



AGENDA

REGULAR BOARD MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, September 16, 2020
TIME: 6:00 p.m.

Virtually attend the September 16th Regular Board meeting at 6 PM by following the link here:

- <https://www.gotomeet.me/JamesFenlon/september-16th-regular-board-meeting>
Call-in Information: ++1 (408) 650-3123 Access Code: 860-050-253

For further details please refer to additional Information immediately following agenda.

REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Roll call of Trustees
- C. Roll call of Officers and Department Heads
- D. Public Appearance for Items Not on the Agenda

- E. Consent Agenda
Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.
 - 1. Minutes of the Regular Board of September 2, 2020
 - 2. Disbursement List
 - 3. Adopt Resolution No. 35, Series of 2020 Approving CSM 421 & 423 Hammen Ct
 - 4. Adopt Resolution No. 36, Series of 2020 Approving CSM 3100 Spirit Ct

- F. Other Informational Items—August Fire Monthly Report and August Monthly Report

- G. Public Hearing—Amending Zoning Code Section 44-46(D)

- H. Action— Adopt Ordinance No. 7, Series of 2020 Amending Zoning Code Section 44-46(D)

- I. Public Hearing—Conditional Use 1215 Buchanan

- J. Action—Conditional Use 1215 Buchanan
- K. Discussion/Action—Development Agreement with Nestle
- L. Discussion/Action— Nestle Site Improvements
- M. Discussion/Action—Hickory Drive Public Improvements
- N. Discussion/Action—Contractor for Hickory Drive Improvements
- O. Discussion/Action—DG Storage
- P. Discussion/Action—St. Johns Parking Lot
- Q. Discussion—Overview of Pine Street Parking Alternatives
- R. Discussion/Action—Ballfield Banner Spending Authority
- S. Discussion/Action—2020 Heesakker Park Deer Culling
- T. Discussion/Action Item—Revaluation Contract for 2021
- U. Discussion—Overview of Downtown Storm Sewer Project
- V. Discussion—Overview of Ebben Pond Storm Water
- W. Discussion/Action—Real Estate Inquiry Fees
- X. Discussion/Action—Trailview South Development Agreement
- Y. Presentation—Funding Street Reconstruction
- Z. Discussion—Covid-19 Updates
- AA. Department and Officers Progress Reports
- BB. Call for Unfinished Business
- CC. Items for Future Agenda
- DD. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, [email: Laurie@littlechutewi.org](mailto:Laurie@littlechutewi.org) Prepared: September 11, 2020



Information for the Regular Board Meeting – September 16th, 2020 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the September 16th Regular Board Meeting at 6:00 PM by following the link here: <https://www.gotomeet.me/JamesFenlon/september-16th-regular-board-meeting>
2. Call-in Information: United States: [+1 \(408\) 650-3123](tel:+14086503123) **Access Code:** 860-050-253
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE REGULAR BOARD MEETING OF SEPTEMBER 2, 2020

Call to Order: President Vanden Berg called the Regular Board Meeting to Order at 6:00 p.m.

Roll call of Trustees

PRESENT: Michael Vanden Berg, President
Brian Van Lankveldt, Trustee
Don Van Deurzen, Trustee
Larry Van Lankvelt, Trustee
Skip Smith, Trustee
Bill Peerenboom, Trustee
James Hietpas, Trustee

Roll call of Officers and Department Heads

PRESENT: James Fenlon, Village Administrator
Dave Kittel, Community Development Director
Lisa Remiker-DeWall, Finance Director
Tyler Claringbole, Village Attorney
Adam Breest, Director of Parks, Recreation and Forestry
Steve Thiry, Library Director
Kent Taylor, Director of Public Works

EXCUSED: Laurie Decker, Village Clerk
Chris Murawski, Village Engineer
Dan Meister, Fox Valley Metro Police Chief

Public Appearance for Items Not on the Agenda

None

Consent Agenda

Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.

1. Minutes of the Committee of the Whole Meeting of August 26, 2020
2. Disbursement List
3. Outdoor Alcohol Permit for Down The Hill

Moved by Trustee B. Van Lankveldt, seconded by Trustee Smith to Approve the Consent Agenda as presented

Ayes 7, Nays 0 – Motion Carried

Public Hearing—Pine Street Vacation

Moved by Trustee Smith, seconded by Trustee B. Van Lankveldt to enter into Public Hearing

Ayes 7, Nays 0 – Motion Carried

Director Kittel went over the vacation details of Pine Street as listed in the agenda packet and was available for questions or comments.

Moved by Trustee Smith, seconded by Trustee Van Deurzen to exit Public Hearing

Ayes 7, Nays 0 – Motion Carried

Presentation—Hickory Drive Construction

Administrator Fenlon introduced Mr. Nick Vande Hey from Mc Mahon Associates and Mr. Paul Diabartolo the Plant Manager from Nestle USA to explain the construction on Hickory Drive. Trustee Peerenboom questioned the development on the southside due to noise, the guard gate area width and trucks being able to park overnight. Mr. Diabartolo stated that trucks parking overnight will not be allowed and does not feel additional noise will be a problem. Also, to expand the guard gate you would need to add an additional guard shack which could happen in the future.

Action—Adopt Resolution No. 35, Series 2020 Vacating a portion of Pine Street and Church Street

Moved by Trustee Peerenboom, seconded by Trustee B. Van Lankveldt to Adopt Resolution No. 35, Series 2020, Vacating a portion of Pine Street and Church Street and dispersing property as presented

Ayes 7, Nays 0 – Motion Carried

Update—Pierce/Johnson Street Parking

Director Taylor updated the Board that staff brought out a fire truck with parked cars on both sides of the street and felt there is not enough room to safely have access for emergency vehicle or snowplows. The staff is recommending no parking on one side of the street from December 1st to April 1st.

Discussion—Ordinance Amendment to Zoning Code Article II Zoning Districts Section 44-46(d)

Director Kittel advised the board that staff is recommending an amendment to the above zoning ordinance to add special exceptions in the residential district o allow certain professional businesses in a residential area. Trustee Smith requested this amendment would only allow one business in at a time and Director Kittel advised that anyone that is allowed cannot be selling anything and would still have to apply for a conditional use permit from the Village.

Action—Wisconsin Economic Development Corporation Contract Renewal for 2020-2021

Administrator Fenlon presented the Board with the renewal information for WEDC Connect.

Moved by Trustee Smith, seconded by Trustee Van Deurzen to Approve the WEDC Contract Renewal for 2020-2021.

Ayes 7, Nays 0 – Motion Carried

Discussion/Action—Temporary Personnel Manual Change (Compensatory Time)

Administrator Fenlon presented the current policy 503 Limited Adjustment to compensatory time and is requesting an adjustment for the 2020 calendar year. The maximum requested would be extended to 80 hours from the current 40 hour maximum.

Moved by Trustee B. Van Lankveldt, seconded by Trustee Peerenboom to make a temporary change to the Personnel manual for compensatory time for the remainder of the 2020 year.

Ayes 7, Nays 0 – Motion Carried

Discussion Item—2020 Deer Culling

Director Breest presented the dates for deer culling which will be at Heesakker Park only due to construction. Trustee Smith asked if this would be affected by the construction workers and Director Breest advised it will not be a factor. Trustee Van Deurzen asked if it was possible to have designated spots for hunters and Director Breest advised that this would be possible if the Board makes that decision.

Discussion/Action—CARES Act Funding – Touchless Faucet/Plumbing Upgrades

Administrator Fenlon advised the board on the cost to the Village Hall upgrades related to Covid-19 and put it as not to exceed \$25,000. And apply for reimbursement through the CARES Act.

Moved by Trustee Peerenboom, seconded by Trustee B. Van Lankveldt to Approve the Village Hall upgrades as requested not to exceed \$25,000.

Roll Call Vote

Trustee Smith	Aye
Trustee Van Deurzen	Aye
Trustee L. Van Lankvelt	Nay
Trustee Hietpas	Aye
President Vanden Berg	Aye
Trustee Peerenboom	Aye
Trustee B. Van Lankveldt	Aye

Ayes 6, Nays 1-(L. Van Lankvelt) – Motion Carried

Action—Van Lieshout Outdoor Patio Authorization and Budget Adjustment

Moved by Trustee B. Van Lankveldt, seconded by Trustee Peerenboom to execute funds that have been budgeted and donated to proceed with the Van Lieshout Patio

Roll Call Vote

Trustee B. Van Lankveldt	Aye
Trustee Smith	Aye
Trustee Van Deurzen	Aye
Trustee Peerenboom	Aye
Trustee L. Van Lankvelt	Aye
Trustee Hietpas	Aye
President Vanden Berg	Aye

Ayes 7, Nays 0 – Motion Carried

Discussion—Covid-19 Updates

Administrator Fenlon went over updates as needed related to Covid-19.

Department and Officers Progress Reports

Departments and Officers provided progress reports to the Board

Call for Unfinished Business

None

Items for Future Agenda

None

Closed Session:

19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Development Proposal Review and Negotiation Discussions in TID #5 and TID #7*

Moved by Trustee Smith, seconded by Trustee Van Deurzen to enter into closed session

Ayes 7, Nays 0 – Motion Carried

Return to Open Session

Moved by Trustee Smith, seconded by Trustee Van Deurzen to exit closed session

Ayes 7, Nays 0 – Motion Carried

Action—Development Agreement with Resource One International

Moved by Trustee Peerenboom, seconded by Trustee B. Van Lankveldt to Direct the Village Staff to Approve the Development Agreement with Resource One International

Ayes 7, Nays 0 – Motion Carried

Adjournment

Moved by Trustee Smith, seconded by Trustee Peerenboom to Adjourn the Regular Board Meeting at 8:35 p.m.

Ayes 7, Nays 0 – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

DISBURSEMENT LIST- September 16, 2020

Payroll & Payroll Liabilities - September 3, 2020	\$216,863.87
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Prepaid Invoices - September 4, 2020	\$6,979.93
Prepaid Invoices - September 11, 2020	\$11,436.34

Utility Commission- September 15, 2020	\$170,319.31
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CURRENT ITEMS

Bills List - September 16, 2020	\$137,555.26
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Total Payroll, Prepaid & Invoices	\$543,154.71
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The above payments are recommended for approval:

Rejected: _____

Approved September 16, 2020

Michael R Vanden Berg, Village President

Laurie Decker, Clerk

Report Criteria:
 Invoice Detail.Voided = {=} FALSE

Invoice	Description	Total Cost	Period	GL Account
1000 ISLANDS ENVIRONMENTAL CTR				
081820	INSTRUCTOR FOR EXPLORE NATURE	150.00	09/20	101-55300-204
Total 1000 ISLANDS ENVIRONMENTAL CTR:		150.00		
AMERICAN FIDELITY ASSURANCE				
D205306	SEPTEMBER BILLING	1,100.74	09/20	101-21367
Total AMERICAN FIDELITY ASSURANCE:		1,100.74		
ASCENSION MEDICAL GROUP-FOX VALLEY WI				
390567	EAP STANDARD SERVICE	77.85	08/20	101-51780-204
390567	EAP STANDARD SERVICE	114.18	08/20	101-53310-204
390567	EAP STANDARD SERVICE	160.89	08/20	207-52120-204
Total ASCENSION MEDICAL GROUP-FOX VALLEY WI:		352.92		
ASCENSION ST ELIZABETH HOSPITAL				
08/20 EL.FVMPD	AUGUST BLOOD DRAWS	118.17	09/20	207-52120-204
Total ASCENSION ST ELIZABETH HOSPITAL:		118.17		
AUTOMOTIVE SUPPLY CO				
60880793	WHEEL ASSEMBLY #56	100.50	08/20	101-53330-225
60881150	OIL FOR AIR COMPRESSOR	67.92	08/20	101-53330-217
CR204889	BATTERY RETURN #46	98.07	08/20	101-53330-225
Total AUTOMOTIVE SUPPLY CO:		70.35		
BEAR GRAPHICS INC				
854408	OUTER ELECTION ENVELOPE CUSTOM IMPORT	287.35	09/20	101-51440-206
854409	ELECTION ENVELOPE CUSTOM IMPORT	638.72	09/20	101-51440-206
Total BEAR GRAPHICS INC:		926.07		
CITY OF APPLETON				
5253	SEPTEMBER WEIGHTS & MEASURES	580.00	09/20	101-52050-204
Total CITY OF APPLETON:		580.00		
EAST WISCONSIN SAVINGS BANK				
V LIESHOUT 9/1/20	RENTAL FEE REFUND-CANCELLED DUE TO COVI	60.00	09/20	101-34401
V LIESHOUT 9/1/20	SECURITY DEPOSIT REFUND-CANCELLED DUE T	20.00	09/20	101-21235
Total EAST WISCONSIN SAVINGS BANK:		80.00		
EHLERS INVESTMENT PARTNERS LLC				
AUGUST 2020	AUGUST INVESTMENT MANAGEMENT	209.68	08/20	101-51780-229
AUGUST 2020	AUGUST INVESTMENT MANAGEMENT	444.24	08/20	630-53444-229
AUGUST 2020	AUGUST INVESTMENT MANAGEMENT	114.12	08/20	620-53924-229
AUGUST 2020	AUGUST INVESTMENT MANAGEMENT	223.54	08/20	610-53614-229
AUGUST 2020	AUGUST INVESTMENT MANAGEMENT	174.83	08/20	300-57331-229

Invoice	Description	Total Cost	Period	GL Account
Total EHLERS INVESTMENT PARTNERS LLC:		1,166.41		
EVERGREEN POWER LLC				
7848	CHAINSAW KIT	354.98	08/20	101-52200-218
Total EVERGREEN POWER LLC:		354.98		
FARRELL EQUIPMENT & SUPPLY CO INC				
1124365	SAFETY VESTS	26.38	09/20	101-53300-213
1124365	SAFETY VESTS	8.79	09/20	101-55200-213
1124365	SAFETY VESTS	8.79	09/20	101-55440-218
1124368	SAFETY EAR MUFFS	15.99	08/20	101-53300-213
1124368	SAFETY EAR MUFFS	15.99	08/20	101-55440-218
Total FARRELL EQUIPMENT & SUPPLY CO INC:		75.94		
FERGUSON ENTERPRISES LLC #448 #1020				
5704379	POOL BATHROOM SINK REPLACEMENT	56.94	08/20	204-55420-242
Total FERGUSON ENTERPRISES LLC #448 #1020:		56.94		
FIRELINE SPRINKLER CORP				
6007-20-3	QTRLY FIRE SPRINKLER INSPECTION	90.00	08/20	101-53310-204
Total FIRELINE SPRINKLER CORP:		90.00		
FLEMING, SARAH				
V LIESHOUT 8/16/2	SECURITY DEPOSIT REFUND	20.00	09/20	101-21235
Total FLEMING, SARAH:		20.00		
FONSECA, BEKKI				
CFEST 082320	SECURITY DEPOSIT REFUND	50.00	09/20	101-21235
Total FONSECA, BEKKI:		50.00		
FOX CITIES JANITORIAL				
10290	MONTHLY CLEANING-LCFD	200.00	09/20	101-52250-243
10290	MONTHLY CLEANING-METRO	795.00	09/20	207-52120-243
Total FOX CITIES JANITORIAL:		995.00		
FP FINANCE PROGRAM				
27780244	AGREEMENT 003-1584121 POSTBASE VISION-PO	239.50	09/20	101-51650-226
Total FP FINANCE PROGRAM:		239.50		
FUHRMANN, NATHAN				
090820	HAUL BAND TRAILER 7 TIMES	70.00	09/20	101-55480-202
Total FUHRMANN, NATHAN:		70.00		
GARROW OIL				
AUGUST 2020	OFF ROAD DIESEL	1.14	09/20	630-53441-247
AUGUST 2020	OFF ROAD DIESEL	8.19	09/20	630-53442-247
AUGUST 2020	OFF ROAD DIESEL	2.43	09/20	201-53620-247

Invoice	Description	Total Cost	Period	GL Account
AUGUST 2020	OFF ROAD DIESEL	265.93	09/20	101-55200-247
AUGUST 2020	OFF ROAD DIESEL	6.65	09/20	101-55440-247
AUGUST 2020	OFF ROAD DIESEL	2.90	09/20	610-53612-247
AUGUST 2020	OFF ROAD DIESEL	11.56	09/20	620-53644-247
AUGUST 2020	OFF ROAD DIESEL	.87	09/20	101-53460-247
AUGUST 2020	OFF ROAD DIESEL	116.78	09/20	101-53330-217
Total GARROW OIL:		416.45		
GRAEF				
111444	FOX RIVER BOARDWALK-DETAILED DESIGN	3,661.76	09/20	420-57620-277
Total GRAEF:		3,661.76		
GRIESBACH READY-MIX LLC				
5274	CONCRETE-1000 MCKINLEY	1,009.50	08/20	101-53300-215
Total GRIESBACH READY-MIX LLC:		1,009.50		
GUNDERSON CLEANERS				
08-190710	ALTERATIONS	2.25	09/20	207-52120-212
Total GUNDERSON CLEANERS:		2.25		
HEART OF THE VALLEY				
090820MP	AUGUST HOV METER PAYABLE	6,580.00	08/20	610-21110
Total HEART OF THE VALLEY:		6,580.00		
HIETPAS, MELISSA				
CFEST 08/29/20	SECURITY DEPOSIT REFUND	50.00	09/20	101-21235
Total HIETPAS, MELISSA:		50.00		
JET VAC ENVIRONMENTAL				
3020	PRESSURE REGULATOR #8	1,632.85	09/20	101-53330-225
Total JET VAC ENVIRONMENTAL:		1,632.85		
KERRY'S VROOM SERVICE INC				
9419	OIL & FILTER CHANGE/NEW BRAKES & ROTORS -	627.13	09/20	207-52120-247
9420	OIL & FILTER CHANGE - UNIT#191	43.47	09/20	207-52120-247
9424	OIL & FILTER CHANGE - UNIT#92	43.47	09/20	207-52120-247
9425	OIL & FILTER CHANGE/NEW BATTERY #93	341.62	09/20	207-52120-247
Total KERRY'S VROOM SERVICE INC:		1,055.69		
LABREC, SHARON				
HEESAKKER 08/15	SECURITY DEPOSIT REFUND	20.00	09/20	101-21235
Total LABREC, SHARON:		20.00		
LUEDTKE, MOLLIE				
DOYLE 8/15/20	SECURITY DEPOSIT REFUND	20.00	09/20	101-21235
Total LUEDTKE, MOLLIE:		20.00		

Invoice	Description	Total Cost	Period	GL Account
MACQUEEN EQUIPMENT				
P16341	SEAL KIT #14	120.15	09/20	101-53330-225
Total MACQUEEN EQUIPMENT:		120.15		
MADISON NATIONAL LIFE				
1408428	OCTOBER LTD	925.94	09/20	101-21385
1408428	OCTOBER LIFE	391.19	09/20	101-21391
Total MADISON NATIONAL LIFE:		1,317.13		
MARTINEZ, AZUCENA				
VLIESHOUT 8/23/2	SECURITY DEPOSIT REFUND	20.00	09/20	101-21235
Total MARTINEZ, AZUCENA:		20.00		
MATTHEWS TIRE				
260564	2 NEW TIRES SQUAD #182	559.66	09/20	207-52120-247
Total MATTHEWS TIRE:		559.66		
MCC INC				
241447	DENSE CRUSHER RUN	152.25	09/20	101-53330-216
241447	DENSE CRUSHER RUN	74.83	09/20	101-53300-215
Total MCC INC:		227.08		
MCCLONE				
2170	4TH QTR GENERAL LIABILITY	2,293.00	09/20	201-53620-231
2170	4TH QTR GENERAL LIABILITY	2,711.00	09/20	101-51900-231
2170	4TH QTR GENERAL LIABILITY	3,963.00	09/20	101-52250-231
2170	4TH QTR GENERAL LIABILITY	938.00	09/20	207-52120-231
2170	4TH QTR GENERAL LIABILITY	104.00	09/20	620-53924-231
2170	4TH QTR GENERAL LIABILITY	417.00	09/20	630-53444-231
2170	4TH QTR POLICE LIABILITY	4,103.00	09/20	207-52120-231
2170	4TH QTR AUTO LIABILITY	4,572.00	09/20	101-51900-231
2170	4TH QTR AUTO LIABILITY	64.00	09/20	101-52250-231
2170	4TH QTR AUTO LIABILITY	361.00	09/20	201-53620-231
2170	4TH QTR AUTO LIABILITY	202.00	09/20	204-55420-231
2170	4TH QTR AUTO LIABILITY	52.00	09/20	206-55110-231
2170	4TH QTR AUTO LIABILITY	5,395.00	09/20	207-52120-231
2170	4TH QTR AUTO LIABILITY	520.00	09/20	101-51900-231
2170	4TH QTR AUTO LIABILITY	435.00	09/20	610-53614-231
2170	4TH QTR AUTO LIABILITY	414.00	09/20	620-53924-231
2170	4TH QTR AUTO LIABILITY	843.00	09/20	630-53444-231
2170	4TH QTR WORKERS COMP	240.00	09/20	101-51900-230
2170	4TH QTR WORKERS COMP	55.00	09/20	207-52120-230
2170	4TH QTR WORKERS COMP	25.00	09/20	610-53614-230
2170	4TH QTR WORKERS COMP	24.00	09/20	620-53924-230
2170	4TH QTR WORKERS COMP	19.00	09/20	630-53444-230
2170	4TH QTR WORKERS COMP	11,535.00	09/20	101-51900-230
2170	4TH QTR WORKERS COMP	2,343.00	09/20	201-53620-230
2170	4TH QTR WORKERS COMP	694.00	09/20	204-55420-230
2170	4TH QTR WORKERS COMP	179.00	09/20	206-55110-230
2170	4TH QTR WORKERS COMP	871.00	09/20	610-53614-230
2170	4TH QTR WORKERS COMP	2,308.00	09/20	630-53444-230
2170	4TH QTR WORKERS COMP	943.00	09/20	620-53924-230

Invoice	Description	Total Cost	Period	GL Account
2170	4TH QTR WORKERS COMP	10,266.00	09/20	207-52120-230
2170	4TH QTR WORKERS COMP	1,371.00	09/20	101-52250-230
2170	4TH QTR WORKERS COMP	370.00	09/20	620-53924-230
Total MCCLONE:		58,630.00		
MCMAHON ASSOCIATES INC				
919693	NORTH SIDE STORM SEWER INTERCEPTOR	6,648.05	09/20	416-57600-261
Total MCMAHON ASSOCIATES INC:		6,648.05		
NEWS PUBLISHING CO INC				
488343	EMPLOYMENT AD-DPW/PARKS	105.60	09/20	101-53310-207
488344	PUBLIC HEARING-ZONING CHANGE	37.78	09/20	101-51440-227
488345	PUBLIC HEARING-CONDITIONAL USE	38.78	09/20	101-51440-227
488969	PUBLIC HEARING-PINE ST	28.89	09/20	101-51440-227
488970	PUBLIC HEARING-ZONING CHANGE	30.85	09/20	101-51440-227
489534	PUBLIC HEARING-PINE ST	22.82	09/20	101-51440-227
490057	CIVIL ENGINEER JOB POSTING	183.60	09/20	101-51415-227
490058	PUBLIC HEARING-PINE ST	23.82	09/20	101-51440-227
Total NEWS PUBLISHING CO INC:		472.14		
O'REILLY AUTOMOTIVE INC				
2043-222977	COOLANT ADAPTER #45	42.26	09/20	101-53330-225
2043-229166	TIRE VALVE #39	2.97	09/20	101-53330-225
2043-230207	HUB ASSEMBLY #90	151.83	09/20	101-53330-225
2043-230544	FLASHER #88	18.99	09/20	101-53330-225
Total O'REILLY AUTOMOTIVE INC:		216.05		
OUTAGAMIE COUNTY TREASURER				
14633	AUGUST SANITATION FEES	13,262.40	08/20	201-53620-204
14633	AUGUST SANITATION FEES	590.52	08/20	630-53442-204
AUGUST 2020	AUGUST COURT FINES	320.00	08/20	101-35101
Total OUTAGAMIE COUNTY TREASURER:		14,172.92		
PERZ, KARI				
082420	REFUND JETS FOOTBALL	60.00	09/20	101-34431
Total PERZ, KARI:		60.00		
R.N.O.W. INC				
2020-58581	DRAIN KIT WITH HOSE #81	842.08	09/20	101-53330-225
Total R.N.O.W. INC:		842.08		
RAILWORKS TRACK SYSTEMS INC				
188223	TRACK & SWITCH MAINTENANCE	24,000.00	09/20	101-53300-246
Total RAILWORKS TRACK SYSTEMS INC:		24,000.00		
RASCHKA, JENEL				
CFEST 09/20/20	RENTAL FEE REFUND-CANCELLED DUE TO COVI	110.00	09/20	101-34401
CFEST 09/20/20	SECURITY DEPOSIT REFUND-CANCELLED DUE T	50.00	09/20	101-21235

Invoice	Description	Total Cost	Period	GL Account
Total RASCHKA, JENEL:		160.00		
REINDERS INC				
2689043	PVC COUPLINGS	2.66	09/20	101-55200-218
2689052	PVC COUPLINGS	2.66	09/20	101-55200-218
2689217	LAWN SEED MIX	62.25	09/20	101-55200-215
2689813	LAWN SEED MIX & FERTILIZER	314.93	09/20	101-55200-215
Total REINDERS INC:		382.50		
ROOVERS, NICK				
CFEST 9/5/20	SECURITY DEPOSIT REFUND	50.00	09/20	101-21235
Total ROOVERS, NICK:		50.00		
STATE OF WI COURT FINES & AUGUST 2020 AUGUST COURT FINES				
		1,306.41	08/20	101-35101
Total STATE OF WI COURT FINES &:		1,306.41		
SWINKLES TRUCKING & EXCAVATING CORP				
43675	PULVERIZED TOPSOIL	182.00	09/20	101-55200-215
Total SWINKLES TRUCKING & EXCAVATING CORP:		182.00		
TANK, LORI				
090920	REFUND NOV/DEC YOGA	40.00	09/20	208-34413
Total TANK, LORI:		40.00		
TAPCO				
CM016661	TRAFFIC SIGNS RETURNED	78.80	09/20	101-53300-218
I676701	NO THRU TRAFFIC SIGNS	119.49	09/20	101-53300-218
Total TAPCO:		40.69		
TERRY, AMBER				
HEESAKKER 8/22/	SECURITY DEPOSIT REFUND	20.00	09/20	101-21235
Total TERRY, AMBER:		20.00		
TIME WARNER CABLE				
09/20 70953560100	SEPTEMBER/OCTOBER SERVICE	220.80	09/20	101-51650-203
Total TIME WARNER CABLE:		220.80		
TRANSAMERICA LIFE INSURANCE COMPANY				
2503884441	SEPTEMBER BILLING	467.36	09/20	101-21364
Total TRANSAMERICA LIFE INSURANCE COMPANY:		467.36		
UNIFIRST CORPORATION				
0970315759	SHIRTS/PANTS	4.51	09/20	101-53330-213
0970315759	LAUNDRY BAGS/WIPERS	15.50	09/20	101-53330-218
0970316224	SHIRTS/PANTS	4.51	09/20	101-53330-213
0970316224	LAUNDRY BAGS/WIPERS	15.50	09/20	101-53330-218

Invoice	Description	Total Cost	Period	GL Account
Total UNIFIRST CORPORATION:		40.02		
US VENTURE				
L66087	#8 SPECTRO V100 WATER AF FUEL	20.00	09/20	101-53330-204
Total US VENTURE:		20.00		
VALLEY LIQUOR				
860629	BEVERAGES AND SUPPLIES	149.45	09/20	101-52200-211
863842	BEVERAGES	145.95	09/20	101-52200-211
Total VALLEY LIQUOR:		295.40		
VANDEN HOGEN, CLARE				
081820	REFUND SEPT/OCT YOGA	40.00	09/20	208-34413
Total VANDEN HOGEN, CLARE:		40.00		
VANDERLOOP, AMY				
091020	REFUND END OF SUMMER BASH	8.00	09/20	101-34413
Total VANDERLOOP, AMY:		8.00		
VON BRIESEN & ROPER S.C.				
330069	GENERAL LABOR	4,624.15	09/20	207-52120-262
Total VON BRIESEN & ROPER S.C.:		4,624.15		
WELLS FARGO FINANCIAL LEASING				
5011792033	SEPTEMBER COPIER LEASE	450.00	09/20	101-53310-207
5011792033	SEPTEMBER COPIER LEASE	803.15	09/20	101-51650-207
Total WELLS FARGO FINANCIAL LEASING:		1,253.15		
WI DEPT OF JUSTICE				
L4504T 08/20	AUGUST BACKGROUND CHECKS	174.00	09/20	207-52120-218
Total WI DEPT OF JUSTICE:		174.00		
Grand Totals:		137,555.26		

Report GL Period Summary

Vendor number hash: 218575
 Vendor number hash - split: 459184
 Total number of invoices: 83
 Total number of transactions: 140

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	137,555.26	137,555.26

<u>Terms Description</u>	<u>Invoice Amount</u>	<u>Net Invoice Amount</u>
Grand Totals:	<u>137,555.26</u>	<u>137,555.26</u>

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
ALERT-ALL CORPORATION (34)							
220080101	Invoi	FIRE SAFETY KITS	267.00	Open	Non	08/20	101-52200-225
Total ALERT-ALL CORPORATION (34):			267.00				
AMPLITEL TECHNOLOGIES (4637)							
16143	Invoi	MICROSOFT OFFICE 365-AUGUST	440.40	Open	Non	08/20	404-57190-208
16146	Invoi	MONTHLY DATTO BACK-UP SERVICES 08/20	325.00	Open	Non	08/20	404-57190-204
16294	Invoi	MICROSOFT OFFICE 365-SEPTEMBER	440.40	Open	Non	09/20	404-57190-208
16297	Invoi	MONTHLY DATTO BACK-UP SERVICES 09/20	325.00	Open	Non	09/20	404-57190-204
16307	Invoi	MONTHLY ANTI-VIRUS SERVICE-SEPTEMBER	210.00	Open	Non	09/20	404-57190-204
Total AMPLITEL TECHNOLOGIES (4637):			1,740.80				
ASSOCIATED APPRAISAL CONSULTANTS (1939)							
150117	Invoi	PROFESSIONAL SERVICES-SEPTEMBER	1,975.00	Open	Non	09/20	101-51530-204
Total ASSOCIATED APPRAISAL CONSULTANTS (1939):			1,975.00				
EMERGENCY SVCS MARKETING CORP (4640)							
20-20994	Invoi	YEAR THREE OF THREE YEAR SUBSCRIPTION	735.00	Open	Non	08/20	101-52200-208
Total EMERGENCY SVCS MARKETING CORP (4640):			735.00				
ENTERPRISE ELECTRIC INC (347)							
20308	Invoi	ELECTRICAL REPAIR @ DOYLE PARK	240.00	Open	Non	08/20	204-55420-242
Total ENTERPRISE ELECTRIC INC (347):			240.00				
FASTENAL COMPANY (847)							
WIKIM257130	Invoi	MARKING PAINT	26.38	Open	Non	08/20	620-53644-251
Total FASTENAL COMPANY (847):			26.38				
FERGUSON ENTERPRISES LLC #448 #1020 (2046)							
5677713	Invoi	STAINLESS STEEL CHECK VALVE	351.67	Open	Non	08/20	620-53644-254
WN253011	Invoi	GASKETS	42.40	Open	Non	08/20	620-53604-257
Total FERGUSON ENTERPRISES LLC #448 #1020 (2046):			394.07				
KLINK HYDRAULICS LLC (5005)							
11107	Invoi	CAP NUT	6.93	Open	Non	08/20	620-53644-247
Total KLINK HYDRAULICS LLC (5005):			6.93				
KRAMER AND RIDGE CO (4059)							
194805	Invoi	OIL & FUEL FILTER #21	49.88	Open	Non	08/20	101-53330-225
194872	Invoi	OIL FILTER	2.61	Open	Non	08/20	101-52200-242
194953	Invoi	OIL FILTER	34.98	Open	Non	08/20	101-53330-218
194983	Invoi	OIL FILTER	34.91	Open	Non	08/20	101-53330-218
194989	Invoi	FILTER FOR BRIDGE PUMP	62.59	Open	Non	08/20	101-52200-242
Total KRAMER AND RIDGE CO (4059):			184.97				
MCO (2254)							
26184	Invoi	JULY MILEAGE REIMBURSEMENT	206.34	Open	Non	08/20	620-53644-247

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
Total MCO (2254):			206.34				
MGD INDUSTRIAL CORP (5118)							
185153	Invoi	SCREWS #46	1.91	Open	Non	08/20	101-53330-225
Total MGD INDUSTRIAL CORP (5118):			1.91				
PEPSI-COLA (3493)							
33856308	Invoi	BEVERAGES	82.67	Open	Non	09/20	101-52200-211
Total PEPSI-COLA (3493):			82.67				
ROTTER ADVERTISING SPECIALISTS (2976)							
6172	Invoi	2-PART PAY PLAN FORMS	164.22	Open	Non	08/20	101-51680-206
Total ROTTER ADVERTISING SPECIALISTS (2976):			164.22				
TIME WARNER CABLE (89)							
08/20 60703290180	Invoi	AUGUST/SEPTEMBER SERVICE	106.16	Open	Non	08/20	620-53924-203
08/20 70590040100	Invoi	AUGUST/SEPTEMBER SERVICE	62.54	Open	Non	08/20	101-52200-204
Total TIME WARNER CABLE (89):			168.70				
US AUTO FORCE (3672)							
2688517	Invoi	TIRES FOR #56	297.72	Open	Non	08/20	101-53330-225
2693097	Invoi	SENSOR #56	24.00	Open	Non	08/20	101-53330-225
Total US AUTO FORCE (3672):			321.72				
VALLEY PEST CONTROL (3769)							
554627	Invoi	SPRAY EXTERIOR OF CIVIC CENTER/LIBRARY	200.00	Open	Non	08/20	206-55110-243
Total VALLEY PEST CONTROL (3769):			200.00				
VERIZON WIRELESS (3606)							
9860751261	Invoi	JULY/AUGUST SERVICE	64.22	Open	Non	08/20	620-53924-203
Total VERIZON WIRELESS (3606):			64.22				
WI ECONOMIC DEVELOPMENT CORP (4477)							
5285	Invoi	CONNECT COMMUNITIES FY21 PARTICIPATION F	200.00	Open	Non	08/20	101-56700-208
Total WI ECONOMIC DEVELOPMENT CORP (4477):			200.00				
Grand Totals:			6,979.93				

Report GL Period Summary

Vendor number hash: 93599
 Vendor number hash - split: 93599
 Total number of invoices: 29
 Total number of transactions: 29

<u>Terms Description</u>	<u>Invoice Amount</u>	<u>Net Invoice Amount</u>
Open Terms	6,979.93	6,979.93
Grand Totals:	6,979.93	6,979.93

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
2020 UTILITY REFUNDS (5089)							
125065013	Invoi	OVERPAYMENT REFUND ACCT #1-250650-13	143.11	Open	Non	09/20	001-15000
125126607	Invoi	OVERPAYMENT REFUND ACCT #1-251266-07	25.87	Open	Non	09/20	001-15000
Total 2020 UTILITY REFUNDS (5089):			168.98				
AMBROSIUS, WILLIE (1804)							
8/13/20 - 8/20/20	Invoi	MEN'S SOFTBALL SUPERVISOR	30.00	Open	Non	09/20	101-55300-111
8/13/20 - 8/20/20	Invoi	MEN'S SOFTBALL UMPIRE	175.50	Open	Non	09/20	101-55300-111
Total AMBROSIUS, WILLIE (1804):			205.50				
AMERICAN FIDELITY ASSURANCE (4885)							
2078450	Invoi	FLEX SPENDING AUGUST	1,322.92	Open	Non	09/20	101-21368
2080487A	Invoi	FLEX SPENDING SEPTEMBER	1,289.59	Open	Non	09/20	101-21368
Total AMERICAN FIDELITY ASSURANCE (4885):			2,612.51				
AMPLITEL TECHNOLOGIES (4637)							
16288	Invoi	MICROSOFT OFFICE 365-SEPTEMBER	720.00	Open	Non	09/20	207-52120-204
16296	Invoi	DATTO BACK UP SERVICES 09/20	375.00	Open	Non	09/20	207-52120-204
16315	Invoi	MONTHLY ANTI-VIRUS SERVICE-SEPTEMBER	143.50	Open	Non	09/20	207-52120-240
Total AMPLITEL TECHNOLOGIES (4637):			1,238.50				
AT & T (5080)							
287294953059	09/2 Invoi	JULY/AUGUST SERVICE	240.85	Open	Non	09/20	101-52200-203
Total AT & T (5080):			240.85				
GFC LEASING - WI (4989)							
13051345	Invoi	GFC LEASING COPIER OVERAGE CHARGES	16.23	Open	Non	09/20	101-53310-207
Total GFC LEASING - WI (4989):			16.23				
HOME TEAM (3465)							
39922	Invoi	CSTARS DANCE TEAM SHIRTS	92.88	Open	Non	09/20	101-55300-218
Total HOME TEAM (3465):			92.88				
LINDNER ACE HARDWARE LITTLE CHUTE (4702)							
265172-325001	Invoi	ACE BRUSH WHEEL	8.99	Open	Non	09/20	101-53300-218
265178-325001	Invoi	KEYS FOR VAN LIESHOUT SHED	16.11	Open	Non	09/20	101-55200-218
265243-325003	Invoi	VALVE	10.99	Open	Non	09/20	620-53634-255
265244-325001	Invoi	MOUNTING TAPE & BATTERIES	62.12	Open	Non	09/20	206-55110-242
265257-325001	Invoi	FUSE FOR LIFT BRIDGE	14.97	Open	Non	09/20	101-55200-218
265258-325001	Invoi	ITEMS FOR POOLSIDE RR REPAIRS	19.96	Open	Non	09/20	101-55200-242
265316-325001	Invoi	ITEMS FOR POOLSIDE RR REPAIRS	11.08	Open	Non	09/20	101-55200-242
265318-325001	Invoi	ITEMS FOR POOLSIDE RR REPAIRS	4.59	Open	Non	09/20	101-55200-242
265432-325001	Invoi	FASTENERS #14	2.50	Open	Non	09/20	101-53330-225
265464-325001	Invoi	DUCT TAPE FOR PARK SIGNS	23.96	Open	Non	09/20	101-55200-218
265479-325001	Invoi	FASTENERS	1.08	Open	Non	09/20	101-53330-221
265495-325001	Invoi	DUCT TAPE & PAINTING TAPE	27.96	Open	Non	09/20	206-55110-242
265536-325003	Invoi	TOILET PAPER & GARBAGE BAGS	22.98	Open	Non	09/20	620-53644-221
265548-325001	Invoi	PAINT TO COVER GRAFFITI	11.18	Open	Non	09/20	101-55200-218
265560-325001	Invoi	ITEMS FOR POOLSIDE RR REPAIRS	13.74	Open	Non	09/20	101-55200-242
265577-325003	Invoi	NYLON TUBE BRUSH	5.99	Open	Non	09/20	620-53634-255

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
265578-325001	Invoi	BATHROOM DUSTER & INSECT FOGGER	19.98	Open	Non	09/20	101-55200-218
265635-325001	Invoi	PRUNING BLADE	19.98	Open	Non	09/20	101-53300-215
265635-325001	Invoi	CONCRETE MIX	19.18	Open	Non	09/20	101-55200-242
265655-325001	Invoi	ELECTRICAL TAPE	1.98	Open	Non	09/20	101-55300-218
Total LINDNER ACE HARDWARE LITTLE CHUTE (4702):			319.32				
MARCO INC (3910)							
27652532	Invoi	MONTHLY COPIER LEASE-1493357-AUGUST 2020	318.30	Open	Non	09/20	207-52120-207
Total MARCO INC (3910):			318.30				
MATTHEWS TIRE & SERVICE CENTER (768)							
258790	Invoi	FLAT REPAIR-SQUAD #94	33.67	Open	Non	09/20	207-52120-247
260016-1	Invoi	REMAINING BALANCE ON ORIGINAL INV 260016	63.00	Open	Non	09/20	207-52120-247
Total MATTHEWS TIRE & SERVICE CENTER (768):			96.67				
MOTOROLA SOLUTIONS (3816)							
8280918914-10359	Invoi	REPLACE SQUAD RADIO	1,779.74	Open	Non	09/20	207-52120-248
8280918969-10359	Invoi	REPLACE SQUAD RADIO	2,029.50	Open	Non	09/20	207-52120-248
Total MOTOROLA SOLUTIONS (3816):			3,809.24				
NORTHEAST WI TECHNICAL COLLEGE (37)							
CS34358	Invoi	LESB INSTRUCTOR DEVELOPMENT COURSE-GUE	550.00	Open	Non	09/20	207-52120-201
Total NORTHEAST WI TECHNICAL COLLEGE (37):			550.00				
PUFFE, RICK (4447)							
8/13/20 - 8/20/20	Invoi	MEN'S SOFTBALL UMPIRE	156.00	Open	Non	09/20	101-55300-111
Total PUFFE, RICK (4447):			156.00				
REHMAN, MICHAEL (5033)							
8/13/20 - 8/20/20	Invoi	MEN'S SOFTBALL UMPIRE	156.00	Open	Non	09/20	101-55300-111
Total REHMAN, MICHAEL (5033):			156.00				
SCHOMMER, DAVE (4623)							
8/13/20 - 8/20/20	Invoi	MEN'S SOFTBALL UMPIRE	175.50	Open	Non	09/20	101-55300-111
Total SCHOMMER, DAVE (4623):			175.50				
THEDACARE (1983)							
AUG 2020 1210055	Invoi	AUGUST BLOOD DRAWS	637.50	Open	Med	09/20	207-52120-204
Total THEDACARE (1983):			637.50				
TIME WARNER CABLE (89)							
08/20 71391120150	Invoi	AUGUST/SEPTEMBER SERVICE	219.99	Open	Non	09/20	207-52120-203
Total TIME WARNER CABLE (89):			219.99				
VAN ZEELAND NURSERY (388)							
101-04184-01	Invoi	MARY HARP TREE DONATIONS	422.37	Open	Non	09/20	101-55440-215

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
Total VAN ZEELAND NURSERY (388):			422.37				
Grand Totals:			11,436.34				

Report GL Period Summary

Vendor number hash:	168213
Vendor number hash - split:	174719
Total number of invoices:	42
Total number of transactions:	44

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	11,436.34	11,436.34
Grand Totals:	11,436.34	11,436.34

VILLAGE OF LITTLE CHUTE

RESOLUTION NO. 35, SERIES OF 2020

A RESOLUTION APPROVING A CSM TO DIVIDE A PARCEL FOR JEFF HEITING BUILDER, INC.

WHEREAS, Jeff Heiting Builder, Inc as owner of Parcel #260451928 have presented a Certified Survey Map to the Village of Little Chute Board of Trustees as prepared by Jim Sehloff a registered land surveyor; and

WHEREAS, the Village of Little Chute Planning Commission has recommended in favor of adoption of said Certified Survey Map; and

WHEREAS, a majority of the Village Board find that the attached Certified Survey Map is found to be in the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of Trustees as follows:

1. That the Certified Survey Map attached hereto (photocopy), be and the same is hereby approved; and
2. That the Village President, Village Clerk, and Finance Director, upon full payment of, if applicable, all fees, taxes, and special assessments are directed to execute signatures on behalf of the Village of Little Chute upon the Certified Survey Map documents as required.

Date introduced, approved and adopted: September 16, 2020

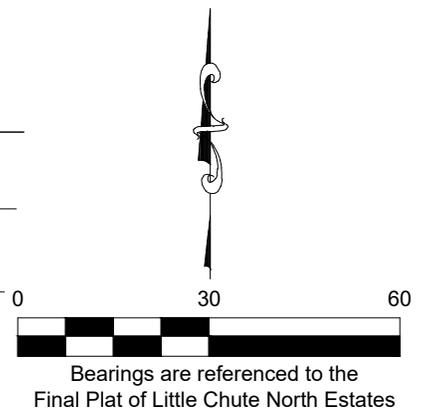
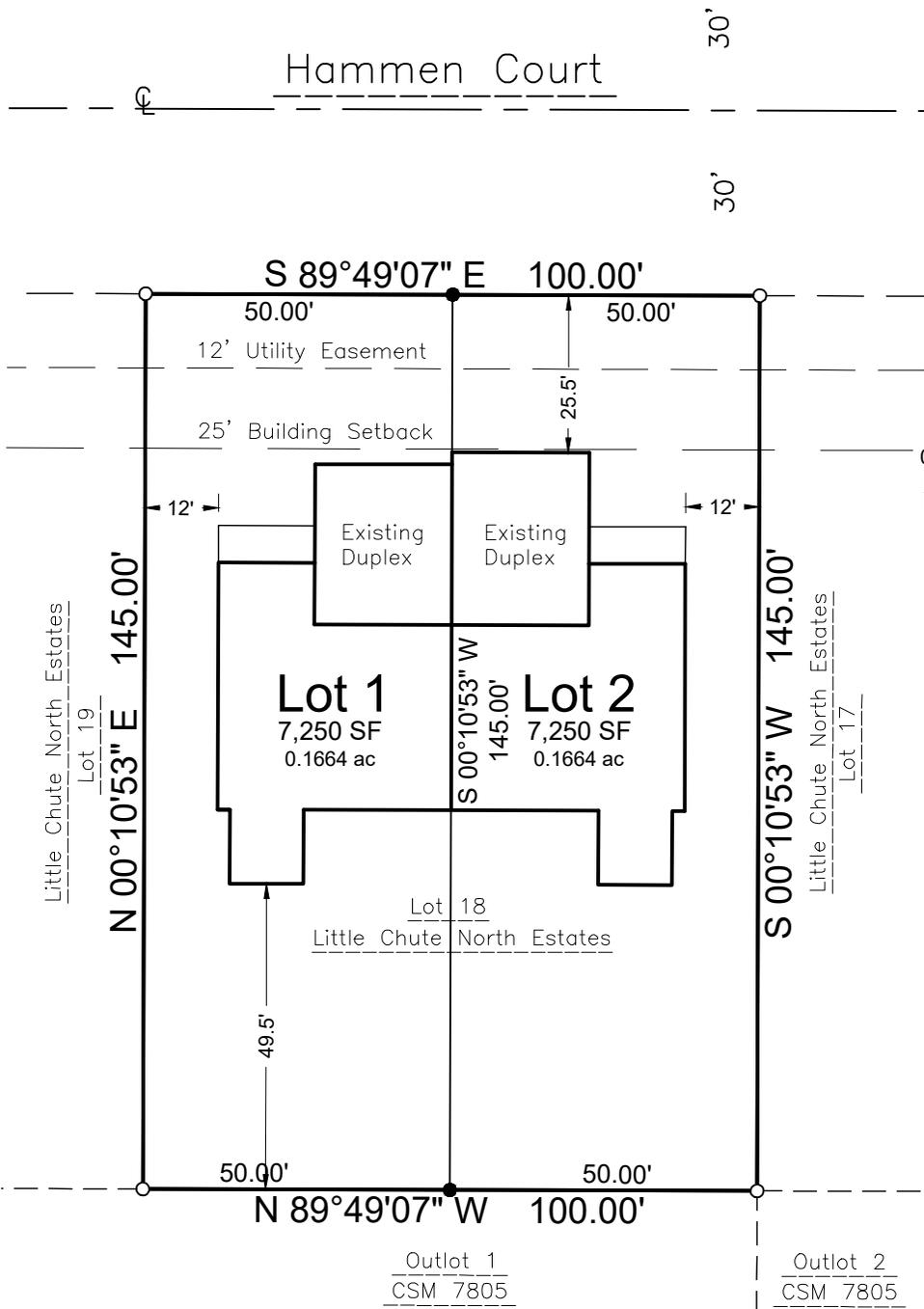
VILLAGE OF LITTLE CHUTE:

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.



