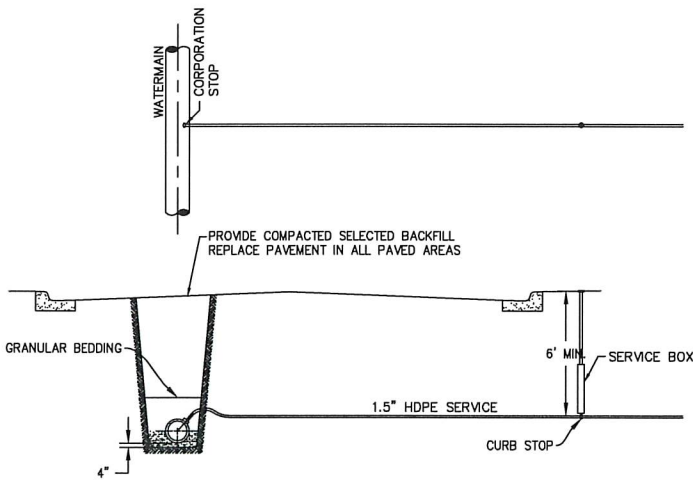
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.



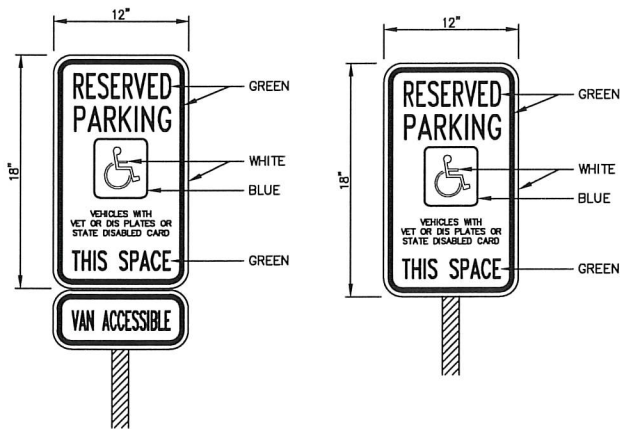
TYPICAL LANDSCAPED SECTION



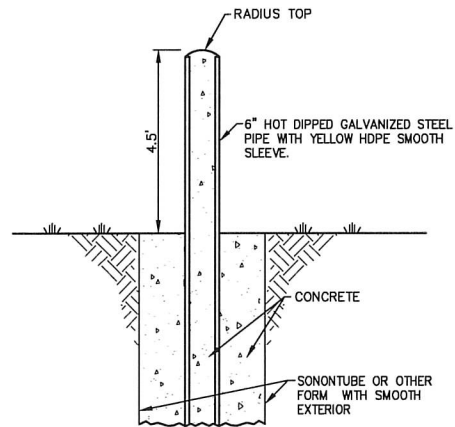
TYPICAL SANITARY SEWER CONNECTION



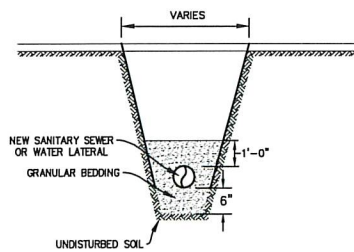
TYPICAL WATER CONNECTION



HANDICAPPED STALL SIGN



BOLLARD DETAIL



TRENCH DETAIL
REQUIRED FOR ALL NEW SEWER AND WATER LATERALS

MISCELLANEOUS SITEWORK DETAILS

McMAHON
ENGINEERS ARCHITECTS

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1445 McMAHON DRIVE NEENAH, WI 54956
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Carmel, WI 53022
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Wausau, WI 54401
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PROPOSED FOR:

DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

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REVISIONS

PROJECT MANAGER:

DESIGNER: R/JW

DRAWN BY: RRS

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO: P20139

CONTRACT NO:

DATE: AUG. 2020

SHEET: **C1.6**

PRELIMINARY - NOT FOR CONSTRUCTION

PRE-ENGINEERED METAL BUILDING

PRE-ENGINEERED METAL BUILDING SHALL BE DESIGNED FOR LOADS AS INDICATED IN 'DESIGN LOADS' SECTION.

THE ERECTION OF THE METAL BUILDING AND THE INSTALLATION OF ACCESSORIES SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING MANUFACTURER'S ERECTION DRAWINGS BY A QUALIFIED ERECTOR USING PROPER TOOLS AND EQUIPMENT. ERECTION PRACTICES SHALL CONFORM TO PART IV, MINA 'CODE OF STANDARD PRACTICES.' THERE SHALL BE NO FIELD MODIFICATIONS TO PRIMARY STRUCTURAL MEMBERS EXCEPT AS AUTHORIZED AND SPECIFIED BY THE BUILDING MANUFACTURER.

CONTRACTOR MUST VERIFY FINAL BUILDING DESIGN WITH THE FOLLOWING AREAS SHOWN ON THESE PLANS:

- ANCHOR BOLT SIZE AND SPACING.
- DEPTH OF COLUMNS.
- DEPTH OF RAFTERS.

INTERIOR PARTITION WALLS

INTERIOR PARTITION WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.

INTERIOR PARTITIONS ARE 3/8" FOR WOOD STUDS AND 3/8" FOR METAL STUDS. PLUMBING WALLS ARE 3/8" FOR WOOD STUDS OR 3/8" FOR METAL STUDS.

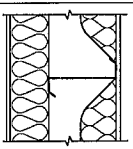
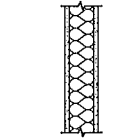
STUDS ARE SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE. USE MINIMUM 1/2" GYPSUM BOARD ON THE FINISHED SIZES OF INTERIOR PARTITIONS. PROVIDE EXPANSION JOINTS AT 30'-0" O.C. FOR LONG GYPSUM BOARD WALLS.

PARTITION WALLS WHICH ARE NOT FULL HEIGHT MUST BE BRACED TO CROSS WALLS OR TO THE STRUCTURE ABOVE TO PROVIDE ADEQUATE STABILITY.

DRYWALL

DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" (A-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. PROVIDE CONTROL JOINTS AS REQUIRED.

WALL TYPE SCHEDULE

| NO. | DESCRIPTION | WALL DIAGRAM |
|-----|--|---|
| 1 | 5/8" GYPSUM BOARD VAPOR BARRIER 2x6 WOOD STUDS AT 16" O.C. BATT INSULATION GIRTS X" BATT INSULATION WITH FACING (R-X) PLYWOOD HEIGHT: FULL HEIGHT |  |
| 2 | 5/8" GYPSUM BOARD 2x4 WOOD STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD HEIGHT: 10'-0" |  |



Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 65
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-6755 /
1-800-236-2534
FAX (920) 766-6004

MADISON
711 Lyle Drive
Sun Prairie, WI 53593
PHONE (608) 318-2336
FAX (608) 318-2337

WAUSAU
2665 Lilee Ave
Wausau, WI 54401
PHONE (715) 848-3141
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED BUILDING FOR:

D.G. STORAGE

BOHM DRIVE
LITTLE CHUTE,
WISCONSIN 54140

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REVISIONS

1

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This document represents preliminary information about the owners requirements. Therefore DO NOT imply or affirm constructability. Feasibility of the site or building development is not guaranteed. Using this document without the expressed consent of KELLER, INC. is prohibited.

PROJECT MANAGER:

DESIGNER

IED PROJECT MANAGER:

T. BAUMGARTNER

EXPEDITOR:

SUPERVISOR:

CONTRACT NO:

IED NO:

20117

ISSUED DATE:

AUGUST 24, 2020

SHEET:

A1.0

WALL TYPE SYMBOL
SEE WALL TYPE SCHEDULE
ON SHEET A1.0

FLOOR PLAN

SCALE: 1/4"=1'-0"





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PLANNERS | ARCHITECTS | BUILDERS

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1016 State Road 55
P.O. Box 620
Kokomo, WI 54130
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MILWAUKEE
W204 N11509
Caldendale Rd
Carmel, WI 53022
PHONE (262) 250-9710
1-800-236-2534
FAX (262) 250-9740

www.kellerbuilds.com

PROPOSED FOR:
D.G. STORAGE
WISCONSIN
LITTLE CHUTE,

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PRELIMINARY - NOT FOR CONSTRUCTION

| REVISIONS | | |
|-----------|------------|--------|
| 1 | 06.30.2020 | J.R.S. |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |

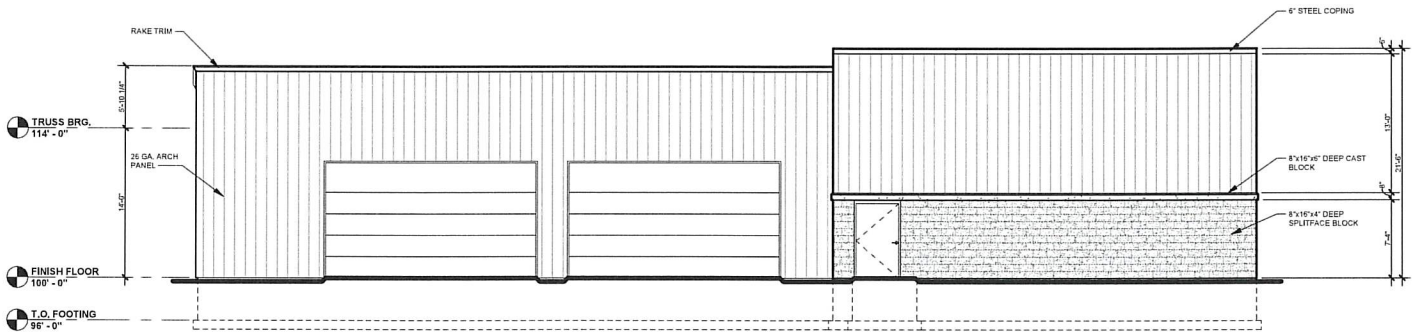
PROJECT MANAGER:
M. NYSTED
DESIGNER:
S. KLESSIG
DRAWN BY:
C. TEAFOE
EXPEDITOR:

SUPERVISOR:

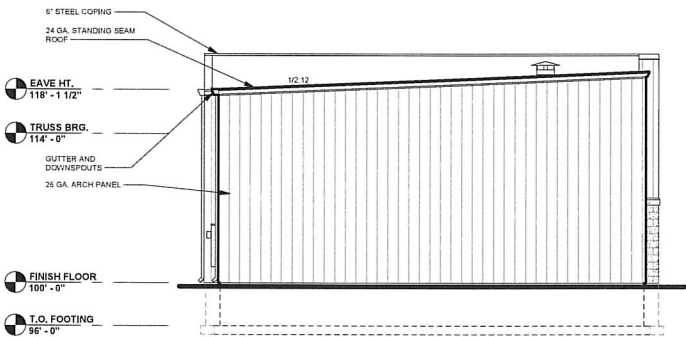
PRELIMINARY NO:
P20139
CONTRACT NO:

DATE:
06.17.2020

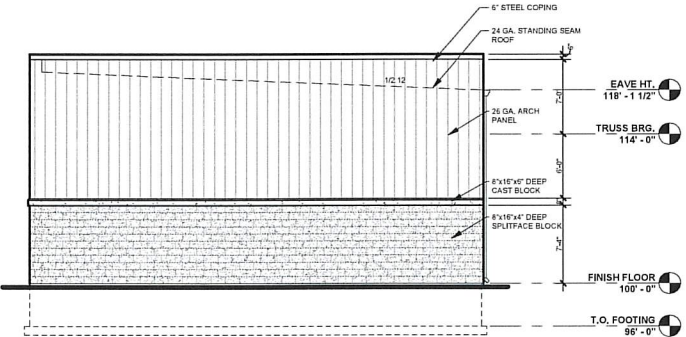
SHEET:
A2.0



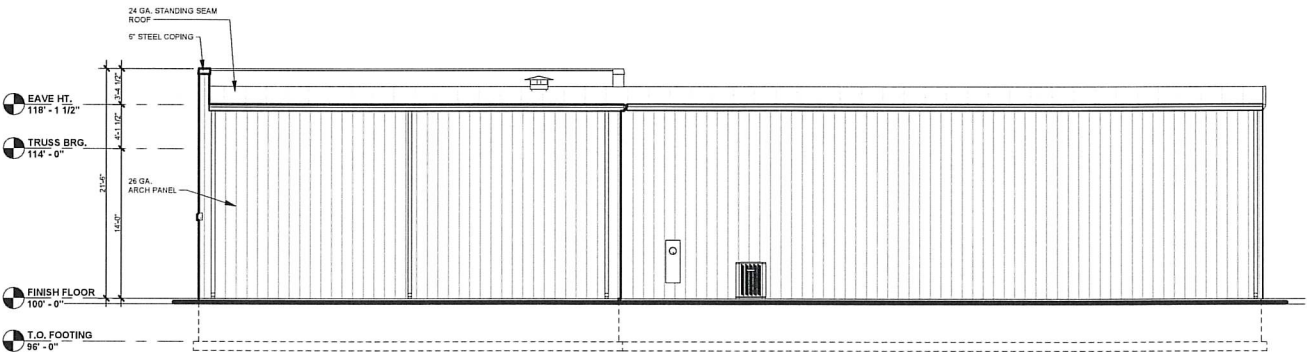
NORTH ELEVATION
1/8" = 1'-0"




EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

| Luminaire Schedule | | | | | | | |
|---|-----|-------|-------------|-------------|-------|-------------|-----------------------|
| Symbol | Qty | Label | Arrangement | Lumens/Lamp | LLF | Total Watts | Description |
|  | 2 | C-WP | SINGLE | N.A. | 1.000 | 154 | C-WP-A-RDC-10L-50K-DB |

| Calculation Summary | | | | | |
|---------------------|------|-----|-----|---------|---------|
| Label | Avg | Max | Min | Avg/Min | Max/Min |
| CalcPls 1 | 0.36 | 9.5 | 0.0 | N.A. | N.A. |
| Pavement of Lot B | 0.88 | 7.2 | 0.0 | N.A. | N.A. |

Customer to verify Color, Mounting, Fixture Location and Voltage prior to ordering.

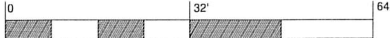


1501 96th Street
Sturtevant, Wisconsin 53177
PH: (888) 243-9445
FX: (262) 504-5409
www.e-conolight.com

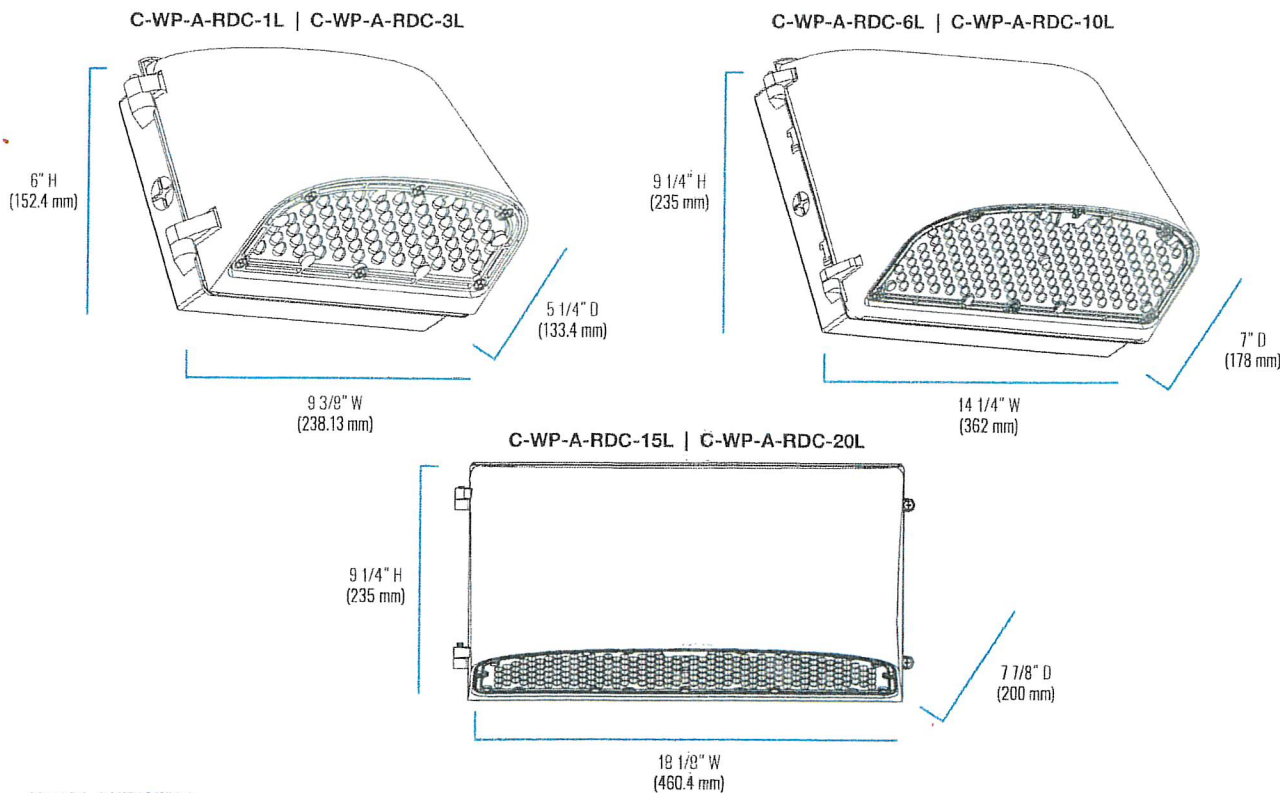
Customer responsible to verify ordering information/
catalogue number prior to placing order

| | | |
|--|----------------------|-----------------------------|
| Date: 8/19/2020 | Scale: 1"=16' | Layout by: Nicholas Passeri |
| Project Name: DG Storage, Village of Little Chute, WI | Salesforce: SR-32547 | |
| Filename: V:\Common\AppEng\Working\Nrp\2020 Virtual Drawer\Outdoor\08 AUG\0818 - SR32547 | | |
| Footcandles calculated at grade using initial lumen values | | |

Illumination results shown on this lighting design are based on project parameters provided to E-conolight used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



C-WP-A-RDC Series



SERIES OVERVIEW

| SKU | DIMENSIONS | PRODUCT WEIGHT |
|----------------|---------------------------------|----------------|
| C-WP-A-RDC-1L | 9-3/8" W x 6" H x 5-1/4" D | 2.41 lbs. |
| C-WP-A-RDC-3L | | |
| C-WP-A-RDC-6L | 14-1/4" W x 9-1/4" H x 7" D | 5.48 lbs. |
| C-WP-A-RDC-10L | | 5.94 lbs. |
| C-WP-A-RDC-15L | 18-1/8" W x 9-1/4" H x 7-7/8" D | 12.94 lbs. |
| C-WP-A-RDC-20L | | 13.15 lbs. |

FIXTURE SPECIFICATIONS

| | |
|---------------|--|
| HOUSING | Heavy duty, die-cast aluminum housing with hinged door frame. Dark bronze polyester powder-coat finish. |
| LENS ASSEMBLY | UV Stabilized polycarbonate lens designed to not only protect the LEDs but also to distribute the light efficiently. |
| MOUNTING | 1/2" threaded knockouts provided for conduit entry or mount over a recessed junction box. |

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.p65warnings.ca.gov



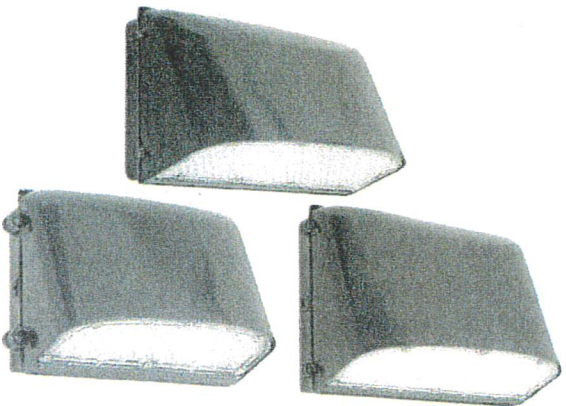
C-WP-A-RDC Series

Full Cutoff LED Wall Pack
Replaces up to 400W PSM/H



THE WALL PACK DESIGNED WITH YOU IN MIND

UL listed, the C-WP-A-RDC Series LED Full Cutoff Wall Pack features an aesthetically pleasing form factor, with an optical lens designed to pass full cutoff compliance with many town ordinances. It delivers up to 21,100 lumens, with a ≥70 CRI and estimated 50,000-hour maintenance-free lifespan. Choose yours in 3000K, 4000K, or 5000K.



PRODUCT SPECIFICATIONS

OVERVIEW

- Initial Delivered Lumens: Up to: 21,100L
- CRI: ≥ 70 CRI
- CCT: Warm White 3000K, Neutral White 4000K, Cool White 5000K
- Mounting: 1/2" threaded knockouts provided for conduit entry or mount over a recessed junction box
- Input Power: Up to 144 Watts
- Dimmable: No
- Operating Range: -40°C (-40°F) 40°C (104°F)
- Lifespan: Estimated >50,000 Hours
- Power Factor: > 0.9
- Total Harmonic Distortion: < 20%
- Limited Warranty: 5-Years*
- Replaces up to 400W PSMH
- Distribution: Forward throw

C-WP-A-RDC-10L-50K-DB

| FEATURES | BENEFITS | RECOMMENDED USE |
|---|--|--|
| <ul style="list-style-type: none">Easy to installLens assembly designed to control the light | <ul style="list-style-type: none">Full cutoff luminaireDeveloped with the contractor in mindFully tested and backed by Cree Lighting | <ul style="list-style-type: none">Building FacadeSecurityPerimeterGeneral Area Lighting |

ORDERING INFORMATION

Example: C-WP-A-RDC-1L-30K-DB

| | A | RDC | 1L | 30K | DB |
|---------|--------|-------|--|--|-------|
| PRODUCT | SERIES | STYLE | LUMEN PACKAGE | CCT | COLOR |
| C-WP | A | RDC | 1L 1500 Lumens (30K, 40K, 50K) 12W 3L 3000 Lumens (30K, 40K, 50K) 22W 6L 6200 Lumens (30K, 40K) 6300 Lumens (50K) 47W 10L 10,600 Lumens (40K, 50K) 77W 15L 15,000 Lumens (40K) 15,200 Lumens (50K) 108W 20L 20,900 Lumens (40K) 21,100 Lumens (50K) 144W | 30K Warm White (3000K) (Only Available in 1L, 3L and 6L) 40K Neutral White (4000K) 50K Cool White (5000K) | |

CERTIFICATIONS

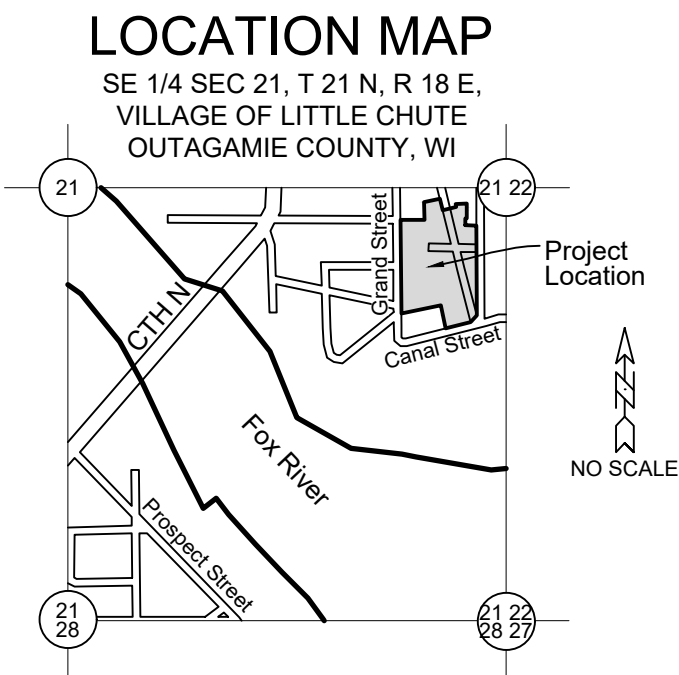
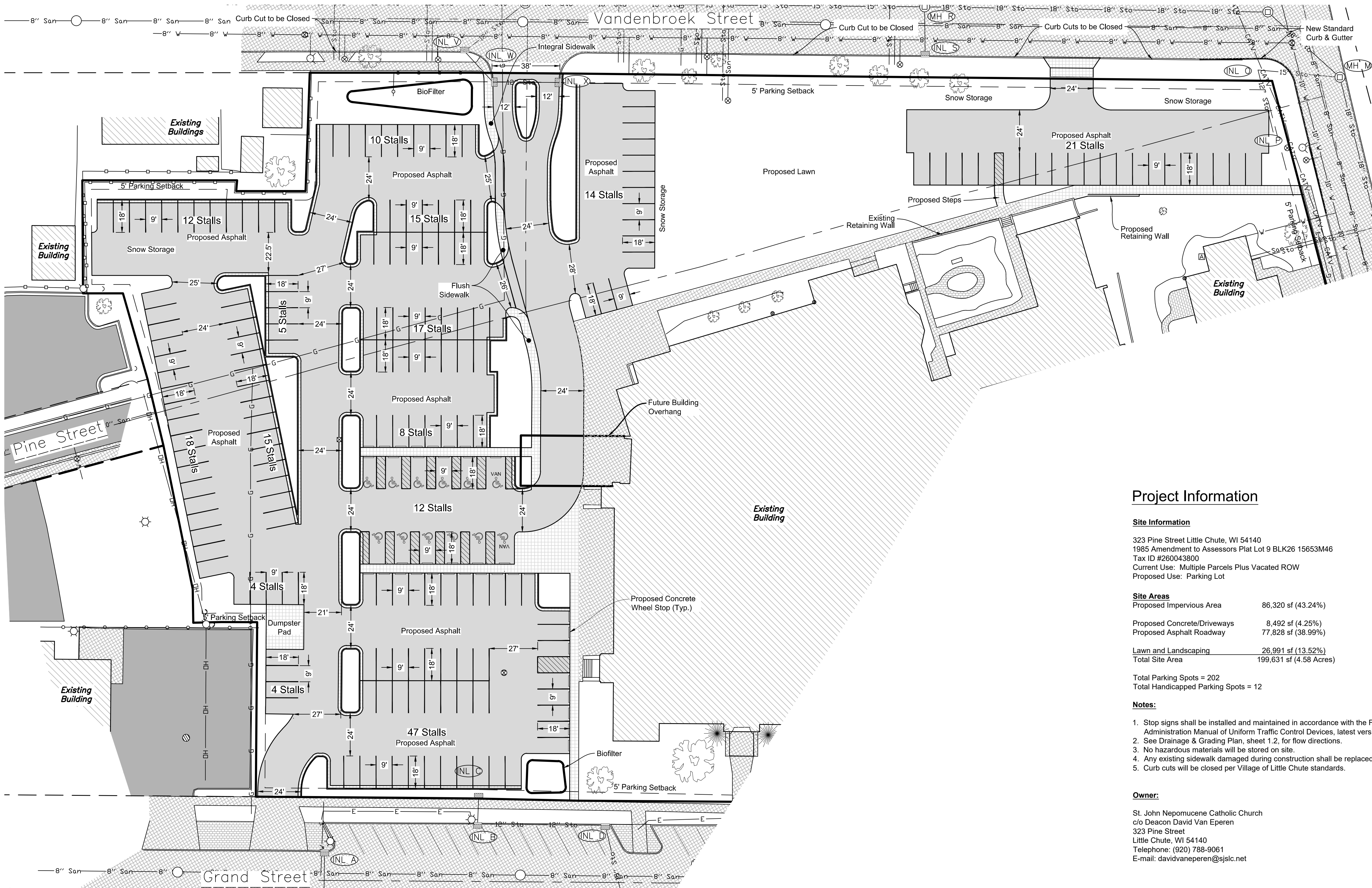




D.G. STORAGE

LITTLE CHUTE,

WISCONSIN



Project Information

Site Information

323 Pine Street Little Chute, WI 54140
1985 Amendment to Assessors Plat Lot 9 BLK26 15653M46
Tax ID #260043800
Current Use: Multiple Parcels Plus Vacated ROW
Proposed Use: Parking Lot

Site Areas

| | |
|-----------------------------|-------------------------|
| Proposed Impervious Area | 86,320 sf (43.24%) |
| Proposed Concrete/Driveways | 8,492 sf (4.25%) |
| Proposed Asphalt Roadway | 77,828 sf (38.99%) |
| Lawn and Landscaping | 26,991 sf (13.52%) |
| Total Site Area | 199,631 sf (4.58 Acres) |

Total Parking Spots = 202
Total Handicapped Parking Spots = 12

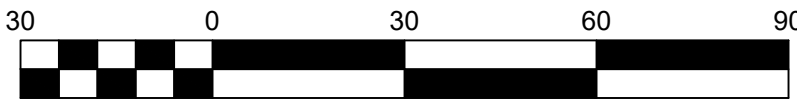
Notes:

- Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, latest version.
- See Drainage & Grading Plan, sheet 1.2, for flow directions.
- No hazardous materials will be stored on site.
- Any existing sidewalk damaged during construction shall be replaced as a part of this project.
- Curb cuts will be closed per Village of Little Chute standards.

Owner:

St. John Nepomucene Catholic Church
c/o Deacon David Van Eperen
323 Pine Street
Little Chute, WI 54140
Telephone: (920) 788-9061
E-mail: davidvaneperen@sjslc.net

| LEGEND | | | |
|--------|-------------------------|--|----------------------------------|
| | CATV | | Sanitary MH / Tank / Base |
| | Underground Fiber Optic | | Clean Out / Curb Stop / Pull Box |
| | Overhead Electric Lines | | Storm Manhole |
| | Utility Guy Wire | | Inlet |
| | Sanitary Sewer | | Catch Basin / Yard Drain |
| | Storm Sewer | | Water MH / Well |
| | Underground Electric | | Hydrant |
| | Underground Gas Line | | Utility Valve |
| | Underground Telephone | | Utility Meter |
| | Water Main | | Light Pole / Signal |
| | Fence - Steel | | Guy Wire |
| | Fence - Wood | | Electric Pedestal |
| | Fence - Barbed Wire | | Electric Transformer |
| | Wetlands | | Air Conditioner |
| | Treeline | | Telephone Pedestal |
| | Railroad Tracks | | Telephone Manhole |
| | Culvert | | Wetlands |
| | Index Contour | | Ex Spot Elevation |
| | Intermediate Contour | | |



SHEET INDEX:

| Sheet | Page |
|---------------------------------|------|
| Site Plan | 1.0 |
| Topographic Survey | 1.1 |
| Drainage and Grading Plan | 1.2 |
| Erosion & Sediment Control Plan | 1.3 |
| Demolition Plan | 1.4 |
| Landscape Plan | 1.5 |
| Construction Details | 2.1 |

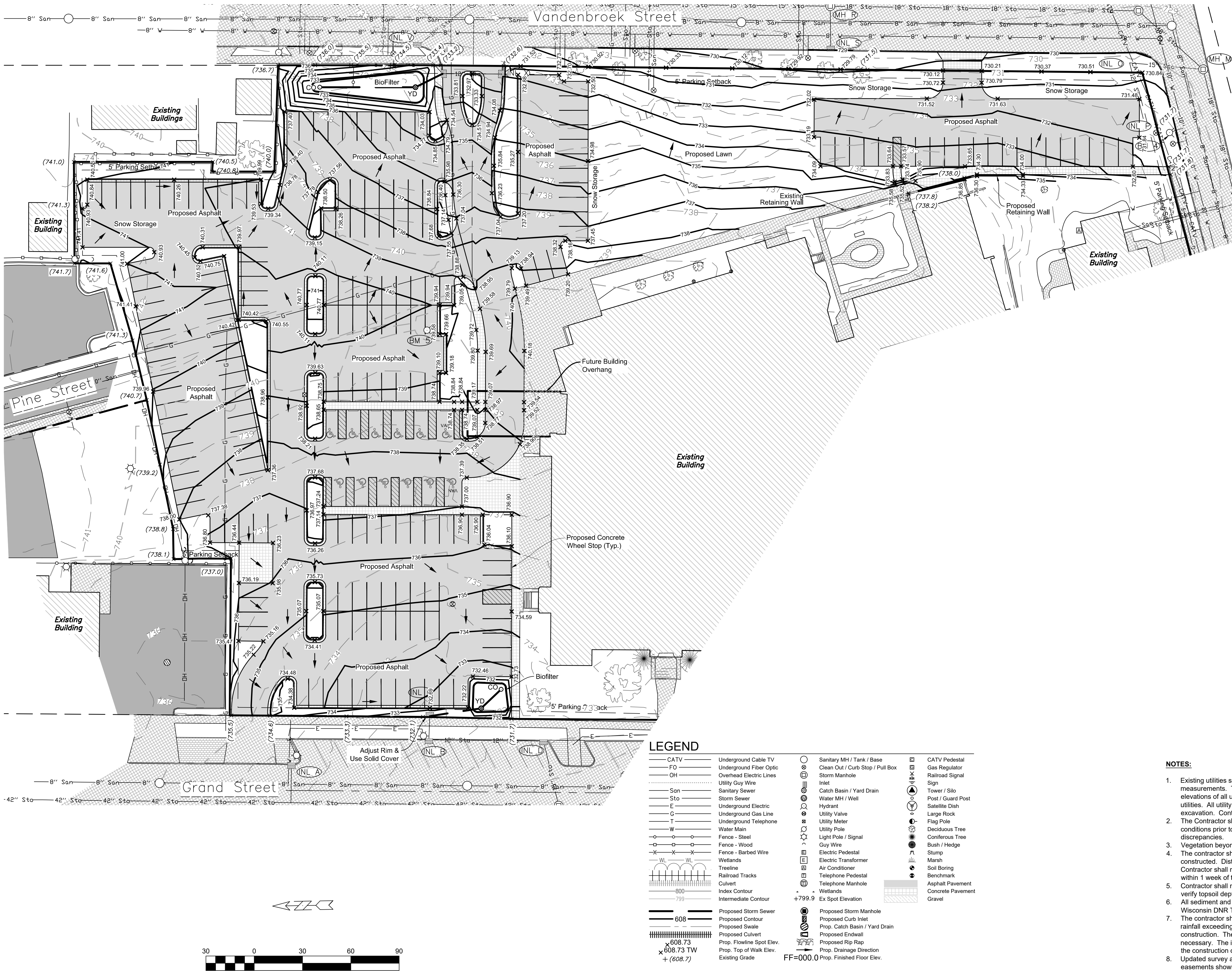
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Ph: 920-991-1866 Fax: 920-441-0804
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SITE PLAN

St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/20/2020
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Page 1.0



| BENCHMARKS (NAVD 88) | |
|----------------------|--|
| BM 0 | NGS Benchmark Designation - CELCD 27 USE (PN0657) Elev 695.10 |
| BM 1 | Fire Hydrant, Tag Bolt NW Quad of W. Lincoln Ave & Grand St. Elev 735.72 |
| BM 2 | Fire Hydrant, Tag Bolt NW Quad of Wilson St. & Grand St. Elev 730.96 |
| BM 3 | Fire Hydrant, Tag Bolt SW Quad of Rawne St. & Grand St. Elev 729.54 |
| BM 4 | Fire Hydrant, NW Tag Bolt NW Quad of Pine St. & Canal St. Elev 730.96 |
| BM 5 | Fire Hydrant, NW Tag Bolt NW Quad of Pine St. & Church St. Elev 741.62 |

- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Vegetation beyond slopes shall remain.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

| LEGEND | |
|--------|-------------------------------------|
| | CATV |
| | Underground Fiber Optic |
| | Overhead Electric Lines |
| | Sanitary Sewer |
| | Storm Sewer |
| | Underground Electric |
| | Underground Gas Line |
| | Underground Telephone |
| | Water Main |
| | Fence - Steel |
| | Fence - Wood |
| | Fence - Barbed Wire |
| | Wetlands |
| | Treeline |
| | Railroad Tracks |
| | Culvert |
| | Index Contour |
| | Intermediate Contour |
| | Proposed Storm Sewer |
| | Proposed Contour |
| | Proposed Swale |
| | Proposed Culvert |
| | Prop. Flowline Spot Elev. |
| | Prop. Top of Walk Elev. |
| | Existing Grade |
| | Sanitary MH / Tank / Base |
| | Clean Out / Curb Stop / Pull Box |
| | Storm Manhole |
| | Inlet |
| | Catch Basin / Yard Drain |
| | Water MH / Well |
| | Hydrant |
| | Utility Valve |
| | Utility Meter |
| | Utility Pole |
| | Light Pole / Signal |
| | Guy Wire |
| | Electric Pedestal |
| | Electric Transformer |
| | Air Conditioner |
| | Telephone Pedestal |
| | Telephone Manhole |
| | Wetlands |
| | Ex Spot Elevation |
| | Proposed Storm Manhole |
| | Proposed Curb Inlet |
| | Prop. Catch Basin / Yard Drain |
| | Proposed Endwall |
| | Proposed Rip Rap |
| | Prop. Drainage Direction |
| | FF=000.0 Prop. Finished Floor Elev. |
| | CATV Pedestal |
| | Gas Regulator |
| | Railroad Signal |
| | Sign |
| | Tower / Silo |
| | Post / Guard Post |
| | Satellite Dish |
| | Large Rock |
| | Flag Pole |
| | Deciduous Tree |
| | Coniferous Tree |
| | Bush / Hedge |
| | Slump |
| | Marsh |
| | Soil Boring |
| | Benchmark |
| | Asphalt Pavement |
| | Concrete Pavement |
| | Gravel |