- LEGEND**
- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
 - 3/4" Rebar Found

Note:

1. Restrictive covenants shall be recorded at the Outagamie County Register of Deeds, providing declarations and/or by-laws similar to those typically recorded on a declaration of condominium. Said covenants shall provide for mediation of any and all disputes between owners of each unit and any third party with regard to construction, use, and maintenance of the real property. Furthermore, said covenants shall specifically state that the village of Little Chute and all approving authorities shall not be held responsible for the same, and that said covenants shall inure to all heirs and assigns.



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davel.pro

James R. Sehloff Date
 Professional Land Surveyor No. S-2692
 jim@davel.pro

Survey for:
 Jeff Heiting Builder Inc. File: 6159CSM.dwg
 4448 N. Orion Lane Date: 09/07/2020
 Appleton, WI 54913 Drafted By: jim
 Sheet: 1 of 3

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of Jeff Heiting Builder Inc., the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin., containing 14,500 Square Feet (0.3329 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this ____ day of _____, _____.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

Corporate Owner's Certificate

Jeff Heiting Builder Inc., a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, divided and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said Jeff Heiting Builder Inc., has caused these presents to be

signed by its authorized representatives, located at, _____, Wisconsin, and its corporate seal to be hereunto affixed

this ____ day of _____, 20____.

In the Presence of: Jeff Heiting Builder Inc.

Jeff Heiting, President

Date

State of Wisconsin)
)ss
_____ County)

Personally came before me this ____ day of _____, 20____,

the above named, officer of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, Wisconsin

My commission expires: _____.

Certified Survey Map No. _____

All of Lot 18 of Little Chute North Estates, being part Northwest 1/4 of the Southwest 1/4, Section 10,
Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Jeff Heiting Builder Inc., the property owner, is hereby approved by the Village Board of the Village of Little Chute.

Chairman

Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Little Chute.

Clerk

Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer

Date

County Treasurer

Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owners of record:
Jeff Heiting Builder Inc.

Recording Information:
Doc. 2166866

Parcel Number:
260451928

James R. Sehloff Professional Land Surveyor No. S-2692 Date

VILLAGE OF LITTLE CHUTE

RESOLUTION NO. 36, SERIES OF 2020

A RESOLUTION APPROVING A CSM TO DIVIDE A PARCEL FOR PROMETHEUS HOLDINGS, LLC & BLACK DIAMOND HOLDINGS, LLC

WHEREAS, Black Diamond Holdings, LLC as owner of Parcel #260400522 have presented a Certified Survey Map to the Village of Little Chute Board of Trustees as prepared by David M. Schmalz a registered land surveyor; and

WHEREAS, the Village of Little Chute Planning Commission has recommended in favor of adoption of said Certified Survey Map; and

WHEREAS, a majority of the Village Board find that the attached Certified Survey Map is found to be in the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of Trustees as follows:

1. That the Certified Survey Map attached hereto (photocopy), be and the same is hereby approved; and
2. That the Village President, Village Clerk, and Finance Director, upon full payment of, if applicable, all fees, taxes, and special assessments are directed to execute signatures on behalf of the Village of Little Chute upon the Certified Survey Map documents as required.

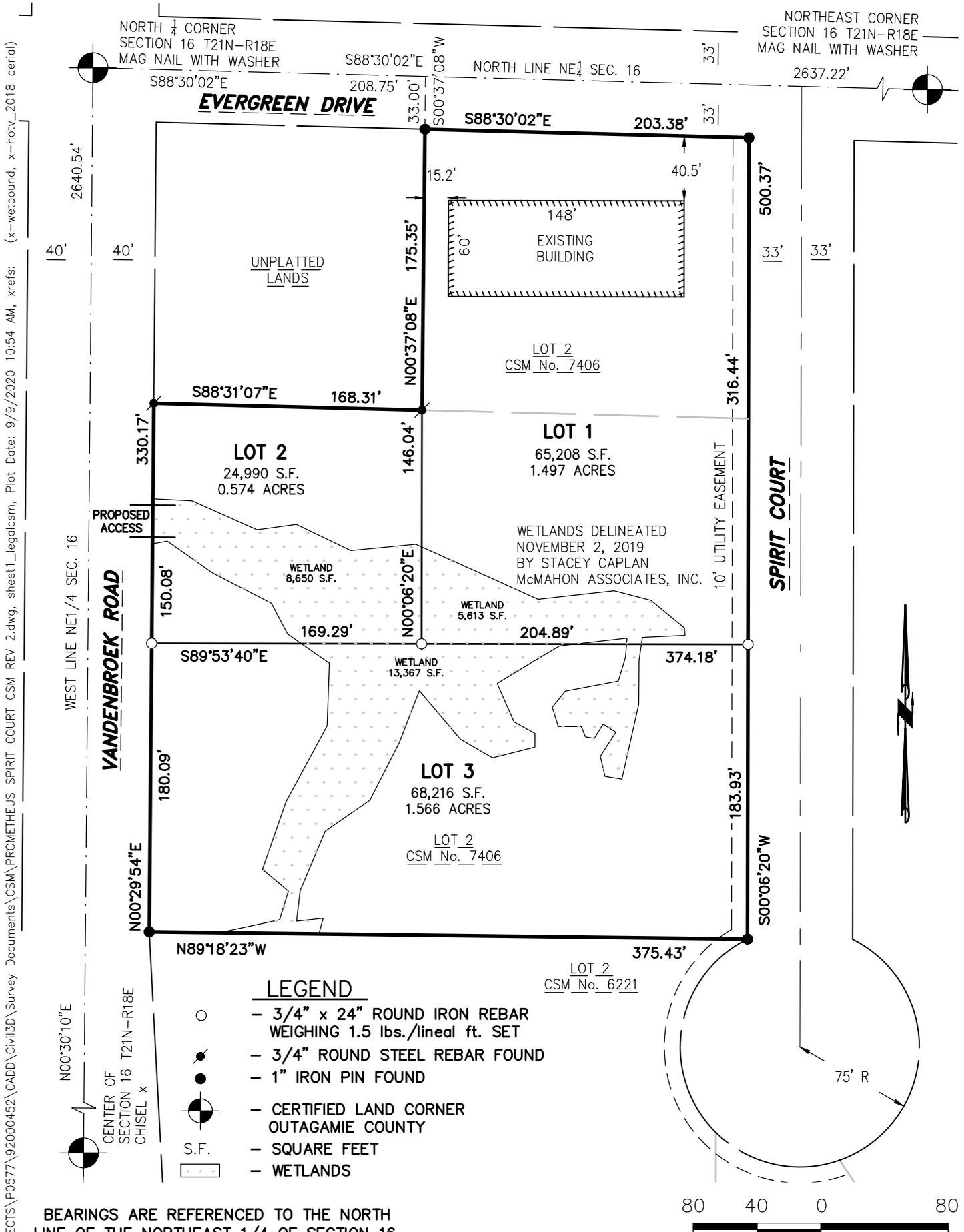
Date introduced, approved and adopted: September 16, 2020

VILLAGE OF LITTLE CHUTE:

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP No. 7406,
 RECORDED AS DOCUMENT No. 2110869, ALL LOCATED IN THE
 NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16,
 TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE
 CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



SCALE - FEET

FOR: -PROMETHEUS HOLDINGS, LLC
 -501 NICOLET ROAD
 -APPLETON, WI 54914

d:\projects\p0577\92000452\CADD\Civil3D\Survey Documents\CSM\PROMETHEUS SPIRIT COURT CSM REV 2.dwg, sheet1_legalism, Plot Date: 9/9/2020 10:54 AM, xrefs: (x=wetbound, x=hotv_2018 aerial)

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, David M. Schmalz, Wisconsin Professional Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of Lots 1 & 2 of Certified Survey Map No. 7406, recorded as Document No. 2110869, located in the Northwest 1/4 of the Northeast 1/4 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 158,414 square feet (3.637 Acres) of land.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes, Village of Little Chute, Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 20_____.

David M. Schmalz, WI Professional Land Surveyor S-1284

NOTES

-THIS CSM IS ALL OF TAX PARCEL No.s 26-0-4005-21 & 26-0-4005-22.

-THE PROPERTY OWNERS OF RECORD ARE PROMETHEUS HOLDINGS, LLC AND BLACK DIAMOND HOLDINGS, LLC.

-THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENTS No. 2151056 & 2187168.

-THIS CERTIFIED SURVEY MAP CONTAINS NO WATERS OF THE UNITED STATES PER THE ARMY CORPS OF ENGINEERS, REGULATORY FILE No. 2018-01179-MWM AJD REVIEW, DATED AUGUST 13, 2020

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

ALL OF LOTS 1 & 2 OF CERTIFIED SURVEY MAP NO. 7406, RECORDED AS DOCUMENT NO. 2110869, ALL LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

PROMETHEUS HOLDINGS, LLC, As Owner(s), I/We hereby certify that I/we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by s. 236.34 of the Wisconsin Statutes to be submitted to the following for approval. Village of Little Chute

Dated this _____ day of _____, 20____.

Authorized Signature Title

Print Name

State of _____)
_____)ss
_____County)

Personally appeared before me on the _____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public

_____ County, _____

My commission expires_____

OWNER'S CERTIFICATE

BLACK DIAMOND HOLDINGS, LLC, As Owner(s), I/We hereby certify that I/we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by s. 236.34 of the Wisconsin Statutes to be submitted to the following for approval. Village of Little Chute

Dated this _____ day of _____, 20____.

Authorized Signature Title

Print Name

State of _____)
_____)ss
_____County)

Personally appeared before me on the _____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public

_____ County, _____

My commission expires_____

VILLAGE OF LITTLE CHUTE MONTHLY REPORT – AUGUST 2020



Little Chute

E S T A B L I S H E D 1 8 4 8

August 2020

Village Administrator Report to the Board of Trustees

Submitted to the Village Board of Trustees and the residents of Little Chute is a report of the various departments of the Village. The information contained herein is intended to keep the Board and public apprised of their government at work.

VILLAGE OF LITTLE CHUTE MONTHLY REPORT – AUGUST 2020

The information in this report is meant to provide a snapshot of Village operations for the month preceding. The goal is to provide statistics and measures that can be analyzed and viewed over time. These reports will be reported to the Board monthly. The reports will be added to the official files of the Village of Little Chute and be published on the Village's website at www.littlechutewi.org.

As we continue this effort, the style and metrics will be fine-tuned to better capture operational aspects that will serve staff, the board and public with a more robust understanding of operations. Ultimately, this information can be used to assist in policy and fiscal decisions on the future of Village operations. **New in 2020, we will be including data and information from the Little Chute Fire Department and an overview of the monthly financial statements for all Village of Little Chute accounts.**

Ultimately, it is our intention to show how our dedicated team of individuals serve the community while also indicating a monthly snapshot of the fiscal well-being for the Village of Little Chute.

If you have any questions or suggestions, please contact us!

Department Overview

The report will track monthly activities for the following:

- Village Administrator
- Clerk
- Community Development
- Finance Department
- Little Chute Fire Department
- Fox Valley Metro Police Department
- Kimberly/Little Chute Library
- Parks, Recreation and Forestry Department
- Department of Public Works
- Engineering Department
- Monthly Consolidated Financial Statement by Account – Added as a feature in June of 2020

Questions or Comments

Should you have questions or comments with the information contained herein, please contact the Village Administrator:

James P. Fenlon
Village Administrator
108 W. Main Street
Little Chute, WI 54140
920-423-3850
james@littlechutewi.org

Village Administrator

HIGHLIGHTS

- The Board of Trustees worked on the following items in the month of August:
 - At the August 5th meeting, the Village Board authorized the issuance of GO Bond notes, approved a conditional use for a housing development, approved 2021 Budget Guidance, and took action on naming the Fox River Boardwalk the David and Rita Nelson Family Heritage Parkway
 - At the August 19th meeting, the Village Board held a public hearing for a zoning change request, approved a series of special events, approved the purchase of flow meters for the sewer utility, approved the site plan for North Evergreen Pond Homes, awarded the 2020-2024 audit contract, approved the site plan and design for the Cobblestone Hotel.
 - At the August 26th meeting, the Village Board authorized the Boys and Girls Club to utilize the Civic Center as a space for an after-school space in order to assist the LC Elementary School in additional space for safety reasons.
- Continued to work with staff on an effective resolution to a billing issue with Outagamie County Landfill.
- Worked with all departments and staff on ensuring that essential operations are preserved while safeguarding the public and staff from COVID 19. We are maintaining an active resource page for residents related to our COVID-19 response here: <https://www.littlechutewi.org/624/Response-to-COVID-19>
- Worked with consultants and members of the Fire Department to finalize the organizational study.
- Spent a day working in the field with our talented DPW team and was able to pour concrete and chip brush.
- Worked with consultants on improvements to our facilities related to COVID 19.
- Worked with department heads on several advantageous developments.

TOP PRIORITIES FOR SEPTEMBER

- Continue to work with staff and various developers on projects of interest within the Village of Little Chute.
- Ensure the staff of the Village of Little Chute have the tools and support they need to continue delivery of essential services in the face of COVID 19 matters.
- Continue working with County officials on resolving the leachate billing matter at the Outagamie County Landfill.
- Work with the Village Board and Library Planning Committee to prepare for the opening of the Little Chute Library in 2021.
- With the Finance Director, finalize 2021 budget submittal to the Village Board.
- Prepare for 2021 projects, finalize mid-year evaluations, prepare for a special assessment discussion with the Board in September.
- Present for Board of Trustee action:

<ul style="list-style-type: none"> - Hold a public hearing for the vacation of a portion of Pine Street - Hear from Nestle regarding plans to improve their site and Hickory Drive - Adopt a resolution to vacate portions of Pine and Church - Approve the 2020-2021 WEDC Connect Community Contract 	<ul style="list-style-type: none"> - Discuss a temporary personnel manual change - Present facility updates considering COVID-19 - Consider plans for Hickory Drive and Nestle site improvements
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Clerk

HIGHLIGHTS

This August we successfully facilitated the Partisan Primary Election. We had an increased number of absentee ballots which provided good practice and preparation for the upcoming General Election. We continue to focus and plan for the General Election on November 3. We worked closely with the Department of Public Works to design, print, and mail their Fall/Winter newsletter.

For the month of August, the Clerk's office completed our goals of:

- Send out and process Absentee Ballots for August Election
- Preparations and planning for August Election
- Facilitate August 11 Partisan Primary
- Design and finalization of DPW Fall newsletter
- Shared data from social media sites
- Agendas/Minutes for meetings
- Continued maintenance of the Village Website and social media outlets
- Ongoing phone/supply ordering support
- Civic Center/Village Hall rentals, and processing of cancelations and refunds
- Preparations for 2020 elections webinar training, upkeep of voter records, supply ordering
- Operator License Renewals

Goals for September:

- Agendas/Minutes for meetings
- Share data from social media sites
- Maintenance of the Village Website and social media outlets
- Ongoing phone/supply ordering support
- Civic Center/Village Hall rentals
- Send out and process a record number of Absentee Ballots and requests for General Election
- Planning and Preparations for General Election
- Begin to plan for Village Winter Newsletter

Village of Little Chute Website and Social Media Metrics - August 2020

	This Month	This Month Last Year	% Change	Year to Date	Last Year to Date	% Change
Website Visits	12,460	11,183	10.25%	92,637	111,202	-20.04%
Website Page Views	17,596	14,949	15.04%	132,033	140,639	-6.52%
Facebook Likes	4,307	3,660	15.02%	32,544	27,469	15.59%
Facebook Reach	46,858	67,582	-44.23%	576,044	554,781	3.69%
Village Hall Blog View	287	761	-165.16%	2,906	5008	-72.33%
Instagram Followers	634	504	20.50%	634	504	20.50%
Twitter Followers	428	377	11.92%	428	377	11.92%
Twitter Impressions	781	656	16.01%	6,802	4,673	31.30%

Community Development

HIGHLIGHTS

- Met with Commercial Developers regarding sites and TIF in village.
- Continued Inspections of homes, apartments, and commercial projects.
- Discussions with architects regarding new projects.
- Met with local Business Owner to introduce Myself
- Finalized Site Plan Review for Hotel and North Evergreen Pond Homes
- Submitted Budget to Finance Department

TOP PRIORITIES FOR SEPTEMBER

- Meet with builders and owners about upcoming commercial projects.
- Work with developers regarding Commercial/Industrial projects.
- Continued Inspections of homes, apartments, industrial and commercial projects.
- Assist developers, surveyors, and realtors with zoning requirements.
- Continuing education classes with focus on Building Inspection
- Update more permits/ Website
- Improve Site review process (on going project)
- Vacation of Pine Street
- Meet with more Local Businesses to Introduce Myself and to collect information on potential needs for the community/business
- Zoning Ordinance amendment in the Residential Conventional District

COMMUNITY DEVELOPMENT AUGUST DATA

Community Development Department 2020 Permit Data				
	August-20	2020 Totals	2019 Totals	2018 Totals
Permits Issued	55	450	667	622
Property Complaints	5	20	31	61
Property/Field Inspections	55	450	912	929
Letters Sent	0	6	0	0
Action Corrected	2	9	13	44
Referred for Action	2	4	0	7
Ongoing	3	16	36	16

Community Development Department 2020 Permit Data				
	August-20	2020 Totals	2019 Totals	2018 Totals
Permits Issued	55	450	717	622
Permit Fees	\$9,887	\$211,439	\$108,776	\$257,754
Permit Value	\$1,426,190	\$34,031,809	\$35,228,147	\$47,343,017

Finance Department

HIGHLIGHTS

- Approved audit contract with Kerber Rose for years 2020-2024 resulting in an overall cost reduction from \$42,500 in 2019 for the first three years of the new contract along with minimal increases in years 2023 and 2024 at \$42,600 and \$43,800, respectively. A successful process!
- 2021 Budget requests from departments due September 4th. Payroll projections completed with exception of health and dental benefits as waiting for proposals. Locked in rates for Life, AD&D and LT Disability through 8/1/2023 with no increase.
- Finalized and released the TID 4 and TID 5 30% audited financial statements to local taxing jurisdictions. No questions have been received to date.
- Preparing for the second Cares Act submission making sure we maximize funding available between Cares Act and Wisconsin Elections Commission. Keeping up to date on numerous regulation changes and guidance notifications.
- Successful closing on the 2020 General Obligation Issue depositing the funds locally at Bank of Little Chute in a fully collateralized account while spending down proceeds. The Village is earning the maximum interest rate allowed to still follow arbitrage laws restrictions.
- Training and set up of new postage meter. Still working with previous vendor to return old machine that lease has expired on.
- 3,097 utility bills created, 92 service orders (Final Reads, High/Low Reads, Meter Installations) created/coordinated with MCO and 209 Landlord notices mailed for tenant delinquency notification, 929 ratepayers opted out of postcard billing, 1,499 ratepayers utilized PSN and 642 ACH for payments in August.
- Accounts Payable clerk took on project to send out notices for unclaimed property (stale checks outstanding). Village has not followed State mandated annual process to complete our due diligence to get funds to rightful owners for past several years.
- Review of Amazon account to make sure all accounts set up tax exempt under Village Business Account plus have free shipping on all orders over \$35. AP Clerk sent reminder to all departments to make sure they are using the business account to avoid sales tax.

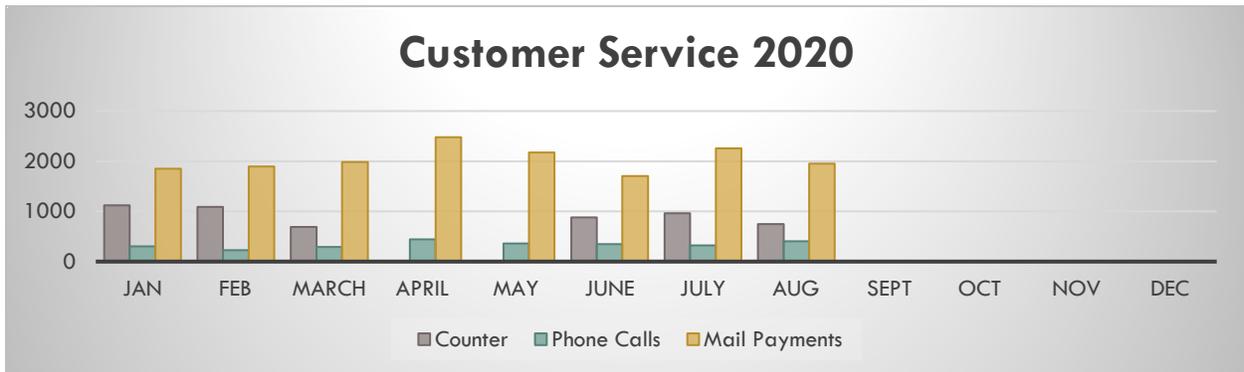
TOP PRIORITIES FOR SEPTEMBER

- File continuing disclosure requirements with all bondholders via MSRB Gateway Portal
- Working on evaluation of cell/landline phone, internet, and copier/scanner devices to determine if duplication of any services exist along with potential to consolidate services for greater cost efficiencies. Accounts Payable Clerk is gathering/coordinating data.
- Payroll Clerk preparing information to send out to employees for voluntary benefit meetings coming up in September.
- Budget preparation will keep Finance very busy in September!
- Finalization of health and dental insurance rates for 2021
- Vandenbroek drainage assessment data preparation in conjunction with Engineering

CONTINUOUS IMPROVEMENT EFFORTS

- Utility Billing Clerk eliminated making extra copy for any finals she does alternatively electronically filing notes in the system so all can easily access.

AUGUST DATA AND JULY FINANCIALS



PERFORMANCE MEASUREMENTS

	<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>Target 2020</u>
# months bank reconciliation completed timely	0	0	7	12
# of stale checks outstanding	NM	NM	57	5
Custodial credit risk	\$12.3K	\$6.1K	\$.3K	\$0
% of customers paying online	NM	NM	42%	55%
Continuous improvement initiatives	NM	NM	25	10
Number of special assessment billings	277	296	67	125
Average number of monthly utility bills	4,076	4,052	4,033	4,050
Annual number of utility work orders	952	1,093	920	950
Annual tax certification letters	793	735	775	750
General obligation bond rating	Aa3	Aa3	Aa3	Aa2
# of auditor's compliance issues	NM	6	2	0
% of time monthly financials closed within 15 days	NM	NM	58%	90%
% of staff adequately trained/cross trained	NM	NM	70%	100%

	AUGUST	YTD 2020	BUDGET 2020	VARIANCE	% OF BUDGET
GENERAL FUND					
Taxes	227,145.38	952,417.28	960,150.00	(7,732.72)	99.19%
Total Licenses and Permits	6,147.00	148,549.06	124,760.00	23,789.06	119.07%
Intergovernmental Aid	14,348.70	1,092,549.04	2,416,400.00	(1,323,850.96)	45.21%
Public Charges for Service	9,449.76	94,875.84	137,328.00	(42,452.16)	69.09%
Fines and Forfeitures	4,445.19	53,415.18	91,000.00	(37,584.82)	58.70%
Total Interest	5,089.90	39,863.47	96,837.00	(56,973.53)	41.17%
Miscellaneous Revenue	36,693.46	146,850.40	160,118.00	(13,267.60)	91.71%
Other Financing Sources	18,180.09	145,389.83	217,700.00	(72,310.17)	66.78%
Total General Fund Revenue	321,499.48	2,673,910.10	4,204,293.00	(1,530,382.90)	63.60%
Village Board	2,422.13	48,780.74	77,141.00	(28,360.26)	63.24%
Administration	7,795.41	68,209.65	122,154.00	(53,944.35)	55.84%
Engineering & GIS	213.81	17,924.28	92,938.00	(75,013.72)	19.29%
Finance	13,649.82	128,460.70	220,959.00	(92,498.30)	58.14%
Clerk	11,678.61	111,339.77	168,150.00	(56,810.23)	66.21%
Community Development - Assessing	7,157.71	96,202.42	117,364.00	(21,161.58)	81.97%
Village Hall	5,302.35	43,674.72	69,116.00	(25,441.28)	63.19%
Municipal Court	4,117.19	39,435.70	65,897.00	(26,461.30)	59.84%
Unallocated	8,087.48	64,726.66	221,932.00	(157,205.34)	29.17%
Insurance	8,096.62	150,834.02	267,384.00	(116,549.98)	56.41%
Village Promotion and Goodwill	-	6,216.00	52,064.00	(45,848.00)	11.94%
Inspections	7,706.05	71,975.83	115,232.00	(43,256.17)	62.46%
Fire Operations	17,406.83	152,790.15	295,859.00	(143,068.85)	51.64%
Fire Allocated	27,524.65	238,919.47	364,070.00	(125,150.53)	65.62%
Crossing Guards	56.88	45,382.69	89,135.00	(43,752.31)	50.91%
Public Works Administration	1,130.47	9,920.05	29,947.00	(20,026.95)	33.13%
Street Repair and Maintenance	56,757.29	311,750.30	651,284.00	(339,533.70)	47.87%
Public Works Support Services	2,301.46	30,653.01	45,256.00	(14,602.99)	67.73%
Public Works Vehicle Maintenance	9,881.76	97,810.11	177,179.00	(79,368.89)	55.20%
Snow and Ice Control	4,339.24	135,122.04	244,895.00	(109,772.96)	55.18%
Weed Control	1,046.43	5,953.48	18,301.00	(12,347.52)	32.53%
Recycling	5,334.12	29,695.44	51,195.00	(21,499.56)	58.00%
Park	25,344.46	196,519.57	384,616.00	(188,096.43)	51.10%
Recreation	25,865.74	168,448.83	308,655.00	(140,206.17)	54.58%
Forestry	9,692.34	152,248.25	154,233.00	(1,984.75)	98.71%
Youth Football	-	1,367.86	15,100.00	(13,732.14)	9.06%
Community Band	342.21	1,460.48	6,100.00	(4,639.52)	23.94%
Economic Development	850.00	3,729.56	7,600.00	(3,870.44)	49.07%
Transfers	-	-	-	-	#DIV/0!
Total General Fund Expenses	264,101.06	2,429,551.78	4,433,756.00	(2,004,204.22)	54.80%
GENERAL FUND NET REVENUES (EXPENSES)	57,398.42	244,358.32	(229,463.00)	473,821.32	
SANITATION					
Sanitation Revenues	45,711.87	376,855.98	514,200.00	137,344.02	73.29%
Sanitation Expenses	40,285.15	306,464.91	509,346.00	(202,881.09)	60.17%
SANITATION NET REVENUES (EXPENSES)	5,426.72	70,391.07	4,854.00	340,225.11	

	<u>AUGUST</u>	<u>YTD 2020</u>	<u>BUDGET 2020</u>	<u>VARIANCE</u>	<u>% OF BUDGET</u>
FIRE EQUIPMENT DONATION					
Fire Equipment Donation Revenues	19,403.96	83,198.32	82,350.00	848.32	101.03%
Flag Pole Memorial Expenses	-	1,009.75	2,100.00	(1,090.25)	48.08%
FIRE EQUIPMENT DONATION NET REVENUES (EXPENSES)	19,403.96	82,188.57	80,250.00	1,938.57	
AQUATICS					
Aquatics Revenue	37,981.93	157,802.36	173,794.00	(15,991.64)	90.80%
Aquatics	32,058.43	112,841.23	173,794.00	(60,952.77)	64.93%
AQUATICS NET REVENUES (EXPENSES)	5,923.50	44,961.13	-	44,961.13	
LIBRARY/CIVIC CENTER					
Library/Civic Center Revenues	103,075.11	437,497.44	429,520.00	7,977.44	101.86%
Library/Civic Center	4,986.16	279,727.04	489,520.00	(209,792.96)	57.14%
LIBRARY/CIVIC CENTER NET REVENUES (EXPENSES)	98,088.95	157,770.40	(60,000.00)	217,770.40	
CONSOLIDATED POLICE SERVICES					
Consolidated Police Services Revenue	511,978.71	3,122,663.83	3,477,028.00	(354,364.17)	89.81%
Police Services Consolidated	224,637.81	2,091,991.55	3,477,028.00	(1,385,036.45)	60.17%
CONSOLIDATED POLICE SERVICES NET REVENUES (EXPENSES)	287,340.90	1,030,672.28	-	1,030,672.28	
VAN LIESHOUT RECREATION CENTER					
Van Lieshout Rec Center Revenues	922.24	3,366.75	14,750.00	(11,383.25)	22.83%
Van Lieshout Rec Center Expenses	146.04	20,984.11	30,766.24	(8,328.13)	68.20%
VAN LIESHOUT NET REVENUES (EXPENSES)	776.20	(17,617.36)	(16,016.24)	(3,055.12)	
PROMOTIONAL FUND					
Promotional Fund Revenues	1,390.12	5,303.29	18,400.00	(13,096.71)	28.82%
Promotional Fund Expenses	4,497.50	13,659.80	17,800.00	(4,140.20)	76.74%
PROMOTIONAL NET REVENUES (EXPENSES)	(3,107.38)	(8,356.51)	600.00	(8,956.51)	
SPECIAL ASSESSMENTS					
Special Assessment Revenue	8,707.56	188,107.17	276,489.00	(88,381.83)	68.03%
Special Assessment Expense	177.33	601,515.21	601,650.00	(134.79)	99.98%
SPECIAL ASSESSMENTS NET REVENUES (EXPENSES)	8,530.23	(413,408.04)	(325,161.00)	(88,247.04)	
EQUIPMENT REVOLVING FUND					
Equipment Revolving Revenue	50,956.07	82,240.24	170,076.00	(87,835.76)	48.35%
Equipment Revolving Expenses	-	47,392.59	123,000.00	(75,607.41)	38.53%
EQUIPMENT NET REVENUES (EXPENSES)	50,956.07	34,847.65	47,076.00	(12,228.35)	

	<u>AUGUST</u>	<u>YTD 2020</u>	<u>BUDGET 2020</u>	<u>VARIANCE</u>	<u>% OF BUDGET</u>
FACILITY AND TECHNOLOGY FUND					
Facility and Technology Fund Revenues	18,499.56	74,668.69	73,250.00	1,418.69	101.94%
Facility and Technology Fund Expenditures	2,795.40	65,096.18	158,250.00	(93,153.82)	41.14%
FACILITY AND TECHNOLOGY NET REVENUES (EXPENSES)	15,704.16	9,572.51	(85,000.00)	94,572.51	
TAX INCREMENT DISTRICT 4					
Tax Increment District 4 Revenues	321,674.70	1,351,580.67	1,457,830.00	(106,249.33)	92.71%
Tax Increment District 4 Expenses	483,205.42	1,345,659.70	1,056,923.00	288,736.70	127.32%
TAX INCREMENTAL DISTRICT 4 NET REVENUES (EXPENSES)	(161,530.72)	5,920.97	400,907.00	(394,986.03)	
TAX INCREMENT DISTRICT 5					
Tax Increment District 5 Revenues	94,781.68	442,472.87	464,909.00	(22,436.13)	95.17%
Tax Increment District 5 Expenses	203,718.97	294,639.20	313,917.00	(19,277.80)	93.86%
TAX INCREMENTAL DISTRICT 5 NET REVENUES OVER EXPENSES	(108,937.29)	147,833.67	150,992.00	(3,158.33)	
TAX INCREMENT DISTRICT 6					
Tax Increment District 6 Revenues	5,130,198.85	5,882,198.46	2,317,617.00	3,564,581.46	253.80%
Tax Increment District 6 Expenses	826,971.37	915,347.47	3,035,669.00	(2,120,321.53)	30.15%
TAX INCREMENTAL DISTRICT 6 NET REVENUES (EXPENSES)	4,303,227.48	4,966,850.99	(718,052.00)	5,684,902.99	
TAX INCREMENT DISTRICT 7					
Tax Increment District 7 Revenues	22,141.10	93,317.88	97,612.00	(4,294.12)	95.60%
Tax Increment District 7 Expenses	2,811.70	41,611.97	155,630.00	(114,018.03)	26.74%
TAX INCREMENTAL DISTRICT 7 NET REVENUES (EXPENSES)	19,329.40	51,705.91	(58,018.00)	109,723.91	
TAX INCREMENT DISTRICT 8					
Tax Increment District 8 Revenues	1,840,761.92	2,012,507.13	614,600.00	1,397,907.13	327.45%
Tax Increment District 8 Expenses	33,075.97	140,538.38	775,273.00	(634,734.62)	18.13%
TAX INCREMENTAL DISTRICT 8 NET REVENUES (EXPENSES)	1,807,685.95	1,871,968.75	(160,673.00)	2,032,641.75	
PARK IMPROVEMENT					
Park Improvement Revenue	83,995.09	179,824.92	921,367.00	(741,542.08)	19.52%
Park Improvement Expenses	17,102.49	76,471.57	1,518,653.00	(1,442,181.43)	5.04%
PARK IMPROVEMENTS NET REVENUES (EXPENSES)	66,892.60	103,353.35	(597,286.00)	700,639.35	
CAPITAL PROJECTS					
Capital Projects Revenue	451,632.03	745,296.83	735,406.00	9,890.83	101.34%
Construction Projects	1,205.12	18,216.63	1,066,250.00	(1,048,033.37)	1.71%
Administration Capital Projects	25,422.95	155,216.82	209,720.00	(54,503.18)	74.01%
TOTAL CONSTRUCTION EXPENSES	26,628.07	173,433.45	1,275,970.00	(1,102,536.55)	13.59%
CAPITAL PROJECTS NET REVENUES (EXPENSES)	425,003.96	571,863.38	(540,564.00)	1,112,427.38	

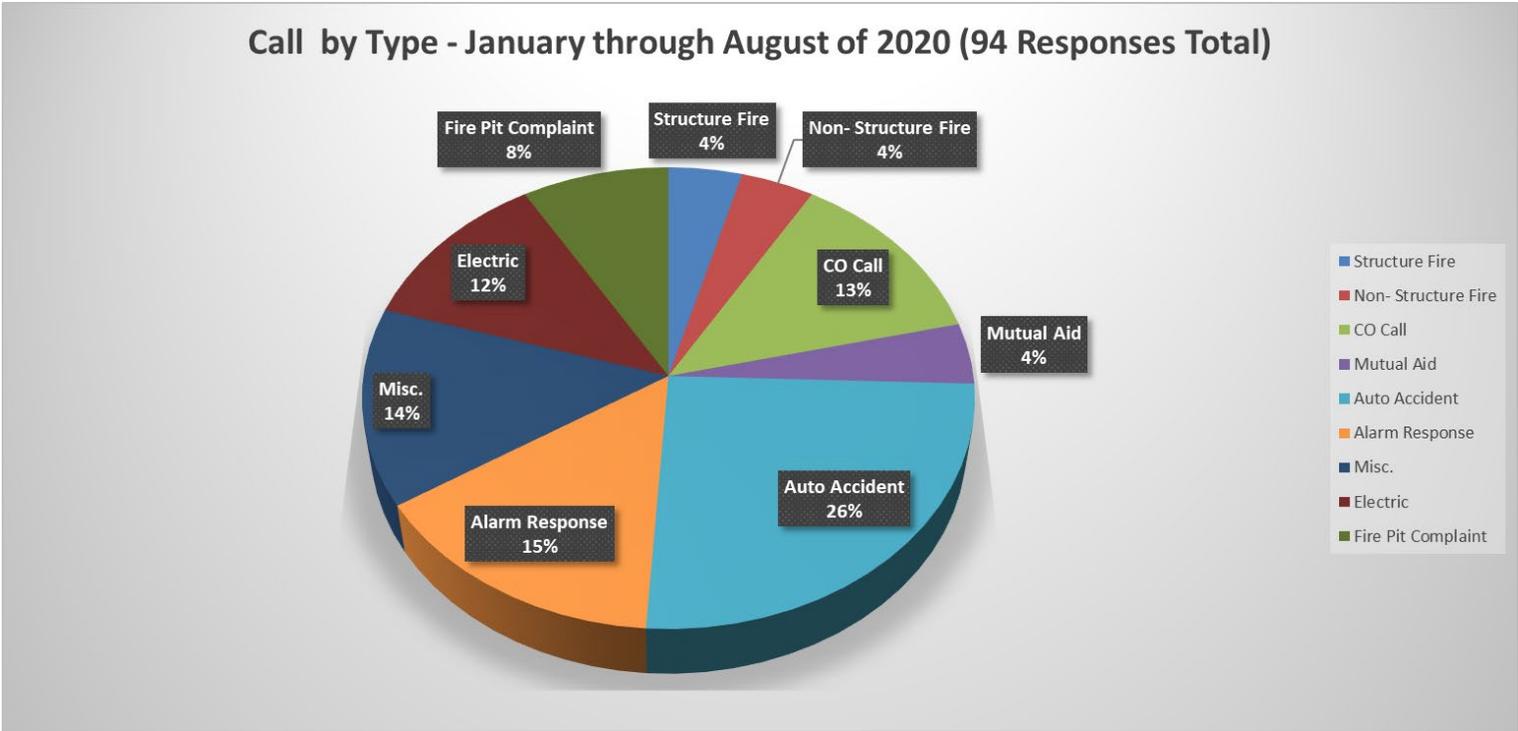
	<u>AUGUST</u>	<u>YTD 2020</u>	<u>BUDGET 2020</u>	<u>VARIANCE</u>	<u>% OF BUDGET</u>
SEWER					
Sewer Revenues	214,962.05	1,868,597.16	2,851,035.00	(982,437.84)	65.54%
Sewer Capital	15,181.89	86,331.55	113,696.00	(27,364.45)	75.93%
Sewer Financing	25,623.75	169,729.52	231,853.00	(62,123.48)	73.21%
Sewer Treatment	127,407.28	1,224,244.72	1,701,600.00	(477,355.28)	71.95%
Sewer Collection	23,322.90	108,567.48	175,033.00	(66,465.52)	62.03%
Sewer Customer A/R	4,393.43	54,505.57	119,144.00	(64,638.43)	45.75%
Sewer Admin and General	6,456.80	90,608.80	153,405.00	(62,796.20)	59.07%
TOTAL SEWER EXPENSES	202,386.05	1,733,987.64	2,494,731.00	(760,743.36)	69.51%
SEWER NET REVENUES (EXPENSES)	12,576.00	134,609.52	356,304.00	(221,694.48)	
WATER UTILITY					
Water Utility Revenues	202,480.47	1,524,681.14	2,325,196.00	(800,514.86)	65.57%
Water Capital Projects	267,182.30	457,980.88	1,205,051.00	(747,070.12)	38.01%
Water Financing	76,826.70	451,295.35	716,265.00	(264,969.65)	63.01%
Water Source	1,370.76	16,786.41	140,343.00	(123,556.59)	11.96%
Pumping	15,995.50	133,329.67	223,079.00	(89,749.33)	59.77%
Water Treatment	26,569.41	226,292.01	484,619.00	(258,326.99)	46.69%
Water Distribution	32,172.61	311,284.68	427,163.00	(115,878.32)	72.87%
Customer A/R	3,929.67	32,555.40	56,600.00	(24,044.60)	57.52%
Admin and General	5,663.58	94,354.67	156,366.00	(62,011.33)	60.34%
TOTAL WATER EXPENSES	429,710.53	1,723,879.07	3,409,486.00	(1,685,606.93)	50.56%
WATER NET REVENUES (EXPENSES)	(227,230.06)	(199,197.93)	(1,084,290.00)	885,092.07	
STORMWATER UTILITY					
Stormwater Revenue	115,055.45	940,933.12	1,317,845.00	(376,911.88)	71.40%
Stormwater Capital Projects	149,485.77	385,040.83	921,527.00	(536,486.17)	41.78%
Storm Financing	51,210.43	328,447.10	474,646.00	(146,198.90)	69.20%
Storm Pond Maintenance	11,156.78	66,650.26	117,531.00	(50,880.74)	56.71%
Storm Collection	12,040.50	134,012.65	322,766.00	(188,753.35)	41.52%
Storm Customer A/R	3,294.23	28,346.32	44,125.00	(15,778.68)	64.24%
Storm Admin and General	9,889.14	138,984.07	210,202.00	(71,217.93)	66.12%
TOTAL STORM EXPENSES	237,076.85	1,081,481.23	2,090,797.00	(1,009,315.77)	51.73%
STORMWATER NET REVENUES (EXPENSES)	(122,021.40)	(140,548.11)	(772,952.00)	632,403.89	

TID 4 Crosswinds Development Incentive more than budget as missed that was partial assessment in 2019, TID Revenue to offset Van Lieshout Center lease payment processed in June
 Property and Workers Comp insurance premiums for first, second and third quarter due in January/March/June
 Reminder that capital assets are shown as expense in utilities until capitalized as part of year end audit preparation

Little Chute Fire Department

Little Chute Fire Department - 2020 Calls for Service

	Structure Fire	Non-Structure Fire	CO Call	Mutual Aid	Auto Accident	Alarm Response	Misc.	Electric	Fire Pit Complaint	2020 Total Responses	2019 Total Responses	2018 Total Responses	2017 Total Responses	2016 Total Responses	2015 Total Responses
2020 SUMMARY	4	4	12	4	24	14	13	11	8	94	202	165	172	155	132
August 2020 Calls		1	1		3	3	1	2		11					





- Officer Randall Lefeber has been awarded the 2019 FVMPD Officer of the Year award. The following is some language from the nomination:
 - ... hard working, trustworthy and reliable.
 - Randy can be counted on in every aspect of the job. He is there for you when you need help, when asked to assist with follow up he doesn't think twice about helping. Randy shoulders more than his share of duties at the PD and still is a reliable co-worker in terms of taking calls. Randy always has a pleasant attitude and positively impacts officer morale.



- Officer Jeff Nett is getting settled in as the new Little Chute Police School Liaison Officer.
- We have made a conditional offer of employment to a candidate from the police officer eligibility list. If they meet all the pre-employment requirements, we hope to have them start by the end of this month.
- September is Suicide Awareness Month. At metro, we try to raise awareness on this topic and advertise resources for people struggling with mental illness and suicidal ideations. We have squad cars with resources printed on them...



- Chief Meister will be meeting with the Wisconsin Professional Police Association and the Fox Valley Metro Professional Police Association in the coming weeks to discuss potential labor agreement language regarding the new position of K-9 Handler.
- The 2019, FVMPD Annual Report is published. It can be found on our webpage for interested readers.

ACTIVITY / PERFORMANCE METRICS

Below is a table showing a three-month comparison of calls for service and incidents in Little Chute.