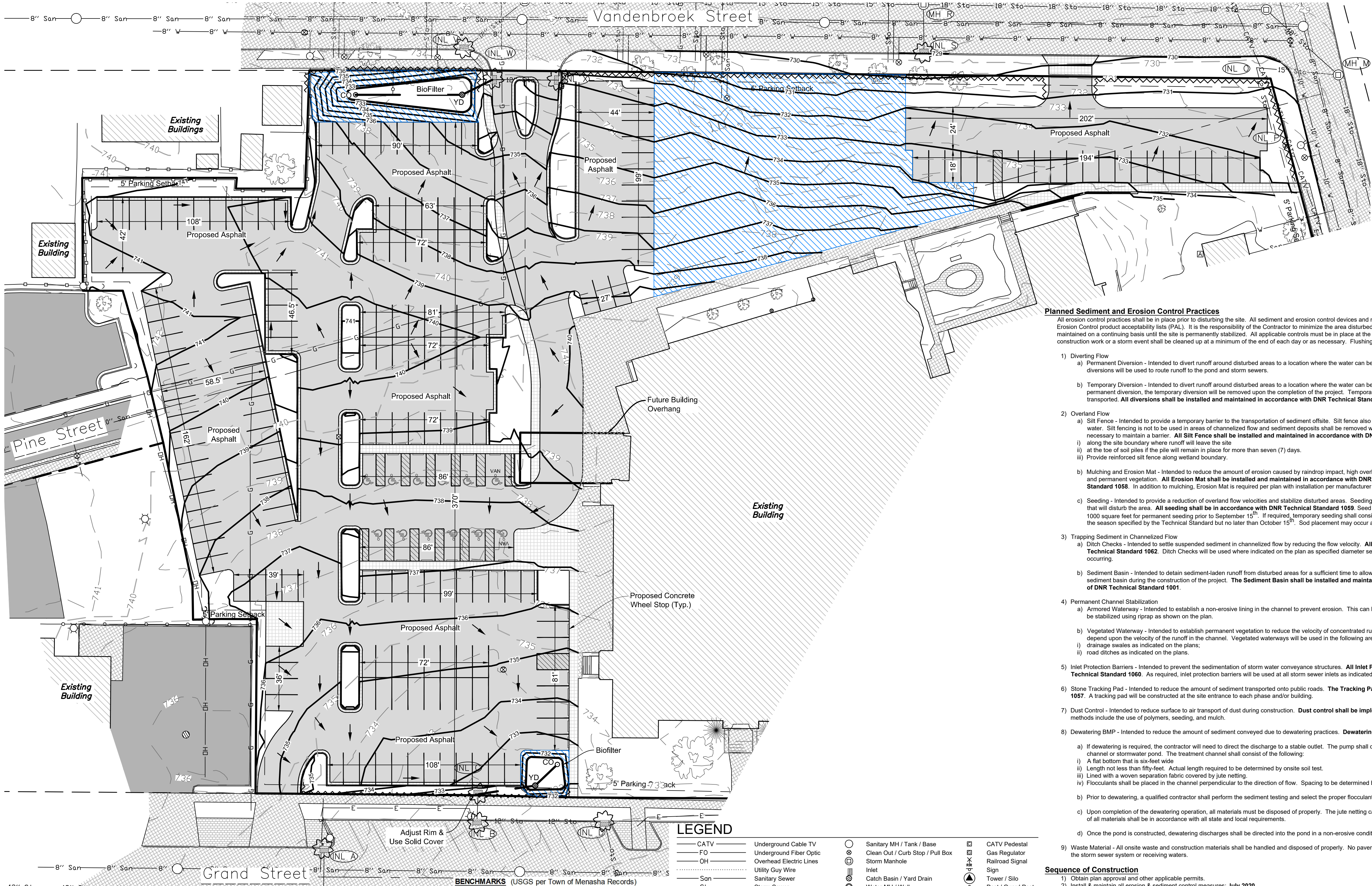
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DRAINAGE & GRADING PLAN

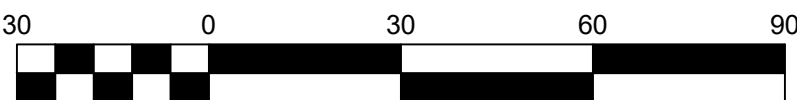
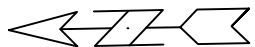
St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

Date: 07/22/2020
Filename: 6044engr.dwg
Author: MDB
Last Saved by: mitch
Page 1.2



NOTES:

- 733 l.f. of Silt Fence
- (8) Inlet Protections
- 1,964 s.y. of Urban, Type B Erosion Mat



BENCHMARKS (USGS per Town of Menasha Records)

- | | |
|------|---|
| BM 1 | Fire Hydrant, Tag Bolt NE cor Deerwood Ave and CTH "CB" Elev 0.00 |
| BM 2 | Fire Hydrant, Tag Bolt ±580' E of BM 1, N R/W Deerwood Ave Elev 0.00 |
| BM 3 | Fire Hydrant, Tag Bolt ±400' SE of BM 2, W R/W Deerwood Ave Elev 0.00 |
| BM 4 | Fire Hydrant, Tag Bolt N cor, Deerwood Ave and Deerwood Court Elev 0.00 |
| BM 5 | Fire Hydrant, on "OPEN" ±200' W of Deerwood Ave, N R/W CTH "II" Elev 0.00 |

LEGEND

- | | | | |
|-------|--------------------------|----------------------------------|-------------------|
| CATV | Underground Cable TV | Sanitary MH / Tank / Base | CATV Pedestal |
| FO | Underground Fiber Optic | Clean Out / Curb Stop / Pull Box | Gas Regulator |
| OH | Overhead Electric Lines | Storm Manhole | Railroad Signal |
| San | Sanitary Sewer | Inlet | Sign |
| Sto | Storm Sewer | Catch Basin / Yard Drain | Tower / Silo |
| E | Underground Electric | Water MH / Well | Post / Guard Post |
| G | Underground Gas Line | Hydrant | Satellite Dish |
| T | Underground Telephone | Utility Valve | Large Rock |
| W | Water Main | Utility Meter | Flag Pole |
| —o—o— | Fence - Steel | Utility Pole | Deciduous Tree |
| —x—x— | Fence - Wood | Light Pole / Signal | Coniferous Tree |
| —x—x— | Fence - Barbed Wire | Guy Wire | Bush / Hedge |
| WL | Treeline | Electric Pedestal | Stump |
| — | Railroad Tracks | Electric Transformer | Marsh |
| — | Culvert | Air Conditioner | Soil Boring |
| — | Index Contour | Telephone Pedestal | Benchmark |
| — | Intermediate Contour | Telephone Manhole | Asphalt Pavement |
| — | Proposed Storm Sewer | Wetlands | Concrete Pavement |
| — | Proposed Contour | +799.9 | Gravel |
| — | Proposed Swale | Ex Spot Elevation | |
| — | Proposed Culvert | | |
| — | Proposed Silt Fence | Proposed Storm Manhole | |
| — | Prop. Drainage Direction | Proposed Curb Inlet | |
| — | Proposed Tracking Pad | Prop. Catch Basin / Yard Drain | |
| — | Proposed Ditch Check | Proposed Endwall | |
| | | Proposed Inlet Protection | |
| | | Type of Inlet Protection | |
| | | Proposed Rip Rap | |
| | | Urban, Type B Erosion Mat | |

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day. All off-site sediment deposits occurring as a result of construction work or a storm event shall be cleaned up at a minimum of the end of each day or as necessary. Flushing shall not be allowed.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the pond and storm sewers.
 - b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. **All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.**
- 2) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
 - i) along the site boundary where runoff will leave the site
 - ii) at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - iii) Provide reinforced silt fence along wetland boundary.
 - b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by rainfall impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058.** In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.
 - c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1059.** Seed mixture 20 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than October 15th. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.
- 3) Trapping Sediment in Channelized Flow
 - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062.** Ditch Checks will be used where indicated on the plan as specified diameter sediment logs. Additional ditch checks may be required in areas where erosion is occurring.
 - b) Sediment Basin - Intended to detain sediment-laden runoff from disturbed areas for a sufficient time to allow the sediment to settle. Once constructed, the proposed ponds will function as a sediment basin during the construction of the project. **The Sediment Basin shall be installed and maintained in accordance with DNR Technical Standard 1064 and/or the requirements of DNR Technical Standard 1001.**
- 4) Permanent Channel Stabilization
 - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of pipe outlets will be stabilized using riprap as shown on the plan.
 - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel. Vegetated waterways will be used in the following areas:
 - i) drainage swales as indicated on the plans;
 - ii) road ditches as indicated on the plans.
- 5) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. **All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060.** As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- 6) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057.** A tracking pad will be constructed at the site entrance to each phase and/or building.
- 7) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.
- 8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.**
 - a) If dewatering is required, the contractor will need to direct the discharge to a stable outlet. The pump shall discharge into a Type 1 Sediment Bag. The bag shall discharge to the treatment channel or stormwater pond. The treatment channel shall consist of the following:
 - i) A flat bottom that is six-feet wide
 - ii) Length not less than fifty-feet. Actual length required to be determined by onsite soil test.
 - iii) Lined with a woven separation fabric covered by jute netting.
 - iv) Flocculants shall be placed in the channel perpendicular to the direction of flow. Spacing to be determined by onsite testing.
 - b) Prior to dewatering, a qualified contractor shall perform the sediment testing and select the proper flocculants and determine the necessary length of the treatment channel.
 - c) Upon completion of the dewatering operation, all materials must be disposed of properly. The jute netting can be buried on site. The separation fabric must be removed from the site. Disposal of all materials shall be in accordance with all state and local requirements.
 - d) Once the pond is constructed, dewatering discharges shall be directed into the pond in a non-erosive condition.
- 9) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Install & maintain all erosion & sediment control measures: **July 2020.**
- 3) Strip topsoil and remove pavement; utility construction: **July 2020.**
- 4) Site grading: **July 2020.**
- 5) Grade and gravel construction: **August 2020.**
- 6) Concrete and asphalt paving: **August-September 2020.**
- 7) Stabilize lawn and ditch areas no later than one week after final grade is established. **September 15, 2020**
- 8) Remove all temporary measures, topsoil critical areas, and establish vegetation. Water if necessary to establish healthy and well rooted vegetation.

Note: The dates provided are approximate and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

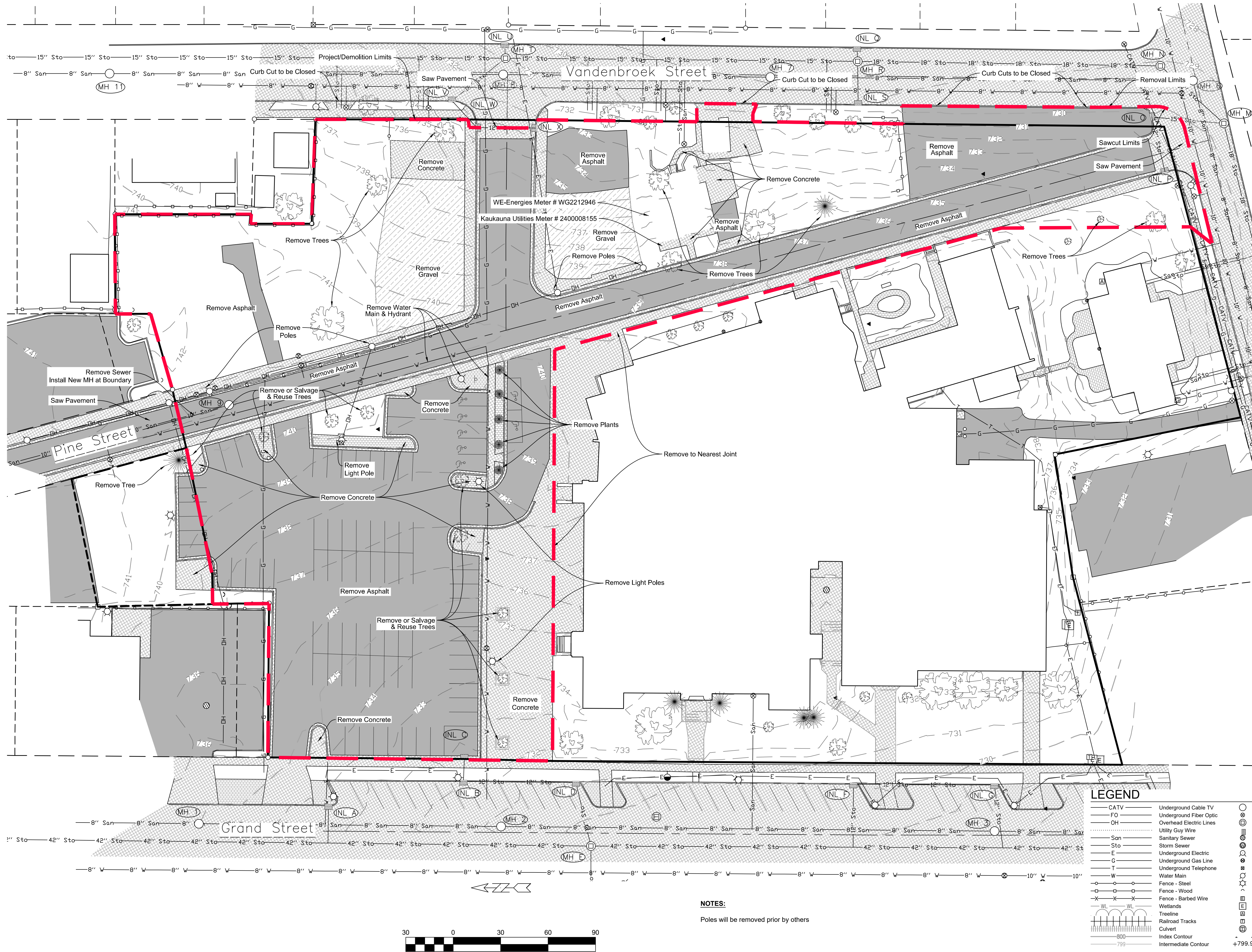
The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to the DNR website for a template: <http://dnr.wi.gov/files/PDF/forms/3400/3400-187.pdf>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the Village of Little Chute.

Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance:
To be Determined (TBD)
BMP Inspection and Compliance Enforcement
Village of Little Chute
Wisconsin Department of Natural Resources



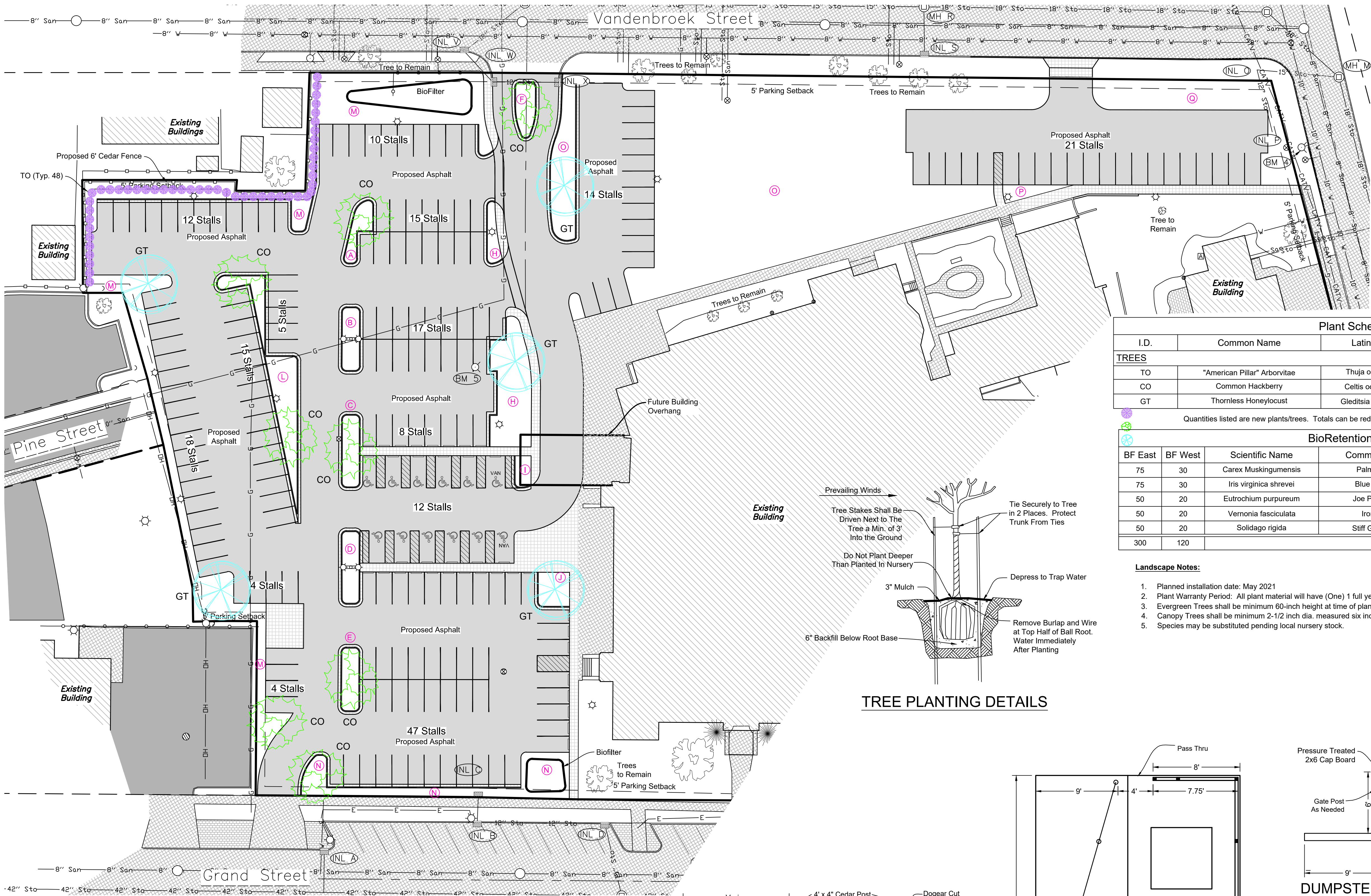
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DEMOLITION PLAN

St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

| | |
|----------------|--------------|
| Date: | 07/20/2020 |
| Filename: | 6044engr.dwg |
| Author: | MDB |
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| Page | 1.4 |



Proposed Concrete/Driveways 8,492 sf
Lawn and Landscaping 26,991 sf
Total Parking Spots = 202
Total Handicapped Parking Spots = 12

12 Islands:

- A. 257sf
- B. 331sf
- C. 374sf
- D. 374sf
- E. 331sf
- F. 287sf
- G. 189sf
- H. 1,343sf
- I. 152sf
- J. 331sf
- K. 307sf
- L. 785sf

5 Peninsulas/Greenspace:

- M. 7,463sf
- N. 1,497sf
- O. 18,856sf
- P. 211sf
- Q. 4,321sf

Double Light Pole
Single Light Pole

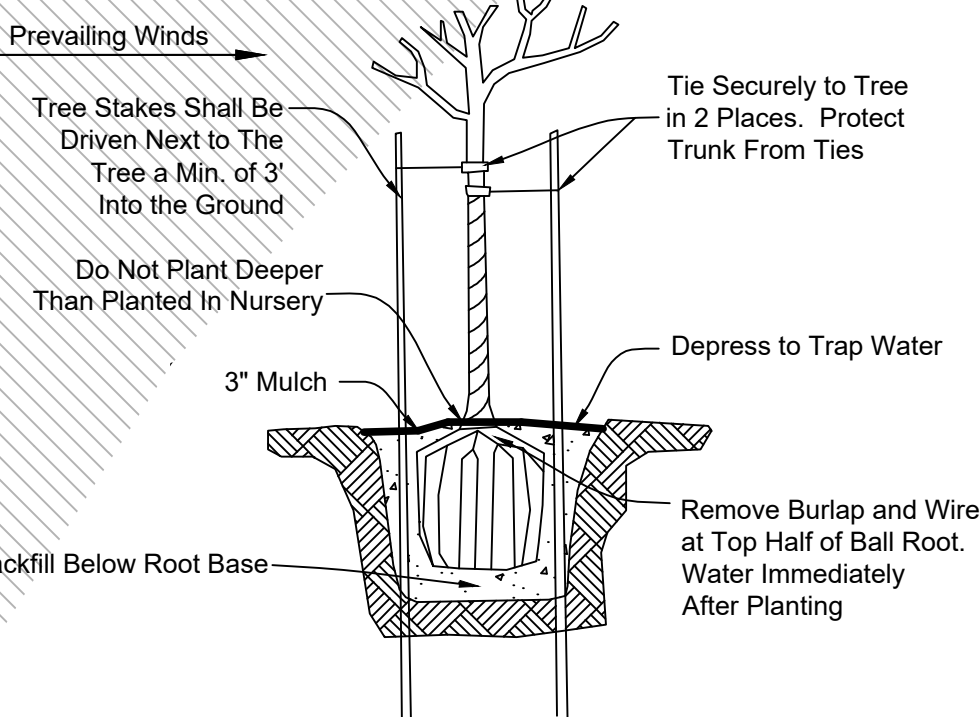
| Plant Schedule | | | | | | |
|----------------|------------------------------|-----------------------|---------------|---------|---------|------|
| I.D. | Common Name | Latin Name | Planting Size | Height | Spread | Qty. |
| TREES | | | | | | |
| TO | "American Pillar" Arborvitae | Thuja occidentalis | Refer Note 3 | 23'-30' | 3'-5' | 48 |
| CO | Common Hackberry | Celtis occidentalis | Refer Note 4 | 40'-60' | 40'-60' | 8 |
| GT | Thornless Honeylocust | Gleditsia triacanthos | Refer Note 4 | 30'-70' | 30'-70' | 5 |

Quantities listed are new plants/trees. Totals can be reduced if existing plants/trees are salvaged and transplanted.