FOX VALLEY METRO POLICE DEPARTMENT

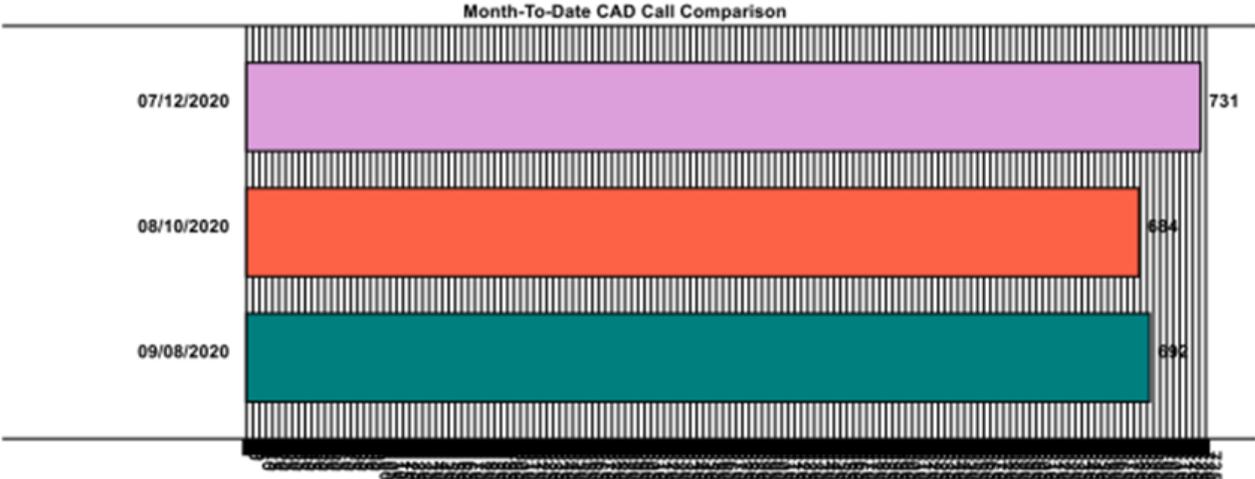
Month-to-Date CAD Call Detail

Month-To-Date CAD Received Calls

Call Nature	08/11/2020	07/13/2020	1 mo %	06/14/2020	2 mo %
	to 09/08/2020:	to 08/10/2020:	change:	to 07/12/2020:	change:
911 Misdiagnose	70	67	4.5%	64	9.4%
Abandoned Vehicle	4	3	33.3%	7	-42.9%
Abdominal A-Adam Response	1	0	N/A	0	N/A
Accident in a Parking Lot	4	1	300.0%	3	33.3%
Accident with Injury	0	0	N/A	2	-100.0%
Accident with Scene Safety	0	0	N/A	2	-100.0%
Accident with Spill Cleanup	1	0	N/A	0	N/A
Allergies A-Adam Response	1	0	N/A	0	N/A
Allergies C-Charles Response	2	0	N/A	0	N/A
Allergies D-David Response	1	0	N/A	0	N/A
Animal Bite	2	3	-33.3%	2	0.0%
Animal Call	19	16	18.8%	21	-9.5%
Assist Citizen or Agency	35	50	-30.0%	54	-35.2%
Back Problem C-Charles Response	0	0	N/A	1	-100.0%
Battery	0	1	-100.0%	1	-100.0%
Bicycle Stop	0	0	N/A	1	-100.0%
Bleeding C-Charles Response	1	0	N/A	0	N/A
Bleeding D-David Response	0	1	-100.0%	0	N/A
Breathing Problem C-Charles	0	0	N/A	1	-100.0%
Breathing Problem D-David	1	2	-50.0%	5	-80.0%
Burglary	2	1	100.0%	2	0.0%
Carbon Monoxide Alarm	1	0	N/A	1	0.0%
Chest Complaint C-Charles	0	0	N/A	1	-100.0%
Chest Complaint D-David	3	2	50.0%	1	200.0%
Civil Matter Assist	3	4	-25.0%	4	-25.0%
Civil Process	7	14	-50.0%	0	N/A
Crime Prevention	55	42	31.0%	66	-16.7%
Damage to Property	5	9	-44.4%	4	25.0%
Diabetic Issue A-Adam	0	0	N/A	1	-100.0%
Diabetic Issue C-Charles	0	0	N/A	1	-100.0%
Diabetic Issue D-David	0	0	N/A	1	-100.0%

Disorderly Conduct	0	1	-100.0%	0	N/A
Disturbance	23	11	109.1%	13	76.9%
Domestic Disturbance	7	6	16.7%	5	40.0%
Drowning E-Edward Response	0	0	N/A	1	-100.0%
Drug Complaint	2	2	0.0%	6	-66.7%
Dumpster Fire	0	0	N/A	1	-100.0%
Emergency Committal	0	1	-100.0%	0	N/A
Fainting A-Adam	0	2	-100.0%	1	-100.0%
Fainting C-Charles	1	0	N/A	1	0.0%
Falls A-Adam Response	1	2	-50.0%	1	0.0%
Falls B-Boy Response	0	1	-100.0%	1	-100.0%
Falls D-David Response	0	1	-100.0%	0	N/A
Fire Alarm Commercial	4	0	N/A	3	33.3%
Fire Unauthorized Burning	0	1	-100.0%	1	-100.0%
Fire Vegetation or Grass	1	0	N/A	0	N/A
Fire Vehicle Small	1	0	N/A	0	N/A
Fireworks Complaint	3	3	0.0%	20	-85.0%
Follow Up	17	29	-41.4%	16	6.2%
Fraud Complaint	11	4	175.0%	3	266.7%
Garbage or Rubbish Fire	0	0	N/A	1	-100.0%
Graffiti Complaint	0	2	-100.0%	0	N/A
Harassment	6	8	-25.0%	9	-33.3%
Hazard in Roadway	14	11	27.3%	15	-6.7%
Heart Problem C-Charles	1	0	N/A	0	N/A
Heart Problem D-David	1	1	0.0%	2	-50.0%
Jail GPS Checks	12	10	20.0%	0	N/A
Juvenile Complaint	13	9	44.4%	5	160.0%
K9 Assist	0	1	-100.0%	1	-100.0%
Law Alarms - Burglary Panic	5	10	-50.0%	6	-16.7%
Lost or Found Valuables	11	5	120.0%	18	-38.9%
Medical Assistance No Injury	3	1	200.0%	2	50.0%
Medical Pre-Alert	2	2	0.0%	5	-60.0%
Missing Person	0	0	N/A	2	-100.0%
Motorist Assist	17	22	-22.7%	16	6.2%
Natural Gas or Propane Leak	0	1	-100.0%	0	N/A
Noise Complaint	5	4	25.0%	6	-16.7%
Ordinance Violation	18	21	-14.3%	25	-28.0%
PNB E-Edward Response	0	1	-100.0%	1	-100.0%
Parking Enforcement	7	13	-46.2%	9	-22.2%
Parking Request	1	1	0.0%	0	N/A
Reckless Driving Complaint	20	22	-9.1%	21	-4.8%

Residence Lockout	0	1	-100.0%	0	N/A
Retail Theft	0	0	N/A	1	-100.0%
Runaway Juvenile	1	1	0.0%	0	N/A
Scam	1	1	0.0%	3	-66.7%
Seizure D-David Response	1	0	N/A	0	N/A
Sex Offense	3	0	N/A	0	N/A
Sick A-Adam	0	1	-100.0%	3	-100.0%
Sick C-Charles	0	1	-100.0%	3	-100.0%
Sick D-David	0	1	-100.0%	1	-100.0%
Spill Cleanup	2	0	N/A	0	N/A
Stroke C-Charles	2	0	N/A	1	100.0%
Structure Fire Smoke or Flame	1	3	-66.7%	1	0.0%
Suspicious Incident	22	20	10.0%	25	-12.0%
Suspicious Person	4	3	33.3%	6	-33.3%
Suspicious Vehicle	18	7	157.1%	7	157.1%
Theft Complaint	8	7	14.3%	9	-11.1%
Theft of Automobile Complaint	0	1	-100.0%	3	-100.0%
Traffic Enforcement	7	2	250.0%	11	-36.4%
Traffic Stop	121	147	-17.7%	126	-4.0%
Transport	1	0	N/A	0	N/A
Transport Accident B-Boy	0	0	N/A	1	-100.0%
Transport Accident D-David	1	1	0.0%	0	N/A
Traumatic Injuries A-Adam	0	1	-100.0%	1	-100.0%
Traumatic Injuries D-David	0	0	N/A	1	-100.0%
Trespassing	6	2	200.0%	3	100.0%
Unconscious D-David	1	1	0.0%	3	-66.7%
Unknown Problem D-David	1	0	N/A	0	N/A
Unlocked or Standing Open Door	3	4	-25.0%	7	-57.1%
Vehicle Accident	15	16	-6.2%	20	-25.0%
Vehicle Lockout	8	5	60.0%	2	300.0%
Vehicle Pursuit	0	1	-100.0%	0	N/A
Violation of Court Order	2	2	0.0%	2	0.0%
Wanted Person or Apprehension	3	0	N/A	0	N/A
Water Problem	0	0	N/A	1	-100.0%
Water Rescue	0	0	N/A	1	-100.0%
Weapon Violation	1	0	N/A	0	N/A
Welfare Check	33	29	13.8%	24	37.5%
Wire Down	1	1	0.0%	2	-50.0%



Kimberly/Little Chute Joint Public Library

HIGHLIGHTS

- CarlX Implementation August 15
- Continued curbside service has been appreciated and well used
- Pop-Up Library circulation is growing Tuesday afternoons in Kimberly
- WiFi hotspots are circulating
- Updated Unattended Children Policy

TOP PRIORITIES FOR SEPTEMBER

- Continue to review and revise practices to serve during COVID-19 and prepare for possibilities of reopening
- Census Event and Walking Art Gallery
- Collection development and digital services review
- Facilitate installation of outdoor wifi access points
- Follow up on laptops for circulation grants
- Marketing library services – Library card Sign Up Month
- Begin Circulating Roku Sticks

UPCOMING EVENTS

- Watch our Social Media and digital newsletter for program announcements.

Parks, Recreation and Forestry Department

HIGHLIGHTS

- Construction began on the Van Lieshout Playground and Pour in Place Surfacing.
- Submitted the 2021 department operating budget.
- Finished all work on the Van Lieshout Baseball Field.
- Construction on the David and Rita Nelson Family Heritage Crossing began. We also held the groundbreaking ceremony.
- Hosted a Dive In Movie with Unison Credit Union on August 7.
- Held socially distanced Drive In Movie at Doyle Park on Monday, August 17.
- Registration for fall/winter rec programs began on Monday, August 3.
- The Doyle Pool closed for the season on August 23, 2020.
- Prep work for start of jets football - equipment handout 8/27 AM; meeting with coaches and players 8/27 PM; first team practice scheduled for 9/8 PM due to delayed start to season.
- Planning for fall programs – youth flag football, youth soccer program, adult yoga, indoor archery, sitter course, wine walk, fall dance classes (equipment, staff, supplies, etc.).

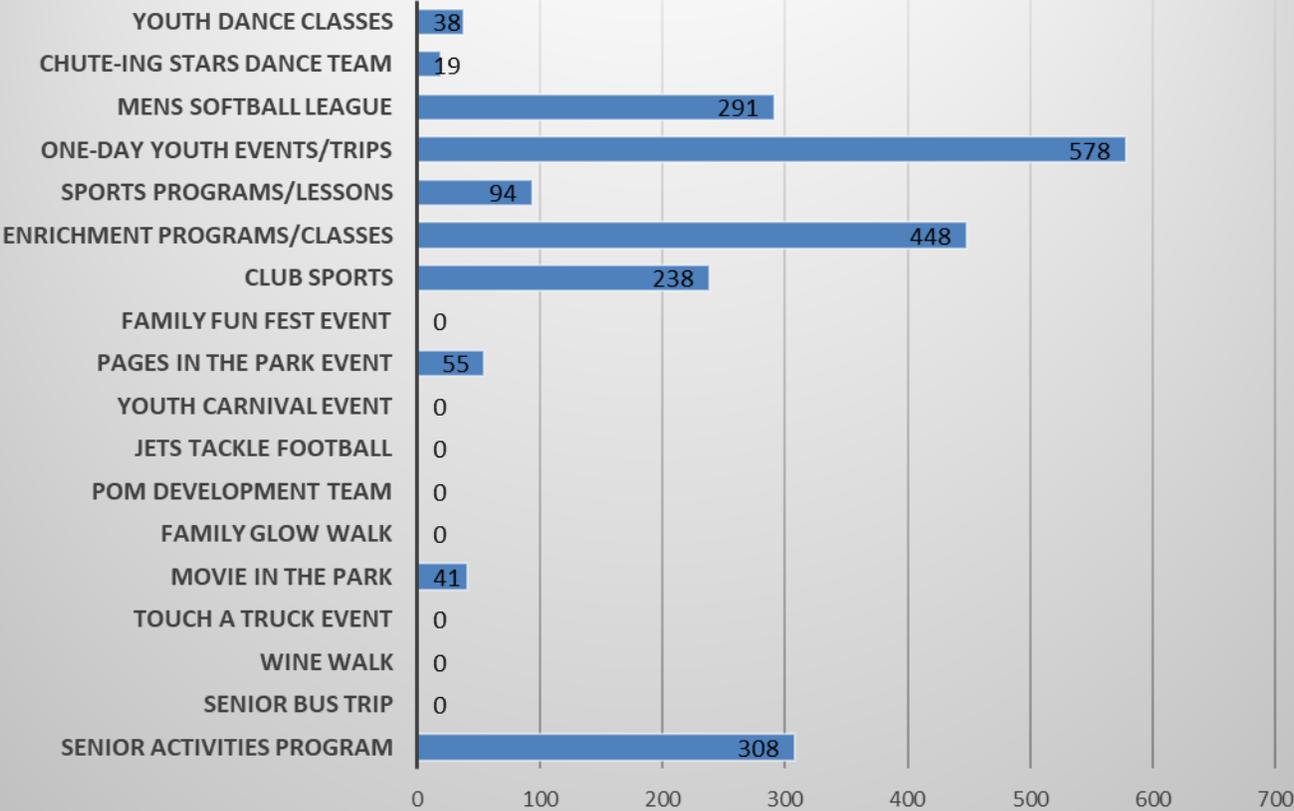


TOP PRIORITIES FOR AUGUST

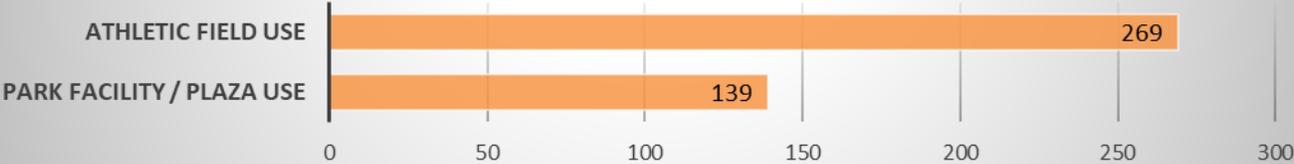
- Finish installing the pour in place surfacing at the Van Lieshout Playground.
- Van Lieshout Outdoor Patio project construction.
- Plant 94 trees in the village terrace and park system. Work to be completed by Van Zeeland's Nursery.
- Drain the Doyle Pool and complete winterization of the pool systems. Begin painting the pool for 2021.
- Install 5 benches at Creekview Park that were donated by Nestle Freedom of Little Chute.
- Conduct a park planning committee meeting on Tuesday, September 1, 2020.
- Continue construction on the David and Rita Nelson Family Heritage Crossing.
- Propose hosting the 2020 Deering Culling only in Heesakker Park.
- Install the concrete sidewalk around the Heesakker Playground area.
- Park staff to prep fields for youth soccer, youth flag football, Jets Football, and the high school soccer team.
- Fall programs begin. These programs include Flag Football, Soccer, Jets Football, Archery, Youth Dance, and more.
- Host the Glow Walk at Van Lieshout park on Friday, September 25.



2020 Year-To-Date PROGRAM PARTICIPATION



2020 Year-To-Date...



2020 TO-DATE POOL PARTICIPATION COUNTS



Department of Public Works

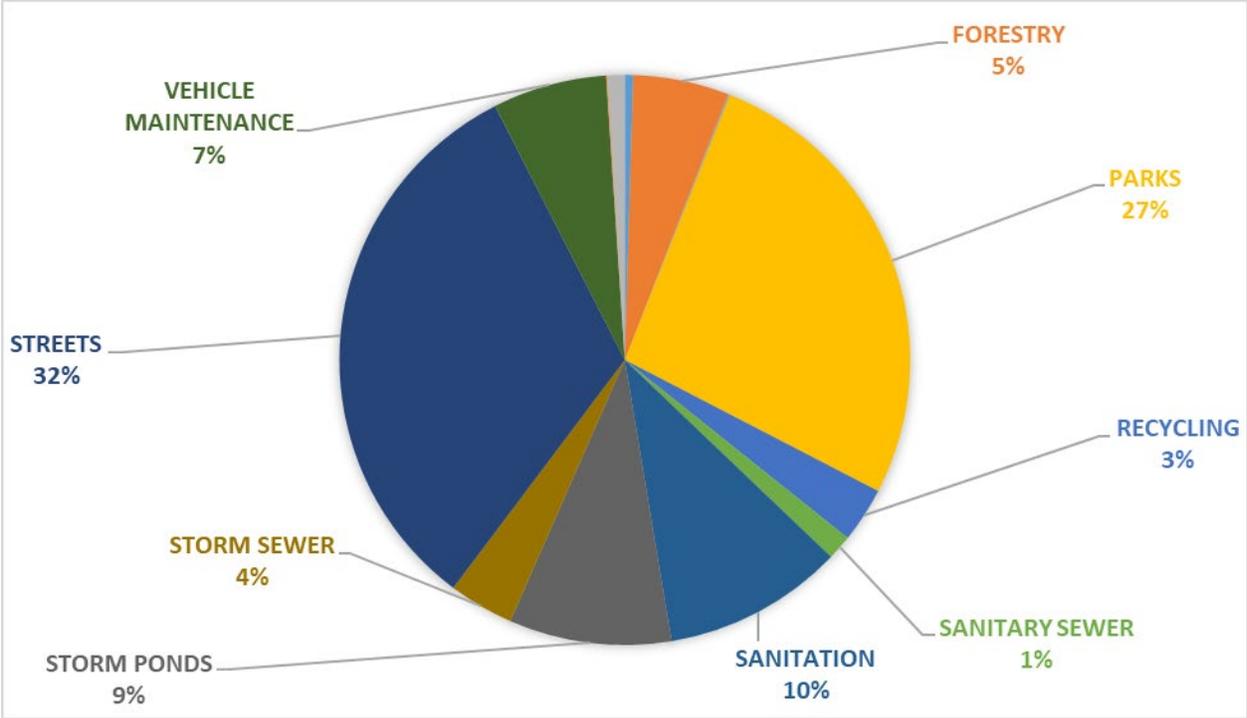
HIGHLIGHTS

- All erosion control and storm water permits were monitored.
- Continued to work to find resolution regarding Outagamie County Landfill leachate entering the sanitary collection system.
- Investigated backyard drainage concerns and located storm laterals as requested.
- Evaluated storm inlets and painted educational stencils stating – “Dump No Waste Drains to River”.
- Storm Ponds – seasonal trapping of muskrats, restored residential storm corridor, removed goose fence Buchanan pond, out fall screening preparation, and pond dredging research.
- Crew poured and finished 29.5 yards of concrete (94 cakes of sidewalk).
- Eradicated weeds around the railroad in Industrial Park.
- Checked all traffic signals and pedestrian lights before the start of the school year.
- Chip sealed the following streets – Taylor, Washington, Van Buren, and Harrison.
- Completed work with contractor on Village rail spur maintenance.
- Abandoned utility services, raze, and dispose of refuse from properties on Karen Drive.
- Hired new Public Works / Parks and Forestry employee. Welcome to the team Dan Kamps!

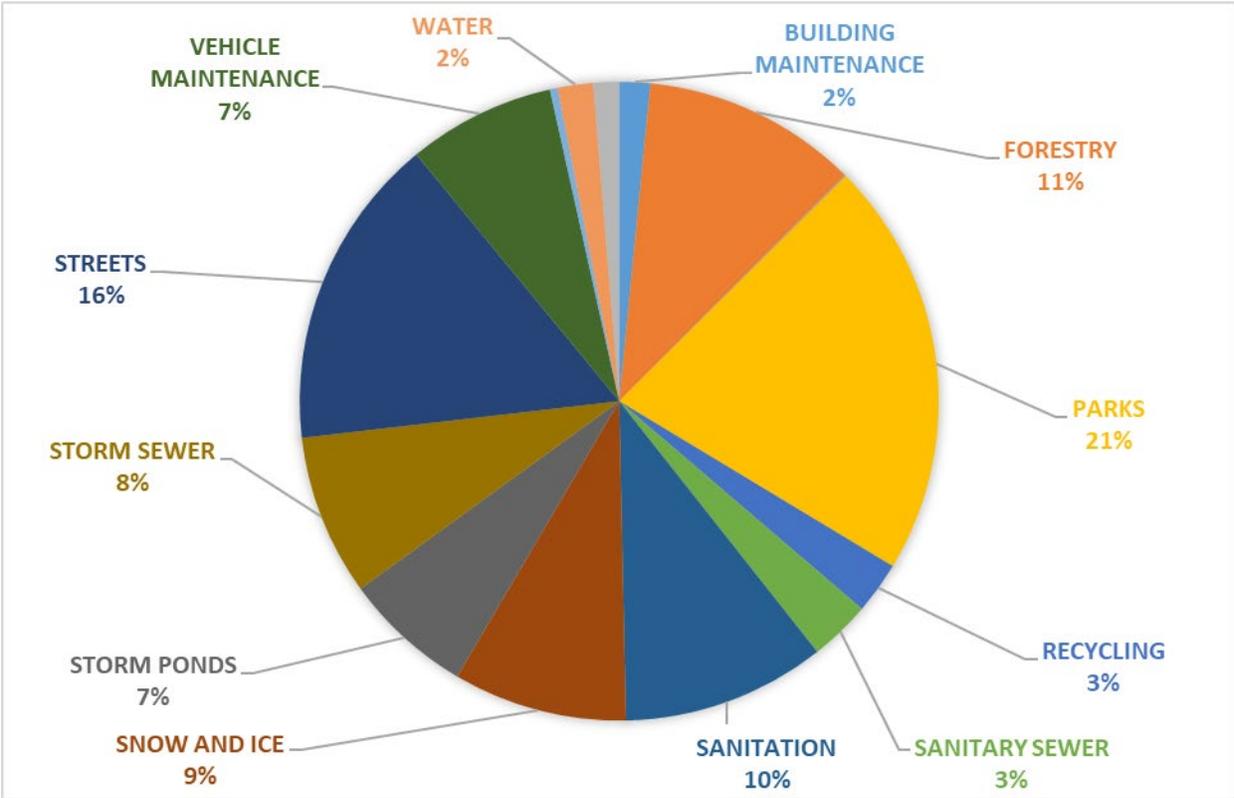
TOP PRIORITIES FOR SEPTEMBER

- Continue to evaluate the Village storm water ponds.
- Update preventive maintenance plans for sanitary and storm sewers.
- Update the Fleet Management Plan.
- Track down and repair sanitary sewer inflow and infiltration (I&I).
- Complete the 2021 budget and mission statements.
- Continue to work with surrounding communities to prepare for TDS fiber installation in 2021.

August Department of Public Works & Parks Department Hours Worked (Includes Full & Part-time Hours)



Year to Date Department of Public Works & Parks Department Hours Worked (Includes Full & Part-time Hours)



Engineering Department

HIGHLIGHTS

- Carol Lynn Drive, Homewood Court, Moasis Drive Utilities – The utility installation completed for the month of August is presented below. Full time inspection, documentation, and construction management work for the installation of public utilities continues to be our priority during the construction season.

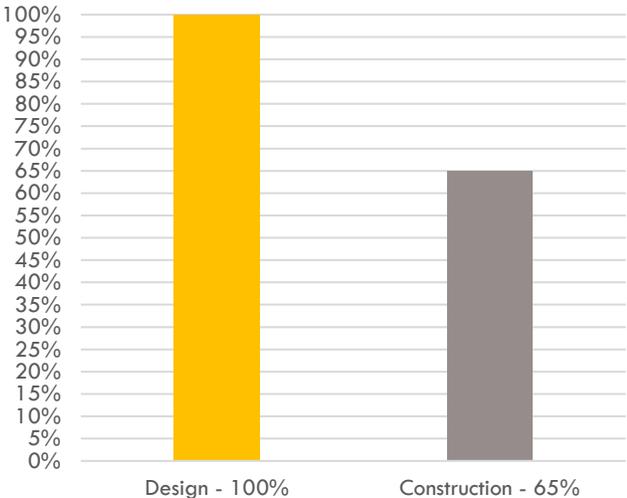
SANITARY		Installed	Abandoned/Remove
No Sanitary Utility Work in August	EA	None	None
WATER		Installed	Abandoned/Remove
6" PVC Water Main	LF	27.0	27.0
8" PVC Water Main	LF	6.0	6.0
10" PVC Water Main	LF	1,628.0	1,628.0
12" PVC Water Main	LF	12.0	12.0
6" Water Valves	EA	2	0
8" Water Valves	EA	2	2
10" Water Valves	EA	5	4
12" Water Valves	EA	1	1
Fire Hydrants	EA	2	2
STORM		Installed	Abandoned/Remove
12 Inch and Smaller Storm Sewer	LF	174.6	2,321.0
15 to 30 Inch Storm Sewer	LF	586.1	91.0
6 Inch PVC Storm Lateral	LF	912.0	289.0
Inlets/Catch Basins	EA	11	3
Manholes	EA	2	0

- Moasis Water Main Reconstruction – Work began on August 17th for water main improvements. Traffic control for a truck detour was also provided and improved during the month of August to direct traffic away from Elm and Florida.
- Downtown Hotel Storm Sewer Project – Design is wrapping up on this project with a bid sheet and project manual being finalized.
- Lyle Street Storm Sewer - Design is also near completion for this project with a bid sheet and project manual being finalized.
- Other active work projects - We continue to make progress on showing lateral locations in GIS for the storm, sanitary, and water utilities. Our summer intern has returned to school. We wish Kade Riley all the best at the University of Wisconsin this fall.

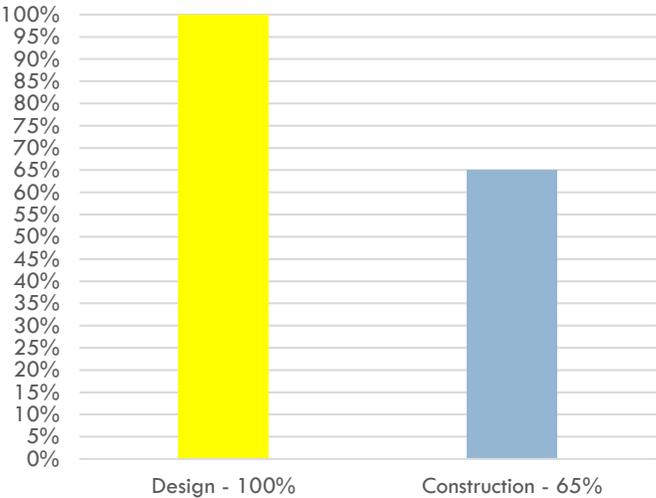
TOP PRIORITIES FOR SEPTEMBER

- Carol Lynn Drive & Homewood Court Paving – The Paving Contractor is scheduled to begin concrete paving for the new street in Homewood Court and Carol Lynn Drive during the first week in September
- Lyle Street Storm Sewer & Downtown Storm Sewer Extension – A mid-September bid notification is scheduled for these projects.
- Moasis Water Main Reconstruction – Most of the water main installed for the month of August was for the Moasis Drive. Storm sewer improvements are being discussed with the contractor to enlarge the pipe sizes of the storm sewer inlet leads while the contractor is on-site.
- Ebben Storm Sewer – This project is being designed by a Consultant and is reaching the final phase of design. It is expected that a mid-September bid notification will be scheduled for this project.
- 2021 Engineering Budget – The Engineering Department budget is expected to be submitted to finance in early September.
- Hickory Drive Urbanization – A draft development agreement has been provided to Nestle with full utilities and an 8-inch doweled concrete pavement. A 90 percent plan review has been completed with construction expected to begin in mid-September.
- Site Plan Review - Many private development projects are being reviewed in September with time being devoted to the review of storm water management plans.
- Pine Street Parking – Two Concept Plans are in development by engineering staff with design elements being provided by Community Development. These exhibits will be made available to the Village board for discussion purposes in September.

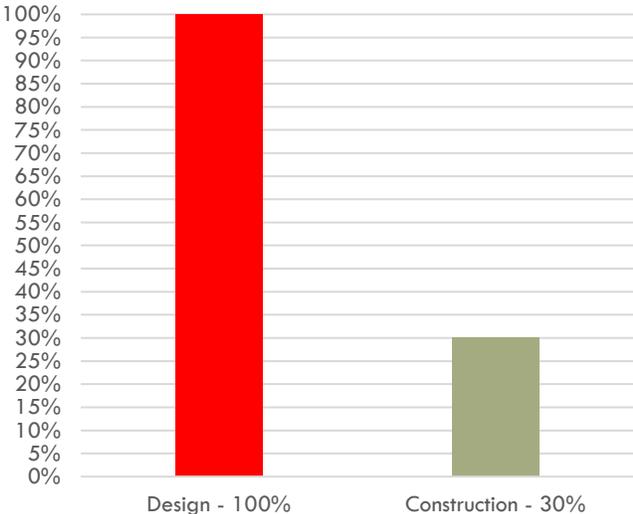
Carol Lynn Drive



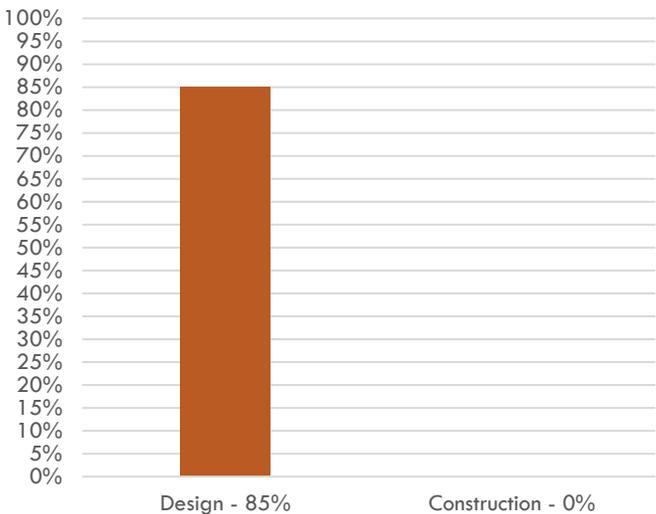
Homewood Court



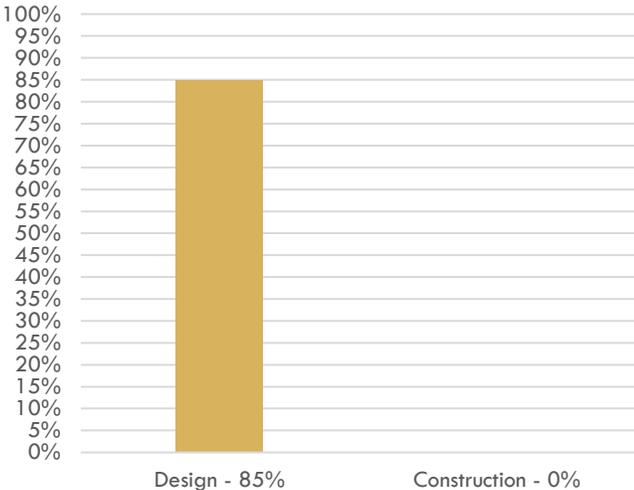
Moasis Drive Water Main



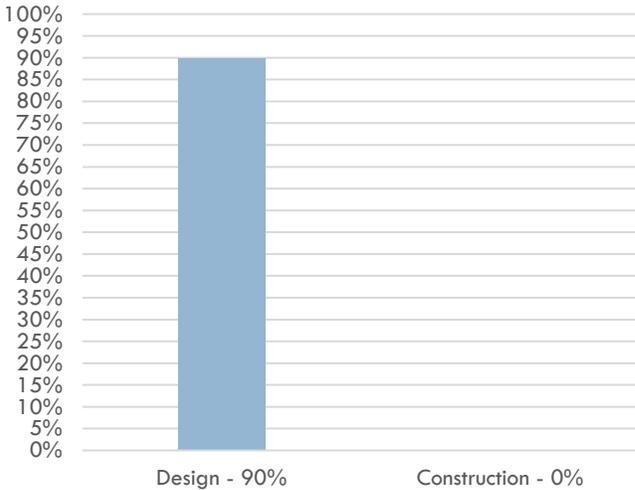
Downtown Storm Sewer - Hotel



Ebben Storm Sewer



Hickory Drive Reconstruction



**VILLAGE OF LITTLE CHUTE
Notice of Public Hearing**

The Little Chute Village Board will conduct a public hearing at the Little Chute Village Hall on Wednesday, September 16th, 2020 at 6:00 p.m. to hear comments from the public in support or objection to the amendment of the Zoning Code Article II Residential Conventional Single Family District Section 44-46 (d)

The proposed ordinance shall be available for public inspection at the office of the Village Clerk during regular office hours prior to the scheduled date of the public hearing.

PURPOSE: to add offices and clinics to the special exceptions in this district subject to the conditional use process

If you have any questions, please contact the Zoning Administrator at (920) 423-3870

Notice is further given that the said meeting is open to the public and that all persons wishing to be heard in support or objecting to the amendment of the Zoning Code Article II Residential Conventional Single Family District Section 44-46 (d) are requested to be present at this public hearing.

**DATE OF HEARING: September 16th, 2020
TIME OF HEARING: 6:00 P.M.
PLACE OF HEARING: Village Hall
Board Room
108 West Main Street
Little Chute, WI 54140**

David Kittel
Community Development Director

Run: **September 2 & September 9, 2020**

Any person wishing to attend who, because of a disability, requires special accommodations, should contact the Village Clerk, 108 W. Main St., Little Chute, (920) 788-7380, at least 48 hours prior to the meeting so that arrangements can be made.

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: To update the Zoning ordinance as it pertains to special exceptions in the Residential Conventional (RC) district

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 8/19/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

There are a few uses that are allowed in the Residential Conventional (RC) district that are not residential in use. These would be public and semipublic nonprofit institutional uses including churches, schools, libraries and the like. On occasion these other allowed use buildings are no longer needed and placed for sale. What results is a building that sits vacant with only a few uses allowed. Many of these buildings are still economically useful for a different use such as an office or clinic. Yet due to how our current ordinances are set up this would require rezoning the property. Depending on the location of these buildings this may be viable, but on occasion a rezoning could open up a future use that would not be desirable in a residential setting. In these situations a conditional use would be appropriate and allow for certain uses like an office/clinic that has minimal impact to the area to be allowed where applicable and allow for stipulations to be placed on the conditional use to minimize impact to the residences while allowing the building to be occupied. Currently the Special exception uses and structures for the RC district are below with the proposed change/addition in red:

d) *Special exception uses and structures.* The following are special exception uses and structures in the RC district:

- (1) Day nurseries and kindergartens with at least 100 square feet of open play space for each child enrolled.
- (2) Convalescent, children's and nursing homes and group homes under Wis. Stats. ch. 61.
- (3) Public utility installations.
- (4) Cemeteries.
- (5) Gardens, nurseries, and orchards, provided no office or store is maintained on the premises.
- (6) Bed and breakfast establishments.
- (7) **Business and Professional Offices, public and private clinics.**

Adding this would set up a clear process for these instances and allow the Village to ensure any use would be fitting to the property while not being intrusive to our existing residential areas. This would also assist in preventing otherwise useable building from being vacant, and unsightly, with the potential to add value to the community.

RECOMMENDATION:

Amend Sec 44-46(d) to include business, professional offices, and public, private clinics as a special exception use in the Residential Commercial district.

VILLAGE OF LITTLE CHUTE

ORDINANCE NO. 7, SERIES OF 2020

AN ORDINANCE AMENDING THE ZONING CODE ARTICLE II ZONING DISTRICTS SECTION 44-46(d) OF THE VILLAGE OF LITTLE CHUTE MUNICIPAL CODE.

WHEREAS, the Plan Commission of the Village of Little Chute has recommended the following ordinance amendments; and,

WHEREAS, the required public hearing has been held before the Village Board of Trustees, Village of Little Chute; and,

WHEREAS, the Village Board of Trustees, Village of Little Chute, finds the following ordinance amendments to be in the public interest;

NOW, THEREFORE, the Village Board of Trustees, Village of Little Chute, do ordain as follows:

Section 1. That the Zoning Ordinance, Section 44-Article II, Section 44-46(d) of the Municipal Code of the Village of Little Chute are hereby amended to read as follows:

- (d) *Special exception uses and structures.* The following are special exception uses and structures in the RC district:
- (1) Day nurseries and kindergartens with at least 100 square feet of open play space for each child enrolled.
 - (2) Convalescent, children's and nursing homes and group homes under Wis. Stats. ch. 61.
 - (3) Public utility installations.
 - (4) Cemeteries.
 - (5) Gardens, nurseries, and orchards, provided no office or store is maintained on the premises.
 - (6) Bed and breakfast establishments.
 - (7) Business and Professional Offices, public and private clinics.

Section 2. Effective Date. This Ordinance shall take effect upon the adoption and publication and enactment of the Ordinance by the Village Board of Trustees, Village of Little Chute.

Introduced: September 2, 2020

Approved and adopted: September 16, 2020

VILLAGE OF LITTLE CHUTE

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
VILLAGE BOARD
NOTICE OF PUBLIC HEARING**

CONDITIONAL USE REQUEST

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on September 16, 2020 at 6:00 p.m. by the Village Board, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Owner requests a conditional use permit for a Clinic occupancy, more specifically to operate a clinic for occupational therapy dealing with sensory issues. The property is Zoned; RC- Residential Conventional in the Village of Little Chute, Outagamie County, Wisconsin.

Address: 1215 Buchanan St

Parcel #260105100

Legal Description: ASSRS PLAT N143FT OF S401FT OF E147.5FT LOT 13 BLK 61

Current Owner: Home Church

Applicant: Home Church

DATE OF HEARING: September 16, 2020

TIME OF HEARING: 6:00pm

PLACE OF HEARING: Village Hall

Board Room

108 West Main Street

Little Chute, WI 54140

If you have any questions, please contact the Zoning Administrator at (920) 423-3870

Publish: September 9, 2020

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

CHRIS J HARTWIG
PO BOX 165
LITTLE CHUTE, WI 54140

BRADLEY J HIETPAS
RITA M HIETPAS
1007 COOLIDGE AV
LITTLE CHUTE, WI 54140

JENNIFER GLOUDEMANS
JONATHAN HIETPAS
1214 ROOSEVELT ST
LITTLE CHUTE, WI 54140

ANTHONY ZIPPI
CANDEE ZIPPI
1212 ROOSEVELT ST
LITTLE CHUTE, WI 54140

JEFFERY J SMITH
MARIE K SMITH
1200 ROOSEVELT ST
LITTLE CHUTE, WI 54140

JACOB R JOSEPH
EMILY E JOSEPH
1135 BUCHANAN ST
LITTLE CHUTE, WI 54140

CARL F VOSTERS
MARGARET A VOSTERS
1129 BUCHANAN ST
LITTLE CHUTE, WI 54140

CHAD M FREUND
1208 BUCHANAN ST
LITTLE CHUTE, WI 54140

KENNETH J VOSTERS
1210 BUCHANAN ST
LITTLE CHUTE, WI 54140

JAMES A JACKSON
AMBER SKINKIS
1212 BUCHANAN ST
LITTLE CHUTE, WI 54140

ANTHONY H SCHUMACHER
MARYLYN J BETHE
%ANTHONY H SCHUMACHER
1514 E HENRY ST
APPLETON, WI 54915

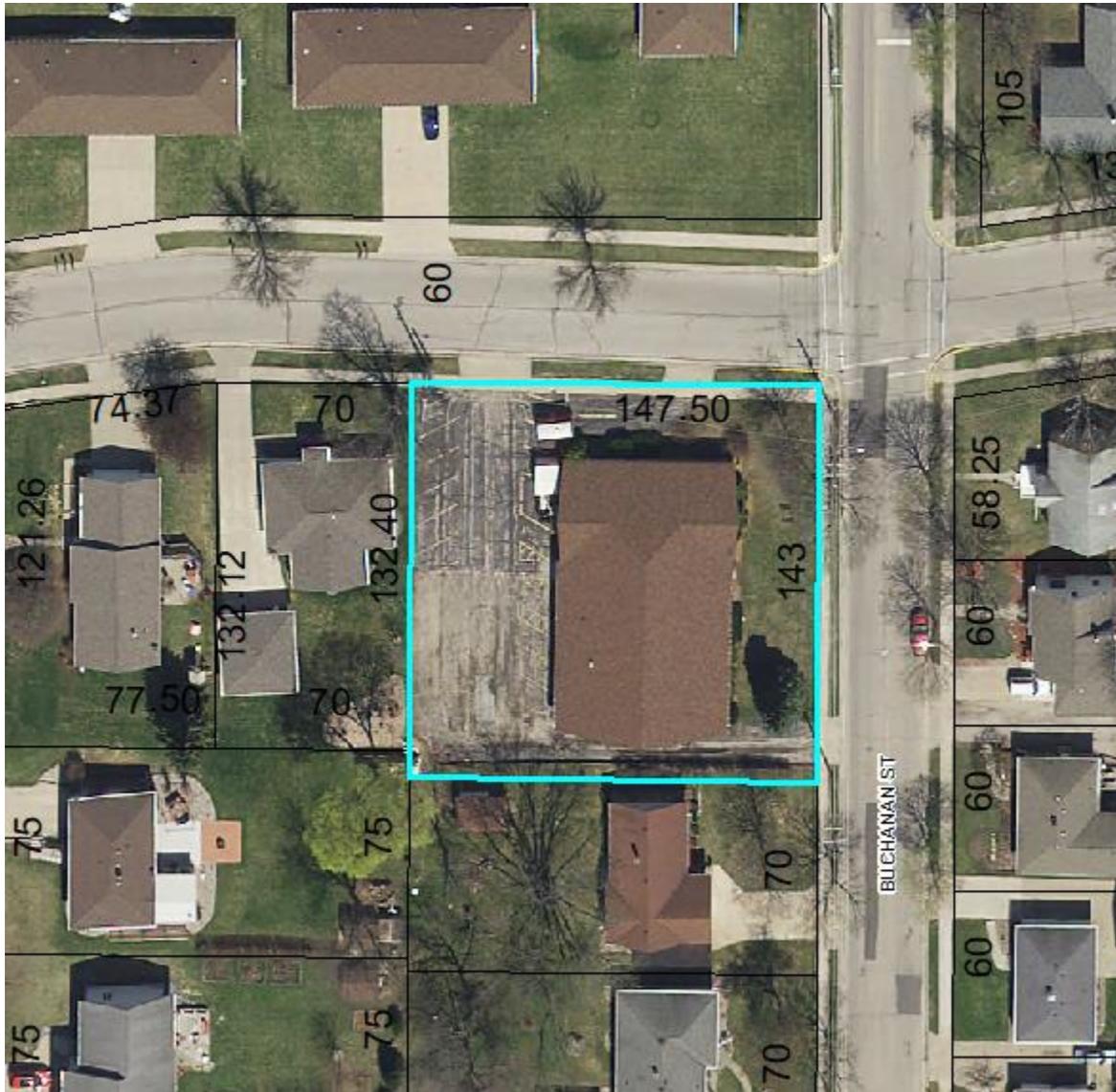
**COLIN T HUOLIHAN
1224 BUCHANAN ST
LITTLE CHUTE, WI 54140**

**HOME CHURCH
PO BOX 1273
APPLETON, WI 54912**

Conditional Use request for 1215 Buchanan:

The request is to utilize existing building previously used as a church for a private Clinic. There is ample onsite parking for this use. This proposed use would have low amount of additional traffic, not operate on the weekends, and hold normal business hours during the week.

Some areas of concern brought up by adjacent property owners are regarding a buffer between the residential properties and this property. An easy solution would be to have a fence constructed on the boundary area



**DEVELOPMENT AGREEMENT
BETWEEN
VILLAGE OF LITTLE CHUTE
AND
NESTLE USA, INC.**

This Agreement is made by the Village of Little Chute (herein “Village) and Nestle USA, Inc. (herein “Nestle”). The Village and Nestle may be referred to herein as “party” or collectively as “parties”.

BACKGROUND RECITALS

WHEREAS, Nestle operates a food products distribution facility (herein “Facility”) in the Village located on the east side of County Highway N and on the south side of Hickory Drive; and

WHEREAS, Hickory Drive is currently not developed to Village road standards; and

WHEREAS, Nestle desires Hickory Drive to be improved to Village road standards to accommodate greater levels of usage for the benefit of the Facility; and

WHEREAS, County Highway N will have to be improved to accommodate traffic entering and exiting Hickory Drive; and

WHEREAS, the improvements of Hickory Drive and County Highway N will also require the installation of additional Infrastructure; and

WHEREAS, Nestle is further in need of some design modifications to the driveway and parking areas on the south side of the Facility grounds owned by Nestle (“Facility property”); and

WHEREAS, the Village requires permanent storm water management easements from Nestle related to public right-of-way surface water in conjunction with the subject matter of this Agreement; and

WHEREAS, Nestle occupies the Nestle facility grounds as a Tenant of Hickory Drive Holdings, LLC which has its own consent letter requirements for parking lot expansion stated in a letter dated August 18, 2020;

NOW, THEREFORE, the Village and Nestle agree as follows:

1. **Road Improvements and Permits**. Nestle agrees to pay for the design and construction of road improvements to both Hickory Drive and County Highway N as described in this Agreement (herein collectively “Road Improvements”).

2. **County Highway N Improvements**. The County Highway N improvements will include the following areas of road work located on the east side of Highway N both north and south of the intersection with Hickory Drive as shown on **Exhibit A** on **Plan Sheets 03** and **04**

from the **Freedom Road and Hickory Drive Reconstruction Bid Documents**, stamped and dated, August 17, 2020.

- a. Entrance to Hickory Drive from Highway N
- b. Right turn lane north of the County Highway N entrance
- c. Deceleration lane markings beginning south of the County Highway N entrance
- d. All constructed to Outagamie County specifications

3. **Hickory Drive Improvements.** The Hickory Drive improvements will include the following features located along the northern border of the Nestle Facility property and running from and including the intersection of Highway N (STA 1+57) in an easterly direction approximately 2,003 feet (STA 21+60) to a point east of the eastern boundary of the Nestle Facility property at the intersection of Don Degroot Drive, as shown on **Exhibit A on Plan Sheets 05 through 08** from the **Freedom Road and Hickory Drive Reconstruction Bid Documents**, stamped and dated, August 17, 2020.

- a. Fully improved urbanized roadway consisting of three lanes of concrete pavement with integral curb and gutter.
- b. Driveway access points at three locations to Nestle Facility property
- c. Associated gravel base and pipe network for storm sewer, sanitary sewer, and water main to be constructed to Village technical specifications.

4. **Technical Specifications for Road Improvements.** Road Improvements construction standards shall follow Wisconsin DOT standards for paving, including but not limited to, construction processes, procedures, quality of completed installation and materials, and consideration of weather conditions at time(s) chosen for installation. A complete set of Village technical specifications is provided in the **Request for Proposal** document for **Freedom Road, Hickory Drive, & Phase 1 Site Improvements**, dated August 18, 2020 attached hereto as **Exhibit B**.

5. **Payment For, and Approval of, Road Designs.** The design for Road Improvements on both County Highway N and Hickory Drive will be prepared by McMahon Associates, Inc. at Nestle's sole and exclusive expense. Prior to construction commencement, (i) the Hickory Drive Road Improvements design shall be submitted to and approved by the Village at a meeting of the Village Board of Trustees; and also, (ii) the Highway N Road Improvements shall be submitted to the Outagamie County Highway Commission for approval.

6. **Payment for Construction.** Nestle shall pay for all labor and materials for the Road Improvements on both Highway N and on Hickory Drive in full. The Village is not obligated to reimburse Nestle for payment of the road improvements.

7. **Design, Technical Specifications, and Construction of Infrastructure.** Nestle also agrees to pay for the design and construction of infrastructure consisting of street lights, water main, sanitary sewer, and storm sewer, together with associated manholes, valves, and related facilities, to be located in the public right-of-way of County Highway N, Freedom Road, and/or

Hickory Drive, the locations of which are depicted on **Exhibit C Freedom Road and Hickory Drive Reconstruction Bid Documents, sheets 01 through 26** stamped and dated, August 17, 2020 (herein collectively “Infrastructure”), and subject to the requirements in the Specifications Manual (a complete set of Village technical specifications are provided in the **Request for Proposal** document for **Freedom Road, Hickory Drive, & Phase 1 Site Improvements**, dated August 18, 2020) previously described as **Exhibit B**. Nestle is also required to install and/or enlarge an existing storm water detention pond and additional conveyance facilities on the Nestle facility grounds for connection to the Infrastructure located in the public right-of-way referenced above. Nestle is required to obtain all necessary state, county, and local permits for the work and improvements contemplated by this Agreement. Nestle is also required to design and install, at its own expense, on its own Facility grounds additional infrastructure, as depicted on **Exhibit D (2020 Site Improvements Plan Set – Preliminary, sheets 1 through 13** and dated August 2020) consisting of a storm water detention pond, water main/laterals, sanitary main/laterals, storm main/laterals, and related facilities reasonable or necessary associated therewith.