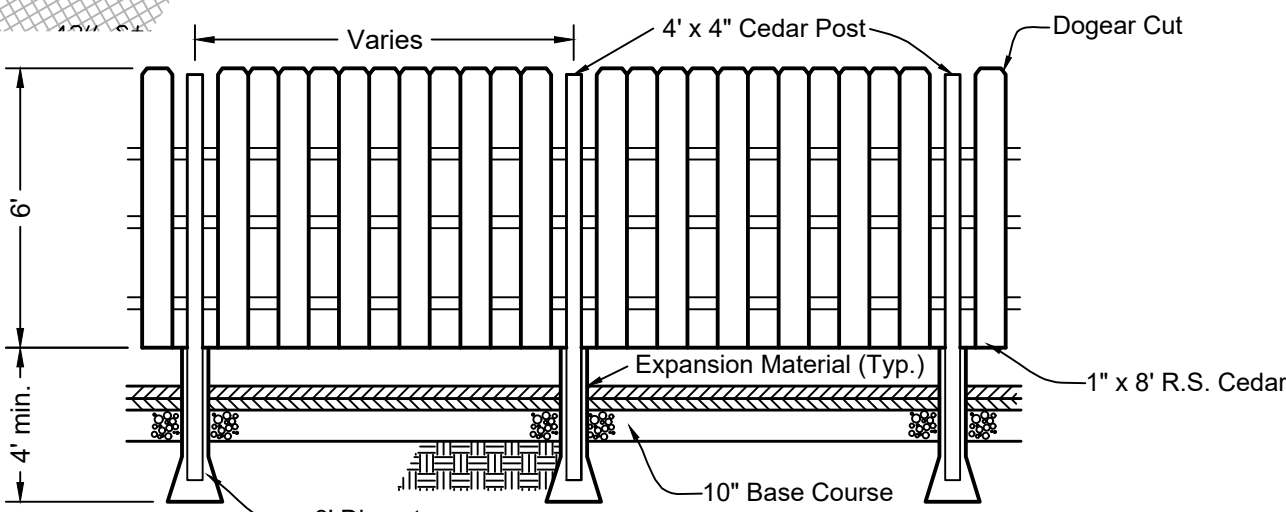
| BioRetention Plants | | | | | |
|---------------------|---------|------------------------|-----------------|-----------------|------------------------|
| BF East | BF West | Scientific Name | Common Name | Size @ Planting | Size @ Maturity |
| 75 | 30 | Carex Muskingumensis | Palm Sedge | 2.5" Pot | 8-12" Ht x 1-2' Spread |
| 75 | 30 | Iris virginica shrevei | Blue Flag Iris | 2.5" Pot | 8-12" Ht x 1-2' Spread |
| 50 | 20 | Eutrochium purpureum | Joe Pye Weed | 2.5" Pot | 8-12" Ht x 1-2' Spread |
| 50 | 20 | Vernonia fasciculata | Ironweed | 2.5" Pot | 8-12" Ht x 1-2' Spread |
| 50 | 20 | Solidago rigida | Stiff Goldenrod | 2.5" Pot | 8-12" Ht x 1-2' Spread |
| 300 | 120 | | | | |

Landscape Notes:

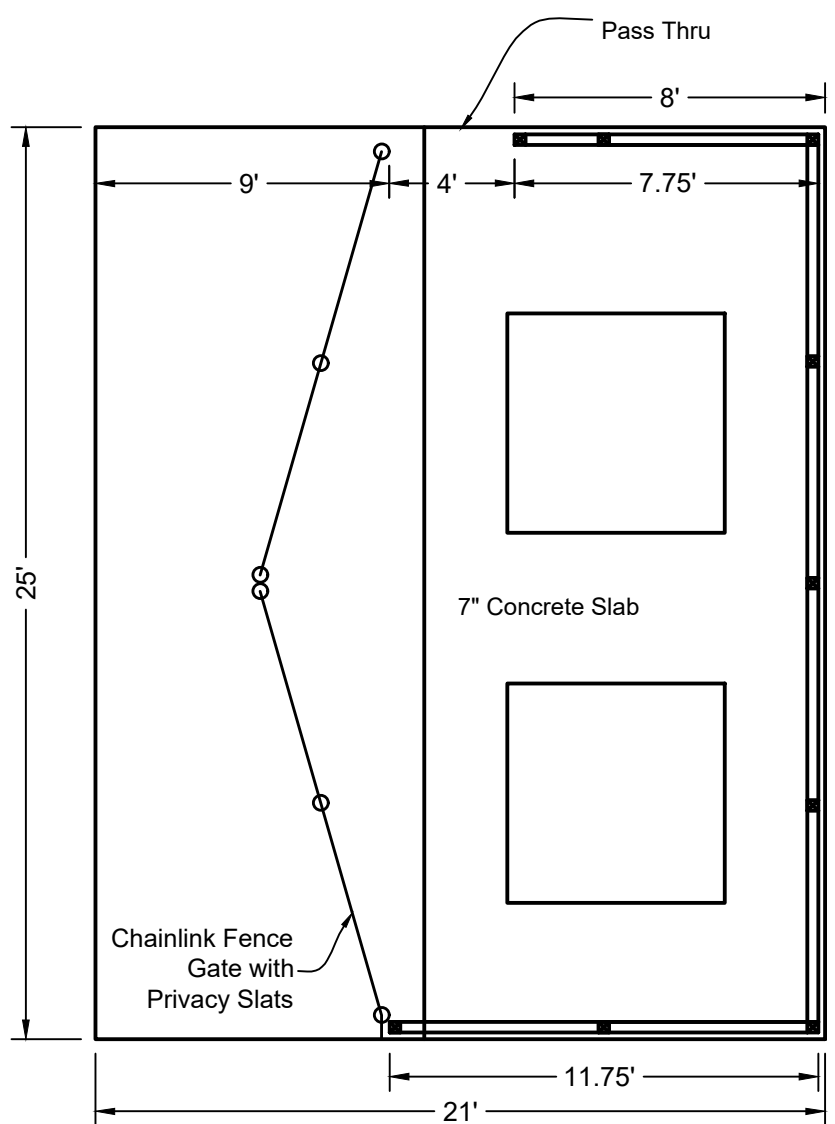
- Planned installation date: May 2021
- Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of Village acceptance.
- Evergreen Trees shall be minimum 60-inch height at time of planting.
- Canopy Trees shall be minimum 2-1/2 inch dia. measured six inches from the ground at time of planting.
- Species may be substituted pending local nursery stock.



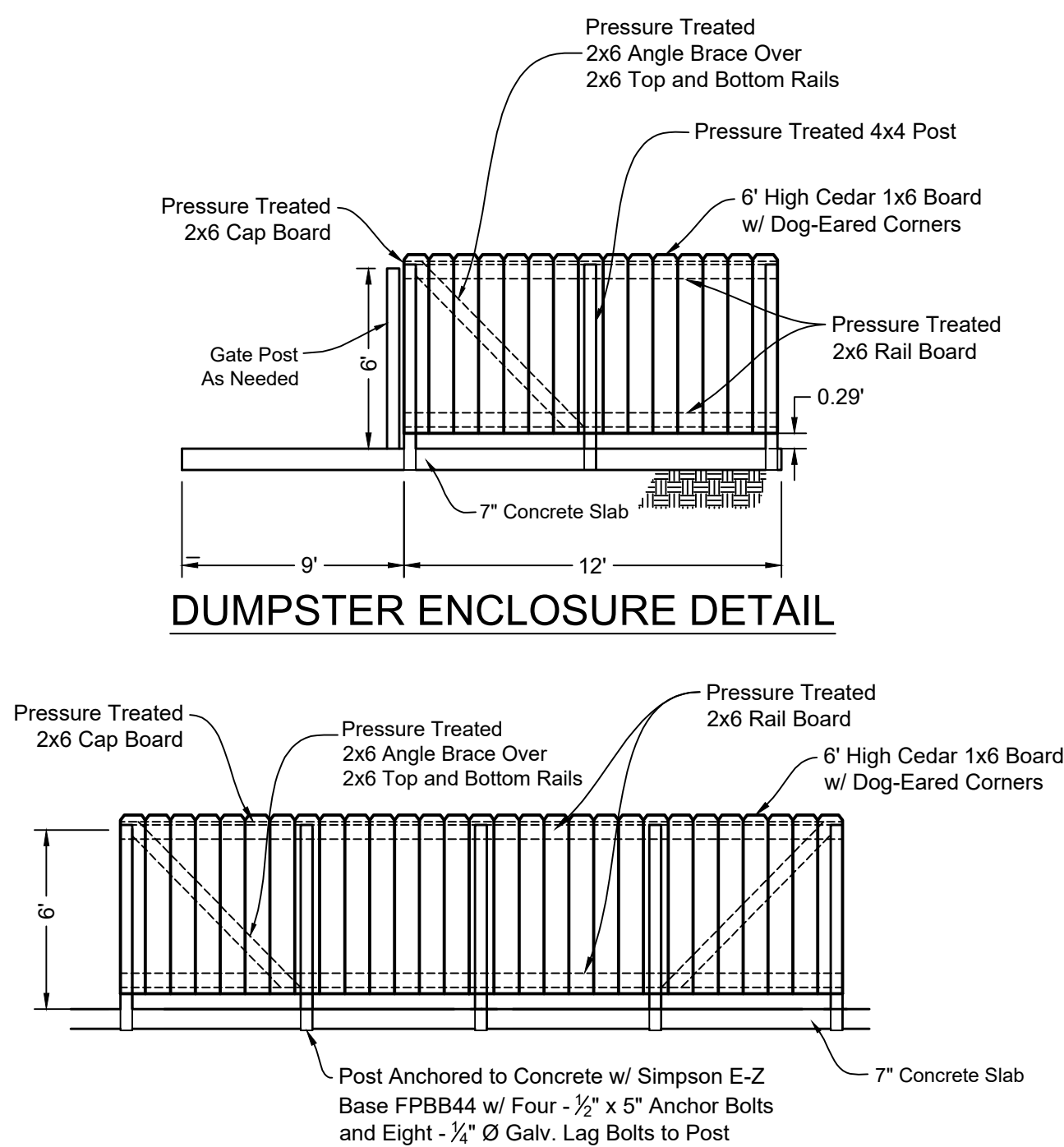
TREE PLANTING DETAILS



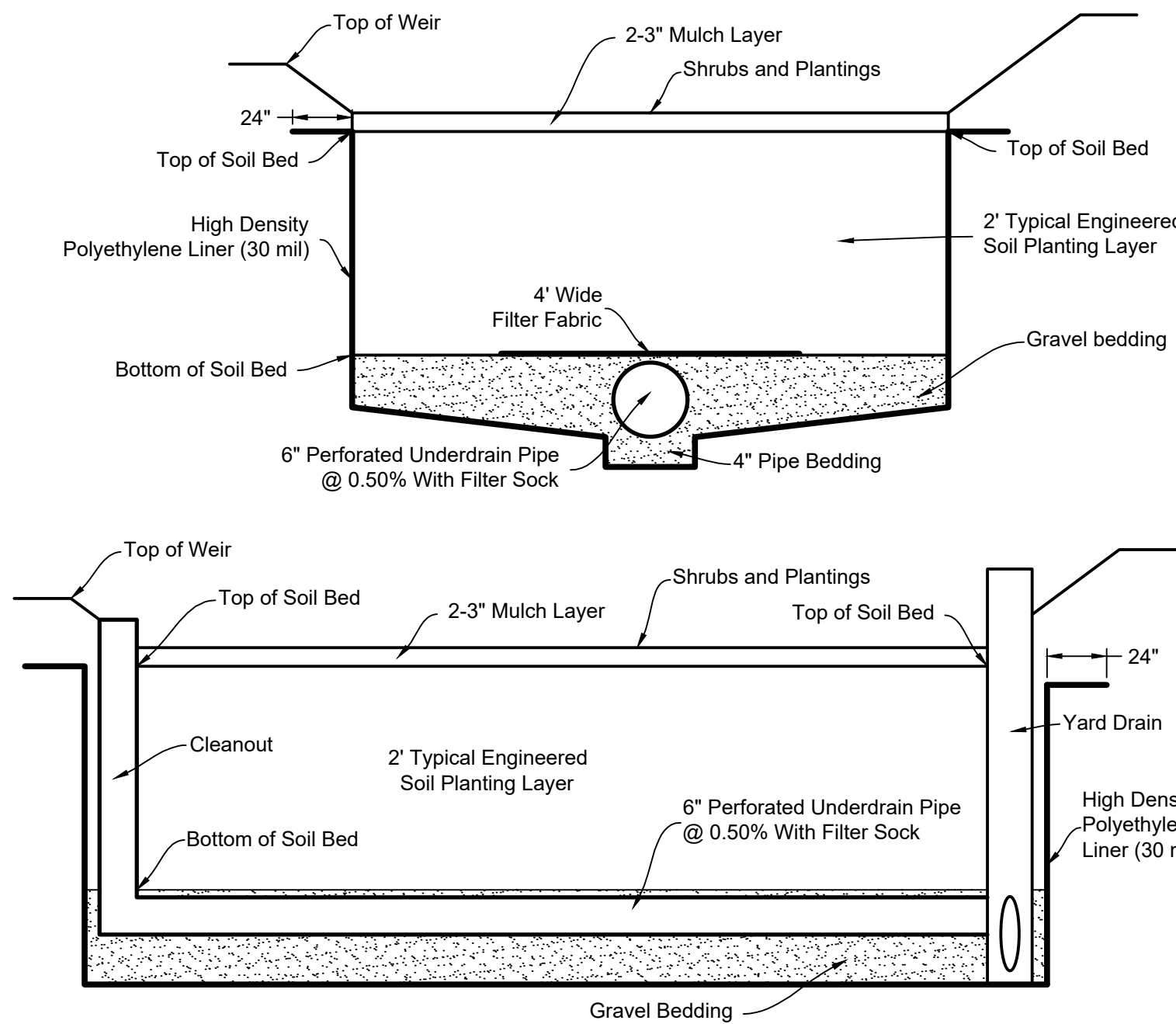
CEDAR FENCING DETAIL



PLAN VIEW



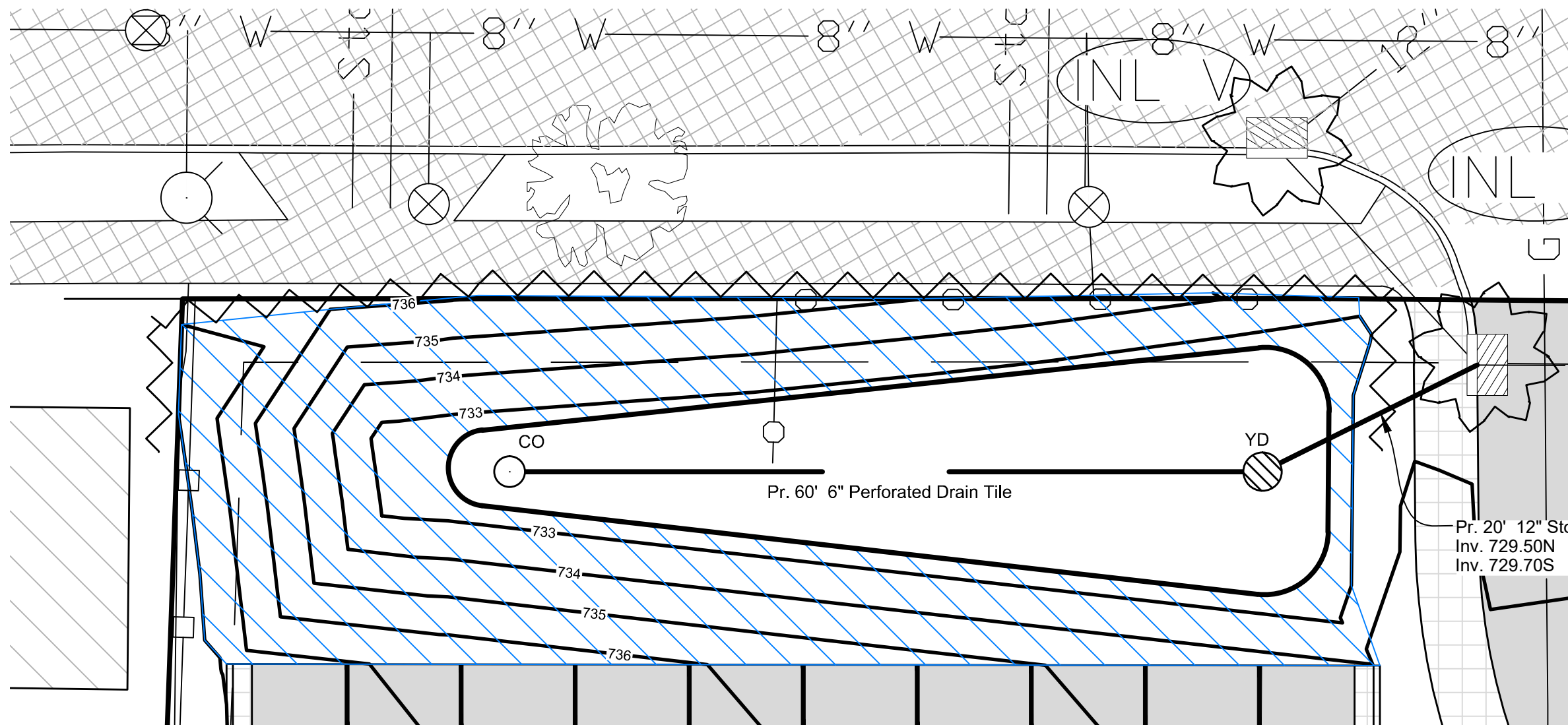
CEDAR FENCING DETAIL



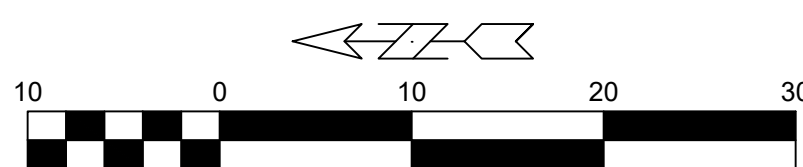
BIOFILTRATION DETAIL SECTIONS

| Biofilter | East | West |
|-------------------------------------|--------|--------|
| Soil Bed Area Required (sq. ft.) | 900 | 350 |
| Perimeter Treatment | Grass | Grass |
| Top of Weir Elev. (overflow path) | 733.35 | 731.75 |
| Top of Soil Bed Elev. | 732.50 | 731.35 |
| Bottom of Soil Bed Elev. | 730.50 | 729.35 |
| Yard Drain Rim Elev. | 733.10 | 731.85 |
| Yard Drain Outlet Pipe Invert Elev. | 729.70 | 728.80 |
| Yard Drain Underdrain Invert Elev. | 729.85 | 728.80 |
| Cleanout Rim Elev. | 733.10 | 731.85 |
| Cleanout Underdrain Invert Elev. | 730.15 | 728.89 |
| Underdrain Pipe Length (ft) | 60.00 | 18.00 |
| Underdrain Pipe Diameter (ft) | 0.50 | 0.50 |