8. **General Contractor.** The general contractor for Road Improvements shall be hired by Nestle, but approved in advance by the Village as being fully qualified for the work to be performed. All payments due to the general contractor shall be made in full when due by Nestle.

9. **Ownership of Improvements.** The Pavement and Utility Improvements on Hickory Drive will constitute property and assets owned by the Village. The Pavement and Storm Sewer Improvements on County Highway N will constitute property and assets owned by Outagamie County. The Sanitary Sewer and Water Main Improvements located in the right of way of County Highway N will constitute property and assets owned by the Village. All Road Improvements, including design, labor and materials, paid for by Nestle, constitute a gift from Nestle to the Village and the County as applicable to their respective ownership stated above.

10. **Commencement Date of Construction.** The parties intend that the Road Improvements design and Infrastructure design will be approved, and construction of the Road Improvements and Infrastructure may begin as early as _____, 2020 if all necessary requirements, approvals, and permits can be obtained on or before that date.

11. **Inspection and Approval of Road Improvements and Testing Infrastructure.** The Village has the right to inspect and reject or approve the Road Improvements upon substantial completion, including the right to require additional or corrective work and materials as reasonable or necessary to assure that the original specifications have been complied with by the contractor doing the work. The Village also has the right to inspect and test all Infrastructure installed by Nestle in conjunction with the Road Improvements. Nestle shall reimburse the Village for the Village’s reasonable costs and expenses incurred for inspection of the installation of the Road Improvements and Infrastructure being located in the right-of-way, and also for testing the Infrastructure installed in road right-of-way for appropriate adequacy of all intended functions and purposes. The Village will inspect at a not to exceed cost of \$33,000 with an additional testing budget of \$10,000, if needed, to verify test results provided by the Contractor. This estimate for work is expected to be completed within the 2020 construction season. Overtime hours or weekend inspections are not included in the above fees.

12. **Road Improvements and Infrastructure Warranty by Nestle.** All Road Improvements and Infrastructure shall be warranted for both workmanship, installation, and materials being of good quality consistent with Village specifications and industry standards for a period of one (1) year following acceptance of the Road Improvements by the Village upon substantial completion.

13. **Nestle to Provide Record Drawings.** Record drawings of the completed Road and Utility Improvements shall be provided to the Village upon substantial completion for the improvements installed in County Highway N and Hickory Drive.

14. **Nestle to Provide Detailed Invoices.** Nestle shall provide to the Village copies of all invoices for all construction, labor and materials associated with installation of the Road Improvements and the Infrastructure for the reason that the Village needs these invoices to document detailed contributed capital fixed asset records for municipal accounting and audit purposes. All such invoices for work completed in 2020 shall be provided to the Village no later than February 15, 2021. If the Project is not completed in 2020, all invoices related to 2021 work must be provided within 60 days of installation completion. All such invoices, whether for 2020 or 2021, shall be identified in terms of whether they apply to Road Improvements, sewer infrastructure, water infrastructure, or storm infrastructure.

15. **Nestle's Road Obligations are Conditional.** Nestle's obligations in this Agreement for the design, construction, and payment for all Road Improvements are conditioned upon the requirement that the Village approve the "Nestle Site Plan Modifications" described in paragraph 18 below.

16. **Nestle to Treat Public Storm Water.** Nestle agrees to treat, by means of settlement or other appropriate means, storm water being transported to the private detention pond located on Nestle's Facility grounds. The storm water system being designed for the public right-of-way as part of the Road Improvements will route storm water coming from Hickory Drive right of way to the detention pond on Nestle's Facility grounds. This accommodation to the Village is being made by Nestle as part of its consideration for the Village authorizing the Road Improvements for Nestle's benefit in this Agreement.

17. **Nestle to Grant Storm Water Easements.** Nestle is required to install, operate, repair, maintain, and replace storm water facilities located on the Nestle Facility grounds. In accordance with the approved Storm Water Management Plan (SWMP) and the Operation and Maintenance Plan (O&M). The submitted documents are dated August 19, 2020. Nestle shall grant permanent storm water easements on the Nestle's Facility grounds to the Village for receiving storm water from public right-of-way, and for operation, repair, maintenance, and replacement of storm sewer, storm sewer facilities, and a storm water detention pond deemed reasonable or necessary by the Village, in the event such operation, maintenance, repairs, and replacements are not undertaken as required by Nestle. Said storm water facilities are to enable Village management of storm water pertaining to public right-of-way surfaces which storm water requires transportation, settlement, or other treatment in accordance with applicable storm water management standards of the Village. Such easements shall be granted by Nestle, upon request by the Village, on usual and customary recordable easement forms. Nestle is responsible for the

installation, operation, repair, maintenance, and replacement for such storm water facilities and all costs associated therewith; however to the extent Nestle fails to maintain satisfactory operational condition of these facilities, the Village may go upon Nestle's Facility grounds to undertake this work and charge back the cost thereof to Nestle as a special charge under Chapter 66.0627 Wisconsin Statutes.

18. **Nestle Site Plan Modifications.** As consideration for this Agreement, and full payment for the design and construction of the Road Improvements by Nestle, the Village has conditionally approved (as further explained below) preliminary site plan modifications to the Facility property owned by Nestle as shown on **Exhibit D** (2020 Site Improvements Plan Set – Preliminary, sheets 1 through 13 and dated August 2020) and described as follows:

- a. Installation of new parking stalls and drive isles
- b. Guard Shack installation
- c. New private storm sewer to convey storm water from public right of way
- d. Storm water management pond improvements to accommodate additional offsite storm water for water quality and detention as specified in the SWMP and O&M documents.
- e. Compliance requirements by Nestle to those terms in a letter dated August 18, 2020 from Broadstone Net Lease, Inc. referencing Hickory Drive Holdings LLC as Landlord in a Lease of the Nestle Facility and grounds to Nestle attached hereto as **Exhibit E.**

Notwithstanding anything contained herein to the contrary, the Village's conditional approval of Nestle's preliminary site plan modifications as shown on **Exhibit D** is conditioned (i) on Nestle's submission of final site plan modifications per Village standards and requirements for final Board consideration and discretionary approval when site plan modifications are finalized and (ii) on Nestle's final site plan modifications compliance with all Village code provisions.

19. **Construction of the Site Plan Improvements.** Construction of the site plan improvements shall not be commenced until the Road Improvements have been designed, completed, record documents provided for the improved facilities, and the work accepted by the Village including that all construction work and materials have been fully paid for by Nestle.

20. **Site Plan Improvements Approval.** The Village is granted the right to require additional work or corrective work as necessary to be performed by Nestle to assure the site plan improvements are constructed in accordance with the design and specifications approved by the Village.

21. **Site Plan Design Specifications.** Detailed site plan design specifications, for the Nestle Facility grounds are attached hereto as **Exhibit B.**

22. **Enforcement.** The obligations of Nestle may be enforced by the Village by an action at law and/or by an action for equitable relief in the Circuit Court for Outagamie County.

23. **Complete Agreement.** This constitutes the complete agreement between the parties and there have been no other oral or written representations, warranties, or agreements upon which any party hereto has relied, except those in writing and signed by the party or parties to be bound.

24. **Parties Bound.** This Agreement shall be binding on the parties hereto and their respective heirs, successors and assigns.

25. **Signatures.** Fax or email copies of this document, and copies of signatures transmitted by fax or email, and counterpart signature pages of this document shall be deemed as binding and valid as originals.

Dated this _____ day of _____, 2020.

VILLAGE OF LITTLE CHUTE

BY: _____
Michael R. Vanden Berg, Village President

BY: _____
Laurie Decker, Village Clerk

NESTLE USA, INC.

BY: _____

**TABLE OF EXHIBITS
TO
DEVELOPMENT AGREEMENT
BETWEEN
VILLAGE OF LITTLE CHUTE
AND
NESTLE USA, INC.**

Exhibit A – paragraph 2 and paragraph 3 – locations of Road Improvements.

Exhibit B – paragraph 4 and 7– Technical Specifications for Road Improvements and Infrastructure

Exhibit C – paragraph 7 – locations of Infrastructure Improvements in right-of-way

Exhibit D – paragraph 7 – locations of Infrastructure Improvements within Nestle facility grounds

Exhibit E – paragraph 18. e. – Broadstone Consent Letter and requirements to Nestle for reference.

August 18, 2020

Paul DiBartolo
Operations Manager
Nestle Dryer DC
3900 North Freedom Road
Little Chute, WI 54913

Via email: Paul.Dibartolo@us.nestle.com

Re: Landlord Consent for Nestle's Proposed Parking Lot Expansion Project
3900 North Freedom Road, Little Chute, WI 54913 [958]

Dear Mr. DiBartolo,

We are in receipt of and have reviewed the most recent supporting documents, provided to us by Scannell Properties, for the Parking Lot Expansion Project currently estimated to cost \$ 3,122,849.25 at the above referenced property. The support documents include:

- Proposal for Nestle Paving Expansion, dated June 10, 2020 by Scannell Properties
- Drawings from McMahon Engineers & Architects, titled 'Alternative 4 – Site Plan', sheets 10 thru 14, dated March 2020
- Proposal for Geotechnical Engineering Services from Intertek PSI dated June 12, 2020
- Proposal for Traffic Study from McMahon Engineers & Architects, dated May 15, 2020
- Revised Budget Proposal for 'Nestle Concept Alt 4', from Northeast Asphalt Inc. (Grading & Paving Contractor) June 9, 2020

Please be advised that pursuant to Section 14, 'Improvements and Alterations' of the Commercial Lease Agreement, dated September 30, 2016 [by and between Assignor and Hickory Drive Holdings, LLC, as amended by that certain Amendment No. 1 to Commercial Lease dated February 7, 2017 and that certain Amendment No. 2 to Commercial Lease dated September 28, 2017, for the property located at 3900 Freedom Road, Appleton, Village of Little Chute, Wisconsin], our approval granted to your Parking Lot Expansion Project is contingent on the following:

1. All Consent-Required Alterations must be performed under the supervision of a licensed architect or engineer in accordance with detailed plans and specifications that are submitted to Landlord at the time Landlord's consent is sought.
2. All improvements made by Tenant shall comply with all applicable laws, codes, and ordinances and the requirements of any permits in connection therewith, including, without limitation, the following:
 - a. any ADA requirements arising from such Improvements
 - b. Wisconsin DOT standards and requirements for exterior concrete and asphalt paving as it relates to the type and intended use of this parking lot expansion, including use for

heavy commercial truck and tractor trailer vehicular access, loading/unloading, and parking of such vehicles

- c. any geo-technical surveys previously furnished for this property
3. Tenant shall promptly pay all costs and expenses associated with this project and must discharge (by payment, bonding or otherwise), within thirty (30) days of the filing thereof, any construction lien claim filed against the Premises for work claimed to have been done for, or materials claimed to have been furnished to, or on behalf of Tenant (excluding, however, Landlord's Work).
 - a. Tenant may contest any such lien in a manner prescribed by law after posting security for the benefit of Landlord in an amount reasonably determined by Landlord, but in no event more than 125% of the amount claimed by such lien unless such additional amount is required under applicable law to prohibit the foreclosure of any such lien.
4. Upon project completion, Tenant shall in turn bear full responsibility to pay for and execute the care, maintenance, (future) repairs, alterations or replacement of all new work defined by the scope of this parking lot expansion, throughout the remaining portion of the Lease terms, with no exception
5. Tenant, and/or Tenant's contractor shall provide an updated proposed Project Schedule indicating estimated commencement date, milestone events and expected completion date for approved use and occupancy of new expansion area(s)
6. Northeast Asphalt's services described in the Revised Budget Proposal include 'Strip topsoil and stockpile onsite for re-use' as well as 'Place topsoil in greenspace areas for landscaping'. Please ensure that all excavated materials associated with this expansion work is completely removed from the site at Tenant's expense, such that there is no stockpiling that remains on site, if not utilized by tenant for finished and completed landscaping work at the time of this project completion.
7. If a Notice of Completion is required by local law for such work, Tenant shall file it and provide Landlord with a copy.
8. Tenant shall, at Tenant's cost, provide Landlord with a set of "as-built" drawings, upon completion of the project, for any work which Tenant undertakes.
9. All such work shall be performed in a good and workmanlike manner using only licensed contractors and new materials, and expeditiously completed in compliance in all material respects with all Legal Requirements.
10. All such work shall comply with all Insurance Requirements (see attached to this letter).
11. All such improvements will become the property of the Landlord and subject to the Master Lease.

12. Tenant shall procure and pay for all Permits and licenses required in connection with any Alteration and provide copies to the Landlord.
13. Tenant shall promptly repair any damage and perform any necessary cleanup resulting from any Improvements.
14. Tenant shall provide a complete list of all contractors, sub-contractors and major suppliers who will be working on this project.

Once your project is completed, please forward to us evidence of payment for the total cost of the project, along with final waivers of mechanics liens from all contractors, subcontractors and or suppliers who worked on the project.

Please let me know if you have any further questions or if I can be of any further assistance. I can be reached directly at 585-413-5522.

Sincerely,

Broadstone Net Lease, Inc.
Managing Agent



Frank DeLuca
VP, Portfolio Management

cc: Steve Haupt, SVP of Property Management – Broadstone Net Lease Inc
Rick Kingery, VP Enterprise Clients – Colliers International
Mike Schultz, Supervisor DC Operations – Nestle
Cassi Benson, Sr. Property Manager – Scannell Properties

INSURANCE REQUIREMENTS: General Contractor shall procure and maintain (during the entire term of this Project) at their own expense and from insurers acceptable (no less than A Rating by A.M. Best) to Owner, such insurance policies as will fully protect Contractor, all subcontractors, Tenant and Owner, from all claims for injuries or damages, including attorneys' fees, by whomever caused, arising out of, or in any way related to, the performance of the Services, whether before or after completion. General Contractor shall also maintain at their own expense any other insurance required by law, including the following (Only if checked below):

✓	General Liability, including Completed Operations and Contractual Liability	\$1,000,000 (per occurrence) \$2,000,000 (aggregate)
✓	Automobile Liability	\$1,000,000 (combined single limit)
✓	Umbrella Liability	\$5,000,000
✓	Worker's Compensation including Employer's Liability	Statutory
	Builder's Risk Insurance	Equal to Total Completed Value

Owner and Tenant shall be named as additional insured on all of these policies, including the coverage for ongoing and completed operations, except Worker's Compensation. All such policies shall be primary and non-contributory over any and all collectible insurance and shall include a waiver of subrogation in favor of the Owner and Tenant. **Prior to commencing any of the Services, Contractor shall deliver to Owner binding certificates of insurance evidencing all insurance coverages required to be maintained by Contractor.**

**Hickory Drive Holdings, LLC
800 Clinton Square**

Owner: **Rochester, NY 14604** _____

Tenant: **Nestle USA Inc.** _____

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Nestle Site Improvements

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/10/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

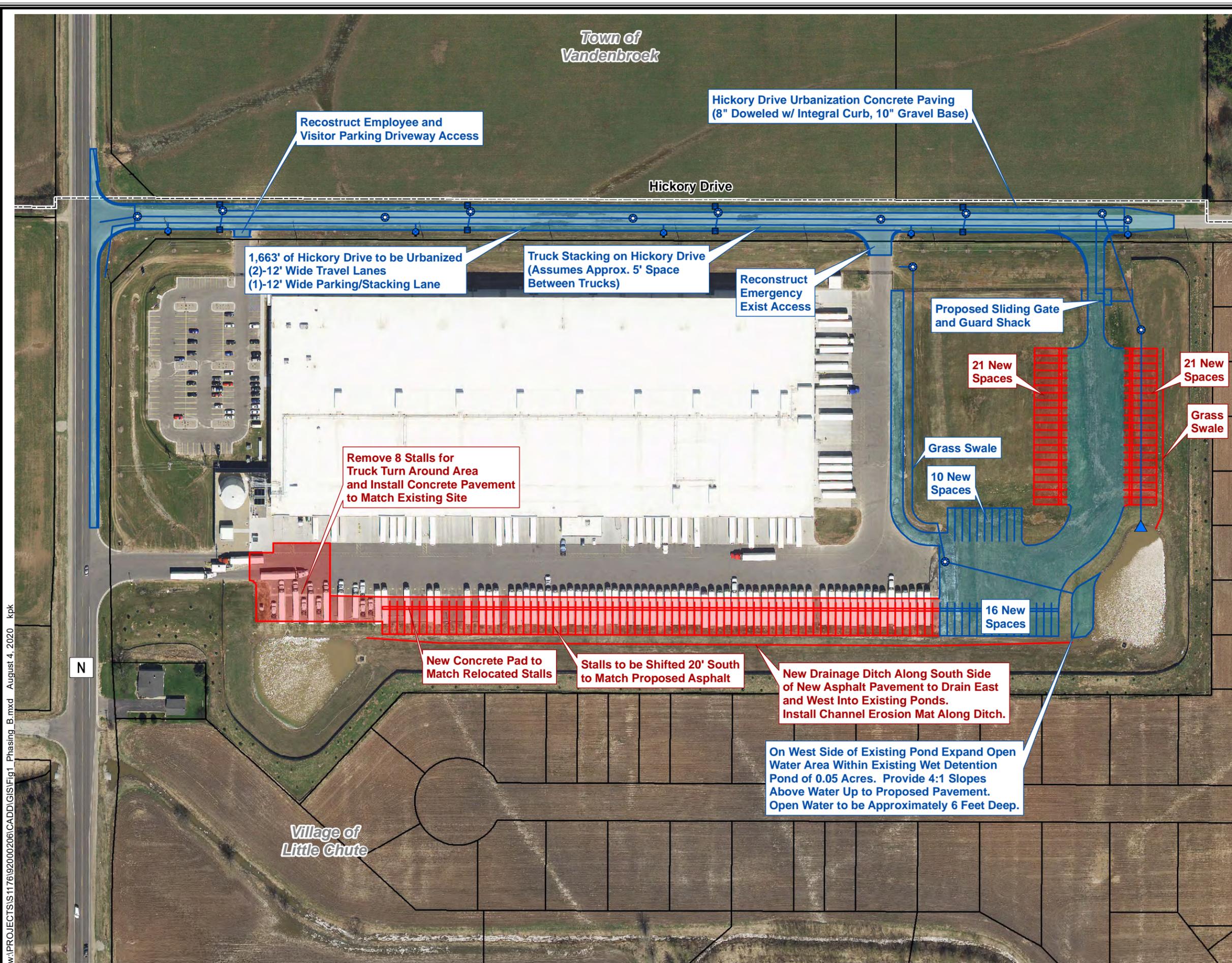
EXPLANATION:

Nestle is looking at upgrading and improving the facility at 3900 Freedom road. Part of this work is to improve Hickory road to better handle truck traffic as well as some site improvements. These improvements will improve the flow of the trucks into the facility and assist in preventing trucks stacking on CTY N. There will be a new entrance created and driving lane off Hickory to allow trucks to enter off Hickory and then exit at the existing gate off CTY N. The Site improvements on the property are listed below:

- Shift existing stalls 20' to the south
- Add 26 stalls along the southern portion of property (16 following the existing parking area and 10 on the other side of the driving lane)
- Add 42 stalls on the eastern portion of the property
- Add Guard shack
- Adding asphalt to widen portions of the existing lot/driving lane

Typically, the trucks parked along the southern portion of the property are not idling and the refers are off. These changes should not be increasing the noise at the facility and our performance standards laid out in Sec 44-245 still apply (No operation or activity shall transmit any noise exceeding 70 dBA from 7:00 a.m. to 10:00 p.m. and 60 dBA from 10:00 p.m. to 7:00 a.m. beyond the property line).

RECOMMENDATION: For the Plan Commission to discuss and make a recommendation to the Village Board to Approve the Site Plan for Nestle.



Town of Vandebroek

Hickory Drive Urbanization Concrete Paving
(8" Doweled w/ Integral Curb, 10" Gravel Base)

Reconstruct Employee and Visitor Parking Driveway Access

Hickory Drive

1,663' of Hickory Drive to be Urbanized
(2)-12' Wide Travel Lanes
(1)-12' Wide Parking/Stacking Lane

Truck Stacking on Hickory Drive
(Assumes Approx. 5' Space Between Trucks)

Reconstruct Emergency Exist Access

Proposed Sliding Gate and Guard Shack

21 New Spaces

21 New Spaces

Grass Swale

Grass Swale

10 New Spaces

16 New Spaces

Remove 8 Stalls for Truck Turn Around Area and Install Concrete Pavement to Match Existing Site

New Concrete Pad to Match Relocated Stalls

Stalls to be Shifted 20' South to Match Proposed Asphalt

New Drainage Ditch Along South Side of New Asphalt Pavement to Drain East and West Into Existing Ponds. Install Channel Erosion Mat Along Ditch.

On West Side of Existing Pond Expand Open Water Area Within Existing Wet Detention Pond of 0.05 Acres. Provide 4:1 Slopes Above Water Up to Proposed Pavement. Open Water to be Approximately 6 Feet Deep.

Phase I Improvements

- Sanitary System
- +— Water System
- ▲ Storm System
- ▭ Pavement or Pond

Phase II Improvements

- ▲ Storm System
- ▭ Pavement

Other Mapped Features

- Municipal Boundary
- Parcel Line

Source: Outagamie County, 2018-20.

Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



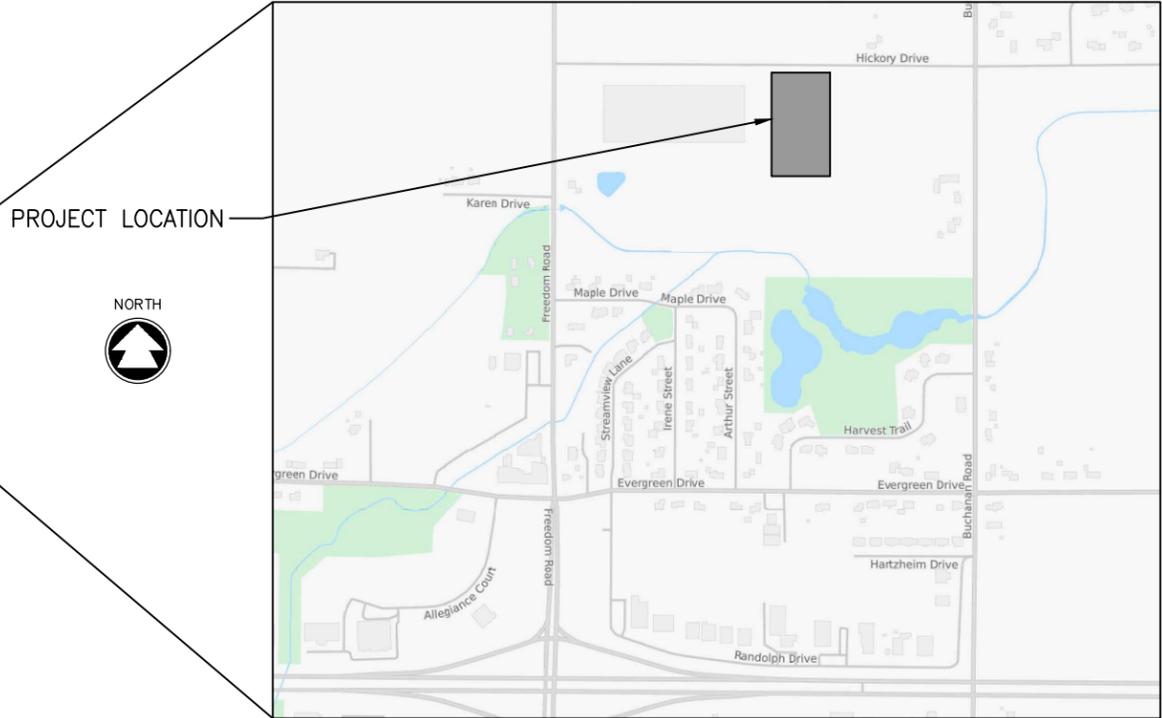
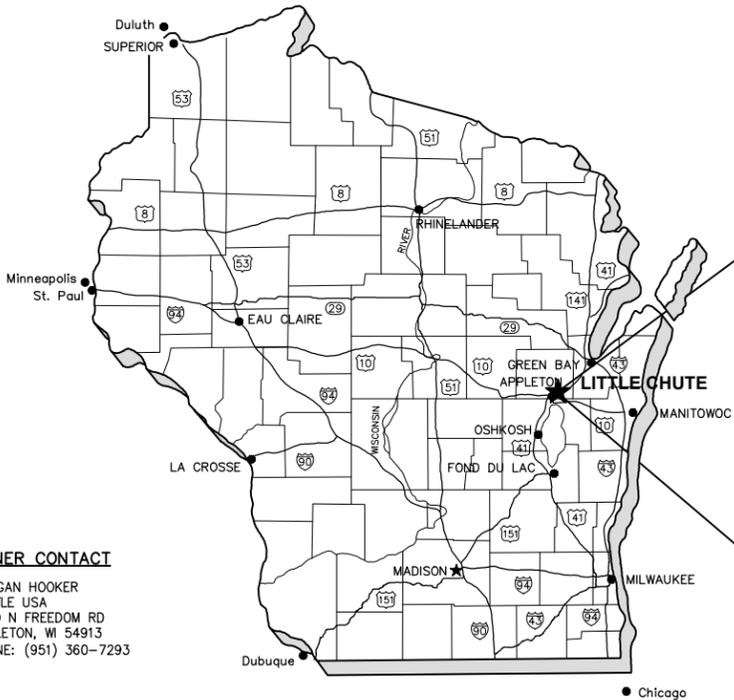
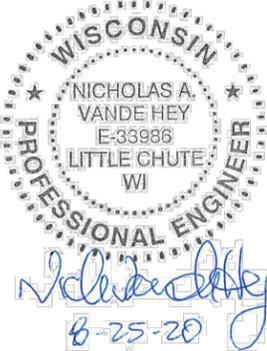
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FIGURE 1
PHASING
DISTRIBUTION FACILITY IMPROVEMENTS
SCANNELL PROPERTIES
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

w:\PROJECTS\176\92000206\CADD\GIS\Fig1_Phasing_B.mxd August 4, 2020 kpk

2020 SITE IMPROVEMENTS NESTLE USA

VILLAGE OF LITTLE CHUTE, WISCONSIN
MCM # N0940 9-20-00535-B



CONTACT INFORMATION

UTILITIES
VILLAGE OF LITTLE CHUTE
CHRIS MURAWSKI (SANITARY, STORM, WATER)
108 W. MAIN STREET
LITTLE CHUTE, WI 54140
920-423-3865

TIME WARNER CABLE
VINCE ALBIN (CABLE)
3520 DESTINATION DRIVE
APPLETON, WI 54915
920-378-0444

KAUKAUNA ELECTRIC
KELLY O'KEEFE (ELECTRIC)
777 ISLAND STREET
KAUKAUNA, WI 54130
920-462-0222

WE ENERGIES
TOM BORCHART (GAS)
800 SOUTH LYNNDALDE DRIVE
APPLETON, WI 54912
920-380-3349

AT&T MIDWEST
JOE KASSAB (TELEPHONE)
205 S. JEFFERSON STREET
GREEN BAY, WI 54301
920-202-4002

OWNER CONTACT
MORGAN HOOKER
NESTLE USA
3900 N FREEDOM RD
APPLETON, WI 54913
PHONE: (951) 360-7293

DESIGN CONTACT
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1445 McMAHON DRIVE
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EMAIL: nvandehey@mcmgrp.com



SHEET INDEX

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02	SURVEY CONTROL
03	OVERALL SITE PLAN
04-06	PHASE I PROPOSED GRADING, UTILITY, & EROSION CONTROL PLAN
07-09	PHASE II PROPOSED GRADING, UTILITY, & EROSION CONTROL PLAN
10	SITE PLAN & PAVING PLAN
11-14	DETAILS
A211	GATE & FENCE DETAILS
E1-E12	ELECTRICAL PLAN & DETAILS

DATE	AUGUST, 2020
PROJECT NO.	N0940 9-20-00535-B

STANDARD ABBREVIATIONS

Table with 4 columns: AC, AH, ASPH, etc. and their corresponding abbreviations for various construction and site improvement terms.

GENERAL NOTES

- 1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.

THIS PLAN SET WAS CREATED WITH CIVIL3D 2018. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

STANDARD SYMBOLS (PLAN VIEW ONLY)

Table of standard symbols for plan view only, including symbols for iron pipe found, rebar, utilities, contours, and various structures.

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT http://www.dnr.wis.gov/runoff/stormwater/techstds.htm.

Table listing best management practices with checkboxes, such as Land Application of Polyacrylamide (1050), Water Application of Polymers (1051), etc.

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

- A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN.

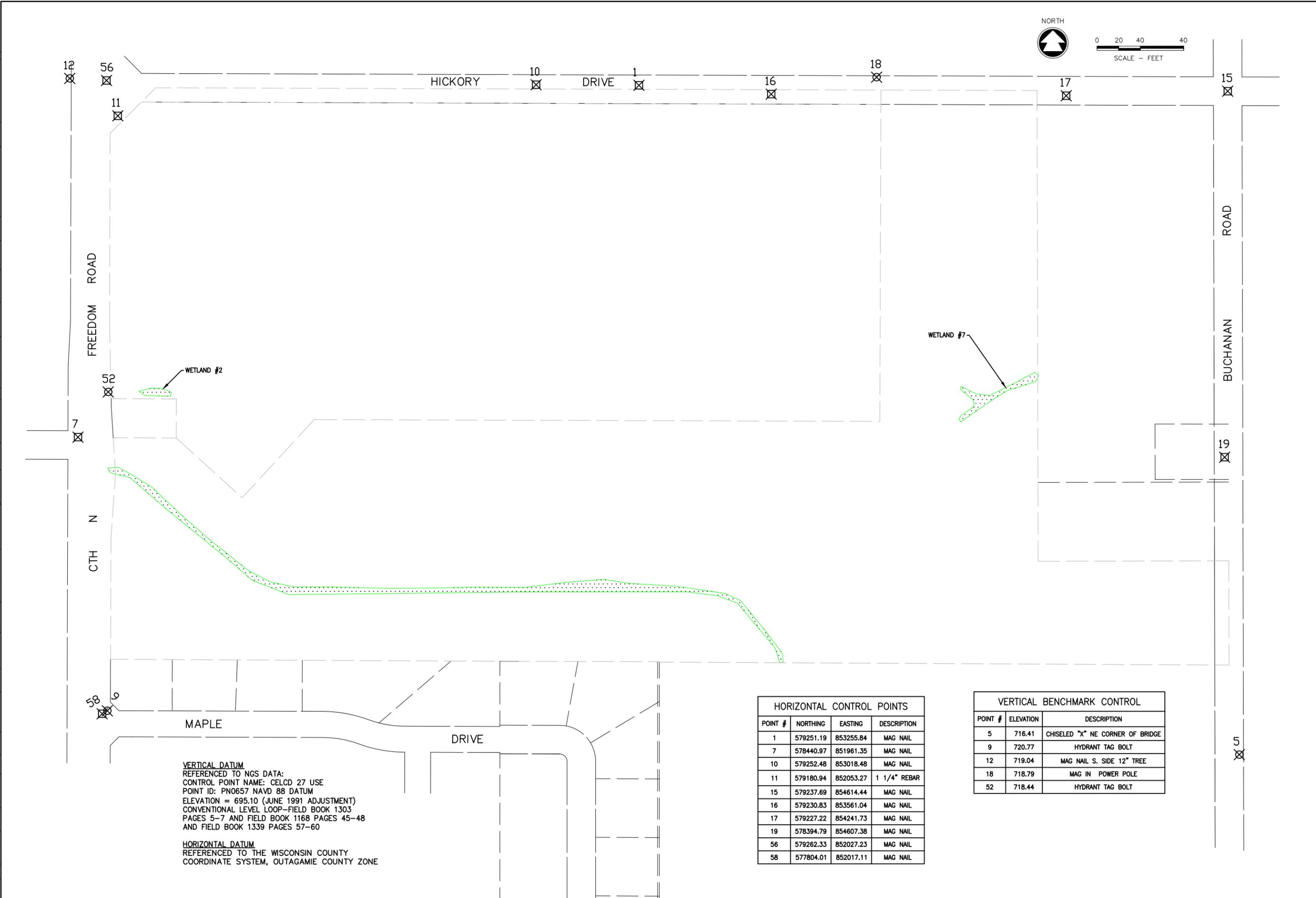


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Table with columns for NO., DATE, and REVISION.

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
ABBREVIATIONS, SYMBOLS & NOTES

Table with columns for DESIGNED, DRAWN, PROJECT NO., DATE, and SHEET NO.



VERTICAL DATUM
 REFERENCED TO NGS DATA:
 CONTROL POINT NAME: CELCD 27 USE
 POINT ID: PN0657 NAVD 88 DATUM
 ELEVATION = 695.10 (JUNE 1991 ADJUSTMENT)
 CONVENTIONAL LEVEL LOOP—FIELD BOOK 1303
 PAGES 5–7 AND FIELD BOOK 1168 PAGES 45–48
 AND FIELD BOOK 1339 PAGES 57–60

HORIZONTAL DATUM
 REFERENCED TO THE WISCONSIN COUNTY
 COORDINATE SYSTEM, OUTAGAMIE COUNTY ZONE

HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1	579251.19	853255.84	MAG NAIL
7	578440.97	851961.35	MAG NAIL
10	579252.48	853018.48	MAG NAIL
11	579180.94	852053.27	1 1/4" REBAR
15	579237.69	854614.44	MAG NAIL
16	579230.83	853561.04	MAG NAIL
17	579227.22	854241.73	MAG NAIL
19	578394.79	854607.38	MAG NAIL
56	579262.33	852027.23	MAG NAIL
58	577804.01	852017.11	MAG NAIL

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
5	716.41	CHISELED "X" NE CORNER OF BRIDGE
9	720.77	HYDRANT TAG BOLT
12	719.04	MAG NAIL S. SIDE 12" TREE
18	718.79	MAG IN POWER POLE
52	718.44	HYDRANT TAG BOLT

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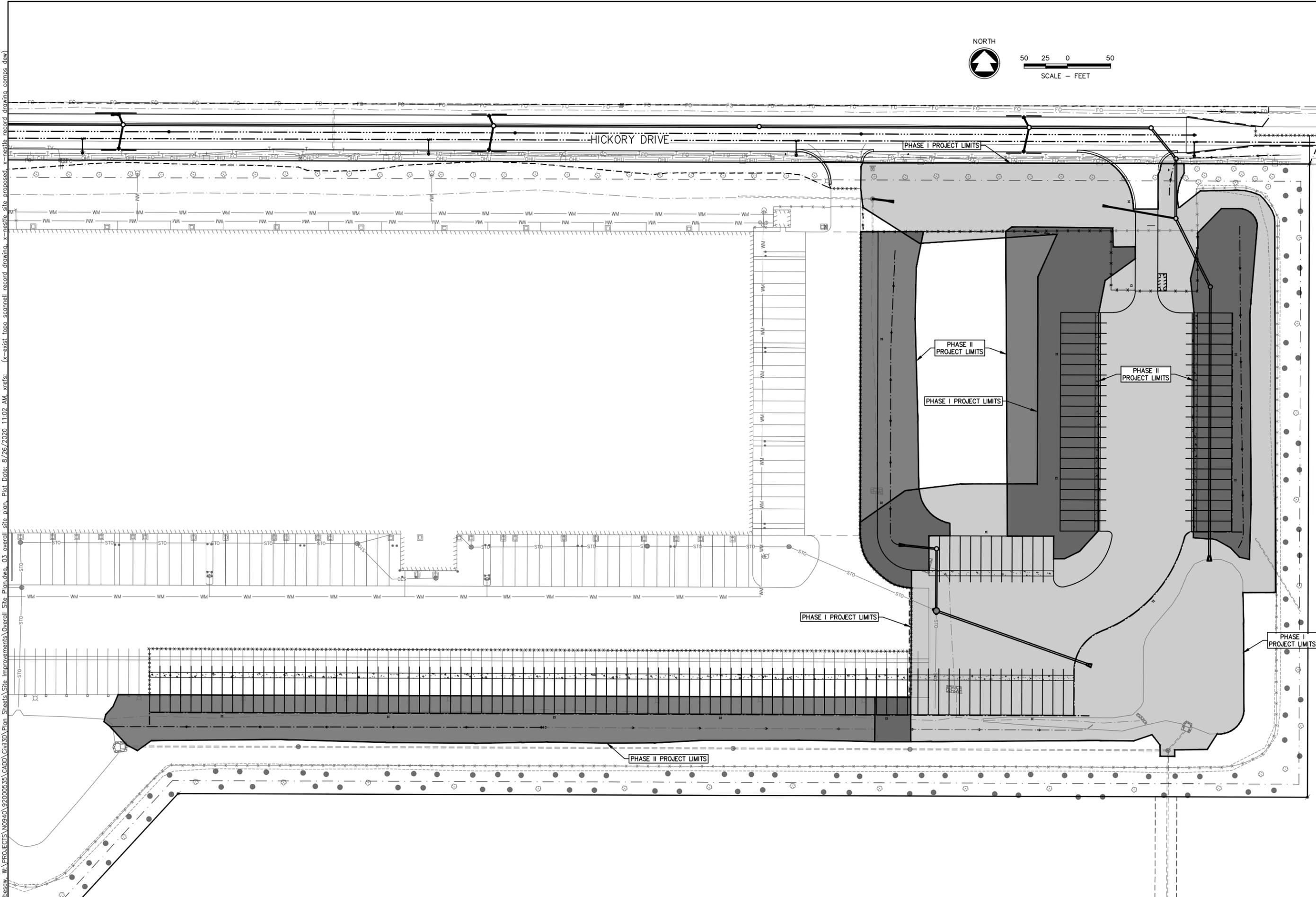
NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
SURVEY CONTROL

DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 02	

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50 25 0 50
SCALE - FEET

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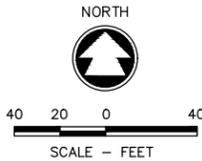
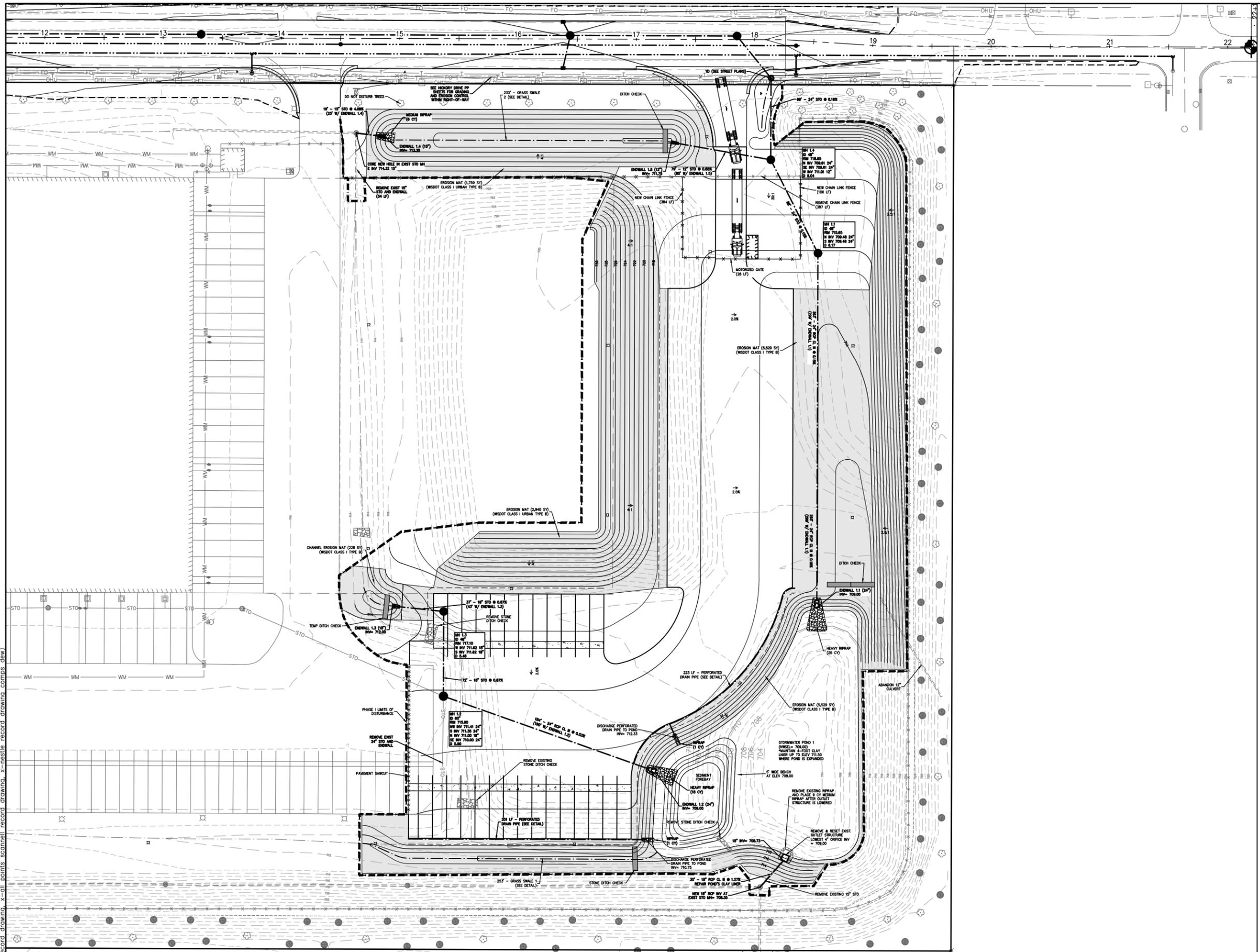
NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
OVERALL SITE PLAN

DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 03	

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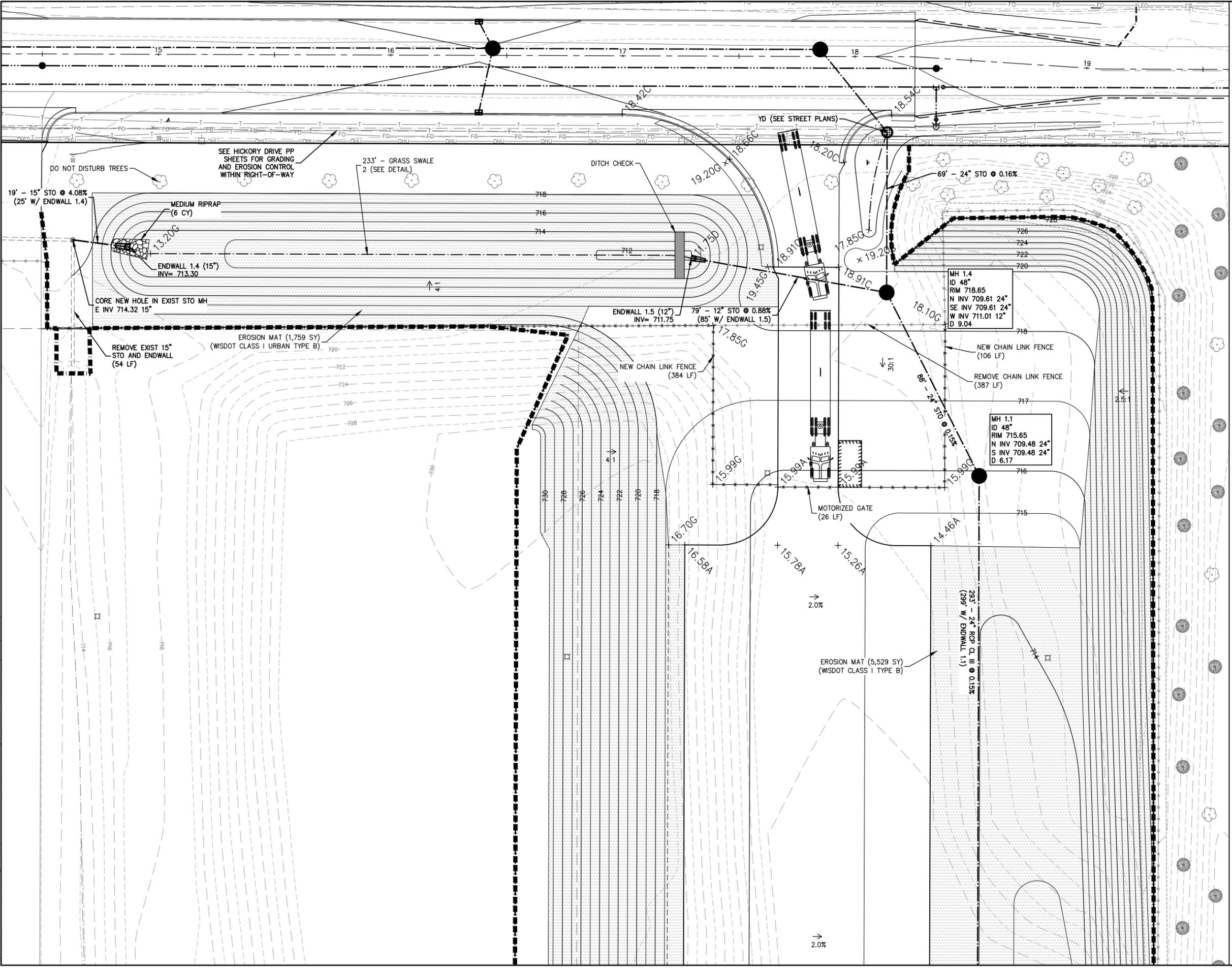
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2020 SITE IMPROVEMENTS NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN PROPOSED GRADING UTILITY & EROSION CONTROL PLAN	REVISION NO. DATE
DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 04	

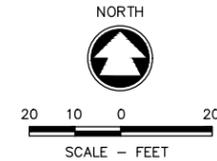
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LEGEND

x 16.26A	FINISHED ASPH ELEV
x 16.26C	FINISHED CONC ELEV
x 16.26D	FINISHED SWALE BOTTOM ELEV
x 16.26G	FINISHED GROUND (GRASS) ELEV
x 16.26M	MATCH ELEV



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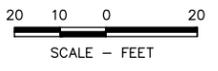
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2020 SITE IMPROVEMENTS
Nestle USA, Village Of Little Chute, Wisconsin
PROPOSED GRADING, UTILITY & EROSION CONTROL PLAN PHASE I

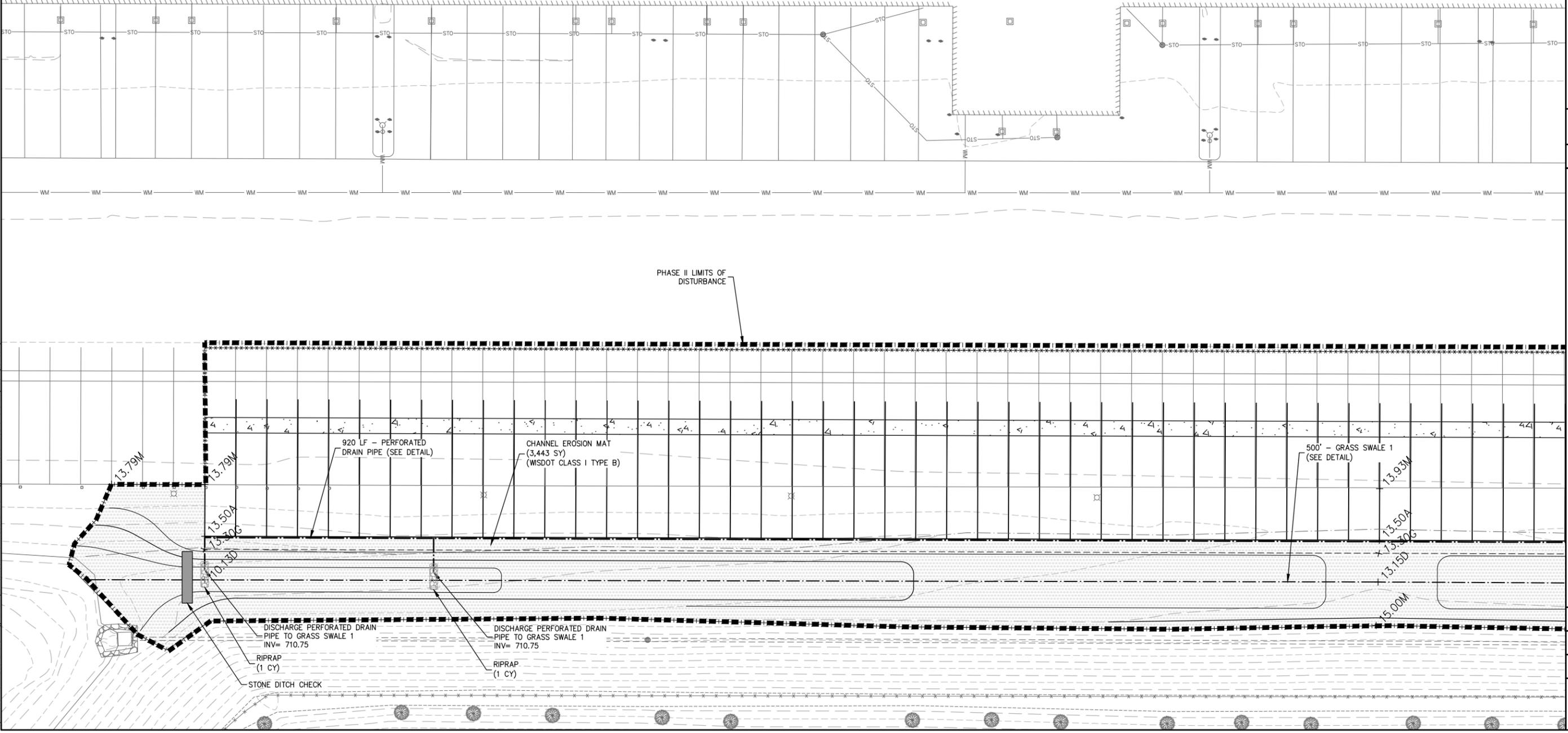
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DATE AUGUST, 2020	
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 (x--proposed storm sewer, x--nestle site proposed, x--exist
 topa, scanell record drawing, x--all points scanell record drawing, x--nestle record drawing, compa, dev)



LEGEND			
x 16.26A	FINISHED ASPH ELEV	x 16.26D	FINISHED SWALE BOTTOM ELEV
x 16.26M	MATCH ELEV	x 16.26G	FINISHED GROUND (GRASS) ELEV



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2020 SITE IMPROVEMENTS

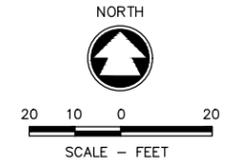
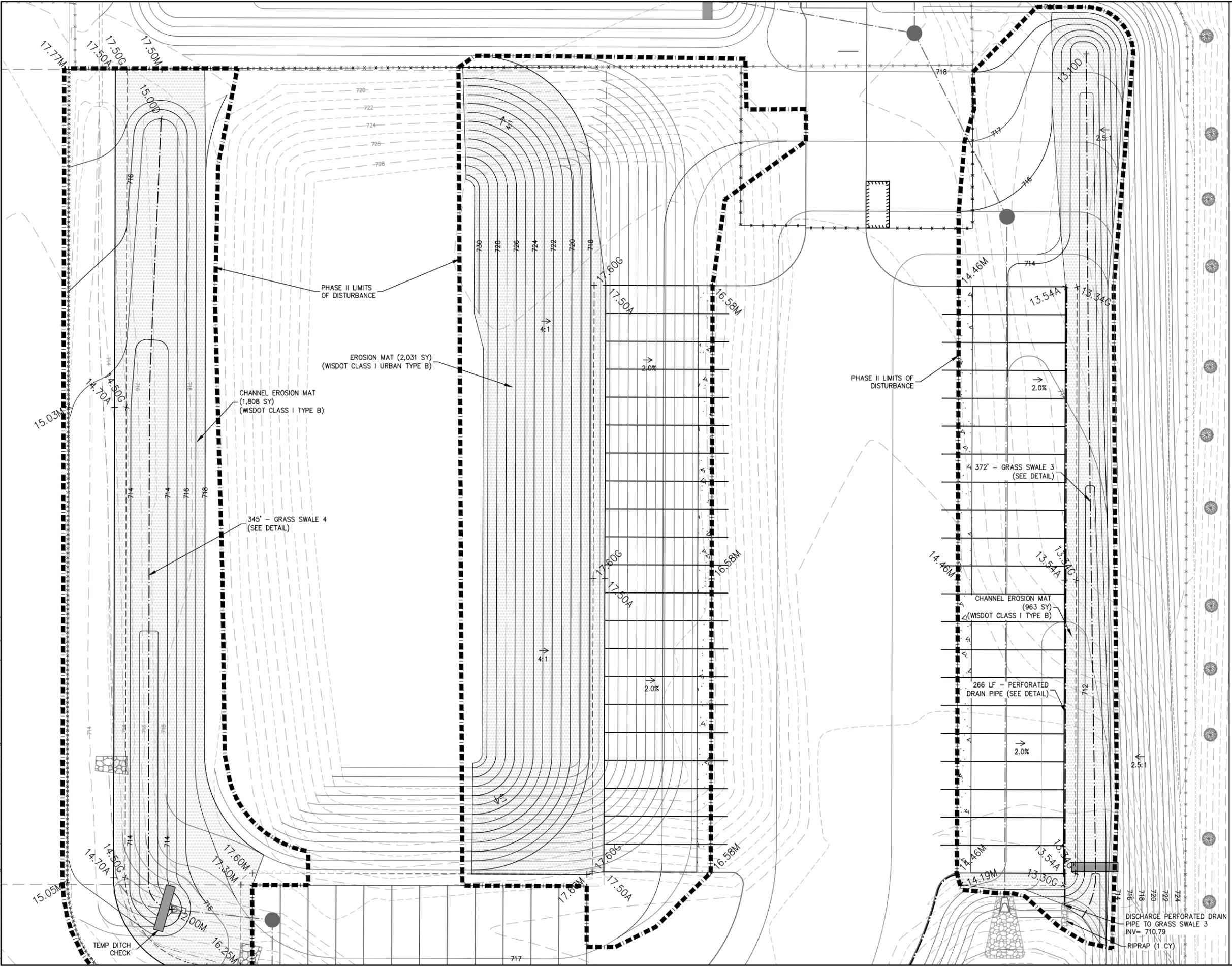
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN

PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II

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DATE AUGUST, 2020	
SHEET NO. 08	

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LEGEND

× 16.26A	FINISHED ASPH ELEV
× 16.26C	FINISHED CONC ELEV
× 16.26D	FINISHED SWALE BOTTOM ELEV
× 16.26G	FINISHED GROUND (GRASS) ELEV
× 16.26M	MATCH ELEV

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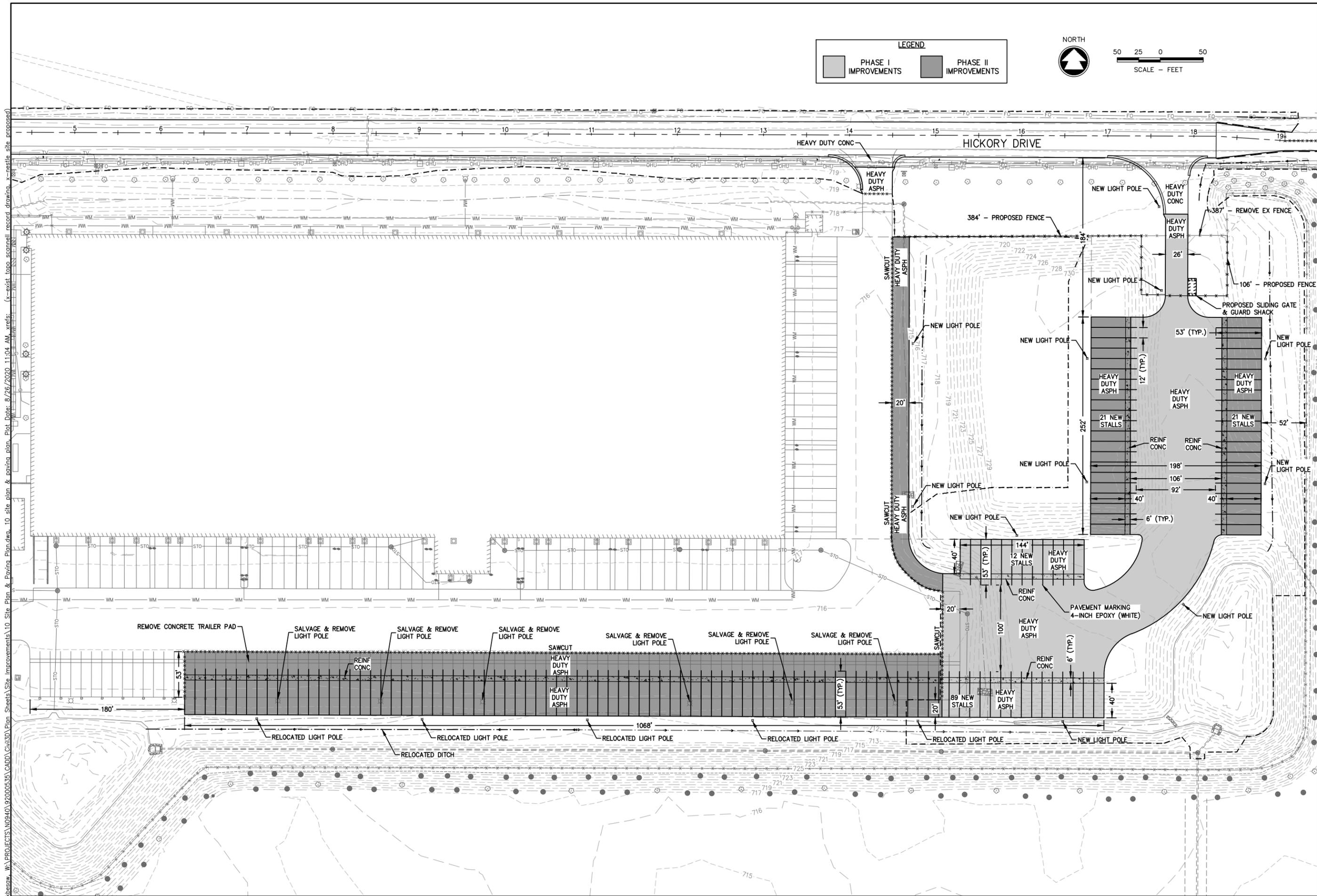
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2020 SITE IMPROVEMENTS
Nestle USA, Village Of Little Chute, Wisconsin
PROPOSED GRADING UTILITY & EROSION CONTROL PLAN PHASE II

NO.	DATE	REVISION

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PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 09	

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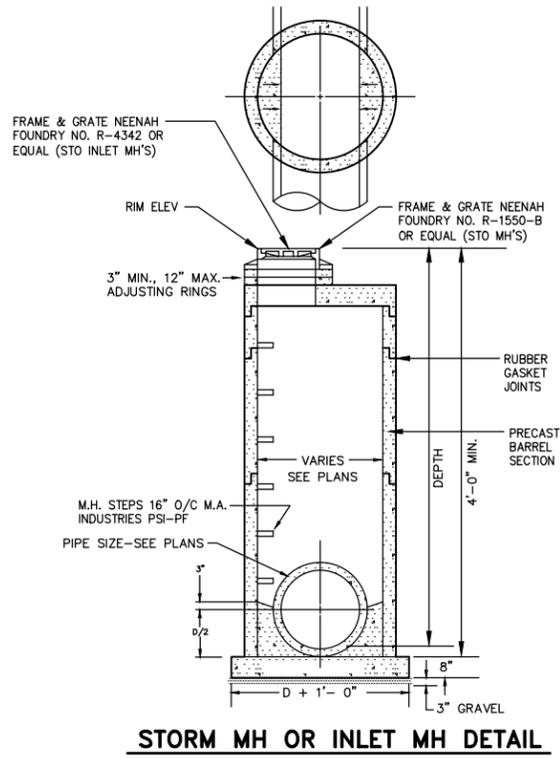
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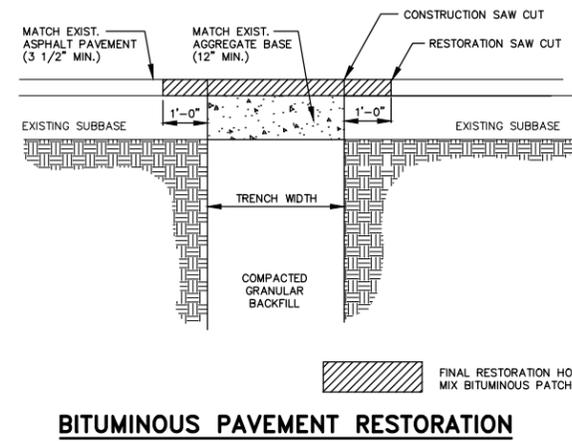
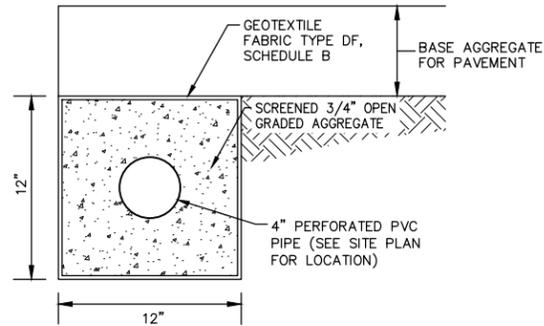
NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
SITE PLAN & PAVING PLAN

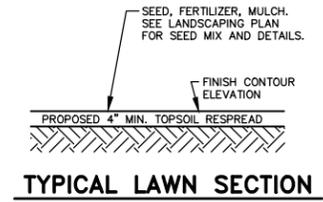
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PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 10	



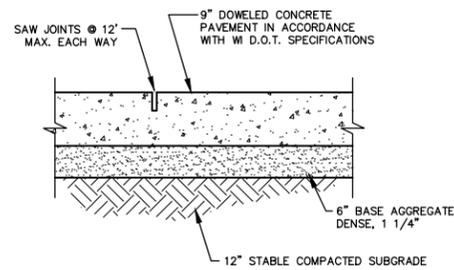
PERFORATED DRAIN PIPE DETAIL (NTS)



BITUMINOUS PAVEMENT RESTORATION

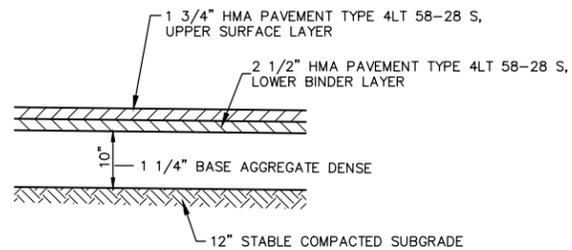


TYPICAL LAWN SECTION



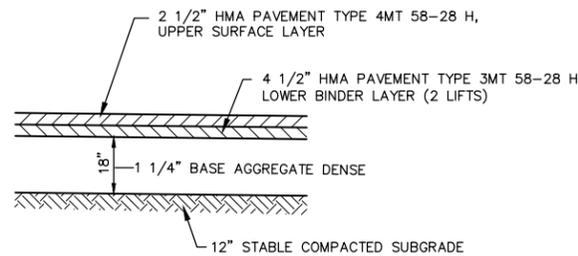
NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

SEMI-TRUCK/HEAVY DUTY CONCRETE PAVEMENT DETAIL



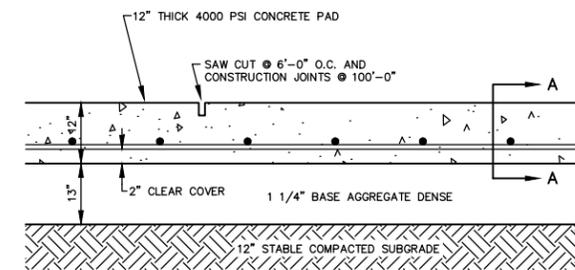
NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

LIGHT DUTY ASPHALT DETAIL



NOTE: CONSTRUCT PAVEMENT AND SUBGRADE IN CONFORMANCE WITH NESTLE STANDARD REQUIREMENTS AND PSI GEOTECHNICAL ENGINEERING REPORT (DATED JULY 8, 2020) RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

SEMI-TRUCK/HEAVY DUTY ASPHALT DETAIL



SECTION A-A

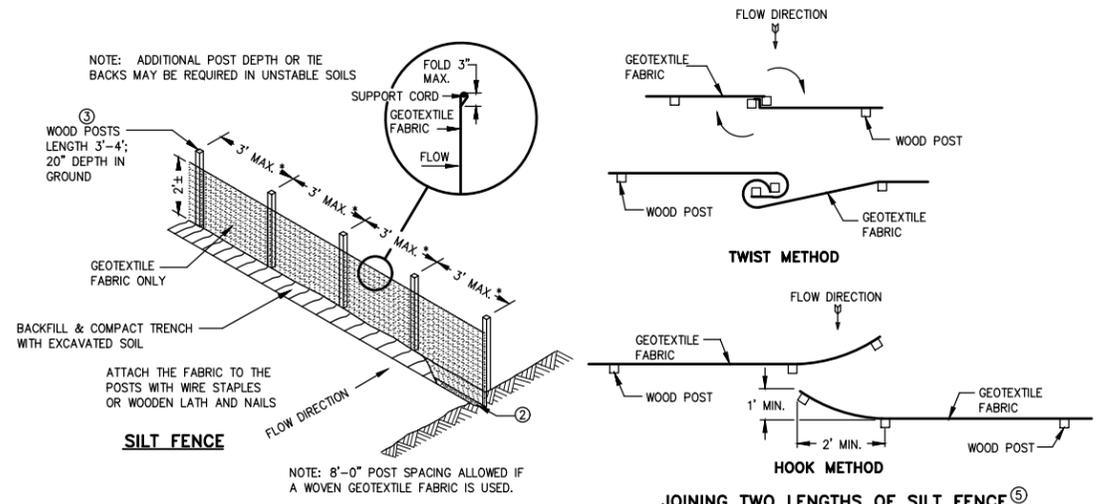
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CONCRETE TRAILER PAD DETAIL

NO.	DATE	REVISION

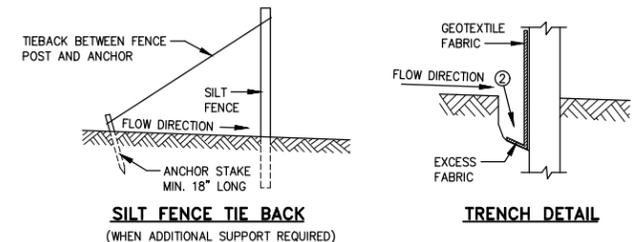
2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
STORM SEWER & PAVING DETAILS

DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 11	



NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

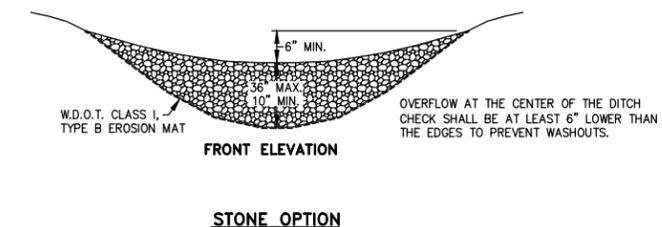
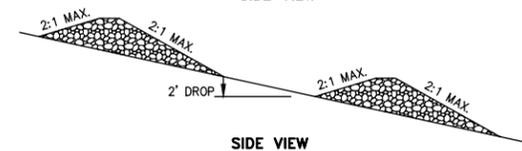
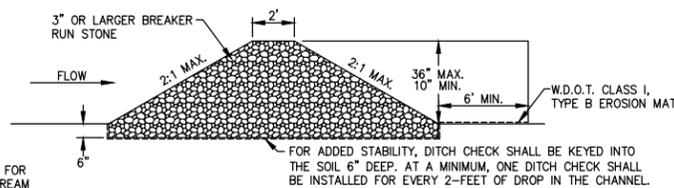
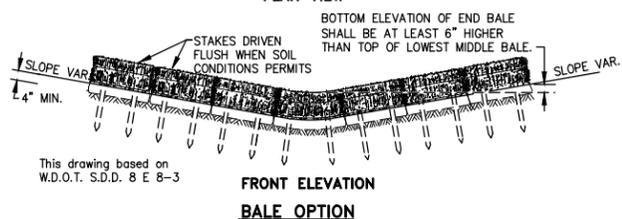
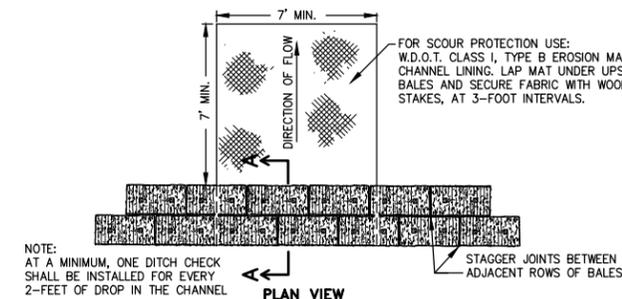
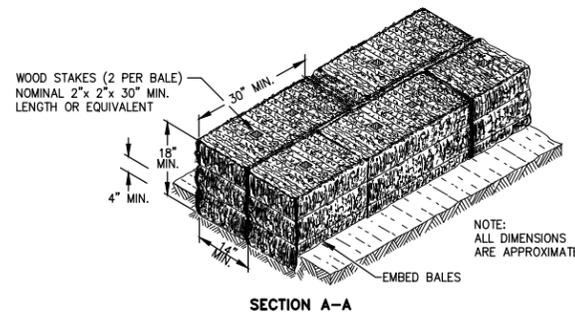
This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



GENERAL NOTES

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

SILT FENCE DETAIL



DITCH CHECK DETAIL

PROJECT DESCRIPTION

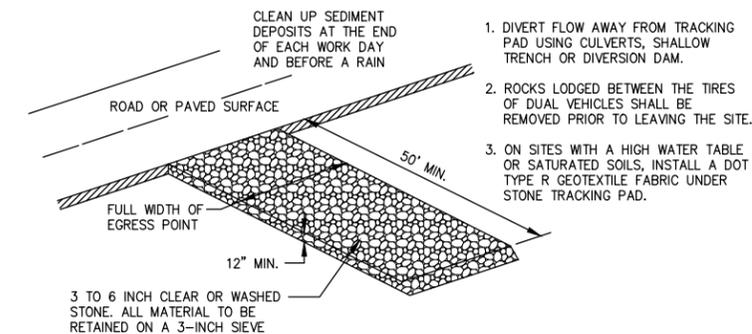
NESTLE USA IS LOCATED AT THE SOUTHEAST CORNER OF FREEDOM ROAD AND HICKORY DRIVE IN THE VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. STORMWATER RUNOFF IS CONVEYED VIA DITCHES AND STORM SEWERS TO TWO WET DETENTION POUNDS FOR WATER QUALITY TREATMENT BEFORE DISCHARGING INTO AN UNNAMED TRIBUTARY OF APPLE CREEK. THESE WET DETENTION BASINS ARE ALSO TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. WETLANDS ARE NOT DISTURBED DURING THE CONSTRUCTION PROJECT.

SOIL INFORMATION WAS OBTAINED FROM SOIL BORINGS. THE PROJECT AREA GENERALLY CONTAINS CLAY SOILS. NO BEDROCK IS ANTICIPATED DURING CONSTRUCTION. GROUNDWATER IS NOT ANTICIPATED DURING CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING CONSTRUCTION ACTIVITIES:

- CONTRACTOR SHALL POST PERMITS AT THE SITE AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION. NOTIFY WDNR, VILLAGE OF LITTLE CHUTE, NESTLE USA AND ENGINEER AT LEAST 5 DAYS PRIOR TO START OF CONSTRUCTION.
- INSTALL TRACKING PAD, INLET PROTECTION, DITCH CHECKS AND SILT FENCE. IF TRACKING PAD DOES NOT REMOVE SEDIMENT FROM VEHICLE TIRES, THEN TIRES SHALL BE WASHED. STREET SWEEPING SHALL BE PERFORMED ON A DAILY BASIS AND/OR AS NEEDED.
- BEGIN STRIPPING TOPSOIL. EXCESS TOPSOIL SHALL BE PLACED IN A TEMPORARY STOCKPILE THAT IS SURROUNDED WITH SILT FENCE. TOPSOIL STOCKPILES SHALL BE TEMPORARILY STABILIZED IF NOT ACTIVE FOR 7 DAYS OR MORE. PERFORM SITE GRADING, INSTALL GUARD SHACK AND INSTALL STORM SEWERS. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME. STABILIZE DISTURBED OR NEW PAVEMENT AREAS WITH AGGREGATE AS SOON AS POSSIBLE. DEWATER AREAS AS NEEDED. INSTALL DITCH CHECKS AS NEW DITCHES ARE CONSTRUCTED. INSTALL INLET PROTECTION AS NEW STORM INLETS ARE INSTALLED. INSTALL RIPRAP AS NEW STORM SEWER OUTFALLS ARE INSTALLED.
- COMPLETE SITE CONSTRUCTION AND FINAL SITE STABILIZATION. INSTALL WISDOT CLASS I, TYPE A EROSION MAT ON GRASS SLOPES OF 4:1 OR STEEPER THAT DO NOT RECEIVE SHEET FLOW FROM PAVEMENT AREAS. INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON GRASS SLOPES THAT RECEIVE SHEET FLOW FROM ADJACENT PAVEMENT AREAS (EXTEND EROSION MAT FROM EDGE OF PAVEMENT TO DITCH BOTTOM). INSTALL WISDOT CLASS I, TYPE B EROSION MAT ALONG GRASS DITCHES (EXTEND EROSION MAT VERTICALLY 2 FEET UP EACH SIDE OF DITCH). OTHER GRASS AREAS CAN BE RESTORED WITH PROPERLY ANCHORED MULCH. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN UNTIL A 70% VEGETATIVE COVER IS ACHIEVED. CONSTRUCTION SHALL BE COMPLETED ON OR BEFORE DECEMBER 31, 2020.



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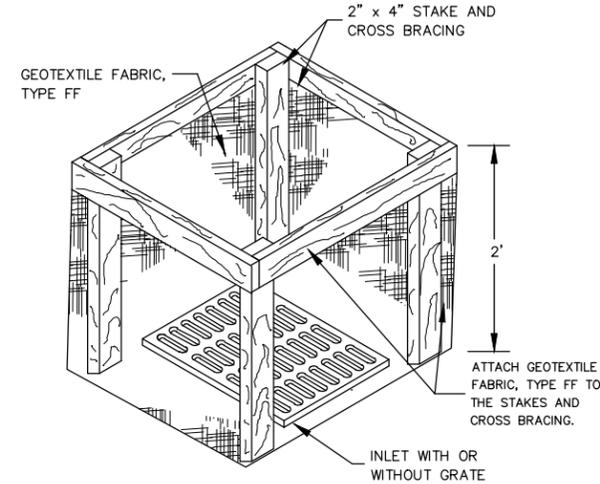
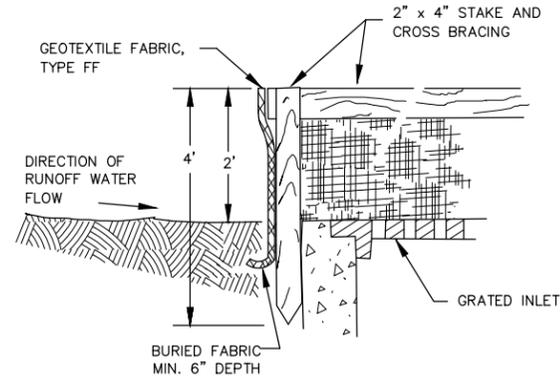
NO.	DATE	REVISION

2020 SITE IMPROVEMENTS
NESTLE USA, VILLAGE OF LITTLE CHUTE, WISCONSIN
EROSION CONTROL DETAILS

DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO. 12	

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KBesaw, W:\PROJECTS\N0940\92000535\CADD\Civil3D\Plan Sheets\Site Improvements\Title, Notes, Details.dwg, 13 erosion control details, Plot Date: 8/26/2020 11:04 AM, xref: none



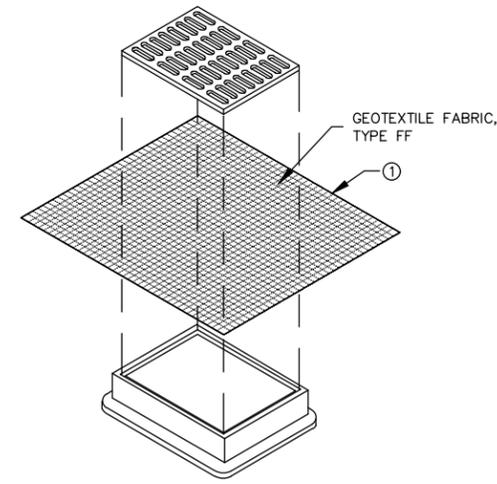
INLET PROTECTION, TYPE A

GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

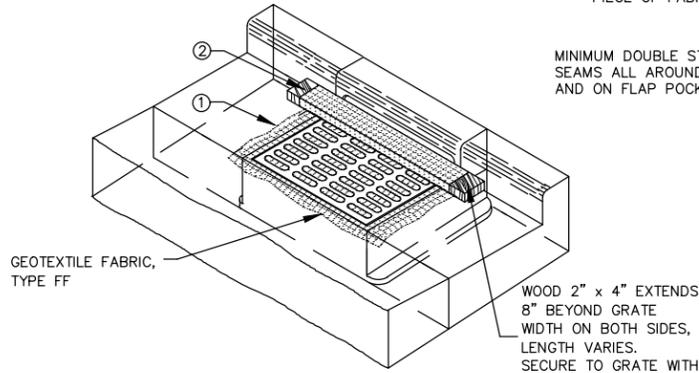
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



INLET PROTECTION, TYPE B

(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C

(WITH CURB BOX)

INSTALLATION NOTES

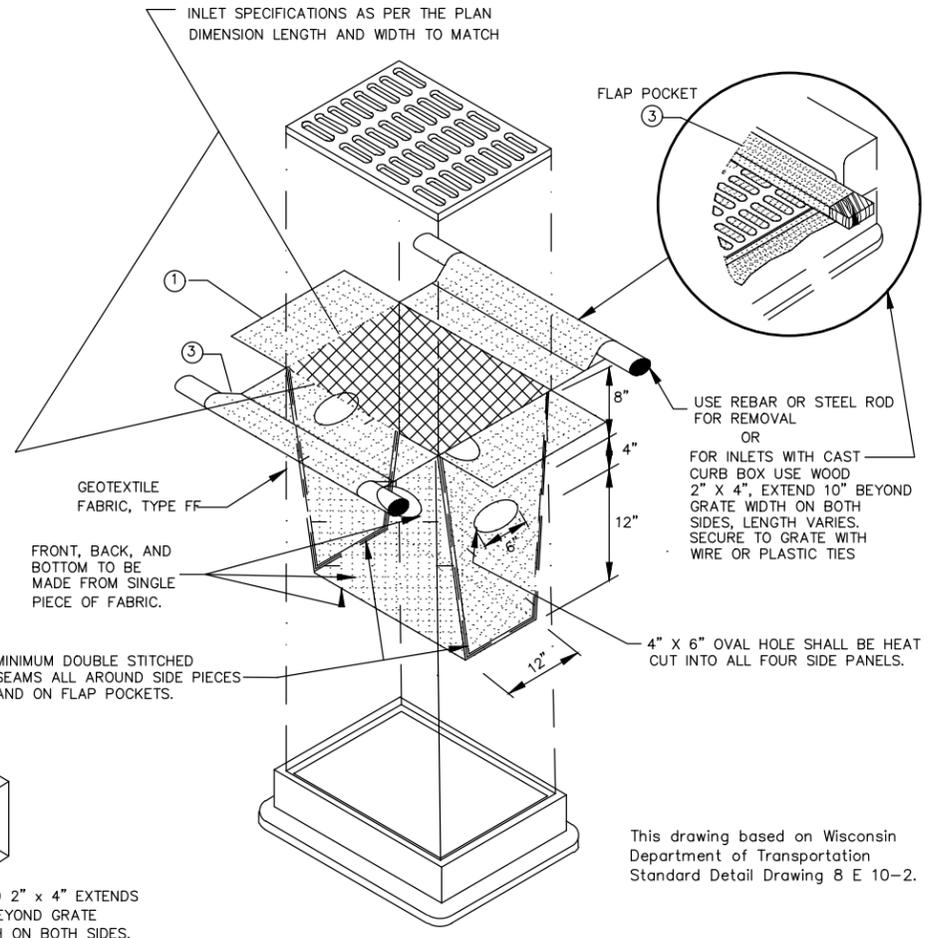
TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

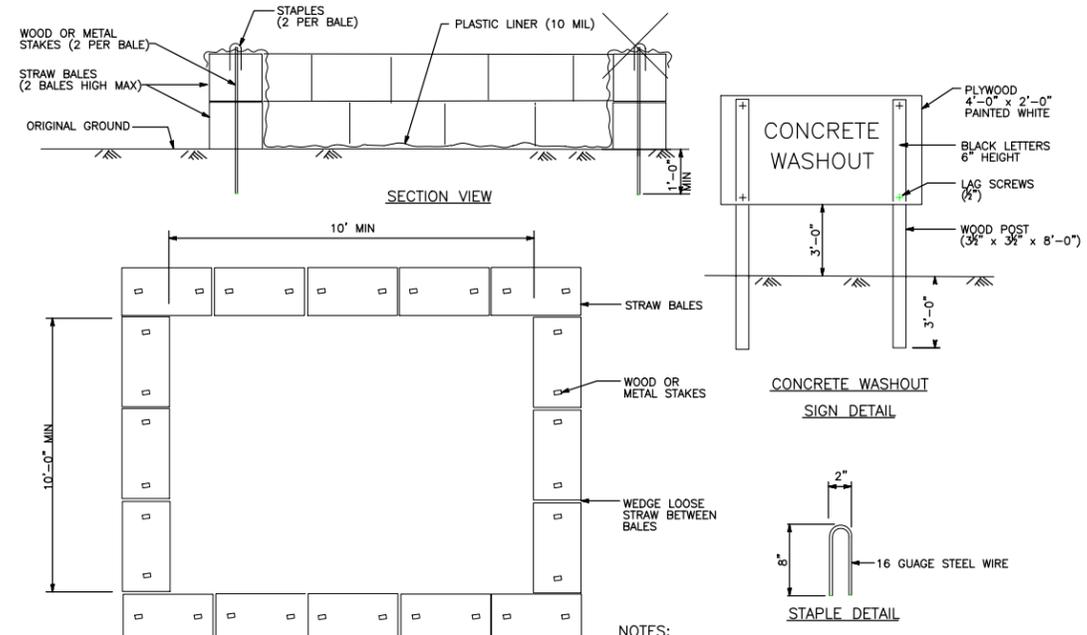
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

STORM DRAIN INLET PROTECTION



INLET PROTECTION, TYPE D

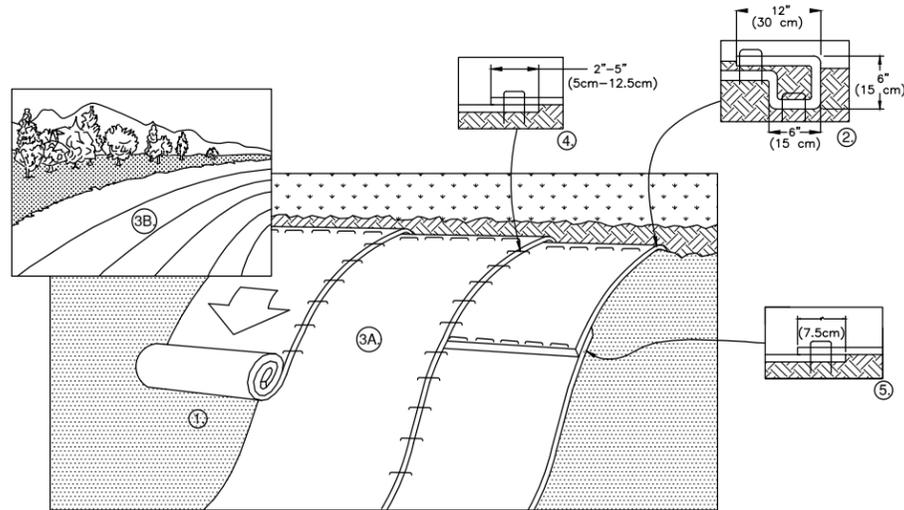
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)



- NOTES:**
- 1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD.
 - 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

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NO.	DATE	REVISION



SLOPE EROSION MAT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1052 AND MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

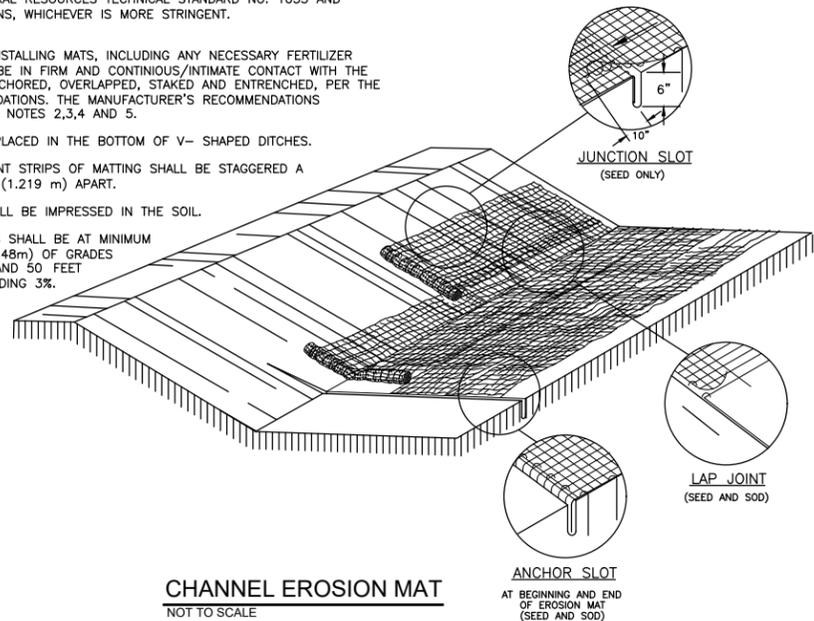
1. PREPARE TOPSOIL BEFORE INSTALLING MATS, INCLUDING ANY NECESSARY FERTILIZER AND SEED. THE MAT SHALL BE IN FIRM AND CONTINUOUS/INTIMATE CONTACT WITH THE SOIL. THE MAT SHALL BE ANCHORED, OVERLAPPED, STAKED AND ENTRENCHED, PER THE MANUFACTURER'S RECOMMENDATIONS. THE MANUFACTURER'S RECOMMENDATIONS SUPERCEDE THIS DETAIL AND NOTES 2,3,4 AND 5.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MAT IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF MAT EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE MAT WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF MAT BACK OVER SEED AND COMPACTED SOIL. SECURE MAT OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE MAT.
3. ROLL THE MATS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. MATS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL MATS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL MATS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5CM-12.5CM) OVERLAP DEPENDING ON MAT TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING MAT (MAT BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED MAT.
5. CONSECUTIVE MATS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE MAT WIDTH.

SLOPE EROSION MAT
NOT TO SCALE

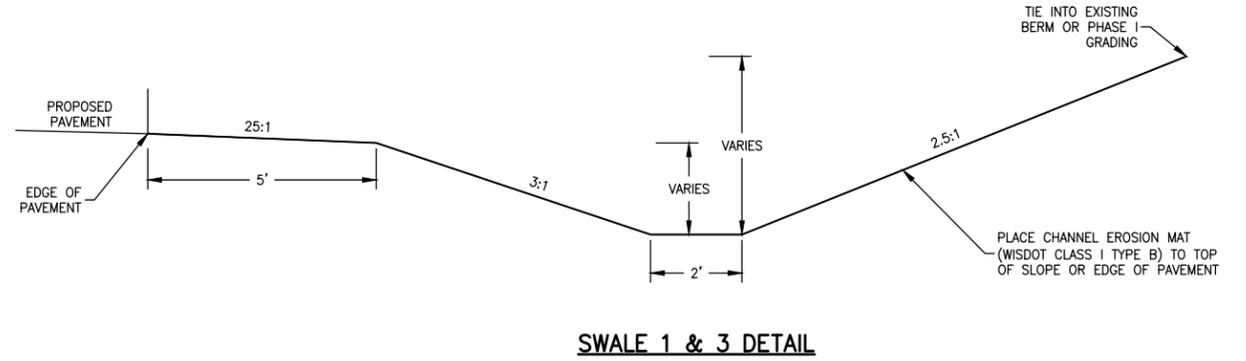
GENERAL NOTES

CHANNEL EROSION MAT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 AND MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

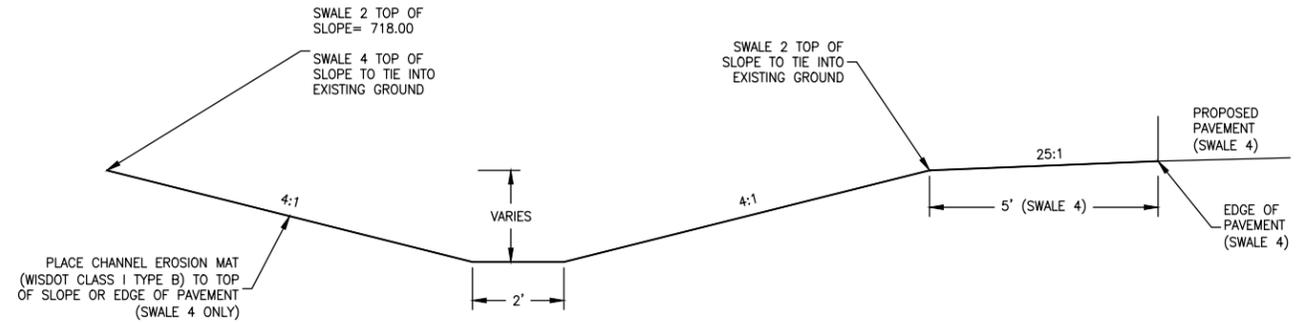
1. PREPARE TOPSOIL BEFORE INSTALLING MATS, INCLUDING ANY NECESSARY FERTILIZER AND SEED. THE MAT SHALL BE IN FIRM AND CONTINUOUS/INTIMATE CONTACT WITH THE SOIL. THE MAT SHALL BE ANCHORED, OVERLAPPED, STAKED AND ENTRENCHED, PER THE MANUFACTURER'S RECOMMENDATIONS. THE MANUFACTURER'S RECOMMENDATIONS SUPERCEDE THIS DETAIL AND NOTES 2,3,4 AND 5.
2. LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.
3. JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 (FOUR) FEET (1.219 m) APART.
4. EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.
5. JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET (30.48m) OF GRADES UP TO AND INCLUDING 3%, AND 50 FEET (15.24m) ON GRADES EXCEEDING 3%.



CHANNEL EROSION MAT
NOT TO SCALE



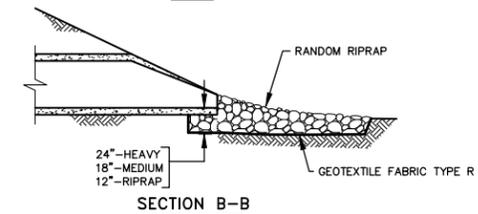
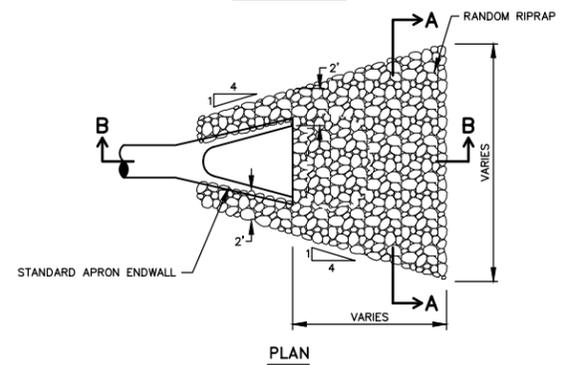
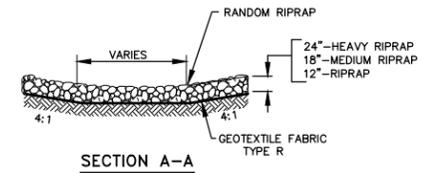
SWALE 1 & 3 DETAIL



SWALE 2 & 4 DETAIL

RIP-RAP

1. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION.
2. RIP-RAP SHALL BE ANGULAR. ROUND RIP-RAP IS NOT PERMITTED.