BIOFILTRATION DETAIL TABLE



EAST BIOFILTER



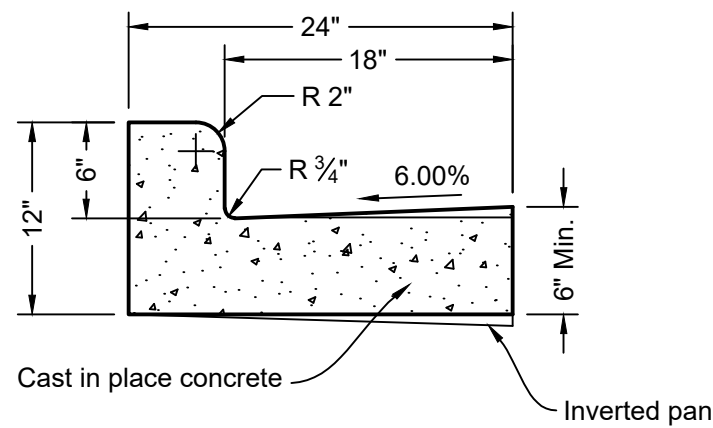
Biofiltration Specifications:

- Vegetation Plan**
Refer to plant schedule on Landscaping Plan (Page 1.5). Plants may be substituted as determined necessary by a professional landscaper. Turf grass is not to be used in the bioretention device, but may be used as the vegetation of pretreatment swales.
Shredded hardwood mulch or chips shall be placed on the surface of the planting soil to a depth of 2"-3". Mulch shall be free of foreign material, including other plant material. Mulch shall be aged a minimum of 12 months.
- Engineered Soil Planting Bed**
Planting soil shall be free of rocks, stumps, roots, brush, or other material over 1" in diameter. No other material shall be mixed with the planting soil that may be harmful to plant growth, infiltration rates, or prove a hindrance to planting and maintenance. Planting soil shall have adequate nutrients to meet plant growth requirements. Planting soil shall have a pH between 5.5 and 6.5. Planting soil shall be uniformly mixed and consist of 70-80% sand, and 15-30% compost.
Sand component shall be USDA classified coarse sand texture with 0.02" to 0.04" diameter, ASTM C33 (Fine Aggregate Concrete Sand), or Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5.3.4. (Fine Aggregate Concrete Sand) 2005 edition, or an equivalent as approved by the administering authority. Sand component shall be pre-washed to remove clay and silt particles and then well-drained or dried prior to mixing. The preferred sand component consists of mostly SiO₂, but sand consisting of dolomite or calcium carbonate may also be used. Manufactured sand or stone dust is not allowed.
Compost component shall contain less than 1% combined glass, metal, and plastic. Compost shall be resistant to further decomposition and free of compounds in concentrations toxic to plant growth. Compost shall comply with US EPA 503 regulations for class A biosolids and contain negligible concentrations of both heavy metals and other chemical contaminants. Compost shall also satisfy the following per the WDNR specifications S100:

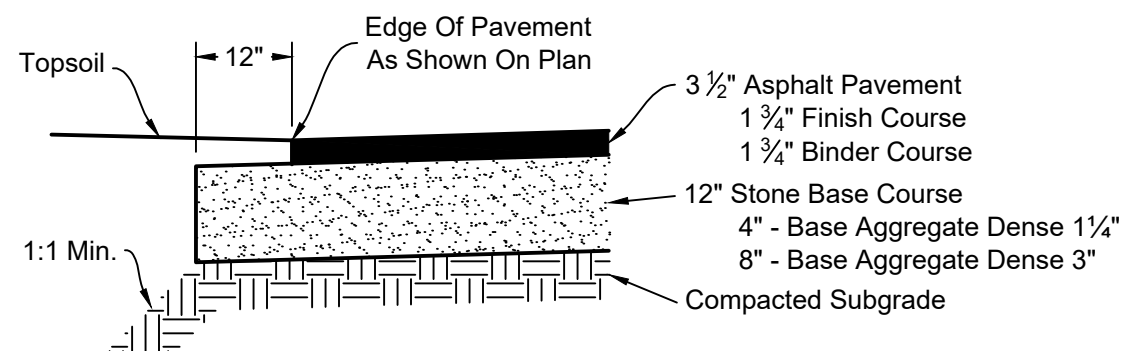
| | |
|--------------------------------|---|
| Particle Size | 98% pass 0.75" screen |
| Organic Matter | 40% minimum |
| Ash Content | 60% maximum |
| Carbon to Nitrogen (C:N) ratio | 10-20:1 |
| pH Range | 6.0 - 8.0 |
| Soluble Salts | 10 dS m-1 electrical conductivity maximum |
| Moisture Content | 35% - 50% by weight |
| Compost Maturity Index | 6-9 |
| Pathogens and Noxious Seeds | Minimized |

- Perforated Underdrain**
Underdrain shall be a minimum 6" diameter corrugated polyethylene pipe with circular or slotted perforations. At a minimum, 4" to 10" diameter pipes shall have 1.0 square inch of perforated open area per linear foot of pipe length, 12" to 18" diameter pipes shall have 1.5 square inches of perforated open area per linear foot of pipe length, and 18" diameter or larger pipes shall have 2.0 square inches of perforated open area per linear foot of pipe length. Circular perforations shall not exceed 0.19" for 4" to 10" diameter pipes or 0.38" for pipes greater than 10" diameter. The width of slot perforations shall not exceed 0.13". The underdrain pipe shall satisfy section 612.2.5, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.
A filter sock shall be installed on the perforated underdrain pipe. The filter sock shall prevent sand particles from entering the pipe. The filter sock shall be capable of passing water at a flow rate equal to or greater than the flow rate capacity of the underdrain pipe perforations. The filter sock shall satisfy section 612.2.8(1-3), State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.
Filter fabric shall not extend laterally from either side of underdrain pipe for more than 2". Filter fabric shall satisfy section 645.2.4, Schedule Test B, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.
A minimum 6" diameter vertical clean-out shall be connected to the upstream end of the underdrain. Clean-out shall be rigid, non-perforated PVC pipe with a removable, watertight cap that is flush with the finished ground surface.
Gravel bedding shall meet the coarse aggregate #2 of the Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5, 2003 edition.

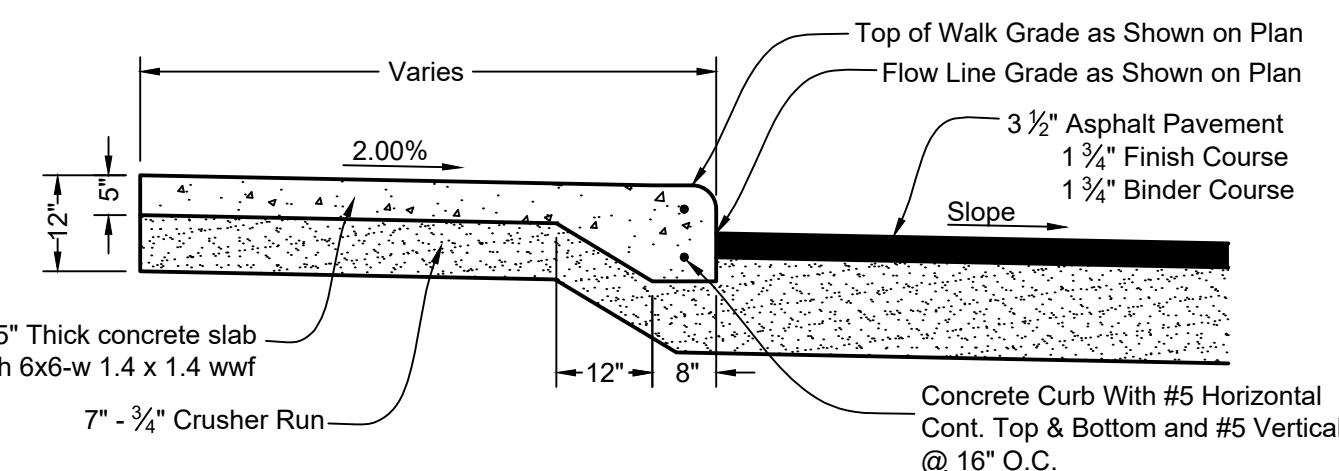
- Construction**
Contractor shall submit material certifications for review and approval prior to installation. Certifications shall state that materials satisfy specifications.
Construction site runoff from disturbed areas shall not be allowed to enter the bioretention device. Runoff from all upslope disturbed pervious areas shall be diverted away from the bioretention device until a permanent perennial vegetative cover is established with a uniform density of at least 70% sediment laden runoff will prematurely clog the biofiltration device.
Construction shall be suspended during periods of rainfall or snowmelt. Construction shall remain suspended if ponded water or residual soil moisture contributes to soil smearing, clumping, or other forms of compaction.
The planting soil layer and sand storage layer shall be placed in 12" lifts maximum. Compaction shall be minimized. Compaction will significantly contribute to biofiltration device failure. Grade each layer with hand tool, excavation hoes, marsh equipment, wide-track loaders, or light equipment with turf-type tires. Do not use heavy equipment with narrow tracks, narrow tires, rubber tires with lugs, or high-pressure tires. Steps may be taken to induce mild settling of the sand storage layer and planting soil layer as needed to prepare a stable planting bed. Vibrating plate-style compactors shall not be used.
Entire planting bed shall be mulched to a uniform depth of 2"-3" prior to planting vegetation to help prevent compaction of planting soil layer during planting process. Mulch shall be pushed aside for individual plant placement.
Plants shall be kept moist during transport and on-site storage. Plants shall be fertilized and watered as appropriate to maximize plant growth and survival. Plants must be well established before the onset of cold weather. Contractor shall provide a 2-year warranty for all installed plants, shrubs, and trees.



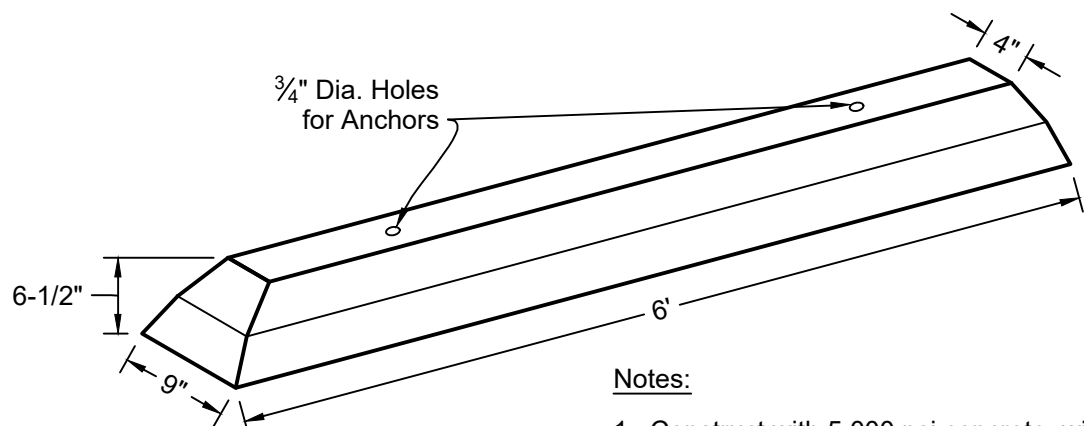
24" STANDARD CURB



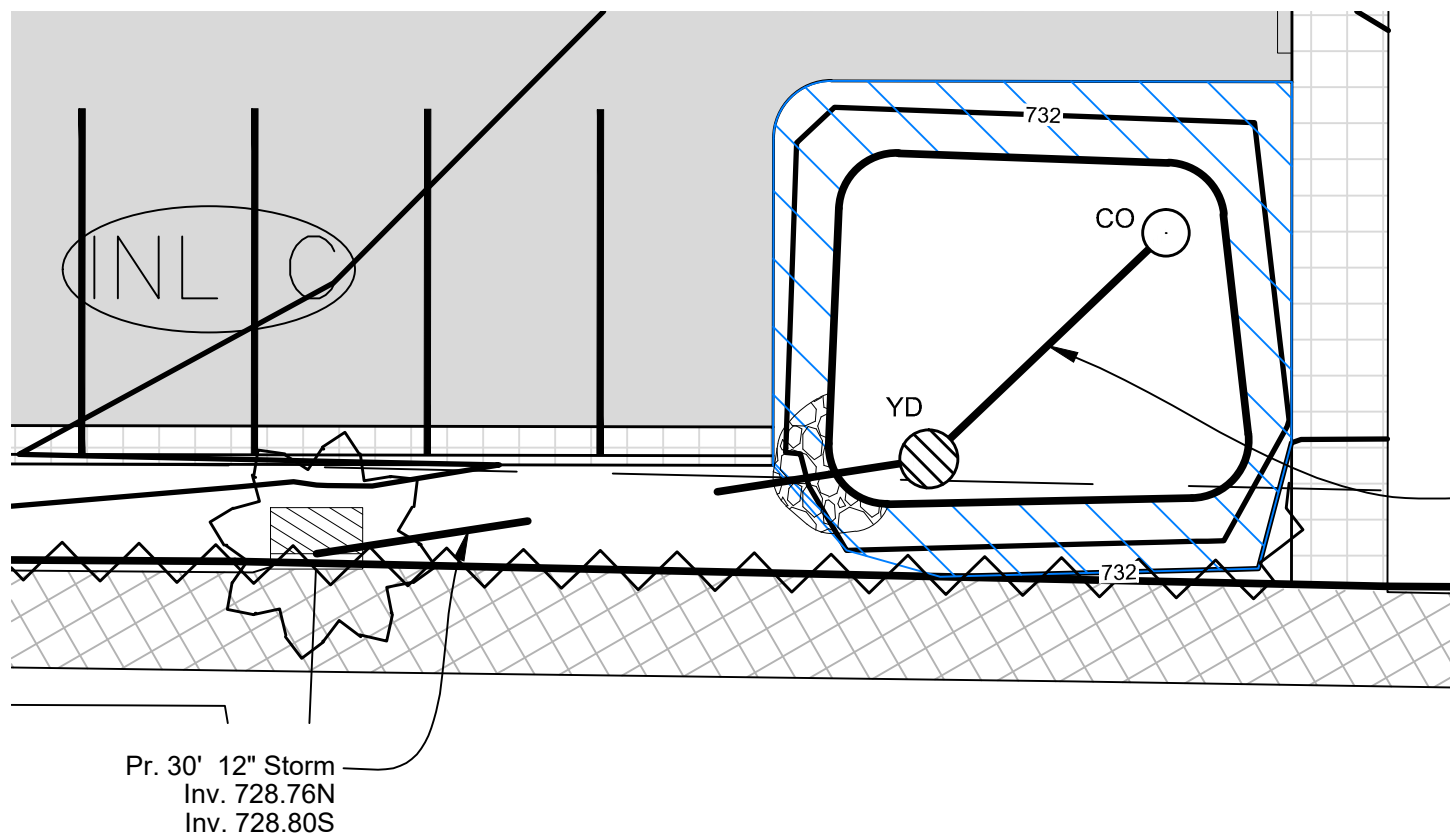
PAVEMENT SECTION



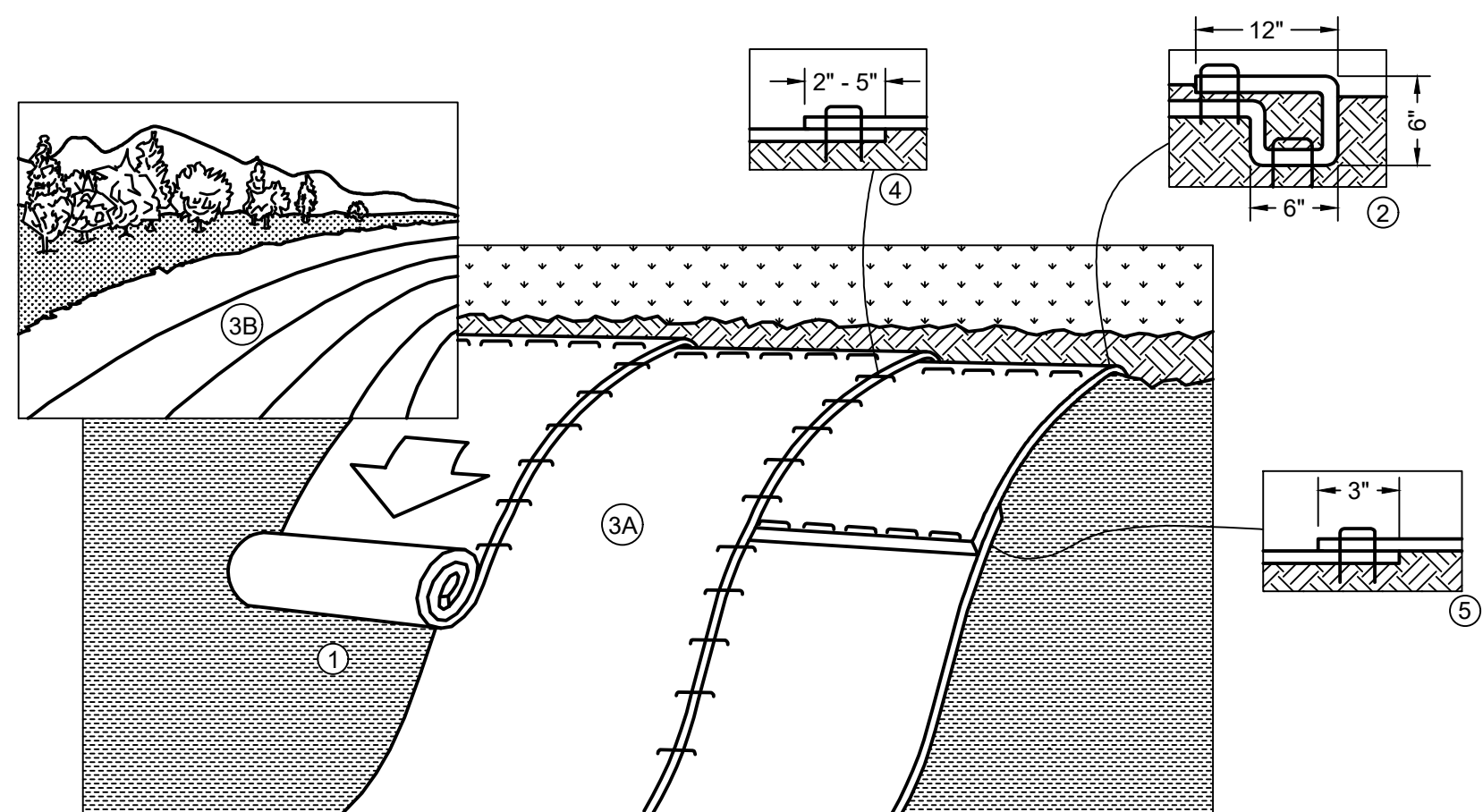
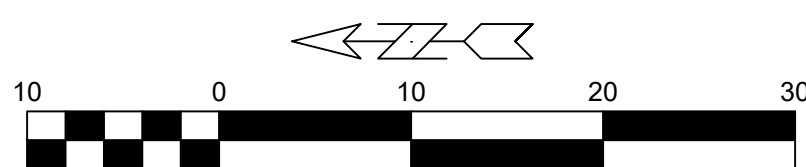
INTEGRAL SIDEWALK / PAVEMENT SECTION