RIPRAP AT STORM SEWER OUTFALL

NO.	DATE	REVISION

DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-B	
DATE AUGUST, 2020	
SHEET NO.	

SECTION 32 31 13
CHAIN LINK FENCES AND GATES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Posts, rails, and frames.
- B. Wire fabric.
- C. Concrete.
- D. Automatic gate operators.
- E. Accessories.

1.2 REFERENCE STANDARDS

- A. ASTM A428/A428M - Standard Test Method for Weight (Mass) of Coating on Aluminum-Coated Iron or Steel Articles 2010 (Reapproved 2014).
- B. ASTM A491 - Standard Specification for Aluminum-Coated Steel Chain-Link Fence Fabric 2011 (Reapproved 2017).
- C. ASTM F567 - Standard Practice for Installation of Chain-Link Fence 2014a.
- D. ASTM F1043 - Standard Specification for Strength and Protective Coatings on Steel Industrial Fence Framework 2018.
- E. ASTM F1083 - Standard Specification for Pipe, Steel, Hot-Dipped Zinc-Coated (Galvanized) Welded, for Fence Structures 2018.
- F. ASTM F2200 - Standard Specification for Automated Vehicular Gate Construction 2017.
- G. CLFMI CLF-SFR0111 - Security Fencing Recommendations 2014.
- H. CLFMI WLG 2445 - Wind Load Guide for the Selection of Line Post and Line Post Spacing 2018.
- I. NEMA 250 - Enclosures for Electrical Equipment (1000 Volts Maximum) 2018.
- J. UL 50 - Enclosures for Electrical Equipment, Non-Environmental Considerations Current Edition, Including All Revisions.

1.3 SUBMITTALS

- A. Product Data: Provide data on fabric, posts, accessories, fittings and hardware.
- B. Design Calculations: For high wind load areas, provide calculations for fence fabric and accessory selection as well as line post spacing and foundation details. See CLFMI WLG 2445 for line post and spacing guidance.
- C. Shop Drawings: Indicate plan layout, spacing of components, post foundation dimensions, hardware anchorage, and schedule of components. See CLFMI CLF-SFR0111 for planning and design recommendations.

1.4 QUALITY ASSURANCE

- A. Fence Installer: Company with demonstrated successful experience installing similar projects and products, with not less than five years of documented experience.

1.5 WARRANTY

- A. Correct defective Work within a five year period after Date of Substantial Completion.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Chain Link Fences and Gates:
 - 1. Master-Halco, Inc: www.masterhalco.com/#sle.
 - 2. Merchants Metals: www.merchantsmetals.com/#sle.
- B. Automatic Gate Operators:
 - 1. LiftMaster: The Chamberlain Group Inc..

2.2 MATERIALS

- A. Posts, Rails, and Frames:
 - 1. ASTM A1011/A1011M, Designation SS; hot-rolled steel strip, cold formed to pipe configuration, longitudinally welded construction, minimum yield strength of 50 ksi; zinc coating complying with ASTM F1043 and ASTM F1083.
 - 2. Line Posts: Type 1 round.
 - 3. Terminal, Corner, Rail, Brace, and Gate Posts: Type 1 round.
- B. Wire Fabric:
 - 1. ASTM A392 zinc coated steel chain link fabric.
- C. Concrete:
 - 1. Ready-mixed, complying with ASTM C94/C94M; normal Portland cement; 2,500 psi strength at 28 days, 3 inch slump; 3/4 inch nominal size aggregate.

2.3 COMPONENTS

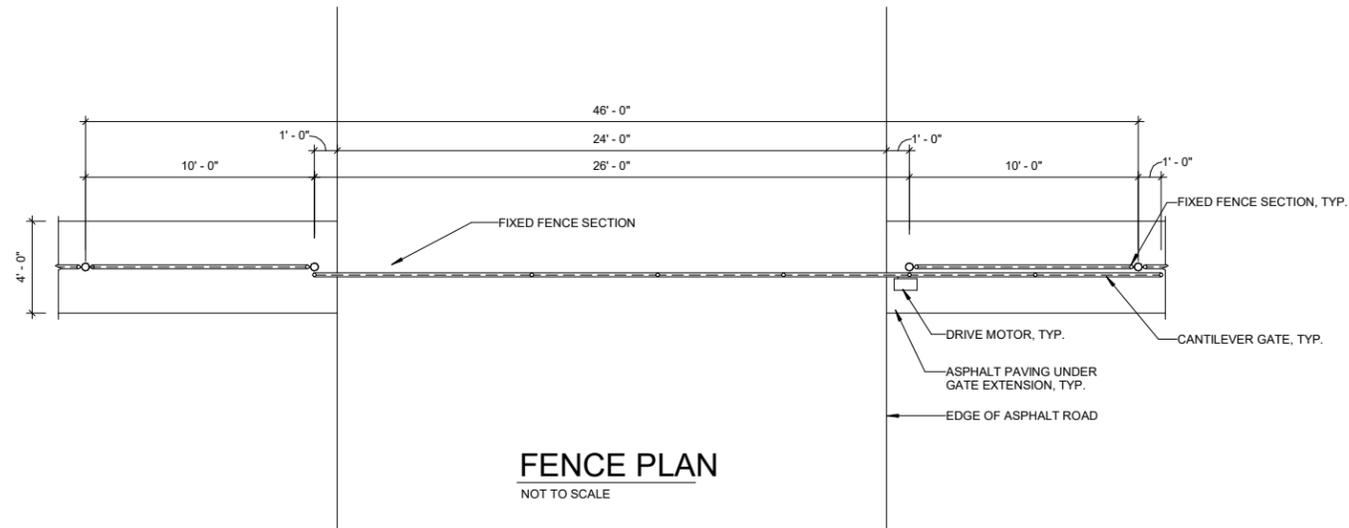
- A. Line Posts: 2.38 inch diameter.
- B. Corner and Terminal Posts: 2.88 inch diameter.
- C. Gate Posts: 6.63 inch diameter.
- D. Top and Brace Rail: 1.66 inch diameter, plain end, sleeve coupled.
- E. Bottom Rail: 1.66 inch diameter, plain end, sleeve coupled.

- F. Gate Frame: 1.90 inch diameter for welded fabrication.
 - G. Fabric: 2 inch diamond mesh interwoven wire, 9 gage, 0.1483 inch thick, top selvage knuckle end closed, bottom selvage twisted tight.
 - H. Tension Wire: 6 gage, 0.1920 inch thick steel, single strand.
 - I. Tie Wire: Aluminum alloy steel wire.
- 2.4 AUTOMATIC GATE OPERATORS
- A. Sliding Gates: Pre-wired, pedestal mounted gate operator for horizontal sliding gates, per ASTM F2200 and UL 325.
 - 1. Operating type: roller chain.
 - 2. Control Functions: Open, Pause, Close.
 - 3. Opening and closing speed: 12 inches per second.
 - 4. Access: Dual control visor remote, one for ingress, one for egress. Provide 25 remotes.
 - 5. Maximum gate weight: 1,000 pounds (373 kilograms).
 - 6. Horsepower Rating: Suitable for connected load.
 - 7. Entrapment Protection Devices: Provide sensing devices and safety mechanisms complying with UL 325.
 - 8. Enclosures: Comply with NEMA 250, and list and label as complying with UL 50 and UL 50E.
 - a. Environment Type per NEMA 250: Unless otherwise indicated, as specified for the following installation locations:
 - 1) Outdoor Locations: Type 3R.
 - 2) Cabinet heater to allow use to -40 degrees F.
- 2.5 ACCESSORIES
- A. Caps: Cast steel galvanized; sized to post diameter, set screw retainer.
 - B. Fittings: Sleeves, bands, clips, rail ends, tension bars, fasteners and fittings; steel.
- 2.6 FINISHES
- A. Components (Other than Fabric): Galvanized in accordance with ASTM A123/A123M, at 1.7 ounces per square foot.
 - B. Hardware: Hot-dip galvanized to weight required by ASTM A153/A153M.
 - C. Accessories: Same finish as framing.

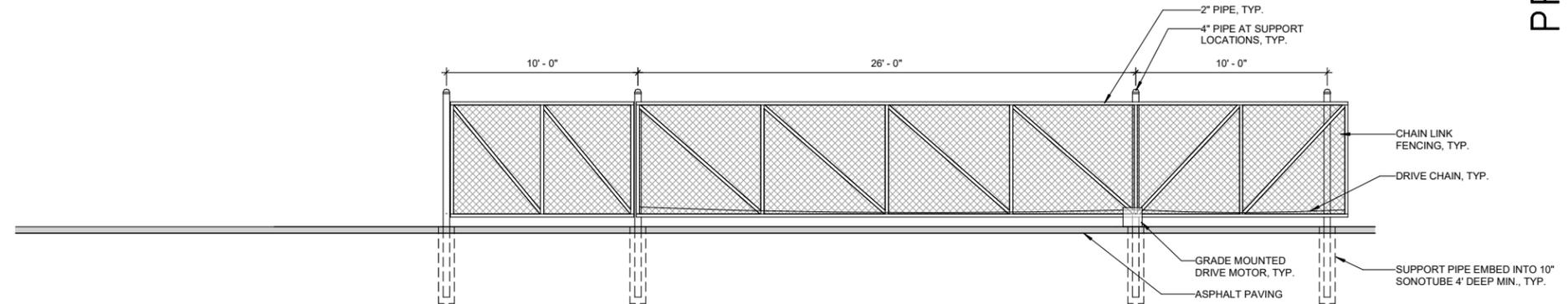
PART 3 EXECUTION

3.1 INSTALLATION

- A. Install framework, fabric, accessories and gates in accordance with ASTM F567.
 - B. Place fabric on outside of posts and rails.
 - C. Set intermediate posts plumb, in concrete footings with top of footing 2 inches above finish grade. Slope top of concrete for water runoff.
 - D. Line Post Footing Depth Below Finish Grade: ASTM F567.
 - E. Corner, Gate and Terminal Post Footing Depth Below Finish Grade: ASTM F567.
 - F. Brace each gate and corner post to adjacent line post with horizontal center brace rail. Install brace rail one bay from end and gate posts.
 - G. Provide top rail through line post tops and splice with 6 inch long rail sleeves.
 - H. Install center brace rail on corner gate leaves.
 - I. Position bottom of fabric 2 inches above finished grade.
 - J. Fasten fabric to top rail, line posts, braces, and bottom tension wire with tie wire at maximum 15 inches on centers.
 - K. Attach fabric to end, corner, and gate posts with tension bars and tension bar clips.
 - L. Install bottom tension wire stretched taut between terminal posts.
 - M. Install operator in accordance with manufacturer's instructions and in accordance with NFPA 70.
- 3.2 TOLERANCES
- A. Maximum Variation From Plumb: 1/4 inch.
 - B. Maximum Offset From True Position: 1 inch.
- 3.3 FIELD QUALITY CONTROL
- A. Layout: Verify that fence installation markings are accurate to design, paying attention to gate locations, underground utilities, and property lines.
 - B. Gates: Inspect for level, plumb, and alignment.
- 3.4 CLOSEOUT ACTIVITIES
- A. Demonstration: Demonstrate operation of system to Owner's personnel.
 - 1. Use operation and maintenance data as reference during demonstration.
 - 2. Briefly describe function, operation, and maintenance of each component.
- END OF SECTION



FENCE PLAN
NOT TO SCALE



FENCE ELEVATION
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA VILLAGE OF LITTLE CHUTE, WI
ENTRY GATE PLAN & ELEVATION

DESIGNED GLS	DRAWN GBK
PROJECT NO. N0940 92000535	
DATE AUGUST 2020	
SHEET NO.	

A211

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ELECTRICAL SPECIFICATIONS CONTINUED

DIVISION 27 COMMUNICATIONS

27 15 00 COMMUNICATIONS HORIZONTAL CABLING

- A. ALL CABLE CONNECTING HARDWARE SHALL COMPLY WITH TIA/EIA-568-B.2, IDC TYPE, WITH MODULES DESIGNED FOR PUNCH-DOWN CAPS OR TOOLS. CABLES SHALL BE TERMINATED WITH CONNECTING HARDWARE OF SAME CATEGORY OR HIGHER.
- B. THE CONTRACTOR SHALL PROVIDE ALL DATA WIRING, OUTLET JACKS, AND LABELING FOR A COMPLETE WIRING SYSTEM. PROVIDE THE FOLLOWING MATERIALS:
 - 1. DATA, SECURITY CAMERAS, ACCESS DOOR CONTROLLERS, VIDEO GAMES, GOLF SIMULATORS, POS SYSTEM: CATEGORY 6, PLENUM RATED, NO. 24 AWG, 100OHM, 4-PAIR UTP, FORMED INTO 25-PAIR, BINDER GROUPS COVERED WITH A BLUE THERMOPLASTIC JACKET AS MANUFACTURED BY BELDEN OR BELK-TEK.
 - 2. WIRELESS ACCESS POINTS: CATEGORY 6A, PLENUM RATED, NO. 24 AWG, 100OHM, 4-PAIR UTP, FORMED INTO 25-PAIR, BINDER GROUPS COVERED WITH A BLUE THERMOPLASTIC JACKET AS MANUFACTURED BY BELDEN OR BELK-TEK.
 - 3. OUTLET JACKS: MODULAR, COLOR CODED, CATEGORY 6 (OR 6A FOR WIRELESS ACCESS POINTS), RJ-45 RECEPTACLE UNITS WITH INTEGRAL IDC-TYPE TERMINAL, T568B PINOUT.
 - 4. DATA: PANDUIT CJ688TBU - BLUE OR EQUIVALENT
 - 5. OUTLETS: 4-JACK ASSEMBLIES MOUNTED IN A SINGLE GANG FACEPLATE.
 - 6. FACEPLATE: PANDUIT CBIW, ACCEPTS TWO 1/2 SIZE MODULE INSERTS.
 - 7. MODULE INSERTS: PANDUIT CHF2IW-X, TWO REQUIRED FOR EACH FACEPLATE.
 - 8. BLANK FILLER: PANDUIT CMBIW-X, TWO REQUIRED FOR EACH FACEPLATE.
 - 9. MOUNTING: FLUSH
 - 10. LABELING: PRINTED, ADHESIVE TAPE LABEL IDENTIFYING THE CIRCUIT, DATA OUTLET AT PATCH PANEL LABELING SHALL MATCH. COORDINATE REQUIREMENTS WITH OWNER.
 - 11. PATCH CORDS: 3'-0" LENGTH.
- C. PROVIDE (1) CABLE DROP AT EACH DOOR ACCESS POINT. COORDINATE WITH MARTIN SYSTEMS.
- D. PROVIDE (1) CABLE DROP AT EACH SECURITY CAMERA. PROVIDE 10 FEET OF COILED CABLE AT EACH CAMERA LOCATION IN ORDER TO ALLOW FOR MOVEMENT OF CAMERA. COORDINATE WITH MARTIN SYSTEMS.
- E. ALL CATEGORY 6 AND 6A CABLES SHALL BE TESTED END TO END AND DOCUMENTED FOR CATEGORY 6 AND 6A COMPLIANCE. IT SHOULD BE TESTED WITH A FLUKE OMNISCANNER OR LIKE DEVICE. HARDCOPY AND SOFTCOPY SHOULD BE PROVIDED. PROVIDE SPECIAL SOFTWARE IF REQUIRED TO VIEW SOFTCOPY.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OPENINGS REQUIRED IN WALLS. OPENING SHALL BE REPAIRED, AND CONDUITS/CABLES THROUGH WALL SHALL BE GROUTED OR SEALED INTO OPENING.
- G. ALL FLOOR AND WALL PENETRATIONS SHALL BE THROUGH A SLEEVE AND FIRE STOPPED PER LOCAL CODES. ALL MATERIAL USED TO SEAL PENETRATIONS SHALL BE U.L. LISTED.
- H. INSTALLATION:
 - 1. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
 - 2. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 - 3. BUNDLE, LACE, AND TRAIN CABLES WITHIN ENCLOSURES.
- I. TEST ALL CABLING END-TO-END.

27 13 00 COMMUNICATIONS BACKBONE CABLING

- A. MANUFACTURERS
 - a. BERK-TEK
 - b. BELDEN
 - c. CORNING CABLE SYSTEM
- B. 9 / 125 MICROMETER SINGLE-MODE OPTICAL FIBER CABLE (OS2)
 - a. 6 FIBERS, SINGLE LOOSE TUBE, ARMORED OPTICAL FIBER CABLE.
 - b. JACKET: YELLOW
 - c. PLENUM RATED, ARMORED (CONDUCTIVE); TYPE OFCP, COMPLYING WITH NFPA 262.
 - d. PROVIDE 1000 BASE-LX SFP TRANSCEIVER.
- C. OPTICAL FIBER HARDWARE
 - a. COMPLY WITH TIA-568-C.3
 - b. CROSS CONNECTS AND PATCH PANELS: MODULAR PANELS HOUSING MULTIPLE NUMBERED DUPLEX CONNECTORS.
 - c. CONNECTOR TYPE: SC-P, COMPLYING WITH TIA-604-3-B.
 - d. PLUGS: MALE COLOR CODED MODULAR CONNECTOR DESIGNED FOR TERMINATION OF SINGLE OPTICAL FIBER CABLE. INSERTION LOSS OF NOT LESS THAN 0.25 dB.
 - e. JACKS: FEMALE, QUICK CONNECT, DUPLEX, FIXED CONNECTOR DESIGNED FOR TERMINATION OF SINGLE OPTICAL FIBER CABLE. INSERTION LOSS OF NOT LESS THAN 0.25 dB. DESIGNED TO SNAP IN TO A PATCH PANEL.
- D. INSTALLATION:
 - a. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. INSTALL IN RACEWAYS EXCEPT ABOVE ACCESSIBLE CEILING SPACES. USE SUPPORTS SO THAT CABLING IS NOT LAYING ON CEILING. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
 - b. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 - c. BUNDLE, LACE, AND TRAIN CABLES WITHIN ENCLOSURES.
- E. TEST ALL FIBER OPTIC CABLES END-TO-END.

DIVISION 28 COMMUNICATIONS

28 60 11 DOOR ENTRY CONTROL AND VIDEO

- 1.1 SUMMARY
 - A. ADD SUB-MASTER STATION TO EXISTING AIPHONE JP-4MED SYSTEM. SUB-MASTER STATION SHALL BE ABLE TO CONTROL THE VISITOR GATE AND VISITOR ENTRY VIDEO / INTERCOM.
- 1.2 QUALITY ASSURANCE
 - A. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND APPLICATION.
 - B. COMPLY WITH NFPA 70.
 - C. ALL ITEMS OF EQUIPMENT INCLUDING WIRE AND CABLE SHALL BE DESIGNED BY THE MANUFACTURER TO FUNCTION AS A COMPLETE SYSTEM AND SHALL BE ACCOMPANIED BY THE MANUFACTURER'S COMPLETE SERVICE NOTES AND DRAWINGS DETAILING ALL INTERCONNECTIONS.
- 1.3 COORDINATION
 - A. COORDINATE FLUSH MOUNTED BACK BOXES WITH OTHER TRADES.
 - B. COORDINATE REQUIREMENTS OF DOOR STRIKES, POWER SUPPLIES, CARD READER SYSTEMS, POWER OPERATED DOORS AND OTHER EQUIPMENT SPECIFIED UNDER OTHER SECTIONS OF SPECIFICATION AND DRAWINGS.
- 2.1 MANUFACTURERS
 - A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
 - a. AIPHONE.
- 2.2 SUB-MASTER STATION
 - A. JP-4HD MASTER STATION WITH TOUCHSCREEN MONITOR.
 - B. DESK MOUNT STAND:
 - C. THE MCV-SIA PROVIDES A DESK MOUNTING OPTION FOR AIPHONE MONITORS, ANGLING THEM BACK AT APPROXIMATELY 75°.
- 2.3 SELECTIVE DOOR RELEASE ADAPTOR
 - A. THE RY-3DL PROVIDES SELECTIVE DOOR RELEASE CAPABILITY WITH THE IE-2AD AUDIO DOOR ENTRY SYSTEM, THE MY-2CD PAN TILT VIDEO ENTRY SYSTEM OR THE KB-3MRD TILT COLOR VIDEO SYSTEM. WHEN COMMUNICATION IS ESTABLISHED TO A DOOR STATION, THE SINGLE DOOR RELEASE BUTTON ON THE INTERCOM WILL ACTIVATE THE DOOR RELEASE MECHANISM ASSOCIATED WITH THAT DOOR. THE ADAPTOR CAN BE INSTALLED WITH THE POWER SUPPLIES FOR THE SYSTEM.
 - B. SELECTIVE DOOR RELEASE WITH ONE BUTTON.
 - C. DOOR RELEASE CONTACTS RELEASE THE DOOR WHERE COMMUNICATION IS ESTABLISHED.
 - D. BOTH NORMALLY OPEN AND NORMALLY CLOSED CONTACTS.
- 2.4 LONG DISTANCE ADAPTOR:
 - A. JPW-BA - USED WHEN MASTER STATION TO DOOR STATION EXCEEDS 330 FEET.
- 2.5 POWER SUPPLY
 - A. POWER SUPPLY TO BE A PS-2420UL.
 - B. PACKAGE TO INCLUDE:
 - a. AC CORD AND PLUG.
 - b. MOUNTING BRACKET - AND SCREWS.
- 3.1 EXAMINATION
 - A. EXAMINE AREAS AND CONDITIONS FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK.
 - B. EXAMINE PRODUCTS OR MATERIALS BEFORE INSTALLATION. REJECT PRODUCTS OR MATERIALS THAT ARE WET, MOISTURE DAMAGED, OR MOLD DAMAGED.
 - C. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- 3.2 INSTALLATION
 - A. COMPLY WITH NECA 1.
 - B. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLING, CALIBRATING AND THE START UP OF PRODUCTS.
 - C. WIRING METHOD: INSTALL CABLES IN RACEWAYS AND CABLE TRAYS EXCEPT WITHIN CONSOLES, CABINETS, DESKS, AND COUNTERS. CONCEAL RACEWAY AND CABLES EXCEPT IN UNFINISHED SPACES.
 - a. INSTALL PLENUM CABLE IN ENVIRONMENTAL AIR SPACES, INCLUDING PLENUM CEILINGS.
 - b. COMPLY WITH REQUIREMENTS FOR RACEWAYS AND BOXES SPECIFIED IN DIVISION 26 SECTION "RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS."
 - D. WIRING METHOD: CONCEAL CONDUCTORS AND CABLES IN ACCESSIBLE CEILINGS, WALLS, AND FLOORS WHERE POSSIBLE.
 - E. WIRING WITHIN ENCLOSURES: BUNDLE, LACE, AND TRAIN CONDUCTORS TO TERMINAL POINTS WITH NO EXCESS AND WITHOUT EXCEEDING MANUFACTURER'S LIMITATIONS ON BENDING RADII. PROVIDE AND USE LACING BARS AND DISTRIBUTION SPOOLS.
 - F. GENERAL REQUIREMENTS:
 - a. TERMINATE CONDUCTORS; NO CABLE SHALL CONTAIN UNTERMINATED ELEMENTS. MAKE TERMINATIONS ONLY AT OUTLETS AND TERMINALS.
 - b. SPLICES, TAPS, AND TERMINATIONS: ARRANGE ON NUMBERED TERMINAL STRIPS IN JUNCTION, PULL, AND OUTLET BOXES; TERMINAL CABINETS; AND EQUIPMENT ENCLOSURES. CABLES MAY NOT BE SPLICED.
 - c. SECURE AND SUPPORT CABLES AT INTERVALS NOT EXCEEDING 30 INCHES AND NOT MORE THAN 6 INCHES FROM CABINETS, BOXES, FITTINGS, OUTLETS, RACKS, FRAMES, AND TERMINALS.
 - d. BUNDLE, LACE, AND TRAIN CONDUCTORS TO TERMINAL POINTS WITHOUT EXCEEDING MANUFACTURER'S LIMITATIONS ON BENDING RADII. INSTALL LACING BARS AND DISTRIBUTION SPOOLS.
 - e. DO NOT INSTALL BRUISED, KINKED, SCORED, DEFORMED, OR ABRADED CABLE. DO NOT SPLICE CABLE BETWEEN TERMINATION, TAP, OR JUNCTION POINTS. REMOVE AND DISCARD CABLE IF DAMAGED DURING INSTALLATION AND REPLACE IT WITH NEW CABLE.
 - f. COLD-WEATHER INSTALLATION: BRING CABLE TO ROOM TEMPERATURE BEFORE DEREELING. HEAT LAMPS SHALL NOT BE USED.
 - G. OPEN-CABLE INSTALLATION:
 - a. INSTALL CABLING WITH HORIZONTAL AND VERTICAL CABLE GUIDES IN TELECOMMUNICATION SPACES WITH TERMINATING HARDWARE AND INTERCONNECTION EQUIPMENT.
 - b. SUSPEND SPEAKER CABLE NOT IN A WIREWAY OR PATHWAY A MINIMUM OF 8 INCHES ABOVE CEILING BY CABLE SUPPORTS NOT MORE THAN 60 INCHES APART.
 - c. CABLE SHALL NOT BE RUN THROUGH STRUCTURAL MEMBERS OR BE IN CONTACT WITH PIPES, DUCTS, OR OTHER POTENTIALLY DAMAGING ITEMS.
 - H. SEPARATION OF WIRES: SEPARATE SPEAKER-MICROPHONE, LINE-LEVEL, SPEAKER-LEVEL, AND POWER WIRING RUNS. INSTALL IN SEPARATE RACEWAYS OR, WHERE EXPOSED OR IN SAME ENCLOSURE, SEPARATE CONDUCTORS AT LEAST 12 INCHES APART FOR SPEAKER MICROPHONES AND ADJACENT PARALLEL POWER AND TELEPHONE WIRING. SEPARATE OTHER INTERCOMMUNICATION EQUIPMENT CONDUCTORS AS RECOMMENDED BY EQUIPMENT MANUFACTURER.

- 3.3 GROUNDING
 - A. GROUND CABLE SHIELDS AND EQUIPMENT TO ELIMINATE SHOCK HAZARD AND TO MINIMIZE GROUND LOOPS, COMMON-MODE RETURNS, NOISE PICKUP, CROSS TALK, AND OTHER IMPAIRMENTS.
 - B. SIGNAL GROUND TERMINAL: LOCATE AT MAIN EQUIPMENT CABINET. ISOLATE FROM POWER SYSTEM AND EQUIPMENT GROUNDING.
- 3.4 FIELD QUALITY CONTROL
 - A. PERFORM TESTS AND INSPECTIONS.
 - a. ENGAGE A FACTORY-AUTHORIZED SERVICE REPRESENTATIVE TO INSPECT COMPONENTS, ASSEMBLIES, AND EQUIPMENT INSTALLATIONS, INCLUDING CONNECTIONS, AND TO ASSIST IN TESTING.



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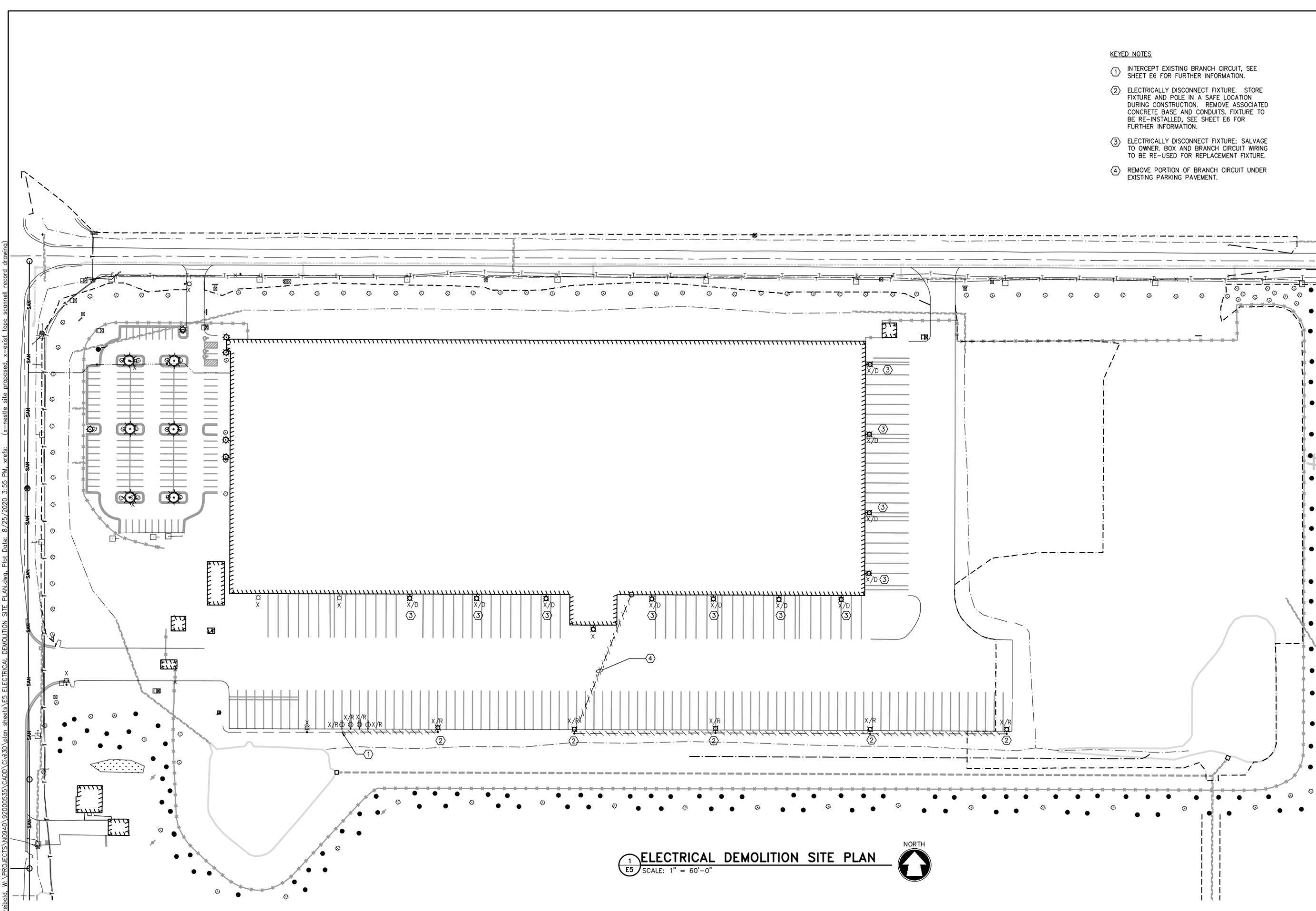
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL SPECIFICATIONS

DESIGNED JAF	DRAWN GYV
PROJECT NO. N0940 9-20-00535-A	
DATE AUGUST 2020	
SHEET NO. E4	

Reibold, W. \PROJECTS\N0940\92000535\CADD\Civil3D\plan sheets\E5 ELECTRICAL DEMOLITION SITE PLAN.dwg, Plot Date: 8/25/2020 3:55 PM, xrefis: (x=nestle site proposed, x=exist, l=ono, scanell record drawing)



KEYED NOTES

- ① INTERCEPT EXISTING BRANCH CIRCUIT, SEE SHEET E6 FOR FURTHER INFORMATION.
- ② ELECTRICALLY DISCONNECT FIXTURE. STORE FIXTURE AND POLE IN A SAFE LOCATION DURING CONSTRUCTION. REMOVE ASSOCIATED CONCRETE BASE AND CONDUITS. FIXTURE TO BE RE-INSTALLED, SEE SHEET E6 FOR FURTHER INFORMATION.
- ③ ELECTRICALLY DISCONNECT FIXTURE; SALVAGE TO OWNER. BOX AND BRANCH CIRCUIT WIRING TO BE RE-USED FOR REPLACEMENT FIXTURE.
- ④ REMOVE PORTION OF BRANCH CIRCUIT UNDER EXISTING PARKING PAVEMENT.

1
E5 **ELECTRICAL DEMOLITION SITE PLAN**
SCALE: 1" = 60'-0"



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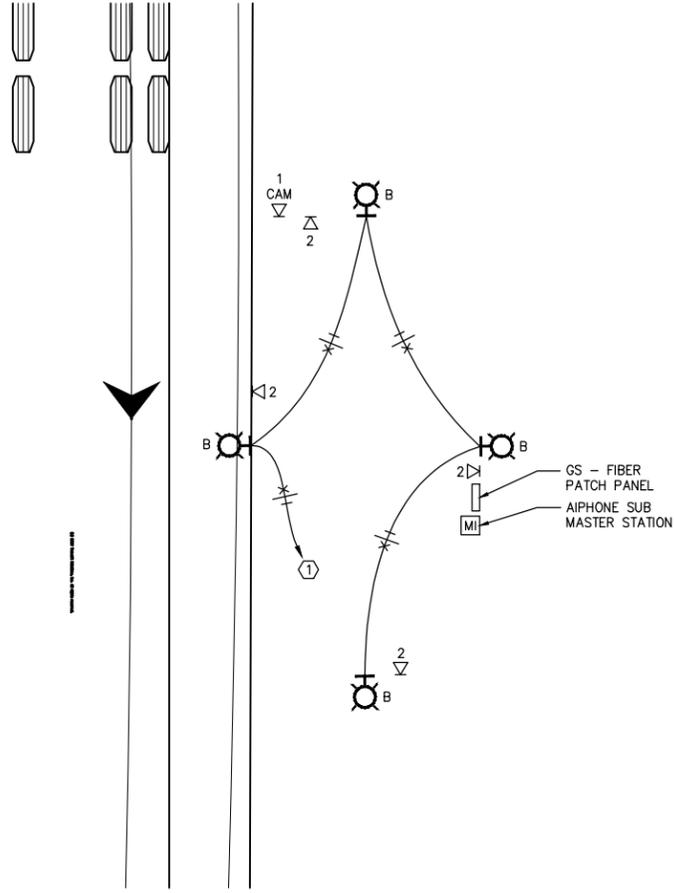
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL DEMOLITION SITE PLAN

DESIGNED JAF	DRAWN GYV
PROJECT NO. N0940 9-20-00535-A	
DATE AUGUST 2020	
SHEET NO. E5	



ELECTRICAL ENLARGED GUARD STATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

KEYED NOTES:

- ① PROVIDE A 20A-1P BRANCH CIRCUIT IN GUARD STATION PANEL. COORDINATE WITH PRE-FAB MANUFACTURER AND GENERAL CONTRACTOR.

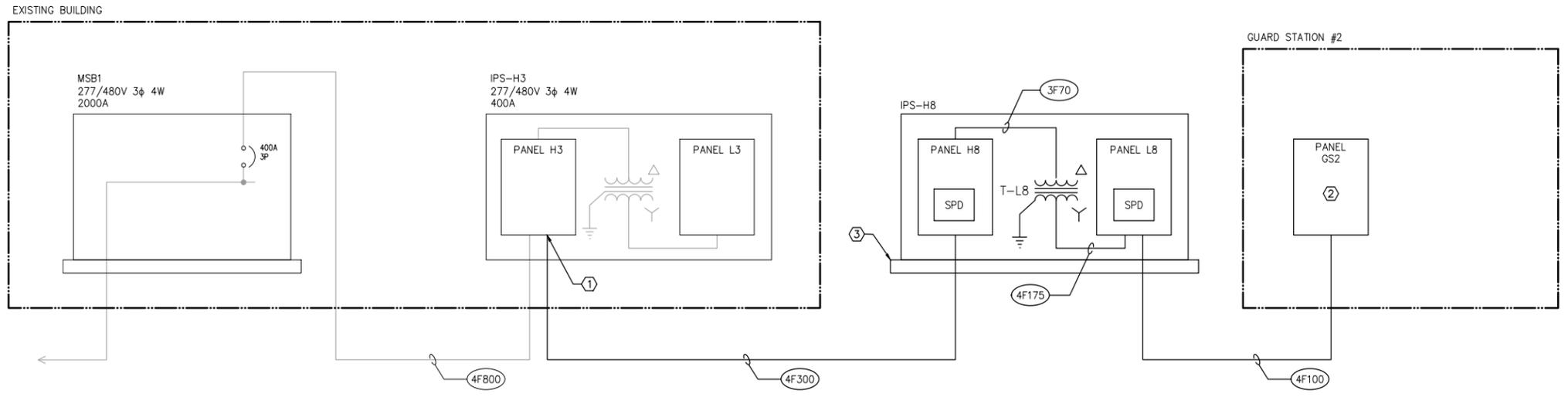
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ENLARGED GUARD STATION PLAN

DESIGNED JAF	DRAWN GYV
PROJECT NO. N0940 9-20-00535-4	
DATE AUGUST 2020	
SHEET NO. E7	



1
E9 **ELECTRICAL RISER DIAGRAM**
NO SCALE

- NOTES:
- ① PROVIDE A SIEMENS 100A-3P NGB CIRCUIT BREAKER IN AVAILABLE BUSSED SPACE. UPDATE PANEL CIRCUIT LABEL DIRECTORY. PROVIDE CUSTOM LUGS FOR #350KCMIL CONDUCTORS.
 - ② GUARD STATION PANEL GS2 BY OTHERS. COORDINATE WITH PREFAB UNIT MANUFACTURER AND GENERAL CONTRACTOR.
 - ③ PROVIDE CONCRETE PAD FOR IPS-H8, REFER TO DETAIL 4/E12.

PANEL: H8		LOCATION: EXTERIOR		VOLTS: 480 Y/ 277		PH: 3 W: 4				
AMP MAIN BKR: 100A		BUS AMPS: 100A		AIC RATING: 10K		ENCLOSURE/MOUNT: NEMA 3R / PAD - IPS				
FED FROM: IPS-H3		MFR: SIEMENS		PANEL TYPE: INTEGRAL W/IPS						
LOAD/CIRCUIT DESCRIPTION	LOAD KVA	CKT BKR	P	CIR #	P H	CIR #	P	CKT BKR	LOAD KVA	LOAD/CIRCUIT DESCRIPTION
L8	9.40	20	1	1	A	2			0.59	SLIDING GATE
	9.40	20	1	3	B	4	1	20	0.59	
	6.40	20	1	5	C	6			0.59	
	0.00	20	1	7	A	8	1	20	0.00	
	0.00	20	1	9	B	10	1	20	0.00	
	0.00	20	1	11	C	12	1	20	0.00	
	0.00	20	1	13	A	14	1	20	0.00	
	0.00	20	1	15	B	16	1	20	0.00	
	0.00	20	1	17	C	18	1	20	0.00	
	0.00	20	1	19	A	20	1	20	0.00	
	0.00	20	1	21	B	22	1	20	0.00	
	0.00	20	1	23	C	24	1	20	0.00	
	0.00	20	1	25	A	26	1	20	0.00	
	0.00	20	1	27	B	28	1	20	0.00	
	0.00	20	1	29	C	30	1	20	0.00	

PHASE A:	6.99 KVA	25.2 AMP
PHASE B:	6.99 KVA	25.2 AMP
PHASE C:	3.24 KVA	11.7 AMP
TOTAL:	17.22 KVA	20.7 AMP

NOTES:
 1. PANEL LABEL DIRECTORY SHALL INCLUDE LOAD DESCRIPTIONS AND FINAL ROOM NAMES / NUMBERS.
 2. INTEGRAL SPD - 120KA
 3. CUSTOM LUGS TO ACCOMMODATE #350KCMIL CONDUCTORS.

PANEL: L8		LOCATION: EXTERIOR		VOLTS: 208 / 120		PH: 3 W: 4				
AMP MAIN BKR: 175A		BUS AMPS: 225A		AIC RATING: 10K		ENCLOSURE/MOUNT: NEMA 3R / PAD - IPS				
FED FROM: T-L8/H8		MFR: SIEMENS		PANEL TYPE: INTEGRAL W/IPS						
LOAD/CIRCUIT DESCRIPTION	LOAD KVA	CKT BKR	P	CIR #	P H	CIR #	P	CKT BKR	LOAD KVA	LOAD/CIRCUIT DESCRIPTION
PANEL GS2	8.40			1	A	2	1	20	1.00	SIGNAGE
	8.40	100	3	3	B	4	1	20	1.00	SIGNAGE
	5.40			5	C	6	1	20	1.00	SIGNAGE
	0.00	20	1	7	A	8	1	20	0.00	
	0.00	20	1	9	B	10	1	20	0.00	
	0.00	20	1	11	C	12	1	20	0.00	
	0.00	20	1	13	A	14	1	20	0.00	
	0.00	20	1	15	B	16	1	20	0.00	
	0.00	20	1	17	C	18	1	20	0.00	
	0.00	20	1	19	A	20	1	20	0.00	
	0.00	20	1	21	B	22	1	20	0.00	
	0.00	20	1	23	C	24	1	20	0.00	
	0.00	20	1	25	A	26	1	20	0.00	
	0.00	20	1	27	B	28	1	20	0.00	
	0.00	20	1	29	C	30	1	20	0.00	
	0.00	20	1	31	A	32	1	20	0.00	
	0.00	20	1	33	B	34	1	20	0.00	
SPARE	0.00	20	1	35	C	36	1	20	0.00	SPARE
SPARE	0.00	20	1	37	A	38	1	20	0.00	SPARE
SPARE	0.00	20	1	39	B	40	1	20	0.00	SPARE
SPARE	0.00	20	1	41	C	42	1	20	0.00	SPARE

PHASE A:	10.40 KVA	86.7 AMP
PHASE B:	10.40 KVA	86.7 AMP
PHASE C:	6.85 KVA	55.4 AMP
TOTAL:	27.45 KVA	76.2 AMP

NOTES:
 1. PANEL LABEL DIRECTORY SHALL INCLUDE LOAD DESCRIPTIONS AND FINAL ROOM NAMES / NUMBERS.
 2. INTEGRAL SPD - 120KA

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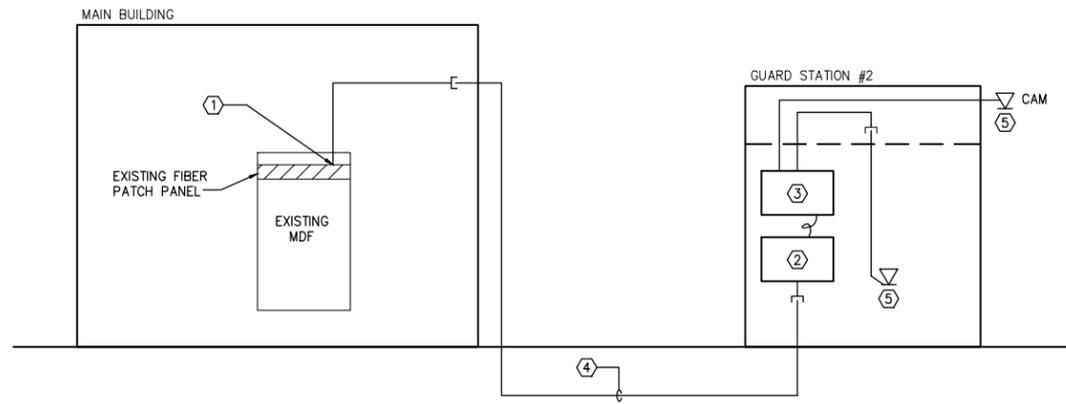
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**FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
ELECTRICAL RISER DIAGRAM**

DESIGNED JAF	DRAWN GYV
PROJECT NO. N0940 9-20-00535-A	
DATE AUGUST 2020	
SHEET NO. F9	



1 VOICE DATA RISER DIAGRAM
E11 NOT TO SCALE

NOTES:

- ① PROVIDE AN OS2 LC CONNECTOR MODULAR PATCH PANEL. EITHER INSTALL IN EXISTING MODULAR PATCH PANEL OR PROVIDE NEW PATCH PANEL. PROVIDE A 1000 BASE-LX SFP TRANSCEIVER AT BOTH ENDS OF THE FIBER CABLES.
- ② PROVIDE A WALL MOUNT OS2 LC CONNECTOR PATCH PANEL. VERIFY LOCATION WITH PRE-FAB UNIT MANUFACTURER AND GENERAL CONTRACTOR.
- ③ NETWORK SWITCH BY OTHERS.
- ④ PROVIDE 6-STRAND OS2 SINGLE MODE FIBER TYPE OFCP INDOOR/OUTDOOR WITH INTERLOCKED ALUMINUM ARMOR AND SUITABLE FOR DIRECT BURIAL. REFER TO KEYED NOTE #5 ON SHEET E6 FOR FURTHER INFORMATION.
- ⑤ REFER TO PLANS FOR DATA OUTLET LOCATIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH PRE-FAB MANUFACTURER AND GENERAL CONTRACTOR.

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**FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
VOICE DATA RISER DIAGRAM**

DESIGNED JAF	DRAWN GYV
PROJECT NO. N0940 9-20-00535-4	
DATE AUGUST 2020	
SHEET NO. E11	



September 2, 2020

Nick Vande Hey, P.E.
McMahon Associates, Inc.
1445 McMahon Drive
Neenah, WI 54956

**RE: Hickory Drive Plan Review – Engineering Department
Hickory Drive Reconstruction – Conc. Pavement & Utilities
Village of Little Chute, Outagamie County, Wisconsin**

Dear Mr. Vande Hey:

The following comments pertain to the Freedom Road & Hickory Drive pavement reconstruction plans received from McMahon Associates, Inc. by e-mail on August 28, 2020 and is referenced above. The Village of Little Chute Engineering Department have the following comments:

Engineering Department Final Comments:

1. Plan Sheet Number 03 – Add a note to raise manhole with precast section and not to stack rings greater than 9-inches.
2. Plan Sheet Number 04 - Extend the 15-inch diameter sanitary sewer and 12-inch diameter water main in Freedom Road (CTH N) to the north, beyond the asphalt pavement transition (approx. STA 58+40). Add a note to plug pipe ends for both utilities.
3. Plan Sheet Number 04 - If spacing allows, relocate existing hydrant (STA 56+20 approx.) to proposed end of water main (STA 58+40 approx.) to allow flushing of dead end pipe.
4. Plan Sheet Numbers 04 to 08 - The provided plans indicate that a proposed 8-inch water main will be constructed in Hickory Drive that will connect with the extended 12-inch water main in Freedom Road. The water main in Hickory Drive shall be a 12-inch diameter pipe to complete the 12-inch loop with the newly constructed pipe in Don Degroot Drive. Attached are the record plans for Don Degroot Drive for your use. The indicated 8-inch pipe after the hydrant tee appears to be incorrect. From our field notes a 12-inch valve was installed at the end of the pipe run in Don Degroot Drive.
5. Plan Sheet Number 05 - Shows a slope at 0.15% for 24-inch storm sewer between MH-3 to MH-2. The computed slope is actually 0.14%. Please change inverts or slope to match.
6. Add a note to the plan set that states all existing and proposed sanitary manholes within the project limits shall receive external chimney seals.
7. Plan Sheet Numbers 07 to 08 - Identifies a slope at 0.28% for 10-inch sanitary sewer between Existing MH to MH-A. The computed slope is actually 0.27%. Please change inverts to match plan slope.
8. Plan Sheet Number 08 – Add inlet protection to east inlet on Don Degroot Drive.

9. Plan Sheet Number 11 – A white 4-inch pavement marking is indicated in the lower viewport of this sheet with an arrow that leads to dimensions but no visible line is shown. Please indicate the end of this line or remove the note and leader if no longer needed.
10. Plan Sheet Number 12 – The Standard Valve & Valve Box Setting Detail indicates that the bonnet is to rest on blocks, revise to use a gate valve adaptor.
11. Plan Sheet Number 12 – Include a note that all hydrant tees shall be locking tees as indicated in the Technical Specifications on page number 33 10 00-6. Please revise detail accordingly.
12. Plan Sheet Number 13 – Storm Inlet Detail shall provide an 18-inch sump as indicated in the Technical Specifications on page number 33 40 00-10. Please revise detail accordingly.
13. All inlet protection in the public right of way shall use Type D Inlet protection. Please revise note for Inlet Protection (Typ.) to be Inlet Protection (Type D) for all plan sheets.
14. Plan Sheet Number 13 – Storm MH or Inlet MH Detail shall provide for a 9-inch maximum adjustment for the rings. Please revise detail accordingly.
15. Plan Sheet Number 14 – Is a saw cut line going to be provided for the indicated 30-inch integral concrete curb and gutter or is this designating a steeper slope in the pan for the gutter?
16. Provide a note on the plans that states that the Contractor is to contact Mr. Jerry Verstegen, Drinking Water Operations Manager (920-858-7477) at least 4 days prior to work associated with the public water main.
17. Parking on Hickory shall be limited for “staging” or waiting to enter the facility with the vehicle running and a driver inside. With plenty of additional on-site parking being added there is no need to park in the street. Please make changes to signage to convey this to all motorists.
18. The property owner to the north has indicated that a lateral be installed for water and sanitary sewer. These laterals shall be provided at the time the utilities are being installed. The property owner shall specify location and size prior to utility construction. These laterals are to be installed to prevent damage to the newly constructed pavement.
19. The invert of the sanitary sewer in Don Degroot Drive is at elevation 708.84. It would appear to be more beneficial to construct the sanitary sewer from both ends to provide additional depth and to be able to serve the properties to the north with a deeper service. The invert of the sanitary sewer at Manhole E is 712.58. If a slope of 0.004 ft./ft. is used for the 8-inch pipe, a new invert of approximately 710.28 or 2.3 feet lower is realized at the same location. Revise the sanitary sewer design to accommodate this additional depth. The asphalt pavement in Don Degroot Drive is installed with binder only at this time. Please call to discuss the pavement section within Don Degroot Drive.
20. The Storm Water Management Plan has been reviewed along with the Operation and Maintenance Plan. These plans are both dated August 19, 2020 and meet the storm water management requirements for the proposed Hickory Road improvements. If alterations are made either during construction for the road or changes made to the preliminary plan set for the Nestle site, these documents shall be revised to model the final condition. Record survey information will be required for the modifications to the storage or outlets to the pond(s) facilities.
21. Any additions, extensions, modifications, or changes to the reviewed information shall be approved by the Village of Little Chute prior to construction.

22. Stamp and seal final site of construction plans by a Professional Engineer that is registered in the State of Wisconsin. Incorporate all revisions as requested by the Village of Little Chute Department of Public Works and Engineering prior to final submittal.
23. The Village of Little Chute can provide final plan approval when the requested revisions have been made and re-submitted to the Village of Little Chute. A complete submittal shall include a copy of the WDNR storm water management and erosion control permit for soil disturbance related to construction activities and WDNR approval for sanitary sewer and water main extension.

If you have any questions regarding this project, please do not hesitate to contact the Village of Little Chute's Engineering Department.

Sincerely,

Christopher L. Murawski

Christopher L. Murawski, P.E.

Engineering Department

Village Engineer

Office: 920.423.3865

cc: Kent Taylor, Public Works Director
File

FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION NESTLE USA

VILLAGE OF LITTLE CHUTE, WISCONSIN
MCM # N0940 9-20-00535-A

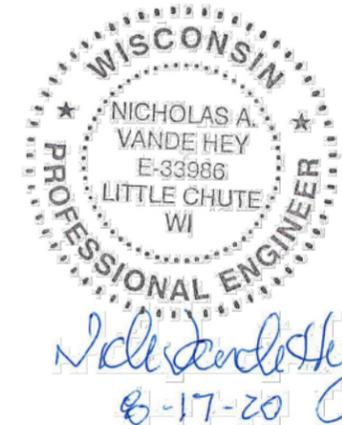
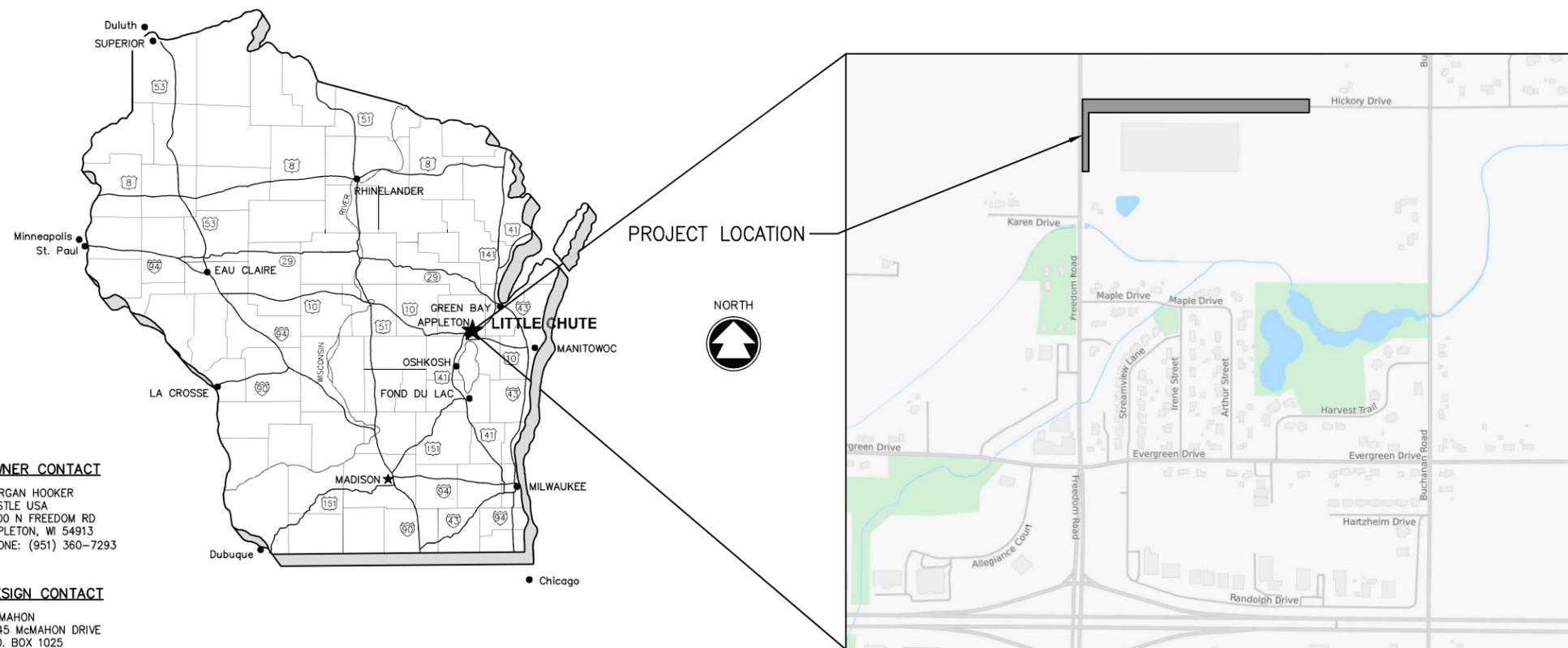


Exhibit A - Locations of Road Improvements



CONTACT INFORMATION

UTILITIES

VILLAGE OF LITTLE CHUTE
CHRIS MURAWSKI (SANITARY, STORM, WATER)
108 W. MAIN STREET
LITTLE CHUTE, WI 54140
920-423-3865

TIME WARNER CABLE
VINCE ALBIN (CABLE)
3520 DESTINATION DRIVE
APPLETON, WI 54915
920-378-0444

KAUKAUNA ELECTRIC
KELLY O'KEEFE (ELECTRIC)
777 ISLAND STREET
KAUKAUNA, WI 54130
920-462-0222

WE ENERGIES
TOM BORCHART (GAS)
800 SOUTH LYNNDALE DRIVE
APPLETON, WI 54912
920-380-3349

AT&T MIDWEST
JOE KASSAB (TELEPHONE)
205 S. JEFFERSON STREET
GREEN BAY, WI 54301
920-202-4002

OWNER CONTACT

MORGAN HOOKER
NESTLE USA
3900 N FREEDOM RD
APPLETON, WI 54913
PHONE: (951) 360-7293

DESIGN CONTACT

McMAHON
1445 McMAHON DRIVE
P.O. BOX 1025
NEENAH, WI 54957-1025
NICK VANDE HEY, PROJECT ENGINEER
PHONE: (920) 751-4200
EMAIL: nvandehy@mcmgrp.com



SHEET INDEX

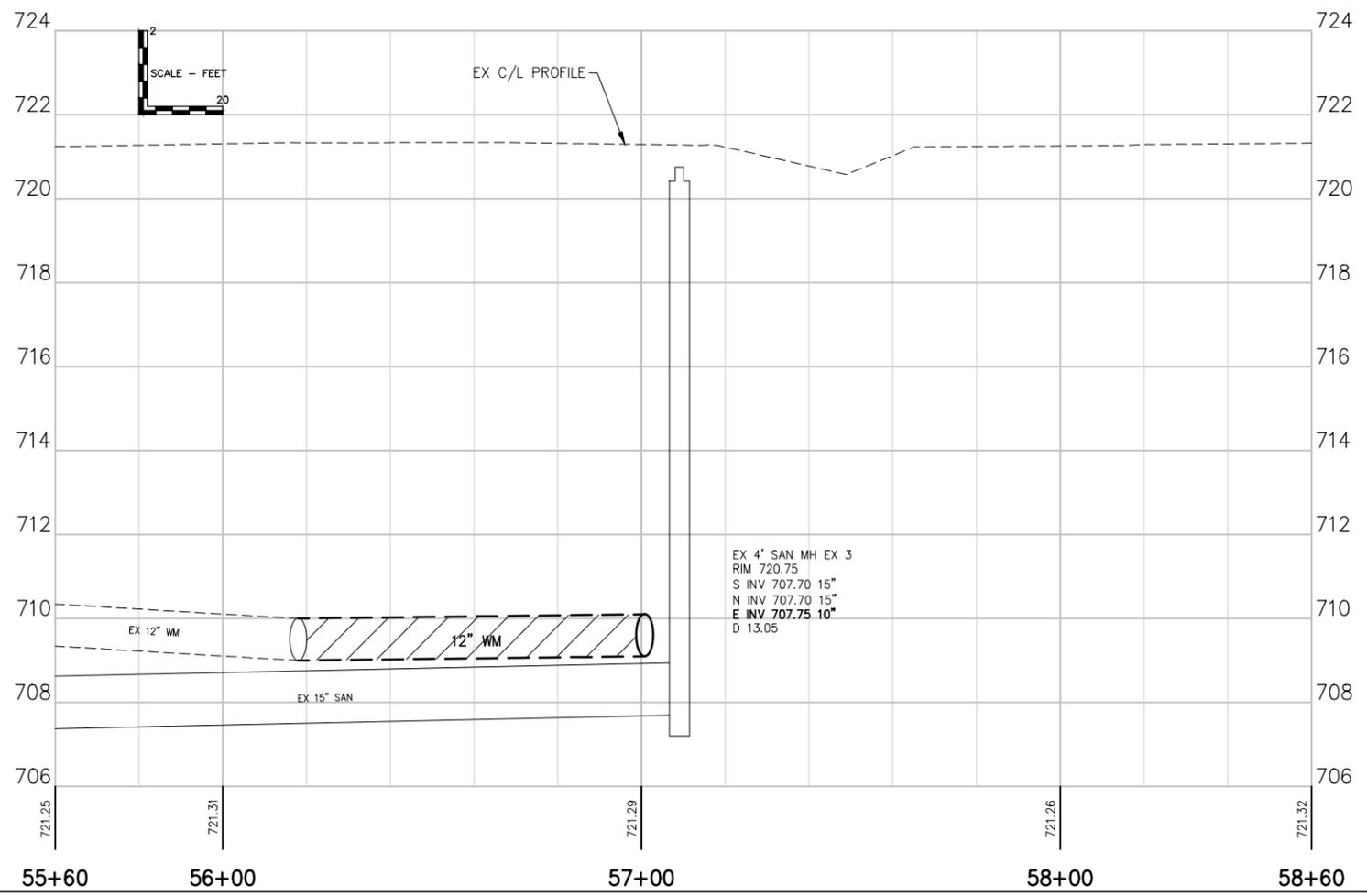
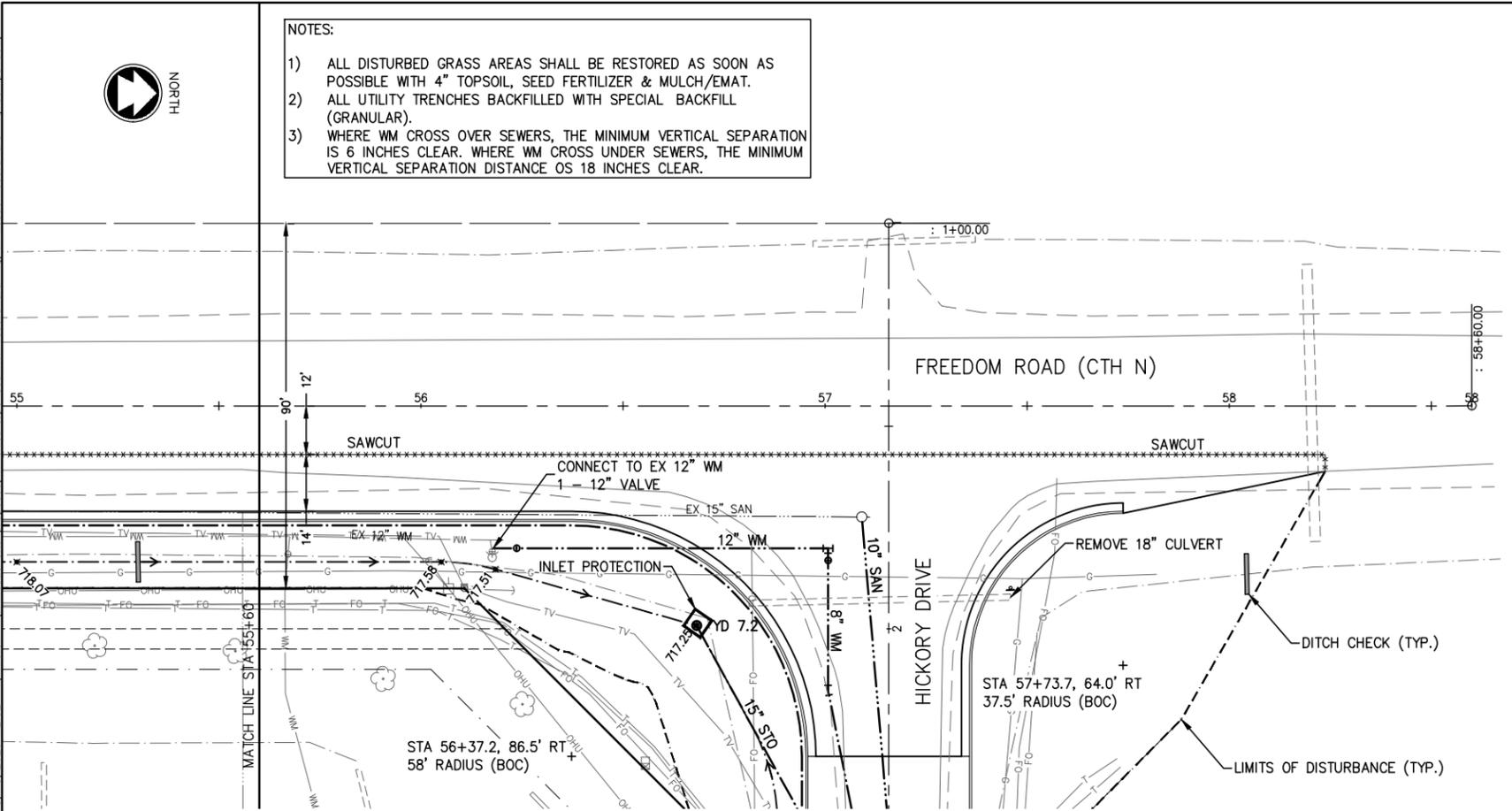
01	ABBREVIATIONS, SYMBOLS & NOTES
02	SURVEY CONTROL
03-04	FREEDOM ROAD PLAN & PROFILE
05-08	HICKORY DRIVE PLAN & PROFILE
09-11	PAVEMENT MARKING PLAN
12-26	MISCELLANEOUS DETAILS

DATE	AUGUST 2020
PROJECT NO.	N0940 9-20-00535-A

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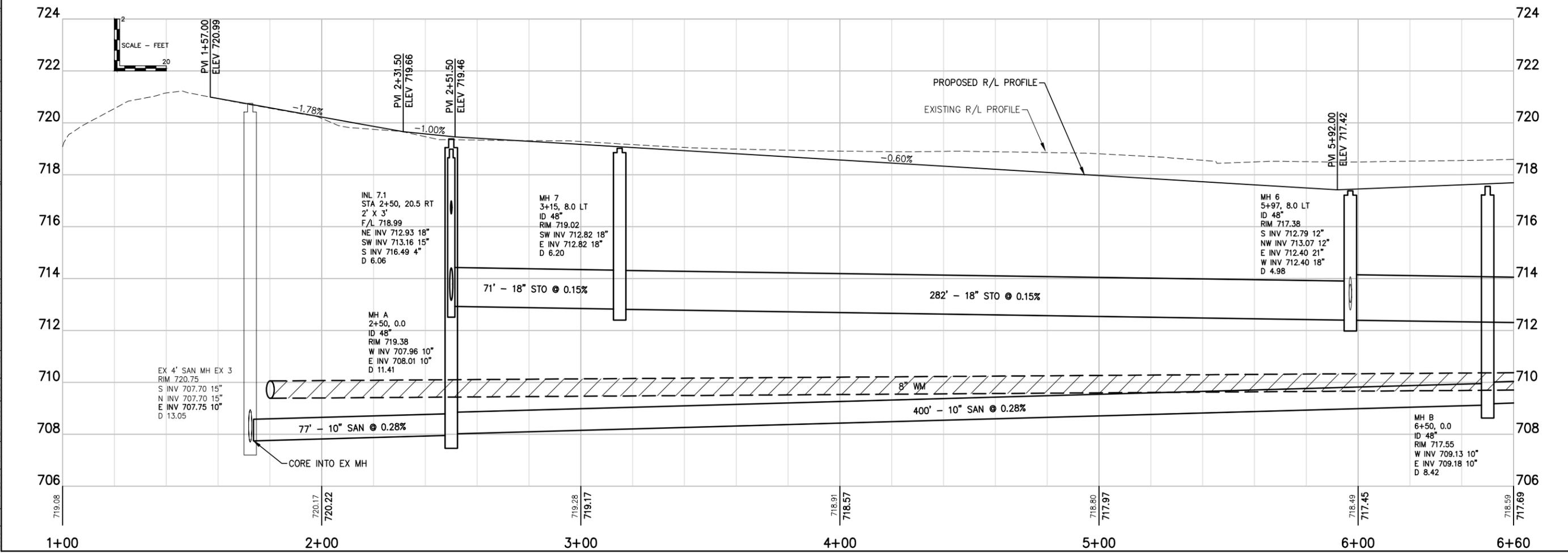
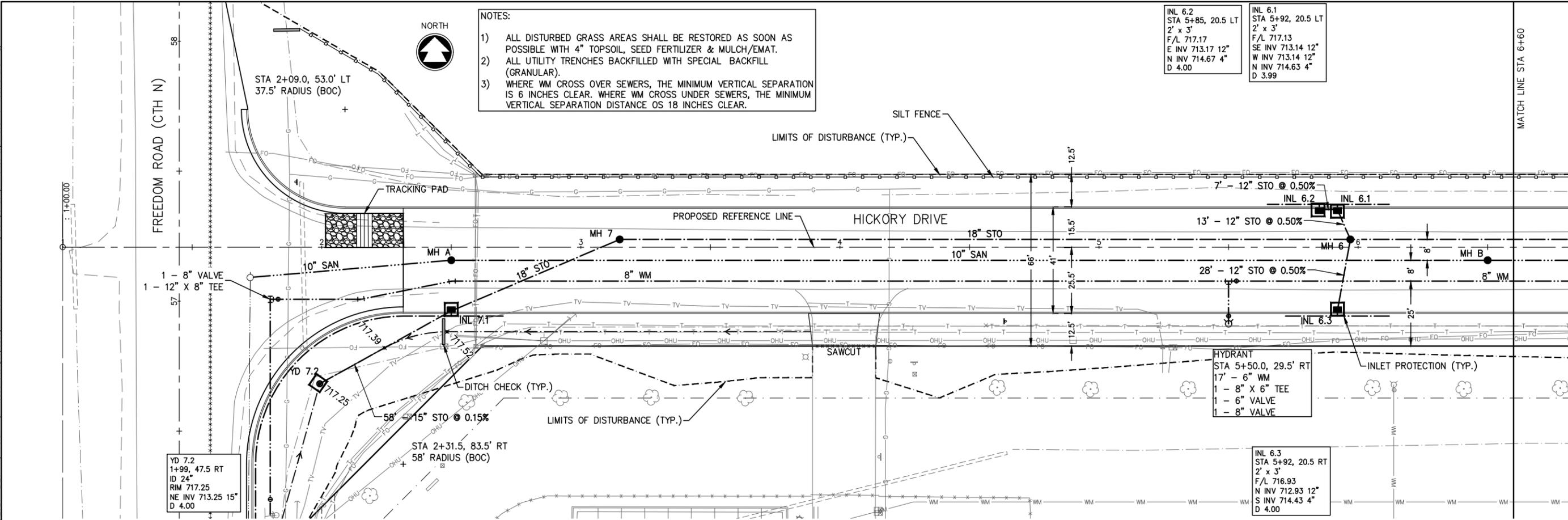
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FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
FREEDOM ROAD PLAN & PROFILE

DESIGNED NAV	DRAWN KJB
PROJECT NO. N0940 9-20-00535-A	
DATE AUGUST 2020	
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ENGINEERING ARCHITECTURE

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
HICKORY DRIVE PLAN & PROFILE

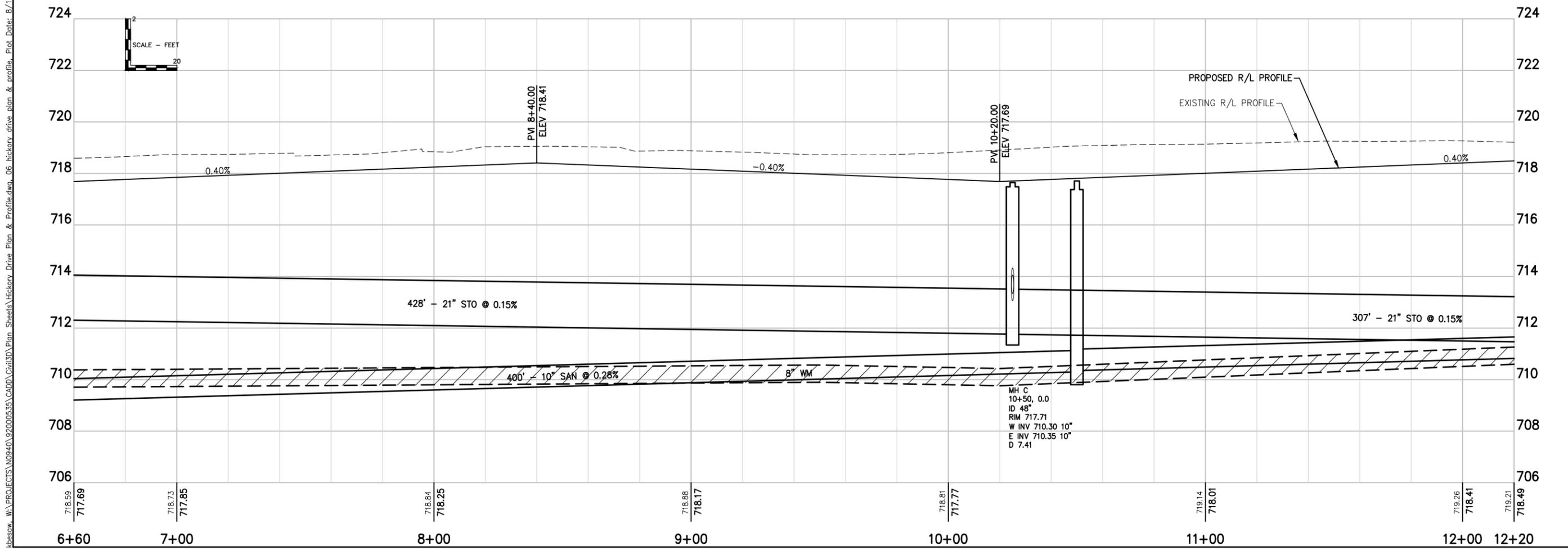
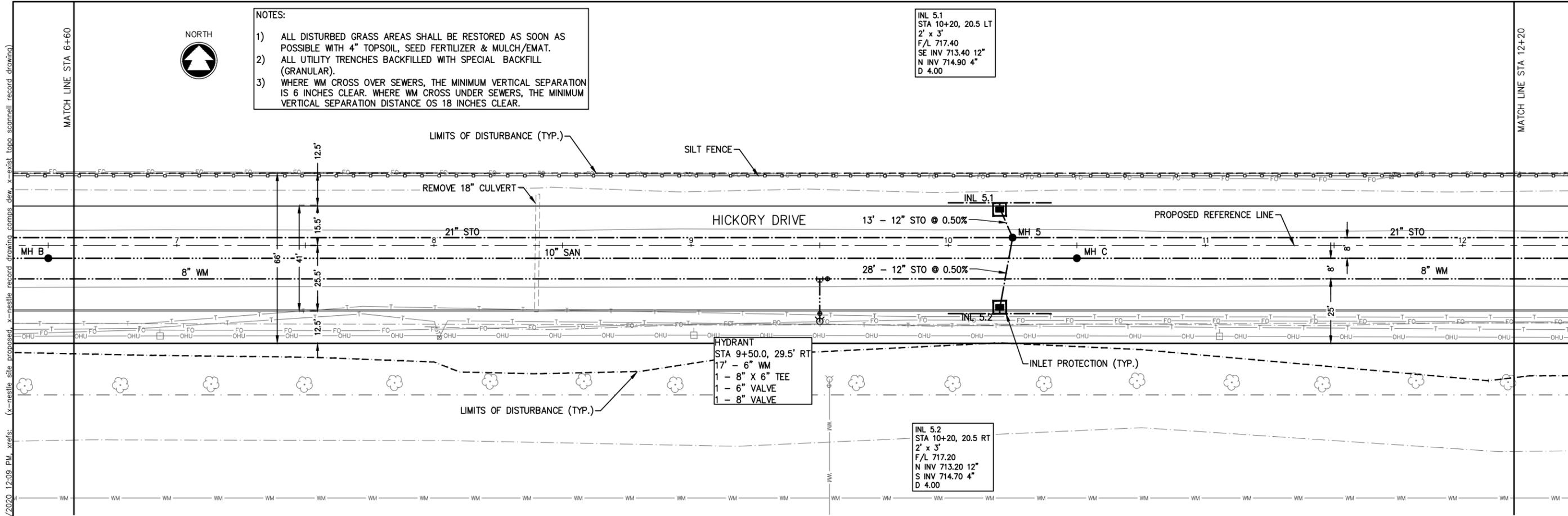
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DATE: AUGUST 2020

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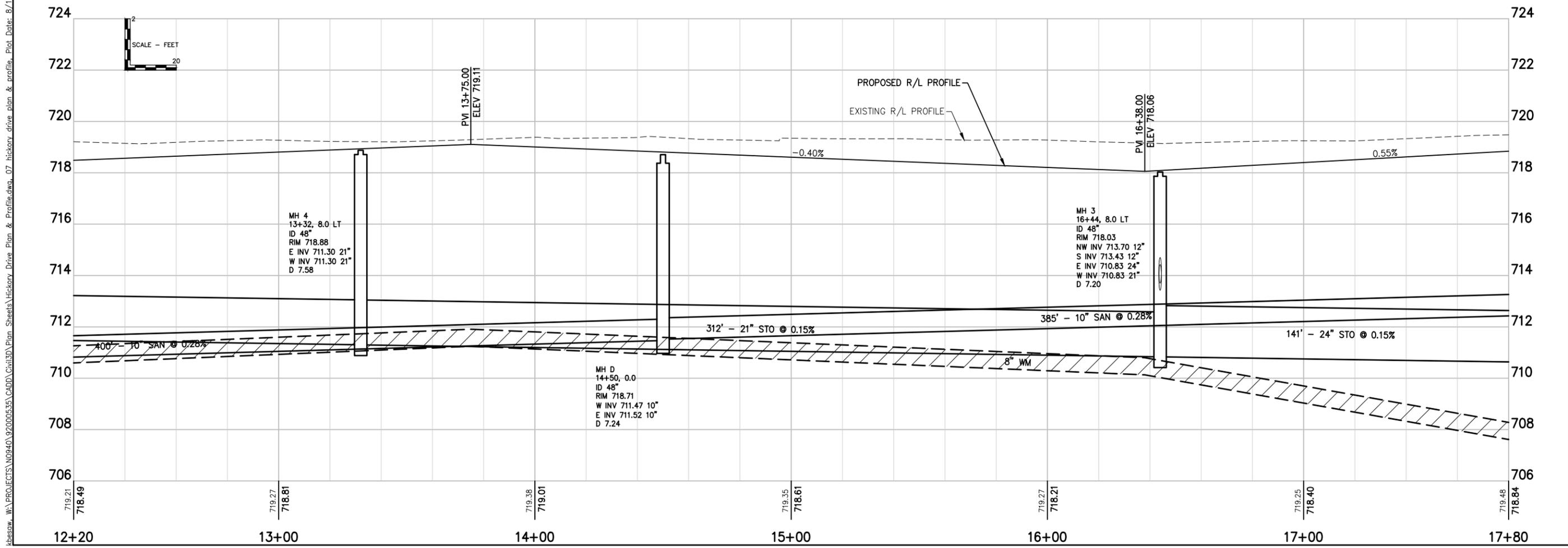
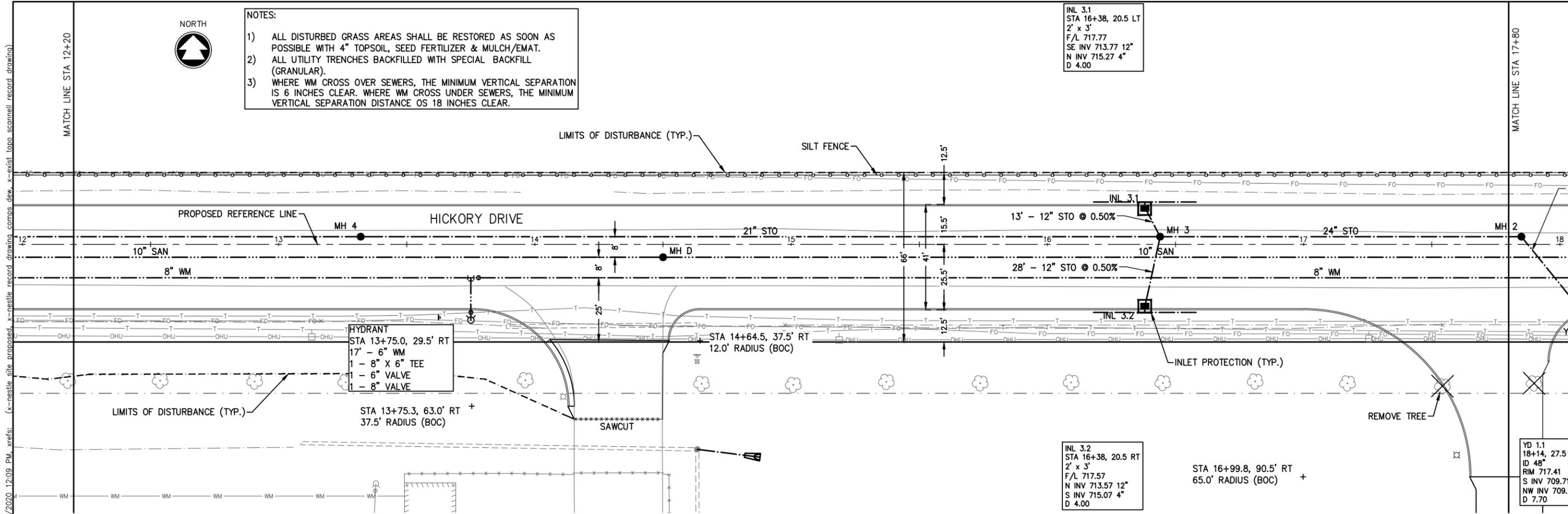
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 NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
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 DATE: AUGUST 2020
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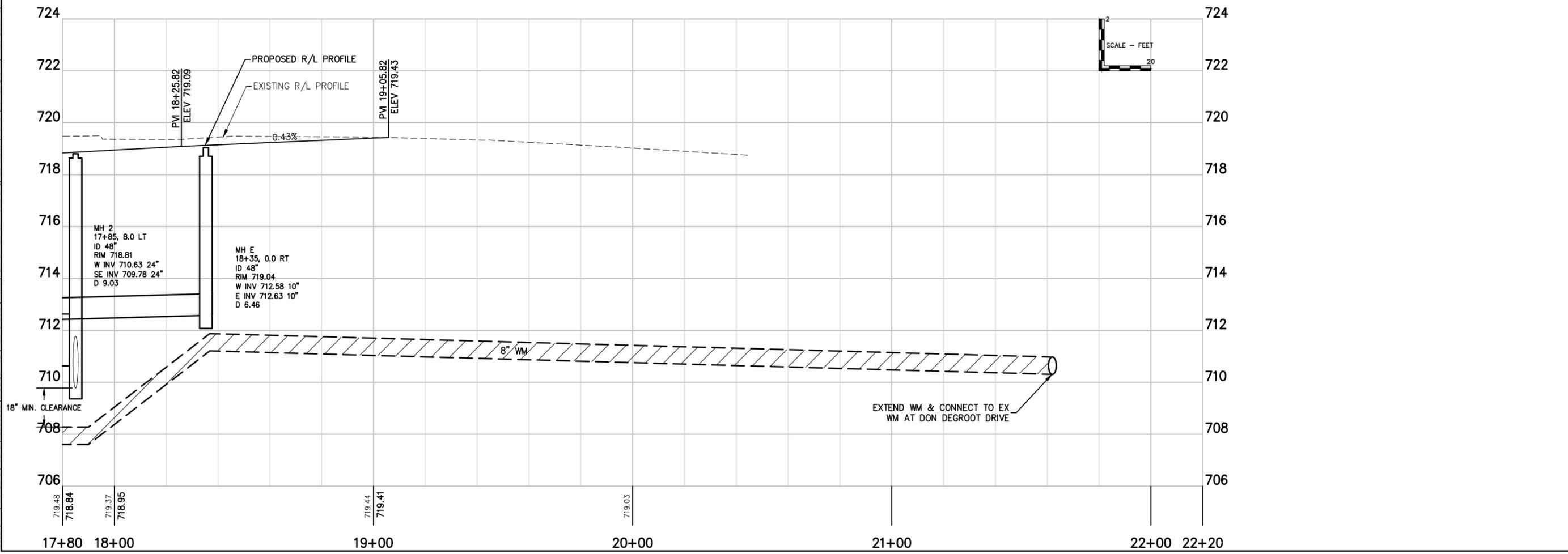
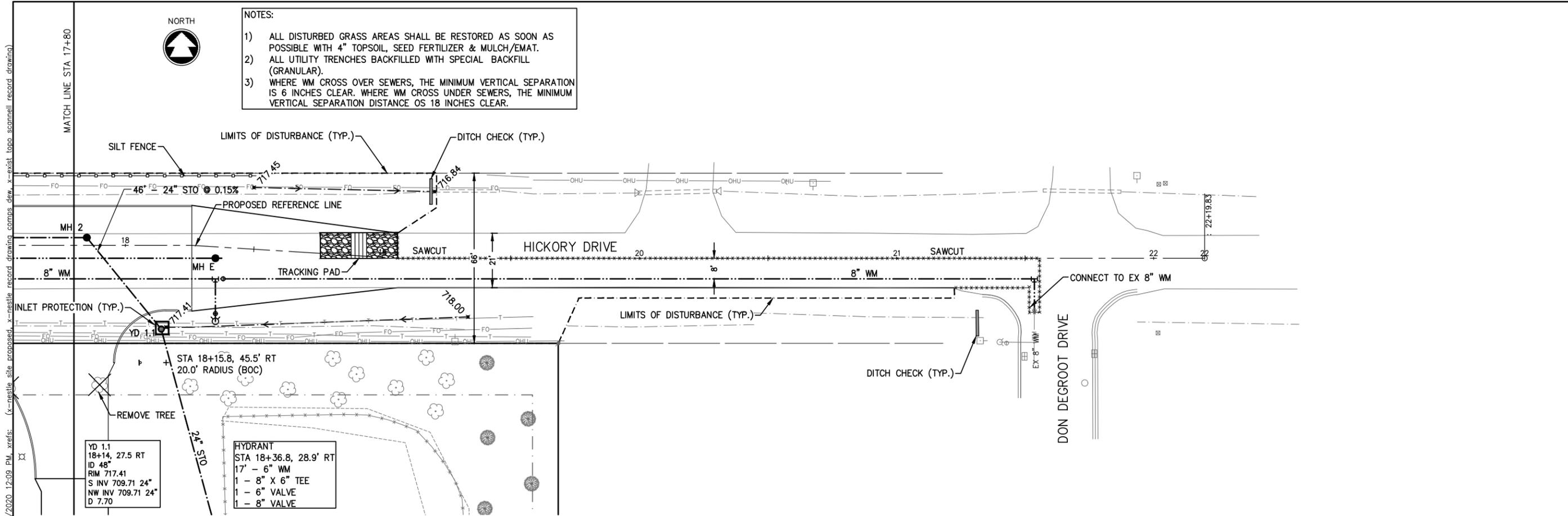
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**FREEDOM ROAD & HICKORY DRIVE RECONSTRUCTION
 NESTLE USA, VILLAGE OF LITTLE CHUTE, WI
 HICKORY DRIVE PLAN & PROFILE**

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PROJECT NO. N0940 9-20-00535-A	
DATE AUGUST 2020	
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STANDARD ABBREVIATIONS

AC	AGG	AH	ASPH	AVG	B-B	BEC	BIT	BK	B/L	BLDG	BM	BOC	BRG	C-C	CY	C&G	CB	CE	CHD	C/L	CL	OMP	CD	CONC	CORR	CP	CR	CS	CSW	CTH	CULV	D	DI	DIA	DIS	EA	EB	EBS	EG	ELEV	ELEC	EMB	EMAT	ENT	EOR	EP	EXC	EX	EW	F-F	FDN	FE	FERT	FG	F/L	FT	FTG	GRAV	GN	GV	HDPE	HE	HMA	HP	HT	HYD	ID	IN	INL	INV	IP	JCT	LB	LF	LP	ACRE	AGGREGATE	AHEAD	ASPHALT PAVEMENT	AVERAGE	BACK TO BACK	BEGIN	BITUMINOUS	BACK	BASE LINE	BUILDING	BENCH MARK	BACK OF CURB	BEARING	CENTER TO CENTER	CUBIC YARD	CURB AND GUTTER	CATCH BASIN	COMMERCIAL ENTRANCE	CHORD	CENTER LINE	CLASS (FOR CONC PIPE)	CORRUGATED METAL PIPE	CLEAN OUT	CONCRETE	CORRUGATED	CONTROL POINT	CRUSHED	CURB STOP	CONCRETE SIDEWALK	COUNTY TRUNK HIGHWAY	CULVERT	DEPTH OR DELTA	DUCTILE IRON	DIAMETER	DISCHARGE	EACH	EASTBOUND	EXCAVATION BELOW SUBGRADE	EDGE OF GRAVEL	ELEVATION	ELECTRIC	EMBANKMENT	EROSION MAT	ENTRANCE	END OF RADIUS	EDGE OF PAVEMENT	EXCAVATION	EXISTING	ENDWALL	FACE TO FACE	FOUNDATION	FIELD ENTRANCE	FERTILIZER	FINISHED GRADE	FLOW LINE	FOOT	FOOTING	GRAVEL	GRID NORTH	GAS VALVE	HIGH DENSITY POLYETHYLENE	HIGHWAY EASEMENT	HOT MIX ASPHALT	HIGH POINT	HEIGHT	HYDRANT	INSIDE DIAMETER	INCH	INLET	INVERT	IRON PIPE	JUNCTION	POUND	LINEAR FOOT	LIGHT POLE	LEFT	LENGTH OF VERTICAL CURVE	MAINT	MAINTENANCE	MATERIAL	MAXIMUM	MINIMUM	MANHOLE	MILE POST	NORTHBOUND	NUMBER	NORMAL	OUTSIDE DIAMETER	OBLITERATE PAVEMENT	POINT OF CURVATURE	PORTLAND CEMENT CONCRETE OR	POINT OF COMPOUND CURVATURE	PRIVATE ENTRANCE	PEDESTAL	PROFILE GRADE LINE	POINT OF INTERSECTION	PROPERTY LINE	PERMANENT LIMITED EASEMENT	POWER POLE	POINT OF REVERSE CURVATURE	PROPOSED	PASSING SIGHT DISTANCE	POUNDS PER SQUARE INCH	POINT OF TANGENCY	POLYVINYL CHLORIDE OR	POINT OF VERTICAL CURVATURE	POINT OF VERTICAL INTERSECTION	POINT OF VERTICAL TANGENCY	RADIUS	REINFORCED CONCRETE PIPE	ROAD	REINFORCEMENT ROD	REMOVE	RECONSTRUCT	REQUIRED	REFERENCE LINE	RADIUS POINT	RAILROAD	RIGHT	RIGHT-OF-WAY	SOUTHBOUND	SUPERELEVATION	SQUARE FEET	SLOPE INTERCEPT	STATE TRUNK HIGHWAY	SQUARE YARD	SALVAGED	SANITARY	SECTION	SHOULDER	SURVEY LINE	SQUARE	STATION	STANDARD	STORM	SIDEWALK	TOP OF CURB	TELEPHONE	TEMPORARY	TEMPORARY LIMITED EASEMENT	TELEVISION	TYPICAL	UNDERGROUND	U.S. HIGHWAY	VARIES	VERTICAL CURVE	VERTICAL	WESTBOUND	WATER MAIN	WATER VALVE	LT	LVC	MATL	MAX	MIN	MP	NB	NO	NOR	OD	OBULT	PAVT	PC	PCC	PE	PEL	PGL	PI	P/L	PLE	PP	PRC	PROP	PSD	PSI	PT	PVC	PVI	PVT	R	RCP	REBAR	REM	RECON	REQ'D	R/L	RP	RR	RT	R/W	SB	SE	SF	SI	STH	SY	SALV	SAN	SEC	SHLDR	S/L	SQ	STA	STD	STO	SW	TC	TEL	TEMP	TLE	TV	TYP	UG	USH	VAR	VC	VERT	WB	WM	WV
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GENERAL NOTES

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
3. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

STANDARD SYMBOLS (PLAN VIEW ONLY)

2" IRON PIPE FOUND	TELEPHONE CABLE - BURIED
1 1/4" REBAR FOUND	ELECTRIC CABLE - BURIED
1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET	UTILITIES - OVERHEAD
1" (1.315 OD) IRON PIPE FOUND	FIBER OPTIC CABLE - BURIED
1" IRON PIPE SET	GAS MAIN
3/4" IRON REBAR FOUND	CABLE TELEVISION - BURIED
3/4" IRON PIPE FOUND	DITCH LINE
3/4" x 24" IRON REBAR WEIGHING 1.5 LB/LF SET	STREET C/L OR R/L
MAG NAIL FOUND	PROPERTY LINE
MAG NAIL SET	RIGHT-OF-WAY LINE
MAG SPIKE FOUND	SECTION LINE
MAG SPIKE SET	EXISTING CONTOURS
CHISEL CROSS FOUND	PROPOSED CONTOURS
CHISEL CROSS SET	EXISTING FORCEMAIN SEWER
COUNTY MONUMENT	EXISTING SANITARY SEWER
CONCRETE MONUMENT FOUND	PROPOSED SANITARY SEWER
CONTROL POINT HORIZONTAL	EXISTING WATER MAIN
CONTROL POINT VERTICAL	PROPOSED WATER MAIN
SOIL BORING or MONITORING WELL	EXISTING STORM SEWER
POWER POLE	PROPOSED STORM SEWER
POWER POLE W/GUY WRE	EXISTING CURB & GUTTER
TELEPHONE OR TELEVISION PEDESTAL	PROPOSED CURB & GUTTER
MAILBOX	PROPOSED REJECT CURB & GUTTER
SIGN	EXISTING CULVERT WITH END SECTIONS
RAILROAD CROSS BUCK	PROPOSED CULVERT WITH END SECTIONS
RAILROAD GATE ARM	BUILDING OUTLINE
RAILROAD TRACKS	FENCE LINE
LIGHT POLE	SAW CUT REQ'D
WOOD POLE	SILT FENCE
TRAFFIC SIGNAL	GUARD RAIL
TRAFFIC SIGNAL MAST ARM	DITCH CHECK
CONIFEROUS TREE	INLET PROTECTION
DECIDUOUS TREE	TRACKING PAD
TREE OR BRUSH LINE	TURBIDITY BARRIER OR SHEET PILING
BED ROCK (IN PROFILE VIEW)	SANDBAG COFFERDAM
HANDICAPPED PARKING STALL	SLOPE INTERCEPT
EXISTING SPOT ELEVATION	LIMITS OF DISTURBANCE
PROPOSED SPOT ELEVATION	
DRAINAGE HIGH POINT	EXISTING ASPHALT PAVEMENT
DRAINAGE DIRECTION	CONCRETE SIDEWALK/DRIVEWAY
EXISTING MANHOLE	GRAVEL
PROPOSED MANHOLE	RIP-RAP (SIZE AS SPECIFIED)
EXISTING INLET	EROSION MAT
PROPOSED INLET	EXISTING WATER VALVE
EXISTING YARD DRAIN	PROPOSED WATER VALVE
PROPOSED YARD DRAIN	EXISTING CURB STOP
EXISTING CLEAN OUT	PROPOSED CURB STOP
PROPOSED CLEAN OUT	EXISTING DELINEATED WETLANDS
EXISTING DOWNSPOUT	EXISTING FIRE HYDRANT
PROPOSED DOWNSPOUT	PROPOSED FIRE HYDRANT
EXISTING WATER VALVE	PROPOSED WATER FITTING
PROPOSED WATER VALVE	PROPOSED WATER REDUCER
EXISTING CURB STOP	PROPOSED ENDCAP
PROPOSED CURB STOP	GAS VALVE
EXISTING FIRE HYDRANT	
PROPOSED FIRE HYDRANT	
PROPOSED WATER FITTING	
PROPOSED WATER REDUCER	
PROPOSED ENDCAP	
GAS VALVE	

SITE PLAN RETURN COMMENTS
General Sheet - 1

- Building occupancy classification = S-1
- No products will be manufactured or sold on site
- No hazardous materials will be stored on site
- There is no proposal outdoor storage or display
- No outdoor refuse containers will be used
- One ground level A.C. unit will be installed along the south wall with no screening
- No signage is proposal
- No fire protection system is used
- No fire rated wall assemblies are used
- Building construction classification = 5B

ARCHITECTURAL & CONSTRUCTION PLANS

- Structure material
 - Exterior metal panels - dark bronze
 - Overhead doors - white
 - Split face block - salt and pepper
 - Sills - limestone
 - Roof, standing seam 360 - galvanized



Handwritten signature and date:
 [Signature]
 8/27/2020
 pg. c1.1 to c1.6 inclusive

THIS PLAN SET WAS CREATED WITH CIVIL3D 2018. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

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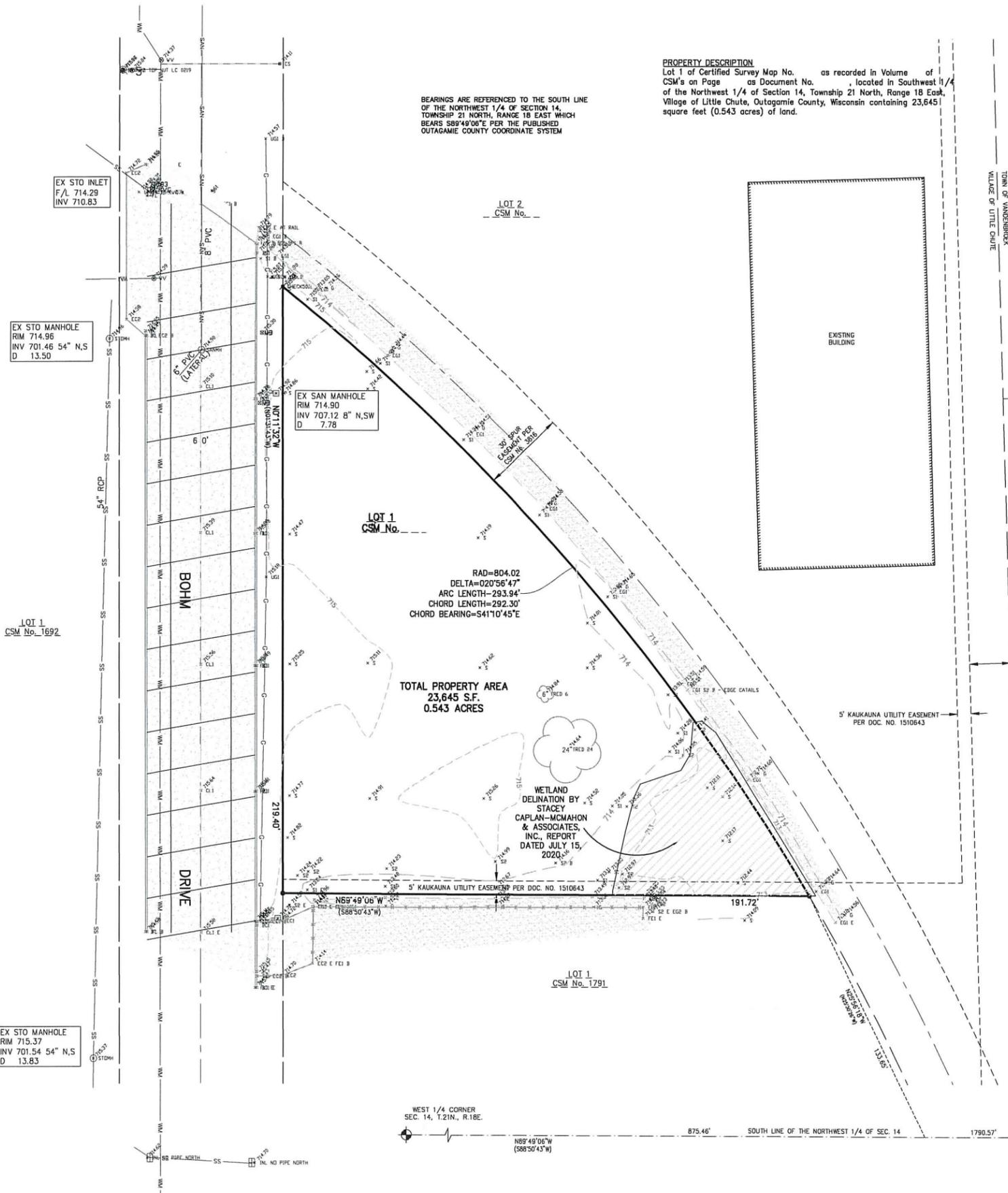
DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

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REVISIONS	
PROJECT MANAGER:	
DESIGNER:	RJW
DRAWN BY:	RRS
EXPEDITOR:	
SUPERVISOR:	
PRELIMINARY NO:	P20139
CONTRACT NO:	
DATE:	AUG. 2020
SHEET:	C1.1

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTES

1. THE UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND DIGGER HOTLINE LOCATES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION. DIGGERS HOTLINE TICKET No. 20202711490
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY McMAHON OF ANY VERTICAL DISCREPANCY.