PRECAST CONCRETE WHEEL STOP

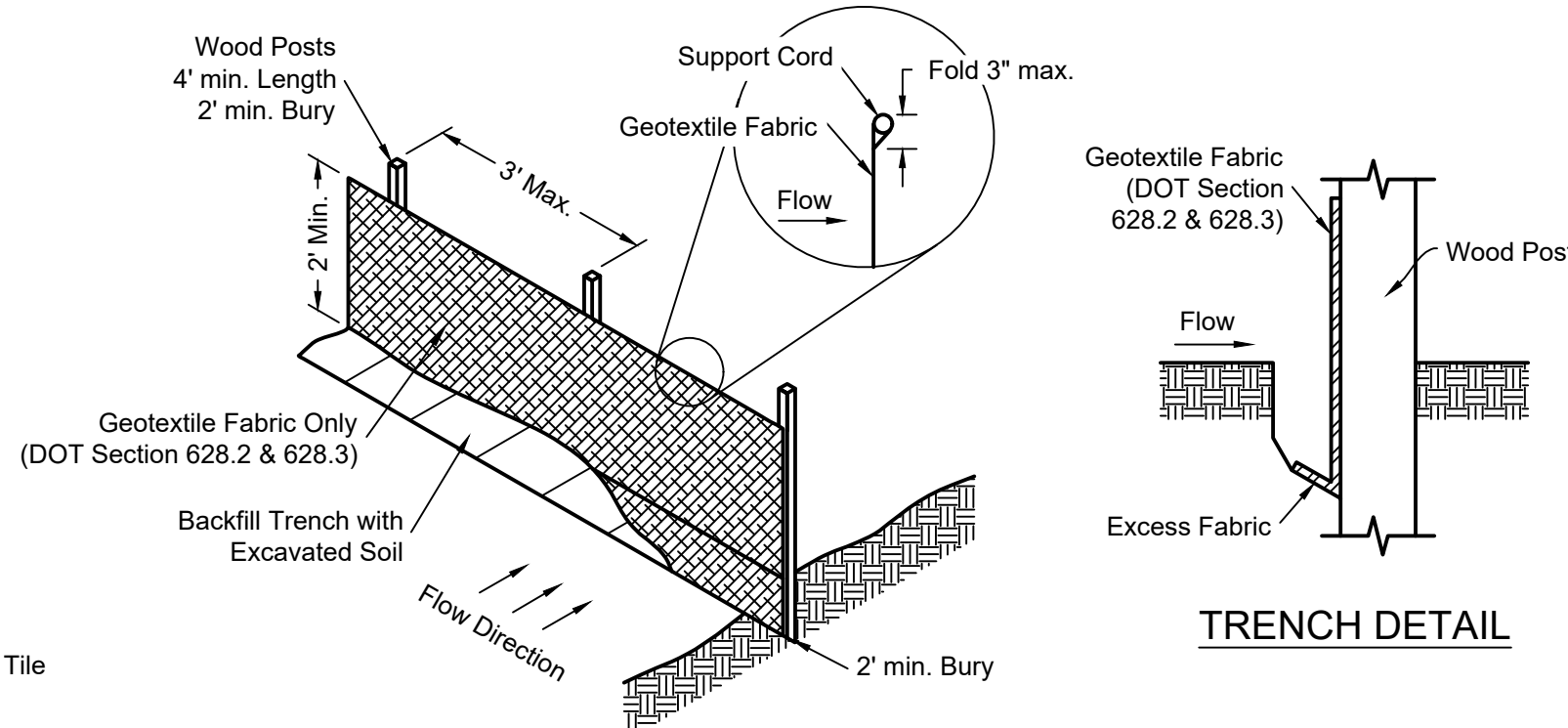


WEST BIOFILTER



- Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
- Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.
- Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
- The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
- Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.
- Detail provided by North American Green (www.nagreen.com)
- Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



TRENCH DETAIL

Silt fence notes:

- Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
- When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
- Attach the fabric to the posts with wire staples or wooden lath and nails.
- 8'-0" post spacing allowed if a woven geotextile fabric is used.
- Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
- Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
- Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION

Village of Little Chute
Engineering Department

REQUEST FOR BOARD'S CONSIDERATION

| | |
|--|--------------------------------------|
| ITEM DESCRIPTION: | Pine Street Parking Lot Alternatives |
| REPORT PREPARED BY: | Christopher L. Murawski, P.E. |
| REPORT DATE: | September 10, 2020 |
| ADMINISTRATOR'S REVIEW / COMMENTS: No additional comments to this report _____ See additional comments attached _____ | |
| <p>EXPLANATION: Village staff have been working on two preliminary layouts for the Proposed Pine Street Parking Lot configuration.</p> <p>The proposed improvements is considered a redevelopment project and will require additional storm water management improvements for water quality. However, these requirements are less restrictive than for new development and can most likely be provided in the green space area provided. It is most likely that a bio-swale will accommodate the needs of this project and not a pond with a normal water surface.</p> <p>Alternate 1 – an attached exhibit is providing for a pedestrian mall to be created between the two existing buildings while providing pedestrian access to Main Street for the proposed parking lot. Although vehicle access to Main Street will be removed, public access to the parking area would remain from Grand Avenue and Vandenbroek Street. The vacation of Pine Street further to the south provides an excellent opportunity to provide additional parking for the downtown area while also allowing for additional open space for pedestrians and other special event activities.</p> <p>Alternate 2- is provided to show that vehicle access from Main Street can still be provided with 11-ft. sidewalks on both sides of a 15-ft wide one way street. This layout could still accomplish a pedestrian mall atmosphere by blocking off vehicle access from Main Street during special events. Removable decorative chains or fencing could be installed when vehicle access is not desired.</p> | |
| RECOMMENDATION: These alternatives are being provided for discussion purposes. Village staff is seeking direction from the planning commission and the Village Board as to their opinion on how to best utilize this space. Other options for discussion is also open and is not limited to the two alternatives provided. | |

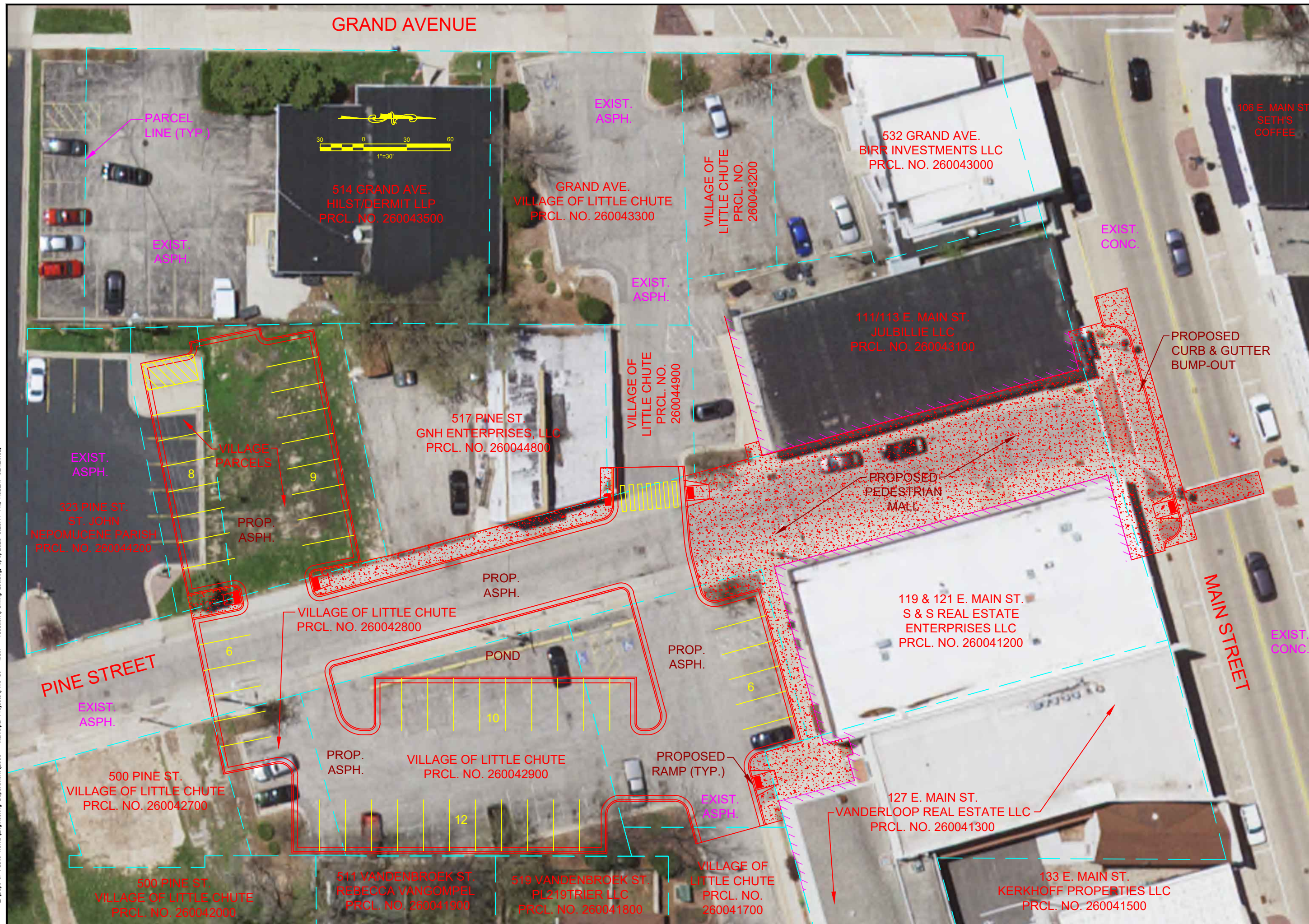
VILLAGE OF LITTLE CHUTE, WISCONSIN

| Issued | |
|-------------|------|
| Rev | Date |
| Description | |
| | |
| | |
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| | |
| | |
| | |

Designed: REO
 Drawn: REO
 Checked: CLM
 Approved:

PROJECT NUMBER
EXHIBIT
SHEET REFERENCE NUMBER

Alternate 1



VILLAGE OF LITTLE CHUTE, WISCONSIN

Issued

Designed: REO

PROJECT NUMBER

Alternativ



\ Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Ballfield Banner Spending Authority

PREPARED BY: Adam Breest, Parks, Recreation, & Forestry Director

REPORT DATE: September 11, 2020

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: JPF
See additional comments attached: _____

EXPLANATION: Every year the Parks department sells banner space at Legion and Van Lieshout. In 2020, the village brought in \$1750 in revenues and spent \$488.22 in expenses for the new and replacement banners. The total amount remaining is \$1261.78. The Parks department is requesting spending authority to spend \$1261.78 to pay for fencing around the Legion Ballfield 3 dugouts. The new dugout caps were installed this year and now we need to install the new fencing to go around the dugouts.

RECOMMENDATION: Discussion/Possible Action To increase donations and the parks Repair and Maintenance budget by \$1261.78 for the banner funds and proceed with the Legion Park Fencing Repair.

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: 2020 Heesakker Park Deer Culling

PREPARED BY: Adam Breest, Parks, Recreation, & Forestry Director

REPORT DATE: September 11, 2020

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: JPF
See additional comments attached: _____

EXPLANATION: In 2019, the Village of Little Chute elected to participate in the deer culling at Heesakker Park. 2019 was a slower year as we only harvested 2 doe and 1 buck. With the population of deer at Heesakker Park and the surrounding neighborhoods continuing to stay high I am proposing that we continue to operate the deer hunt in 2020 but at a reduced scope due to the David and Rita Nelson Family Heritage Crossing construction.

2020 Modifications:

- 4 hunters per week (8 total)
- Little Chute residents only (since we are not utilizing the island)
- Split the 4 hunters into 4 quadrants within Heesakker Park.

Dates: Week 1 - Monday, November 30, 2020 – Sunday, December 6, 2020

Week 2 – Monday, December 14, 2020 – Sunday, December 20, 2020

Locations: Heesakker Park ONLY (north of the Heesakker Bridge)

Amount of Does or Bucks Harvested

2019 - 3

2018 - 8

2017 - 6

2016 - 8

2014 – 6

I believe that the Deer Culling has been beneficial in the past. The format that we currently utilize allows residents to participate and it has been a success.

RECOMMENDATION: Discussion/Action

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Revaluation Contract

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/8/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

The Village of Little Chute has experienced a large amount of growth over the last few years, as well as an increase in the economic value of the properties. Over the last few years, the sale to assessment ratio has decreased to the low 80% area, with the 2020 estimated ratio to be 78.9%. This means that on the average a property is selling for more than the assessed value. The Department of Revenue (DOR) tracks these market changes and requires assessments to be within 10% of full value at least once within a five-year period. Due to the increasing value of sales in the Village, we have not been within 10% of full value since 2018 and we will not be without a revaluation. With our last revaluation being conducted in 2014 it is time for the Village to conduct another revaluation to bring our assessments into compliance. This also will ensure our assessment records are in good order.

It is important to note that with DOR requirements under sec 70.05(5), a revaluation will be needed in 2023 at the very latest. If the Village is not back into compliance after six consecutive years of non-compliance, there will be an order for a supervised revaluation. The supervised revaluation is dramatically more expensive than conducting a revaluation now and it is recommended to conduct a revaluation before the last year of non-compliance. In addition, the farther away from full value the assessments are causes, larger changes to assessed values that are often creates confusion to homeowners. See below for our assessment ratio's over the last few years:

| Year | Property Class | Municipal Assessed Value | DOR Base Value | % of DOR Base Value | Ratio (%) | Major Class Municipal Compliance Status |
|------|--------------------|--------------------------|--------------------|---------------------|--------------|---|
| 2019 | Residential | 481,099,000 | 590,307,600 | 69.01 | 81.50 | NO |
| | Commercial | 222,011,800 | 255,566,000 | 29.88 | 86.87 | NO |
| | Agricultural | 99,600 | 121,700 | 0.01 | 81.84 | |
| | Sum Of 5, 5M, 6, 7 | 490,900 | 644,100 | 0.08 | 76.21 | |
| | Personal | 7,131,300 | 8,696,800 | 1.02 | 82.00 | |
| | Total | 710,832,600 | 855,336,200 | 100.00 | 83.11 | NO |
| 2018 | Residential | 473,862,100 | 549,689,600 | 70.14 | 86.21 | NO |
| | Commercial | 208,468,600 | 225,554,900 | 28.78 | 92.42 | YES |
| | Agricultural | 70,400 | 80,300 | 0.01 | 87.67 | |
| | Sum Of 5, 5M, 6, 7 | 309,900 | 442,200 | 0.06 | 70.08 | |
| | Personal | 6,927,900 | 7,963,100 | 1.02 | 87.00 | |
| | Total | 689,638,900 | 783,730,100 | 100.00 | 87.99 | NO |
| 2017 | Residential | 465,593,900 | 495,049,600 | 72.81 | 94.05 | YES |
| | Commercial | 170,590,300 | 171,834,400 | 25.27 | 99.28 | YES |
| | Agricultural | 80,700 | 84,500 | 0.01 | 95.50 | |
| | Sum Of 5, 5M, 6, 7 | 309,900 | 464,800 | 0.07 | 66.67 | |
| | Personal | 11,821,100 | 12,509,100 | 1.84 | 94.50 | |
| | Total | 648,395,900 | 679,942,400 | 100.00 | 95.36 | YES |
| 2016 | Residential | 458,427,200 | 464,692,400 | 72.54 | 98.65 | YES |
| | Commercial | 166,467,800 | 163,439,400 | 25.51 | 101.85 | YES |
| | Agricultural | 76,500 | 76,200 | 0.01 | 100.39 | |
| | Sum Of 5, 5M, 6, 7 | 309,900 | 433,400 | 0.07 | 71.50 | |
| | Personal | 11,955,300 | 11,955,300 | 1.87 | 100.00 | |
| | Total | 637,236,700 | 640,596,700 | 100.00 | 99.48 | YES |

As was outlined above, the 2020 the overall estimated Ratio (%) is 78.91%.

Due to the uncertainty of COVID-19, staff is suggesting that the Village opts for an exterior only revaluation. This means that each property will be visited to verify exterior measurements, a new photo of the property will be taken, and updates to overall condition of the property will be provided. A door hanger will be left at each property if no contact is made and any applicable interior information can be gathered without entering the dwelling in a safe, minimal to no contact manner. With the last revaluation in 2014 being a full revaluation (all properties visited with interior inspections requested) and routine maintenance work having been performed for all remodels/new construction, it is felt that the assessment records still hold reliable and efficient interior information. Attached is the proposed contract from Associated Appraisal which also gives the costs associated to a full revaluation, exterior revaluation, and interim market update.

An effort will be made to execute a portion of this work in 2020 and then complete the revaluation in 2021. This will allow us to balance the cost of the revaluation using a combination of designated fund balance and unused funds from 2020. Further budget adjustments may be necessary in order to effectively balance this required expense.

RECOMMENDATION: Staff has reviewed and recommends approving the exterior revaluation for 2021 contract with Associated Appraisal Consultants

Assessment Proposal Summary for the Village of Little Chute

Services Performed For:
Village of Little Chute

James Fenlon
Village Administrator

**Associated Appraisal
Consultants, Inc.**

Appleton ■ Hurley ■ Lake Geneva



Fee Schedule

The figures below are based on 5 years of professional assessment services. Optional add-on assessment services for a revaluation would be in addition to the price of annual maintenance.

| Contract Proposal | 2021 Assessment Year | 2022 Assessment Year | 2023 Assessment Year | 2024 Assessment Year | 2025 Assessment Year |
|-------------------------------------|---|----------------------------|----------------------------|----------------------------|----------------------------|
| MAINTENANCE | \$23,900 | \$24,100 | \$24,300 | \$24,500 | \$24,700 |
| OPTIONAL ADD-ON ASSESTMENT SERVICES | | | | | |
| INTERIM MARKET UPDATE | +\$50,000 (for each IMU assessment year) | | | | |
| EXTERIOR REVALUATION | +\$90,000 (for each revaluation assessment year) | | | | |
| FULL REVALUATION | +\$120,000 (for each revaluation assessment year) | | | | |

Out-of-Pocket Expenses / Invoice Procedures

MAINTENANCE: The compensation due the Assessor shall continue to be paid in monthly or quarterly installments throughout the 2021, 2022, 2023, 2024 and 2025 assessment year(s). The maintenance contract will continue to have separate charges for personal property, and mobile home accounts.

REVALUATION: Payment shall be made on a monthly basis for services and expenses incurred during a Revaluation year. Monthly invoices shall reflect the percentage of work completed, less 5 percent retained by the Municipality until completion of the revaluation and final adjournment of the Board of Review.

- The 2020 assessment year will be the 3rd year out of compliance in accordance with sec. 70.05(5), Wis. Stats. The Village will be required to conduct a revaluation prior to or during the 2023 assessment year at the latest to avoid a state ordered reassessment for the 2024 assessment year which will cost 2-3 times the amounts provided above due to WIDOR oversight etc.
- Municipality will be responsible for all postage costs during the revaluation year and are estimated to cost \$3,000 - \$5,500 +/- depending on revaluation chosen and how many assessment notices and general correspondence letters are mailed.
- For budgeting purposes if the Village were to conduct one of the revaluation options for the 2021 assessment year the estimated total cost would be as follows:

| | | | | |
|-------------|----------------------|-------------------|--------------|-----------------|
| Maintenance | IMU Revaluation | Personal Property | Postage | Total |
| \$23,900 | +\$50,000 | +\$2,500 +/- | +\$3,000 +/- | = \$79,400 +/- |
| Maintenance | Exterior Revaluation | Personal Property | Postage | Total |
| \$23,900 | +\$90,000 | +\$2,500 +/- | +\$5,500 +/- | = \$121,900 +/- |
| Maintenance | Full Revaluation | Personal Property | Postage | Total |
| \$23,900 | +\$120,000 | +\$2,500 +/- | +\$5,500 +/- | = \$151,900 +/- |

- Options to spread a portion of a revaluation cost over two years is available upon request.

Utility Commission Meeting

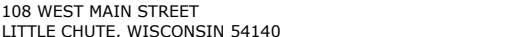
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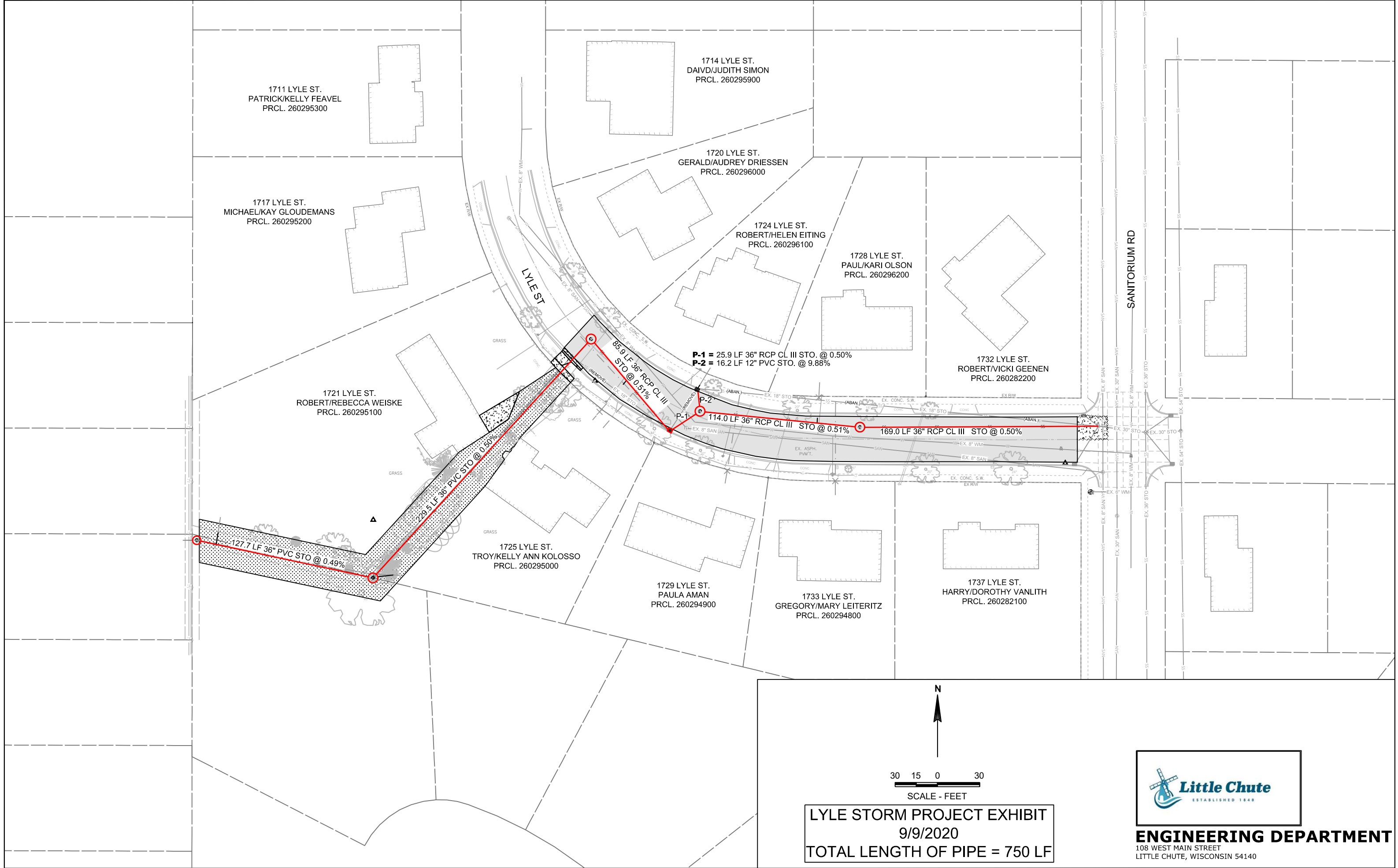
Utility Project Description

Downtown Storm Sewer Extension – This project was driven to provide water quality and storm water detention for the Cobblestone Hotel development but will also provide these same benefits for the Civic Center/Library, neighboring residential homes, public streets and Village Hall. Ultimately, the new storm sewer will extend to the intersection of Main Street and Madison Street to improve drainage for an existing restriction at this intersection.

Lyle Street Storm Sewer – Storm water drainage from Carol Lynn Drive discharges to a rear yard storm sewer that reduces from a 27-inch diameter pipe to an 18-inch diameter pipe. The rear yard pipe and the storm sewer in Lyle Street do not have the capacity to pass flows for the 10-year storm event and ultimately has backup issues for the residential homes adjacent to this storm pipe. The pipe size that is required is a 36-inch pipe using the available slope. The 30-inch pipe in Sanitorium Road has a steeper slope and therefore, can provide the necessary pipe capacity. Plans have been prepared and will be submitted for bid as an alternate to the Downtown Storm Sewer Extension to serve the Cobblestone Hotel. If the project cost is favorable, it is the recommendation of engineering staff to proceed with this work at the same time as the Downtown Storm Sewer project.

Ebben Storm Sewer and Pedestrian Trail – This project is being driven by development to provide a lower elevation to discharge the 2-year storm event. This will not eliminate the site improvements from discharging storm water to the navigable waterway but will allow for greater vertical storm water storage within the development site. Ultimately this storm sewer will extend to French Pond and allow the outflow from this basin to discharge by gravity without the need of a pumping system. The easement that will contain the storm sewer will also provide a pedestrian trail that will also allow maintenance vehicles to provide access to the storm sewer for cleaning purposes.





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| | | | |
|---------------------------------|--|--------------|--|
| DESIGNED ### | | DRAWN ### | |
| PROJECT NO. L0001-9-18-00487 | | | |
| DATE SEPT, 2020 | | | |
| SHEET NO. FIG. 1 | | | |

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|-----|------|----------|
| NO. | DATE | REVISION |
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McMAHON
ENGINEERING ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

This aerial map illustrates a proposed 85-foot trail and storm sewer easement project. The trail, shown as a dashed line, runs diagonally from the bottom left towards the top right. It crosses four wetland areas, labeled WETLAND CROSSING 1 through 4, with total disturbance areas of 350 SF, 4,410 SF, 820 SF, and 1,460 SF respectively. The trail also crosses an intermittent stream, UNNAMED APPLE CREEK TRIBUTARY, and an existing wetland boundary. The project includes 10' gravel trail sections and 54" RCP (Reinforced Concrete Pipe) sections. Storm manholes are labeled STO MH E through STO MH M. The map also shows existing 50' drainage and trail easements to be measured from the ordinary high water mark of the intermittent stream. The project is located near VANDENBROEK RD, EVERGREEN DRIVE, and FREEDOM RD (CTH N). A scale bar and north arrow are provided in the top left corner.

WETLAND CROSSING 1
TOTAL DISTURBANCE= 350 SF

WETLAND CROSSING 2
TOTAL DISTURBANCE= 4,410 SF

WETLAND CROSSING 3
TOTAL DISTURBANCE= 820 SF

WETLAND CROSSING 4
TOTAL DISTURBANCE= 1,460 SF

STO MH E

STO MH F

STO MH G

STO MH H

STO MH I

STO MH J

STO MH K

STO MH L

STO MH M

54" RCP

10' GRAVEL TRAIL

UNNAMED APPLE CREEK TRIBUTARY

EXISTING WETLAND BOUNDARY

EXISTING 50' DRAINAGE AND TRAIL EASEMENT TO BE MEASURED FROM THE ORDINARY HIGH WATER MARK ON EACH SIDE OF THE INTERMITTENT STREAM PER CSM #7620

PROPOSED 85' TRAIL AND STORM SEWER EASEMENT TO BE MEASURED FROM THE ORDINARY HIGH WATER MARK

KAREN DR

EVERGREEN DRIVE

FREEDOM RD (CTH N)

VANDENBROEK RD

NORTH

SCALE - FEET

100 50 0 100

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EBBEN TRAIL & STORM SEWER
VILLAGE OF LITTLE CHUTE, OUTAGAMIE CO, WI
TRAIL & STORM SEWER ALIGNMENT - WEST OF CTH N

| | |
|---------------------------------|--------------|
| DESIGNED ### | DRAWN ### |
| PROJECT NO. L0001-9-18-00487 | |
| DATE SEPT, 2020 | |
| SHEET NO. FIG. 2 | |

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Fee increase for Real Estate Inquires

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/3/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

When a property is to be sold or refinanced often there is a real estate inquiry to gather basic property information. This process requires different departments to look into records for each property such as: Assessment information, Zoning, Special assessments, unpaid utility bills, any outstanding orders, flood plain information, etc. This can take some time for each property primarily when there is a “rush” and this form is requested to be filled out in 4 hours. Currently our fees are \$25 for a non-rush (min of 5 working days) and \$35 for a rush to be completed in 4 hours. From looking into other communities’ fees for this service it appears our fees, last updated in 2009, need to be adjusted to accommodate the staff time that is allocated to this effort.

| Real Estate Inquiries Costs | Non-rush | Rush |
|------------------------------------|-------------------------------|---------------------------------|
| Appleton | \$38 - 4 Working Days | \$58 - 4 Hours |
| Combined Locks | \$35 - 5 Working Days | N/A |
| Grand Chute | \$30 - 4 or More Working Days | \$60 - Less Than 4 Working Days |
| Green Bay | \$30 - 5 Working Days | \$50 - 1 Working Day |
| Kaukauna | \$25 - 5 Working Days | N/A |
| Kimberly | \$25 - 5 Working Days | \$35 - 1 Working Day |
| Neenah | \$30 - 2 to 4 Working Days | \$50 - 1 Working Day |
| Menasha | \$30 - 5 Working Days | \$50 - 1 Working Day |

From this the main concern is in the Rush aspect. Our current 4 hour turn around for Rushes is low and these are typically the ones that are more difficult and time consuming from a staff effort to accomplish.

RECOMMENDATION: Staff recommends increasing our Non-rush fee to \$30 for up to 5 working days and increase the Rush fee to \$50 in 1 working day.

TRAIL VIEW SOUTH DEVELOPMENT AGREEMENT

THIS AGREEMENT, made by and between the **City of Appleton** by its City Council, a body politic and municipal corporation with a mailing address of 100 North Appleton Street, Appleton, WI 54911 ("City"), the **Village of Little Chute** by its Village Board, a body politic and municipal corporation with a mailing address of 108 W. Main Street, Little Chute, WI 54140 ("Village") and **Emerald Valley Estates, LLC**, a corporation with a business address of 2100 N. Freedom Road #A, Little Chute, WI 54140, the owner and developer ("Developer") of property lying within the City of Appleton:

WHEREAS, Section 17-3 of the Appleton Municipal Code and Section 42-6 of the Little Chute Municipal Code provide for the installation of required improvements in new subdivisions; and

WHEREAS, the Developer has proposed to develop the Trail View South residential subdivision on property within the corporate limits of the City ("Proposed Development"), described in **Exhibit 1** (Legal Description provided by Developer) attached hereto; and

WHEREAS, the Final Plat of the Trail View South Subdivision, shown in **Exhibit 2** (provided by Developer) attached hereto, has been conditionally approved by the City and Village; and

WHEREAS, a series of meetings and negotiations have taken place between the City, the Village and the Developer to determine various development and financial responsibilities as between the City, the Village and the Developer for on-site and off-site public improvements and fees in connection with the Proposed Development; and

WHEREAS, the City, the Village and the Developer, for their mutual benefit, have mutually agreed as to development and financial responsibilities for public improvements and fees in connection with the Proposed Development;

NOW THEREFORE, it is mutually agreed as follows:

1. The Developer shall be responsible for the installation of the following in the Proposed Development, to the standards set forth by the City and the Village, pursuant to paragraph 4 below:
 - a. Sanitary sewer mains, manholes and laterals
 - b. Water mains, valves, hydrants, hydrant leads, fittings, and services
 - c. Storm sewer mains, manholes, catch basins, inlet leads, overland flow paths, yard drains and associated piping and laterals
 - d. Street excavation and graveling, terrace seeding, lot filling, grading and seeding and all associated construction site erosion control measures, with fill to consist of clay fill in the streets. Once the streets are accepted by the City, no additional repairs are required by the Developer to such streets after a three-month period
 - e. Street Lights
 - f. All other infrastructure required for the developments not specifically set forth in this agreement

2. The Developer shall provide the City and Village an estimate for items 1a – 1f prior to the installation of the items for the development.

3. The Developer shall provide fully executed and signed *Waivers of Special Assessment Notices and Hearing* (shown in **Exhibit 3**) for the development, acknowledging consent to pay Special Assessments levied by the City for the following items to be furnished and/or installed by the City or Village:

- a. Televising of sanitary and storm sewer lines
- b. Street name Signs
- c. Traffic Control Signs
- d. Concrete Pavement abutting lots owned by the Developer at the time of concrete paving
- e. Sidewalks installed on lots owned by the Developer at the time of concrete paving

Estimates of up-front City and Village costs and associated special assessments to be paid by the Developer for items 3a – 3e for the development are attached hereto as **Exhibit 4**. The actual final costs for items 3a-3e will be used as the basis for the special assessments billed to the Developer.

4. Any concrete street and sidewalk assessments for Cherryvale Drive on the east side of the street would be limited to the 335' as listed in Exhibit 6.

5. The Developer shall provide the City and Village with copies of all final costs, invoices, labor costs, the contract documents and specifications, design documentation, all contract administration supporting documentation, an itemized list of all expenses for the installation of sanitary sewer, storm sewer, water main, street excavation and graveling and street lights for the Proposed Development. Said information provided by Developer shall be provided within 60 days of installation and shall meet City's and Village's Infrastructure Adjustment Form requirements. The Developer's design engineer shall perform the construction staking and the City and Village shall inspect the same.

6. The Developer's contractor shall perform the testing of the water main, sanitary sewer, storm sewer and compaction of fill material placed in future roadway areas in the Proposed Development under the supervision of City and Village inspectors.

7. The Developer shall provide lien waivers to the City and Village from prime contractor, subcontractors, suppliers and consultants within 60 days of the installation of the items in paragraph 1.

8. The Developer agrees to convey by deed, dedication, or other appropriate means, to the City and/or Village all the streets, roads, courts, avenues, drives, public ways, sanitary sewer, storm sewer, water main, and storm water facilities in the Proposed Development. Developer further agrees to convey any public access ways by dedication or easement to the City. All public improvements contemplated in the final plat shall be constructed within areas to be dedicated to the City either by deed, dedication or easement as contemplated in the Proposed Development and this agreement.

9. The City and Village agree to accept the dedication of all the Public Improvements in the Proposed Development, whether by deed, dedication or easement subject to the City's and Village's Acceptance of the Public Improvements in accordance with and subject to the terms of the City's Subdivision Ordinance.

10. The Developer shall repair or replace, as directed by the City or Village and to the City's or Village's satisfaction, at its own cost, any damage caused to City or Village property by the installation of the improvements in the Proposed Development. Repairs shall be completed within six (6) months of notification from the City or Village to the Developer of the need to repair or replace such damage.
11. The Developer shall pay the cost of all items listed under Paragraph 1 above. Concrete Paving and sidewalks will be assessed to the abutting property owners and the Developer will be assessed for only the cost of those lots owned by the Developer. Concrete streets shall be installed only after 75% of the lots in the Proposed Development have been issued building permits or after a 7-year period from the date of official street opening, whichever comes first.
12. The schedule for the Proposed Development shall be as follows:
 - a. Infrastructure installation may commence after City and Village approval of the Final Plat, Drainage Plan, Established Grades, Storm Water Management Plan, Construction Plans, Construction Specifications and procurement of all necessary City and Regulatory Agency permits.
 - b. Building permits may be issued upon City and Village approval and acceptance of all infrastructure. Streets must be officially opened to the public by the City Engineer prior to the issuance of building permits.
13. The developer shall pay any required parkland fees pursuant to Chapter 17 of the Appleton Municipal Code, not to exceed \$300 per lot.
14. Individual lot owners will be responsible for payment of applicable assessments for existing City/Village regional stormwater facilities at the time of building permit issuance.
15. Individual lot owners will be responsible for payment of applicable Heart of The Valley Metropolitan Sewerage District utility connection fees to the Village in conjunction with the installation of water meters for each home.
16. The Developer shall provide on the Final Plat a 16-foot wide outlot between lots 91 and 110 connecting Golden Gate Drive and the existing Apple Creek Trail to accommodate pedestrian access to the public trail. The City will be responsible for all costs to construct and maintain this trail access corridor.
17. The 140,000 special assessment identified in Exhibit 5 has been fully met with no outstanding obligations for these connection fees.
18. The City agrees to waive all Administrative Fees and all costs related to the installation of Temporary Asphalt Pavement.
19. The City agrees to waive the \$48,000 paid to Little Chute for Lots 5 and 6 in the Crosswinds Plat in order to provide access to the Trail View South Development, and such land will be dedicated as street right-of-way within the Village of Little Chute at no cost to the Developer.

20. The City and Village represent that this Agreement and the terms and conditions contained herein are consistent with adopted ordinances and resolutions on the subject matter.

21. The Developer shall pay the entire cost associated with installation of underground gas, electric, telephone and cable TV utilities and streetlights in the Proposed Development. The City shall review the proposed locations and have approval authority over any utilities proposed within the public right-of-way, prior to installation. The City standard for streetlights is wooden poles. The street lighting plan shall be designed by We Energies and approved by the City. The City shall pay We Energies the monthly electrical charge for street lighting. If the Developer desires decorative streetlights, then the Developer shall be responsible for all costs associated with the decorative streetlights, above the standard wood pole equivalent costs. The Developer shall be responsible for requesting said decorative lights from WE Energies. The Developer must also sign a Waiver of Special Assessments document for the annual assessments associated with decorative lighting.

22. Annual Tax Guarantee

- a. The City agrees to uniformly apply tax assessment procedures and practices with respect to the property and the Development in accordance with state law regarding property tax assessments. Notwithstanding the foregoing, Developer shall pay to the City the minimum real estate tax payment for the years and in accordance with the formula as set forth below. It is the intent of this provision that the Developers Minimum Real Estate Tax Payment shall be in such an amount as will fully amortize the City's \$374,725 contribution to the project over a 12-year period commencing with tax payments made in 2028, for the tax year 2027, and ending with the year 2039, for tax year 2038. The guaranteed value, for the purposes of this Agreement, is to be \$4,030,000.
- b. The Minimum Real Estate Tax Payment shall be paid in the following manner: Commencing with the 2028 calendar year (for the tax year 2027) and for each calendar year thereafter to 2039, the Developer shall pay to the City the deficit, if any, between the amount of property taxes generated by the development and the amount of property taxes generated based on a \$4,030,000 assessed value (Minimum Real Estate Payment). If the amount of the actual real estate tax payments exceeds the Minimum Real Estate Tax Payment, no additional payment shall be due from Developer.
- c. By August 15, starting with calendar year 2028, the City shall provide Developer with: (1) an itemization of the actual real estate tax payments received from the Development, and (2) a calculation in the amount, if any, by which the Minimum Real Estate Tax payment for the Development for such calendar year exceeds the actual real estate tax payment allocable to the Development for the preceding calendar year. If for any given calendar year the Minimum Real Estate tax Payment exceeds the actual real estate tax payment, developer shall pay the amount of such excess to the City. If the amount of the actual real estate tax payment exceeds the Minimum Real Estate Tax Payment, no additional payment shall be due from Developer.

23. The City and Village represent and warrant to Developer that they have the power, authority and legal right to enter into all of the transactions and to perform all of the covenants and obligations required to be entered into or performed by the City and Village under this Agreement.

- a. The City and Village represent and warrant to Developer that they are empowered and authorized to execute and deliver this Agreement and other agreements and documents, if any, required hereunder to be executed and delivered by the City or Village. This Agreement has been, and each such document at the time it is executed and delivered, will be duly executed and delivered on behalf of the City and Village.
- b. When executed and delivered to Developer, all such agreements shall constitute a legal, valid and binding obligation of the City and Village, enforceable in accordance with their terms.

24. The Developer represents and warrants to the City and Village that Developer is a Limited Liability Company, duly organized and existing under the laws of the State of Wisconsin, and that all proceedings of Developer necessary to authorize the negotiation and execution of this Agreement and the consummation of the transaction contemplated by this Agreement have been taken in accordance with applicable law.

25. The Developer represents and warrants to the City and Village that the execution and delivery of this Agreement, the consummation of the transactions contemplated in this Agreement and the execution and delivery of the documents required to be executed, delivered or acknowledged by Developer at the closing will not violate any provision of Developer's operating agreement or any applicable statute, rule, regulation, judgment, order or decree of the State of Wisconsin or a court having jurisdiction over Developer or its property.

26. The Agreement shall be effective as of the date of execution thereof and remain in effect until the earliest of: (a) the Developer notifies the City and Village that the Proposed Development has been terminated, (b) upon the mutual agreement of the Parties to terminate the Agreement, or (c) if one (1) year after the date of execution the Developer not take any further action on the Proposed Development.

27. This Agreement, along with ***Exhibits 1 through 4*** sets forth the entire understanding of the parties relative to its subject matter and supersedes and merges any and all prior communications, negotiations and agreements, oral or written, except for the Land Dedication Agreement for Cherryvale Avenue (***Exhibit 5***) and Council approved incentive dated 4-1-2018 (***Exhibit 6***).

28. It is understood and agreed that the provisions of this Agreement shall be deemed severable and the invalidity or unenforceability of any one or more of the provisions contained herein shall not affect the validity and enforceability of the other provisions contained herein.

29. This Agreement may not be modified or amended, except when placed in writing, with the written consent of the City, the Village and the Developer.

[SIGNATURE PAGE TO FOLLOW]

Emerald Valley Estates, LLC

By: Robert DeBruin

By: _____

Printed Name: Robert De Bruin

Printed Name: _____

Title: Member

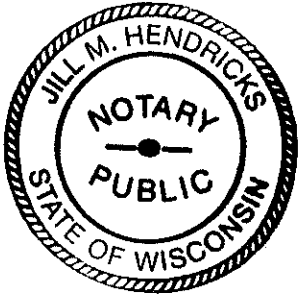
Title: _____

STATE OF WISCONSIN)

OUTAGAMIE COUNTY)

: ss.

Personally came before me on this 17 day of August, 2020, the above-named persons, Robert A DeBruin and _____, to me known to be the persons who executed the foregoing instrument and acknowledge the same.



Jill M. Hendricks
Notary Public, State of Wisconsin
My commission ~~is~~ expires: 10/19/2023

CITY OF APPLETON

By: _____
Jake Woodford, Mayor

By: _____
Kami Lynch, City Clerk

STATE OF WISCONSIN)
 : ss.
OUTAGAMIE COUNTY)

Personally came before me on this _____ day of _____, 2020, the above-named Jake Woodford and Kami Lunch, to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Notary Public, State of Wisconsin
My commission is/expires: _____

Provision has been made to pay the liability
that will accrue under this contract.

Approved as to Form:

Tony Saucerman, Director of Finance

Christopher Behrens, City Attorney

VILLAGE OF LITTLE CHUTE

By: _____
James Fenlon, Village Administrator

By: _____
Laurie Decker, Village Clerk

STATE OF WISCONSIN)
 : ss.
OUTAGAMIE COUNTY)

Personally came before me on this _____ day of _____, 2020, the above-named James Fenlon and Laurie Decker, to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Notary Public, State of Wisconsin
My commission is/expires: _____

Provision has been made to pay the liability
that will accrue under this contract.

Approved as to Form:

Lisa Remiker-Dewall, Finance Director

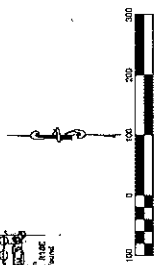
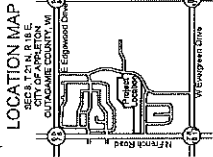
Village Attorney

This instrument was drafted by:
Christopher Behrens, Appleton City Attorney

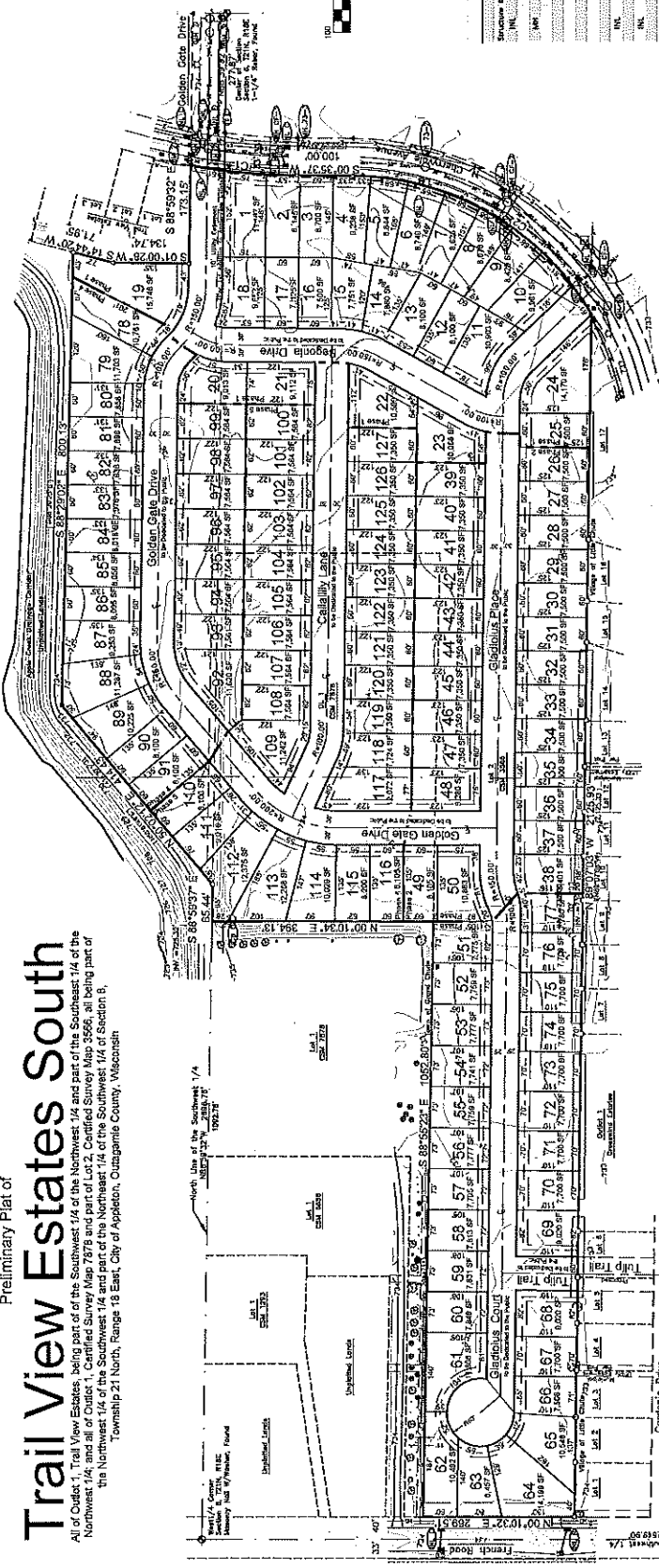
Preliminary Plat of

Trail View Estates South

All of Outlot 1, Trail View Estates, being part of the Southwest 1/4 of the Northwest 1/4 and part of the Southeast 1/4 of the Northwest 1/4, and all of Outlot 1, Certified Survey Map 7879 and part of Lot 2, Certified Survey Map 3566, all being part of the Northwest 1/4 of the Southwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4 of Section 8, Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin



Boundaries are indicated by the Solid line of the
Northwest 1/4, Section 8, T21N, R18E,
bearing N89°22'27\"





Little Chute

E S T A B L I S H E D 1 8 4 8

Funding Street Reconstruction
September 16th 2020

Introduction

This presentation is meant as a basic overview of how the Village of Little Chute funds street reconstruction. This effort is meant to ensure all stakeholders have a basic understanding of the moving parts, options/alternatives, and how these facets impact the overall financial picture for the Village of Little Chute.

DISCLAIMER – the Village of Little Chute **MUST** not get too far away from 1 mile of reconstruction per year. This is essentially putting off the costs now only to have future generations and future costs grow. It also will vastly impact utility operations.

Presentation Outline

- Defining Reconstruction
- Current Street Assessment Overview
- Overview of Recent Efforts
- Alternative Methods and Analysis
- Recommended Next Steps
- Conclusion

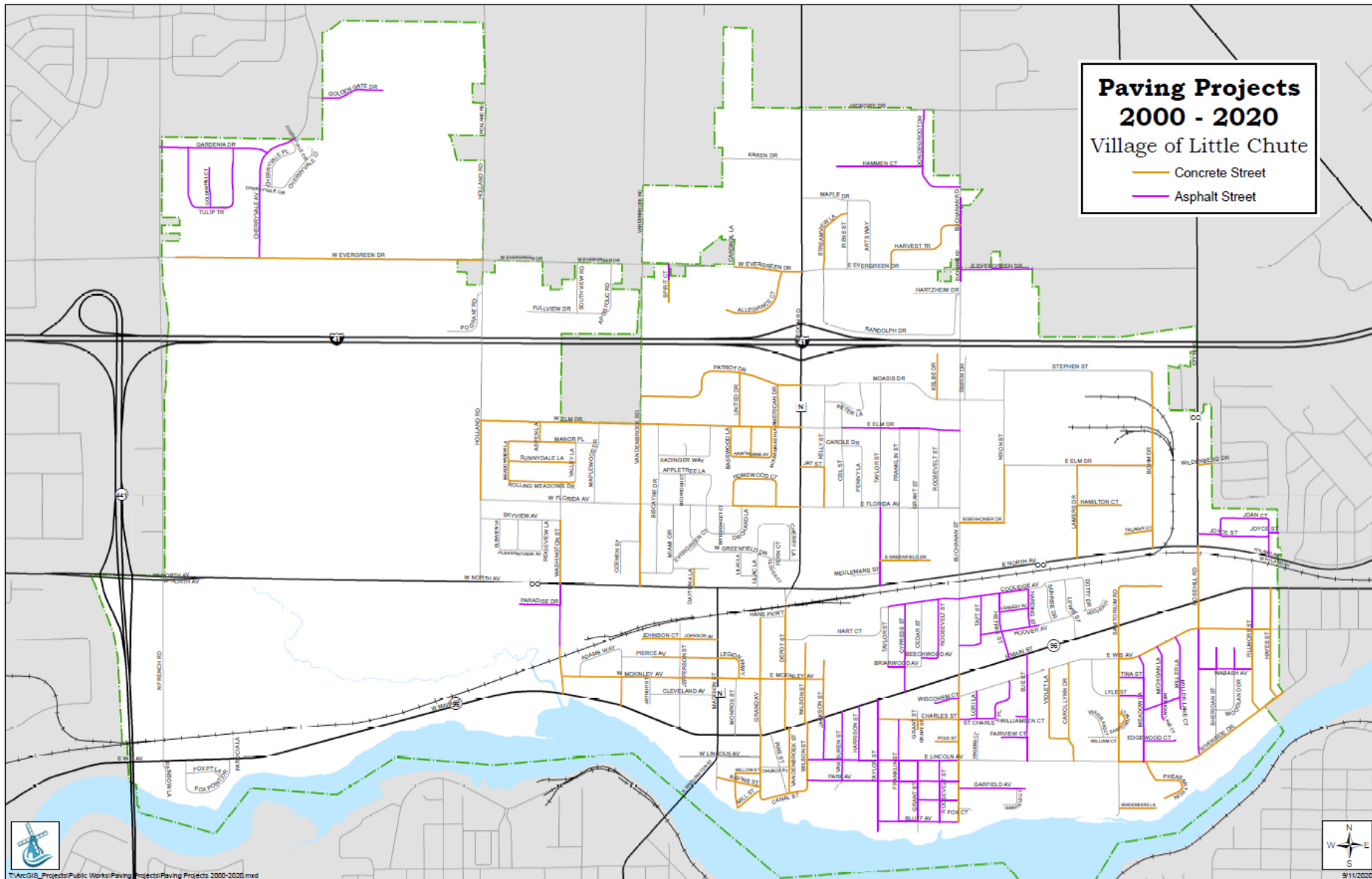
What is Reconstruction?

- Reconstruction is the complete overhaul of a village roadway. This would exclude new subdivisions (Gardenia, Tulip, Hammen, DeGroot), annexed roadways (Evergreen Drive), or new right of way construction (Hartzheim Drive)
- Reconstruction typically also includes reconstruction of underground utilities (Storm, Sewer, Water)
- Reconstruction also typically contains new curb and gutter, sidewalks, aprons, and full concrete street
- Asphalt overlays and spot repair, like the 2019 Park Avenue project, are not considered reconstruction

Current Street Assessment Information

- According to the DOT, we have ~55 miles of centerline road
- Paving costs are general fund responsibility, while the utilities are responsible for their respective main costs
- If we presume that the finished product is a concrete street, we should be reconstructing approximately 1 mile of centerline road per year to stay consistent with the life cycle of concrete
- Using very basic estimates, 1 mile of paving would cost approximately \$1.5M (excluding utilities)
- Using the policy goal of assessing 60/40, that means that we are assessing approximately \$900k annually and the village is funding \$600k

2000 – 2020 Paving History



Current Assessment Policy

- The current assessment policy calls for a road diet consisting of two drive lanes and one parking lane unless dictated otherwise
- Resident cost (one parking): \$95.10
- Commercial cost (one parking): \$121.11
- For new construction, we recommend staying with current policy as other communities have done

Pros and Cons of the Current Policy

| Pros | Cons |
|--|--|
| Steady and consistent funding source | Cost control is difficult (inflation) which means higher portions end up on the levy |
| Assessment directly benefits property | Residents, understandably, do not like being assessed |
| Assess non-taxable properties (County/School/Nonprofit) | Administratively burdensome for staff |
| We assess for utilities, so assessing for street is an efficient process | |

Alternatives to Current Policy

- Lower Assessment Ratio and move more to levy supported efforts
- Create a transportation utility
- Shift assessments completely to the levy
- Combination of the above options

Pros and Cons of Lowering Ratio and Shifting Costs to Levy

| Pros | Cons |
|---|--|
| Residents being assessed would see relief | Residents being assessed, even if halved, would still not like the process |
| Could use outside sources like wheel tax to support and reduce assessment ration/per foot cost | Continued administrative burden for staff |
| Could use outside sources like sales tax to support (cannot be used to lower assessments but can be used to lower levy support) | Levy pressure and limits outside of our control |
| | Wheel tax addresses vehicle use but not generation (commercial carriers) |

Pros and Cons of Transportation Utility Fee

| Pros | Cons |
|---|---|
| Equitable in the big picture | Administratively burdensome to create and maintain (multi-tenants, updates, vacancies, no vehicles, etc.) |
| All users pay their “fair share”, including non-taxable properties | Must ensure it does not hamper business |
| Can be a mix of utility and levy support | Those that have been assessed in the past would have to be addressed |
| If starting from scratch, this would be policy recommendation | Still must address utility costs one way or another |
| Annual construction meetings/hearings would be more focused on the best allocation of resources | Must be done appropriately to avoid legal challenge – becoming a target in some circles |

Reconstruction Costs all Levy Supported

| Pros | Cons |
|---|---|
| Equitable in the big picture | Nontaxable properties would not contribute |
| Annual construction meetings/hearings would be more focused on the best allocation of resources | Levy pressure and lack of local control |
| Little to no administrative burden | Those that have been assessed in the past would have to be addressed |
| | Still must address utility costs one way or another |
| | Mill rate would be higher to accommodate and is a metric many use to assess performance |

Combination of all of the Above

- There is nothing to say that we can't create a multi-featured policy to fund this effort
- Far and away, this discussion is one that all communities grapple with
- Stakeholders and demands on the issue are multifaceted
- This would take a careful, scalpel like approach to arriving at something that addresses all issues/stakeholders
- Could use external sources like sales tax or wheel tax to supplement
- Some communities assign a percentage of street reconstruction to each utility below the road (Kimberly)

Next Steps

- This is not an issue that can be addressed overnight
- Citizen input and outreach is mandatory for success
- Create a taskforce/subcommittee - Gather the SMEs, Board, and interested stakeholders and study the options in depth
- Engage the community
- Roll out new policy, if deemed necessary

Projected Timeline

- Identify Taskforce members – October 2021
- Taskforce identifies goals/issues and ideal state – December 2021
- Taskforce narrows options – January 2021
- Taskforce studies alternatives in depth along with “what-if” analysis – March 2021
- Taskforce engages board/public – May 2021
- Taskforce makes a recommendation – June 2021
- Board acts – July 2021

Conclusion

- Largest asset for government funds (~50%) - Outside of annual operations/services, the maintenance of roads/utilities is our core responsibility
- We must maintain an adequate level of effort
- We should strive for consistency in our approach
- We must accept that annual costs will continue to increase – plan for it
- Given the CIP, this is the ideal timeframe to make changes (if warranted) and have in place by 2022 or the latest by 2023