SURVEYOR'S CERTIFICATE

The property as shown and described on this map was surveyed under my direction and control according to the Wisconsin Administrative Code, Chapter A-E7 of Minimum Standards for Property Surveys, and is a correct representation of said survey, to the best of my knowledge and belief.

Date _____ Professional Land Surveyor
 REVISED 7-20-2020
 FIELD WORK COMPLETED JULY 7TH, 2020
 FIELD BOOK 1378 PAGE 81

FOR: -DAVID GITTER
 -2140 BOHM DRIVE
 -LITTLE CHUTE, WI 54140

HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
3	574669.98	857771.61	MAG NAIL LOCATED 2225 BOHM DRIVE 260' SOUTH OF THE CENTERLINE OF STEPHEN STREET
4	573845.50	857774.54	MAG NAIL LOCATED 1850 E ELM DRIVE 490' NORTH OF THE CENTERLINE OF E ELM DRIVE

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
5	717.96	HYDRANT TOP NUT LOCATED 2101 BOHM DRIVE 550' SOUTH OF THE CENTERLINE OF STEPHEN STREET ON THE WEST RIGHT OF WAY OF BOHM DRIVE LC 0219
6	718.53	HYDRANT TOP NUT LOCATED 1850 E ELM DRIVE 206' NORTH OF THE CENTERLINE OF E ELM DRIVE ON THE WEST RIGHT OF WAY OF BOHM DRIVE LC 0501
7	718.12	HYDRANT TOP NUT LOCATED 2225 BOHM DRIVE AT THE SOUTHWEST CORNER OF BOHM DRIVE & STEPHEN STREET LC 0192

EXISTING CONDITIONS AND SURVEY CONTROL

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PROJECT MANAGER: _____

DESIGNER: R/JW

DRAWN BY: R/RS

EXPEDITOR: _____

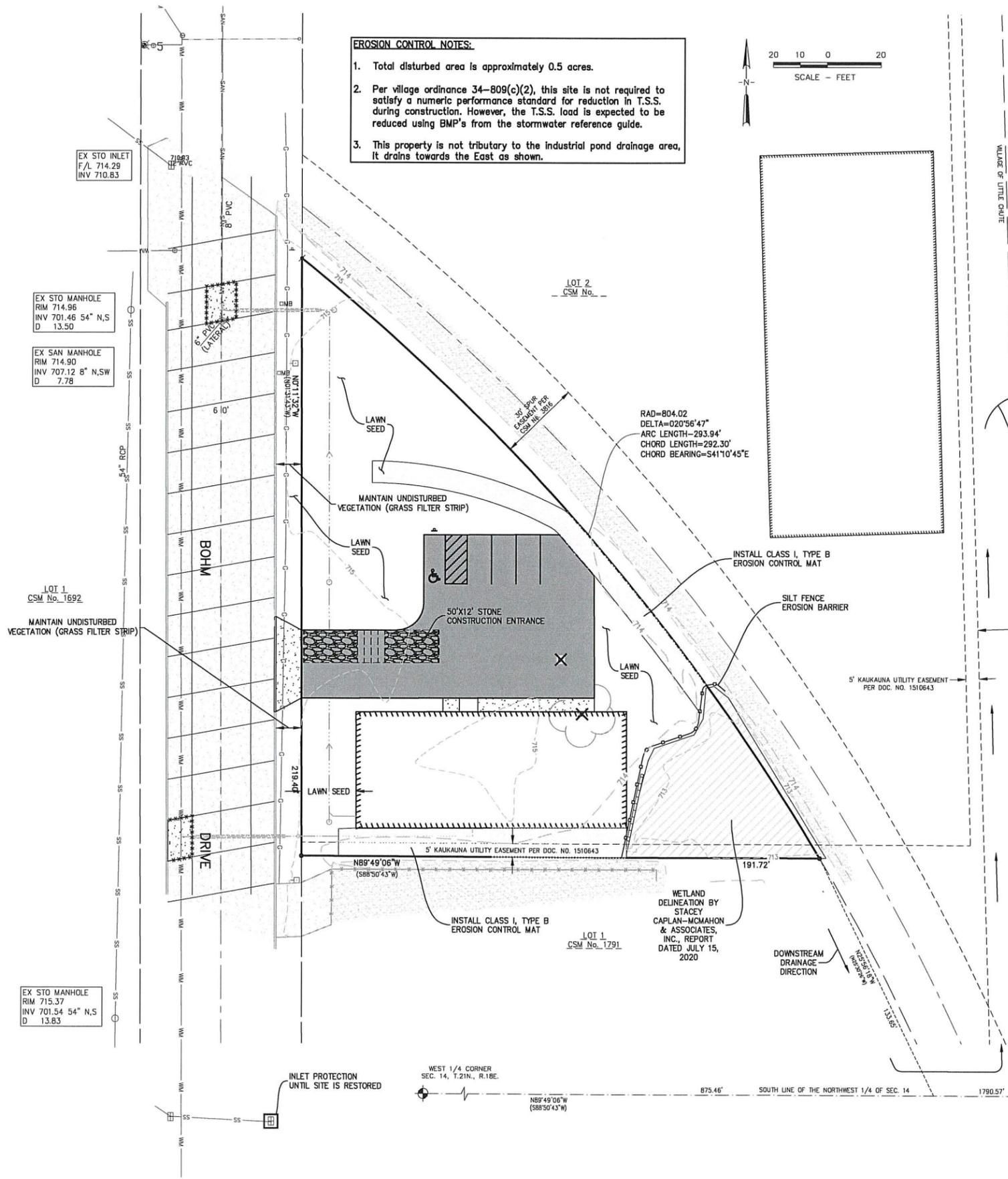
SUPERVISOR: _____

PRELIMINARY NO: P20139

CONTRACT NO: _____

DATE: AUG. 2020

SHEET: **C1.2**



EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wi.gov/runoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

- LAND APPLICATION OF POLYACRYLAMIDE (1050)
- DE-WATERING (1061)
- WATER APPLICATION OF POLYMERS (1051)
- DITCH CHECK (1062)
- NON-CHANNEL EROSION MAT (1052)
- SEDIMENT TRAP (1063)
- CHANNEL EROSION MAT (1053)
- SEDIMENT BASIN (1064)
- VEGETATIVE BUFFER (1054)
- RIP-RAP (1065)
- SEDIMENT BALE BARRIER (1055)
- CONSTRUCTION DIVERSION (1066)
- SILT FENCE (1056)
- GRADING PRACTICES (1067)
- TRACKING PAD & TIRE WASHING (1057)
- DUST CONTROL (1068)
- MULCHING (1058)
- TURBIDITY BARRIER (1069)
- SEEDING (1059)
- SILT CURTAIN (1070)
- STORM DRAIN INLET PROTECTION (1060)
- MANUFACTURED PERIMETER PRODUCTS (1071)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

- A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- D. DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- E. DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- F. DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- G. DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- H. TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.
- I. TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- D. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- E. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- F. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- G. PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- H. CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

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DRAWN BY: RRS

EXPEDITOR:

SUPERVISOR:

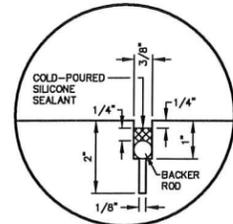
PRELIMINARY NO: P20139

CONTRACT NO:

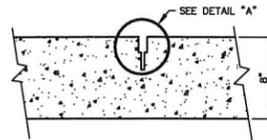
DATE: AUG. 2020

SHEET: **C1.4**

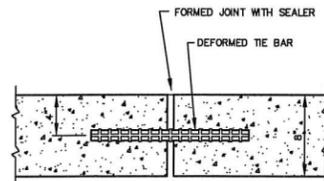
EROSION CONTROL PLAN



DETAIL "A"
COLD-POURED SILICONE TYPE
JOINT SEALER

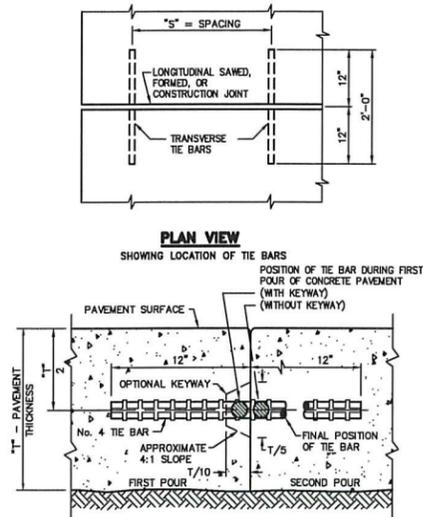


CITY STREET TRANSVERSE JOINT DETAIL



TYPE "Da" (CONSTRUCTION JOINT)

CITY STREET LONGITUDINAL JOINT DETAIL



CONSTRUCTION JOINT

NOTES:

T=TREES; S=SHRUB; E=EVERGREEN; B=BALLED IN BURLAP; B.R.=BARE ROOT; P=POTTED; T.S.= TREE SPADE.

THE LAYOUT OF THE PLANTING AND LOCATION OF PLANT HOLES OR BEDS SHALL BE STAKED BY THE CONTRACTOR SUBJECT TO ENGINEER/ ARCHITECTS APPROVAL.

ALL PLANTING AREAS TO BE FREE OF WEEDS AND GRASS, TREATED WITH A NON-LEACHING PRE-EMERGENT HERBICIDE, PREEN OR EQUAL, PER MANUFACTURER'S SPECIFICATIONS AND COVERED WITH TYPAR 3301 OR SUPAC 2P AND THEN COVERED WITH 4" OF 1.5" WASHED MISSISSIPPI STONE. THE MISSISSIPPI STONE SHALL BE RAKED TO PRODUCE A UNIFORM TEXTURE. SUBMIT SAMPLES OF HERBICIDE AND MISSISSIPPI STONE TO ENGINEER/ARCHITECT FOR APPROVAL. ON DAY OF INSTALLATION WATER HERBICIDE TO ACTIVATE IF NECESSARY.

SEE THIS PAGE FOR PLANTING AND STAKING DETAILS.

AREAS TO BE PAVED, SEEDED, AND BEDDED ARE INDICATED ON THE PLANS.

PLANT QUANTITIES INDICATED ON THE PLAN RULE OVER QUANTITIES ON THE PLANTS LIST.

CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING PITS FOR NEW TREES.

ALL PLANTS TO BE SIZED AND GRADED AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE USA STANDARD FOR NURSERY STOCK.

PLANT SUBSTITUTIONS PERMISSIBLE WITH ENGINEER/ARCHITECT AND TOWN APPROVAL AND WRITTEN NOTIFICATION PRIOR TO INSTALLATION.

PLASTIC OR METAL POTS TO BE REMOVED. SCORE ROOTBALL 1" DEEP WITH SHARP KNIFE. REMOVE TOP PORTION OF FIBER POT THAT EXTENDS ABOVE FINISH GRADE AND CUT SIDES OF POT TO AID IN DECOMPOSITION.

ALL LAWN AREAS TO BE SEEDED AND MULCHED WITH CHOPPED STRAW. MULCH IS TO BE CRIMPED AND SHOULD CONFORM TO DNR TECHNICAL STANDARDS 1058 AND 1059.

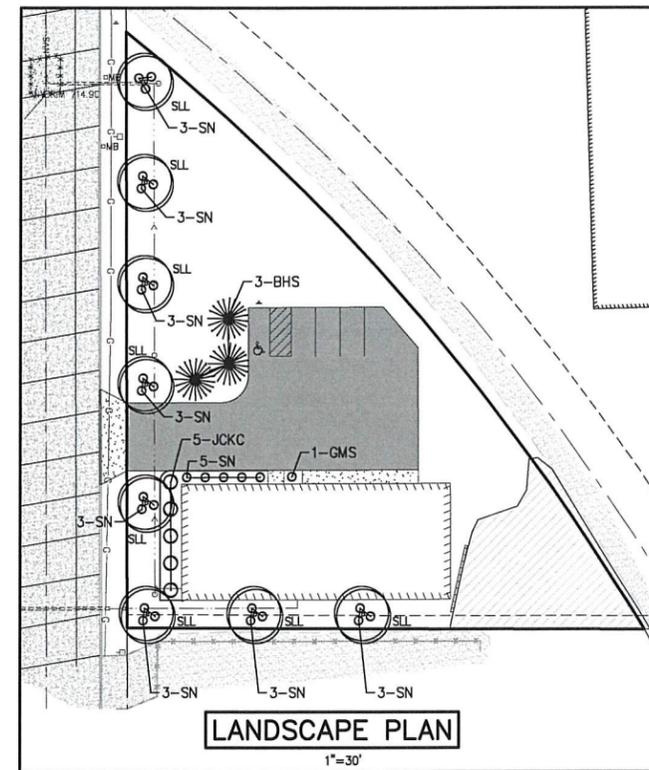
MATURE TREES SHOULD BE LINED UP TO PROVIDE A SEVEN FOOT UNDERCLEARANCE.

SEE EROSION CONTROL PLAN FOR EROSION MAT AND SPECIAL RESTORATION INFORMATION.

ALL BEDS EDGES TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, FORMED IN LINES OR CURVES AS SHOWN ON THE DRAWINGS.

RESTORE ALL DISTURBED AREAS AROUND PERIMETER OF SITE WITH LAWN.

List						
Large Deciduous TREE						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
SLL	8	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honey Locust	Balled & Burlapped or Potted	2.5"	60 x 40
TOTAL	8					
Small Deciduous Tree						
EVERGREEN TREE						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
BHS	3	Picea glauca den. 'Black Hills'	Black Hills Spruce	Balled & Burlapped or Potted	5	50 x 25
TOTAL	3					
SHRUB EVERGREEN						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
JcKc	5	Juniperus X phytzariana 'Kallays Compacta'	Kallays Compact Juniper	Potted	2'	3'x3.5
TOTAL	5					
SHRUB DECIDUOUS						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	SIZE AT MATURITY HEIGHT/WIDTH
SN	29	Spiraea japonica 'Norman'	Norman Spirea	Potted	2'	3'x3.5
GMS	1	Spiraea japonica 'Goldmound'	Goldmound Spirea	Potted	2'	3'x3.5
TOTAL	30					



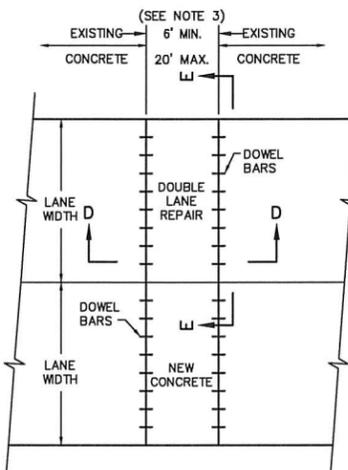
14,297 Square Feet of proposed greenspace proposed on the lot.

5082 Square Feet of off-street parking

3 standard and 1 handicapped parking spaces.

There are no interior islands or peninsulas.

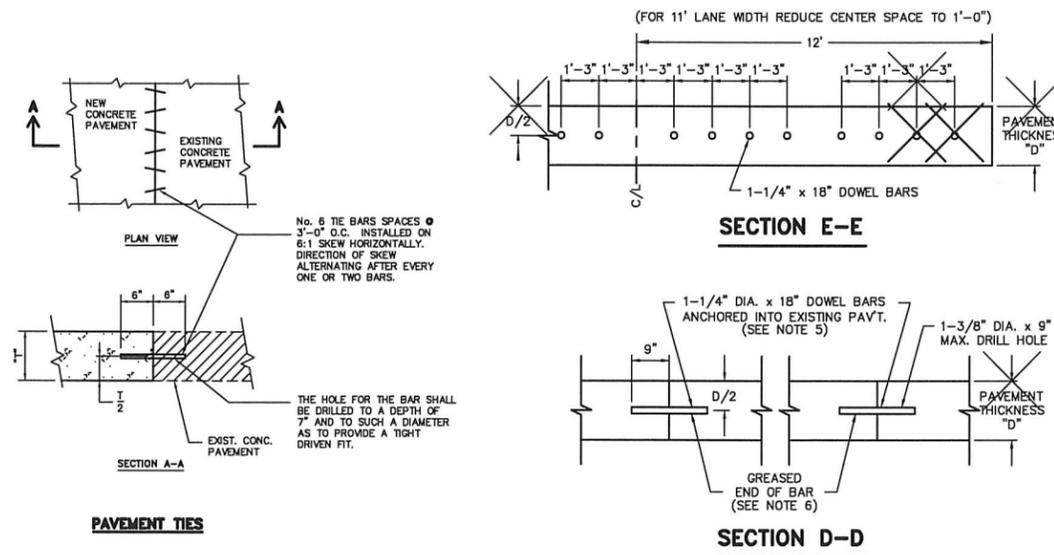
CONCRETE PAVEMENT REPAIR



GENERAL NOTES

1. THE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.4 OF THE STANDARD SPECIFICATIONS. DOWEL BARS SHALL BE COATED IN CONFORMANCE WITH SUBSECTION 505.2.6 OF THE STANDARD SPECIFICATIONS.
2. DOWEL BARS SHALL BE INSTALLED PARALLEL TO THE PAVEMENT CENTERLINE AND PAVEMENT SURFACE.
3. CONCRETE REPAIR SHALL BE FULL PANELS.
4. THE PREPARATION OF FOUNDATION FOR FULL DEPTH CONCRETE PAVEMENT REPAIR SHALL BE IN ACCORDANCE WITH SUBSECTION 211.4.4 OF THE STANDARD SPECIFICATIONS.
5. DOWEL BARS SHALL BE ANCHORED INTO DRILL HOLES WITH AN APPROVED EPOXY GROUT.
6. THE FREE END OF DOWEL BARS SHALL RECEIVE A THIN UNIFORM COATING OF BOND GREASE.
7. JOINTS SHALL NOT BE SEALED OR FILLED.

MISCELLANEOUS SITEWORK DETAILS/LANDSCAPE PLAN



PAVEMENT TIES

SECTION D-D

SECTION E-E

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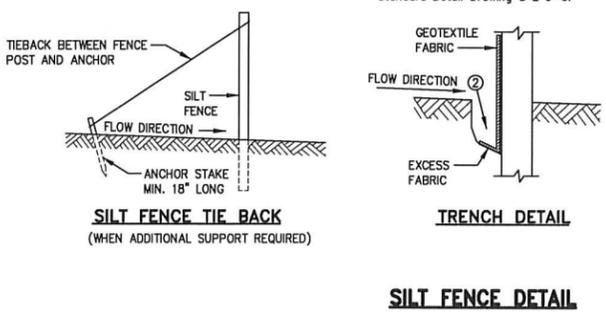
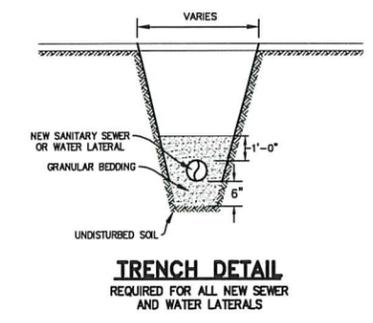
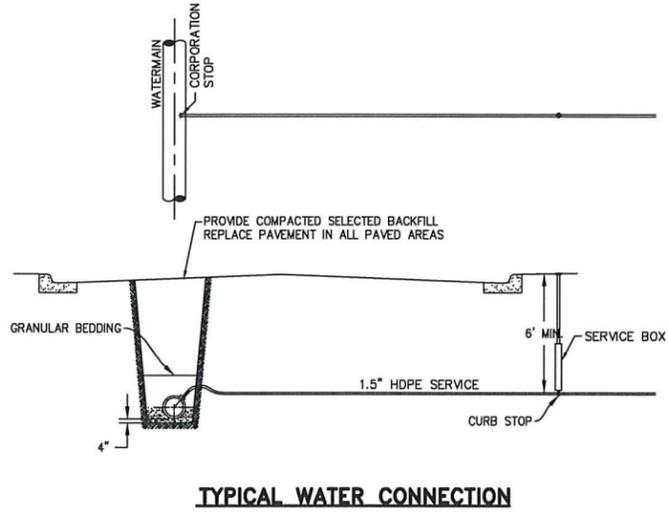
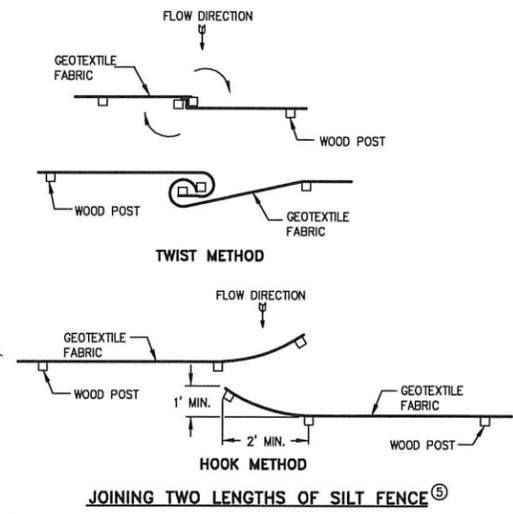
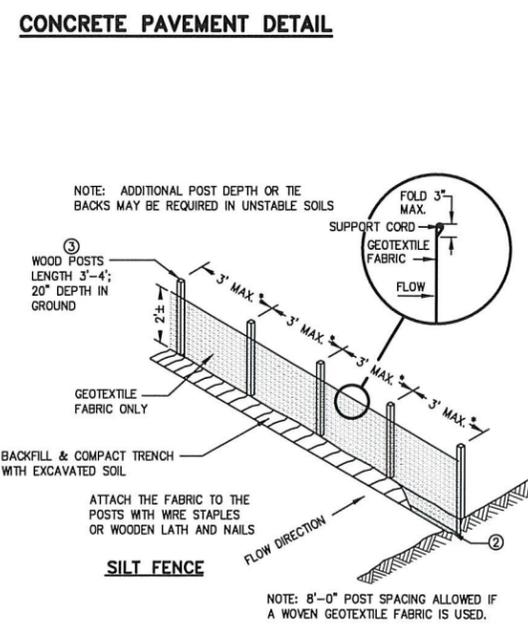
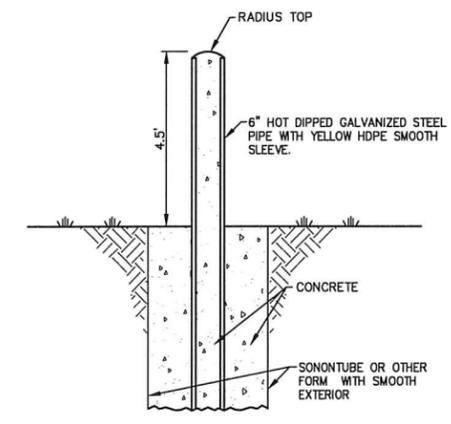
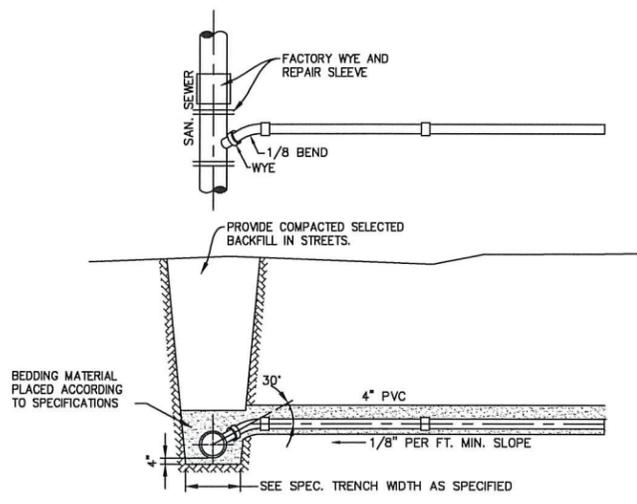
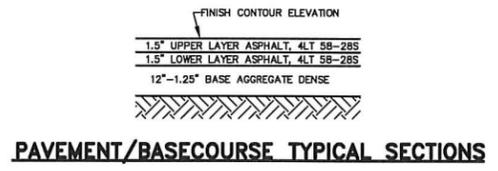
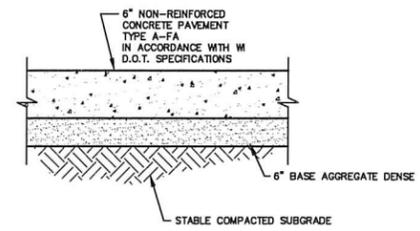
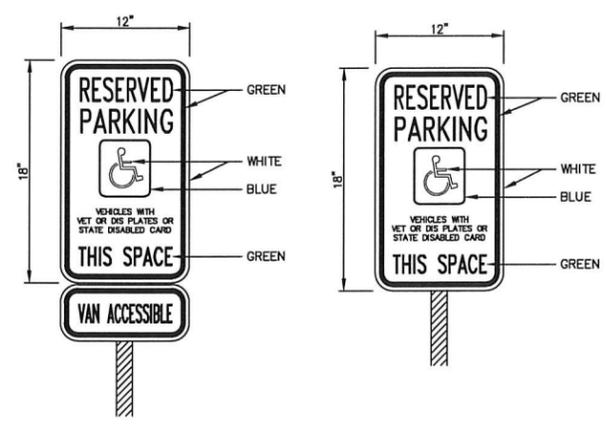
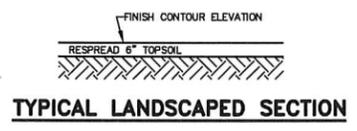
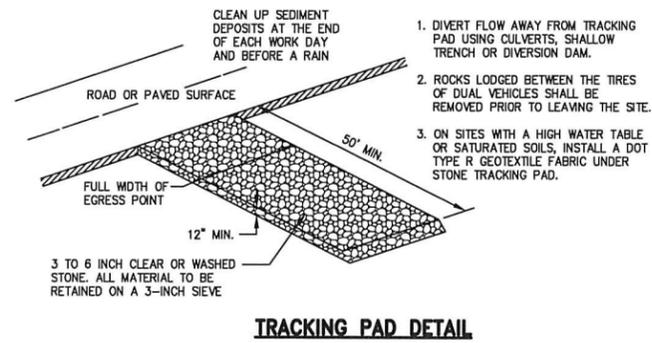
PRELIMINARY NO: P20139

CONTRACT NO:

DATE: AUG. 2020

SHEET: **C1.5**

PRELIMINARY - NOT FOR CONSTRUCTION



- GENERAL NOTES**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1415 McMAHON DRIVE, GREENBAY, WI 54302
PHONE (920) 751-4200 FAX (920) 751-4284 MCMGRP.COM

Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-3795 / 1-800-236-2534
FAX (920) 766-5004

MADISON
711 Lake Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
FAX (608) 318-2337

MILWAUKEE
W204 N11520
Goldendale Rd
Cromwell, WI 53022
PHONE (262) 250-9710
1-800-236-2534
FAX (262) 250-9740

WAUSAU
5605 Linc Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED FOR:

DG STORAGE

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WI

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REVISIONS

PROJECT MANAGER: _____

DESIGNER: R/JW

DRAWN BY: R/RS

EXPEDITOR: _____

SUPERVISOR: _____

PRELIMINARY NO: P20139

CONTRACT NO: _____

DATE: AUG. 2020

SHEET: **C1.6**

MISCELLANEOUS SITEWORK DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

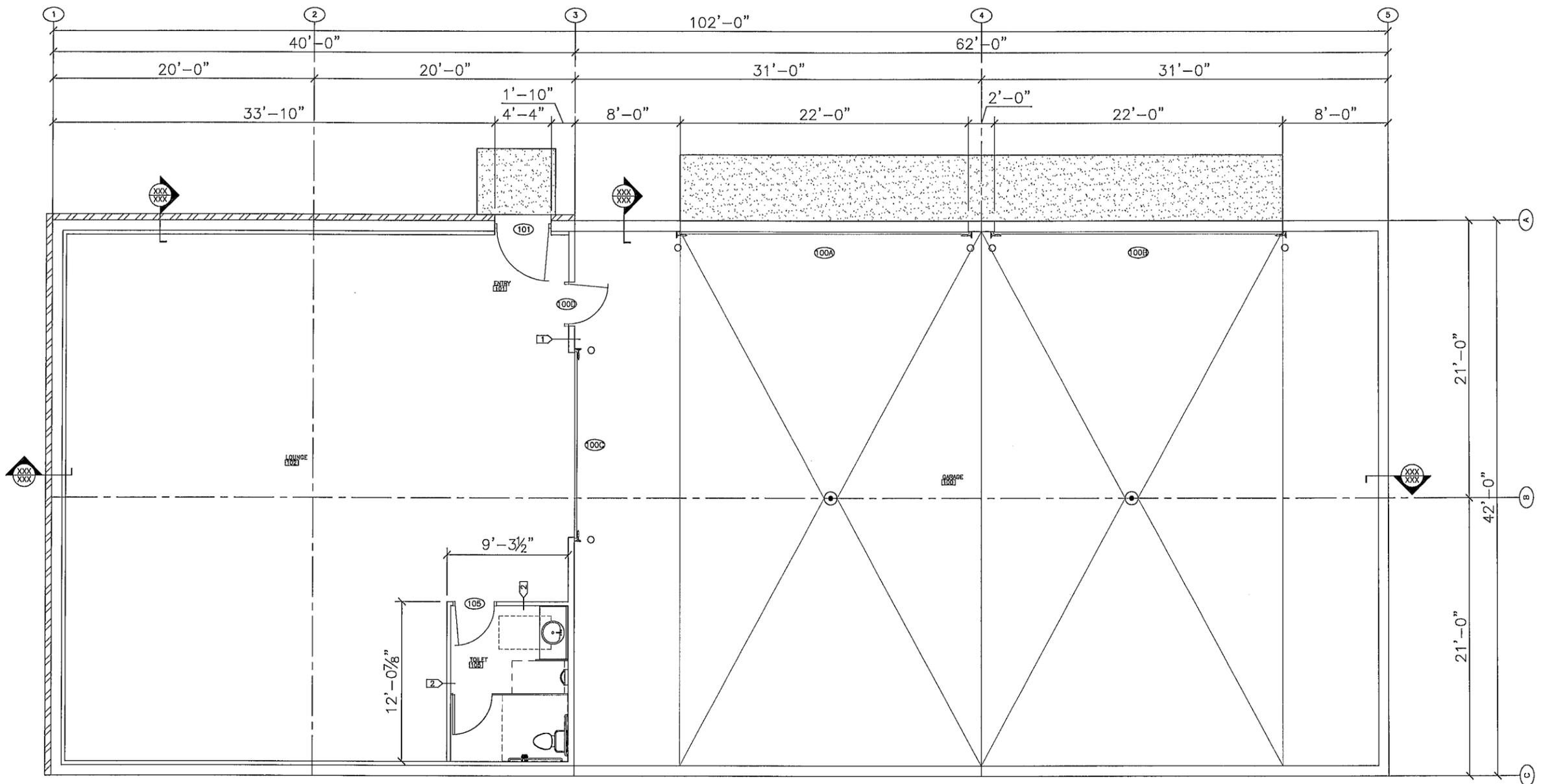
FIRE-ENGINEERED METAL BUILDING
 FIRE-ENGINEERED METAL BUILDING SHALL BE DESIGNED FOR LOADS AS INDICATED IN 'DESIGN LOADS' SECTION.
 THE ERECTION OF THE METAL BUILDING AND THE INSTALLATION OF ACCESSORIES SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING MANUFACTURER'S ERECTION DRAWINGS BY A QUALIFIED ERECTOR USING PROPER TOOLS AND EQUIPMENT. ERECTION PRACTICES SHALL CONFORM TO PART 10, MINIMUM CODE OF STANDARD PRACTICES. THERE SHALL BE NO FIELD MODIFICATIONS TO PRIMARY STRUCTURAL MEMBERS EXCEPT AS AUTHORIZED AND SPECIFIED BY THE BUILDING MANUFACTURER.
 CONTRACTOR MUST VERIFY FINAL BUILDING DESIGN WITH THE FOLLOWING AREAS SHOWN ON THESE PLANS:
 -ANCHOR BOLT SIZE AND SPACING
 -DEPTH OF COLUMNS
 -DEPTH OF RAFTERS

INTERIOR PARTITION WALLS
 INTERIOR PARTITION WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.
 INTERIOR PARTITIONS ARE 2x4 FOR WOOD STUDS AND 2x6 FOR METAL STUDS. PLUMBING WALLS ARE 2x4 FOR WOOD STUDS OR 2x6 FOR METAL STUDS.
 STUDS ARE SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE. USE MINIMUM 1/2" GYPSUM BOARD ON THE FINISHED SIDES OF INTERIOR PARTITIONS. PROVIDE EXPANSION JOINTS AT 30'-0" O.C. FOR LONG GYPSUM BOARD WALLS.
 PARTITION WALLS WHICH ARE NOT FULL HEIGHT MUST BE BRACED TO CROSS WALLS OR TO THE STRUCTURE ABOVE TO PROVIDE ADEQUATE STABILITY.
DRYWALL
 DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" SA-310 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. PROVIDE CONTROL JOINTS AS REQUIRED.

WALL TYPE SCHEDULE		
NO.	DESCRIPTION	WALL DIAGRAM
1	5/8" GYPSUM BOARD VAPOR BARRIER 2x6 WOOD STUDS AT 16" O.C. BATT INSULATION GRTS X" BATT INSULATION WITH FACING (R-X) PLYWOOD HEIGHT: FULL HEIGHT	
2	5/8" GYPSUM BOARD 2x4 WOOD STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD HEIGHT: 10'-0"	



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 FOX CITIES
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 FAX (920) 766-0004
 MADISON
 711 Lulu Drive
 Sun Prairie, WI 53590
 PHONE (608) 318-2336
 FAX (608) 318-2337
 WAUSAU
 2666 Lila Ave
 Wausau, WI 54401
 PHONE (715) 848-3141
 FAX (715) 849-3181
 www.kellerbuilds.com



FLOOR PLAN
 SCALE: 1/4"=1'-0"

WALL TYPE SYMBOL
 SEE WALL TYPE SCHEDULE
 ON SHEET A1.0

PROPOSED BUILDING FOR:
D.G. STORAGE
 BOHM DRIVE
 LITTLE CHUTE,
 WISCONSIN 54140

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PROJECT MANAGER: _____
DESIGNER: _____
IED PROJECT MANAGER: T. BAUMGARTNER
EXPEDITOR: _____
SUPERVISOR: _____
CONTRACT NO: _____
IED NO: _____
ISSUED DATE: AUGUST 24, 2020

SHEET: **A1.0**



Keller

PLANNERS | ARCHITECTS | BUILDERS

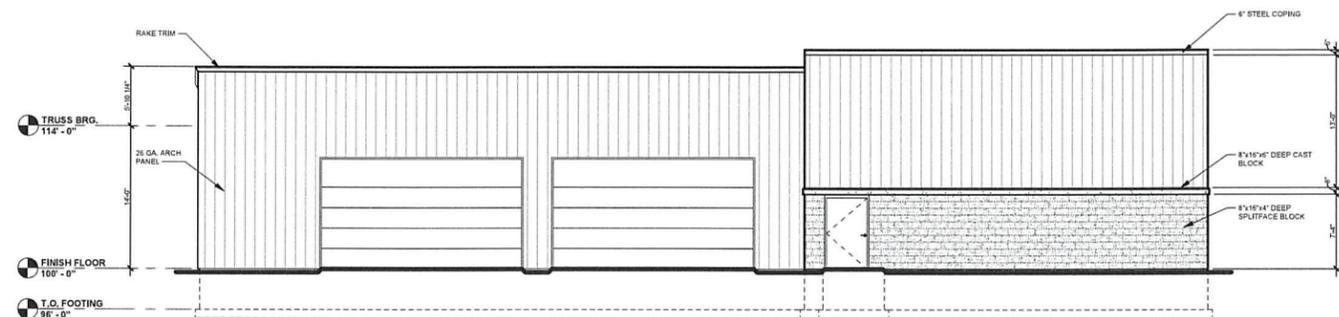
FOX CITIES
 1016 State Road 33
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 PHONE (920) 766-5795 /
 1-800-236-2334
 FAX (920) 756-3004

MADISON
 711 Lake Dr.
 Sun Prairie, WI 53590
 PHONE (608) 318-2338
 1-800-236-2334

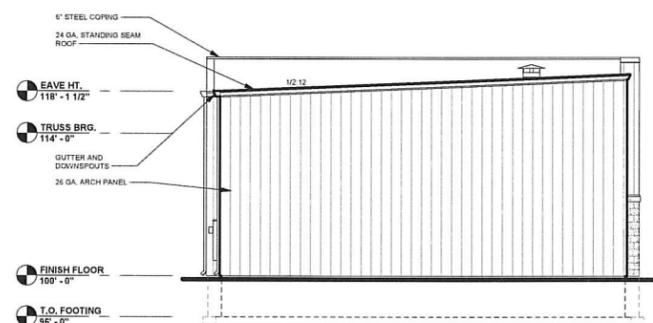
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MILWAUKEE
 W224 NT1509
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 Germantown, WI 53022
 PHONE (262) 250-9710
 1-800-236-2334
 FAX (262) 250-9740

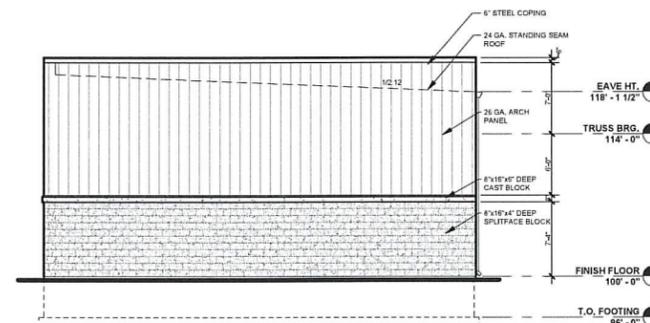
WAUSAU
 5605 Libac Ave
 Wausau, WI 54401
 PHONE (715) 849-3141
 1-800-236-2334
 FAX (715) 849-3181



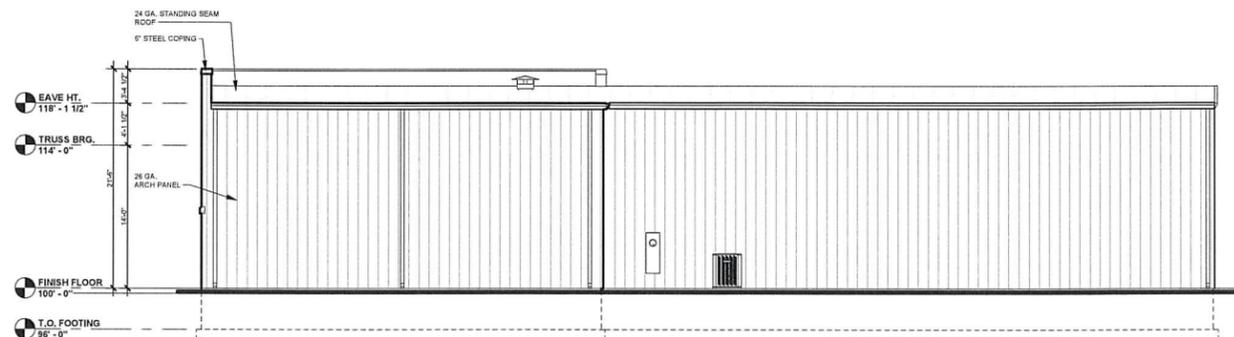
NORTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"



SOUTH ELEVATION
 1/8" = 1'-0"

PROPOSED FOR:

D.G. STORAGE

WISCONSIN

LITTLE CHUTE,

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REVISIONS

NO.	DATE	BY
1	06.30.2020	J.R.S.
2		
3		
4		
5		
6		

PROJECT MANAGER:

M. NYSTED

DESIGNER:

S. KLESSIG

DRAWN BY:

C. TEAFOE

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P20139

CONTRACT NO:

DATE:

06.17.2020

SHEET:

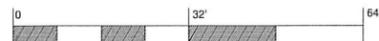
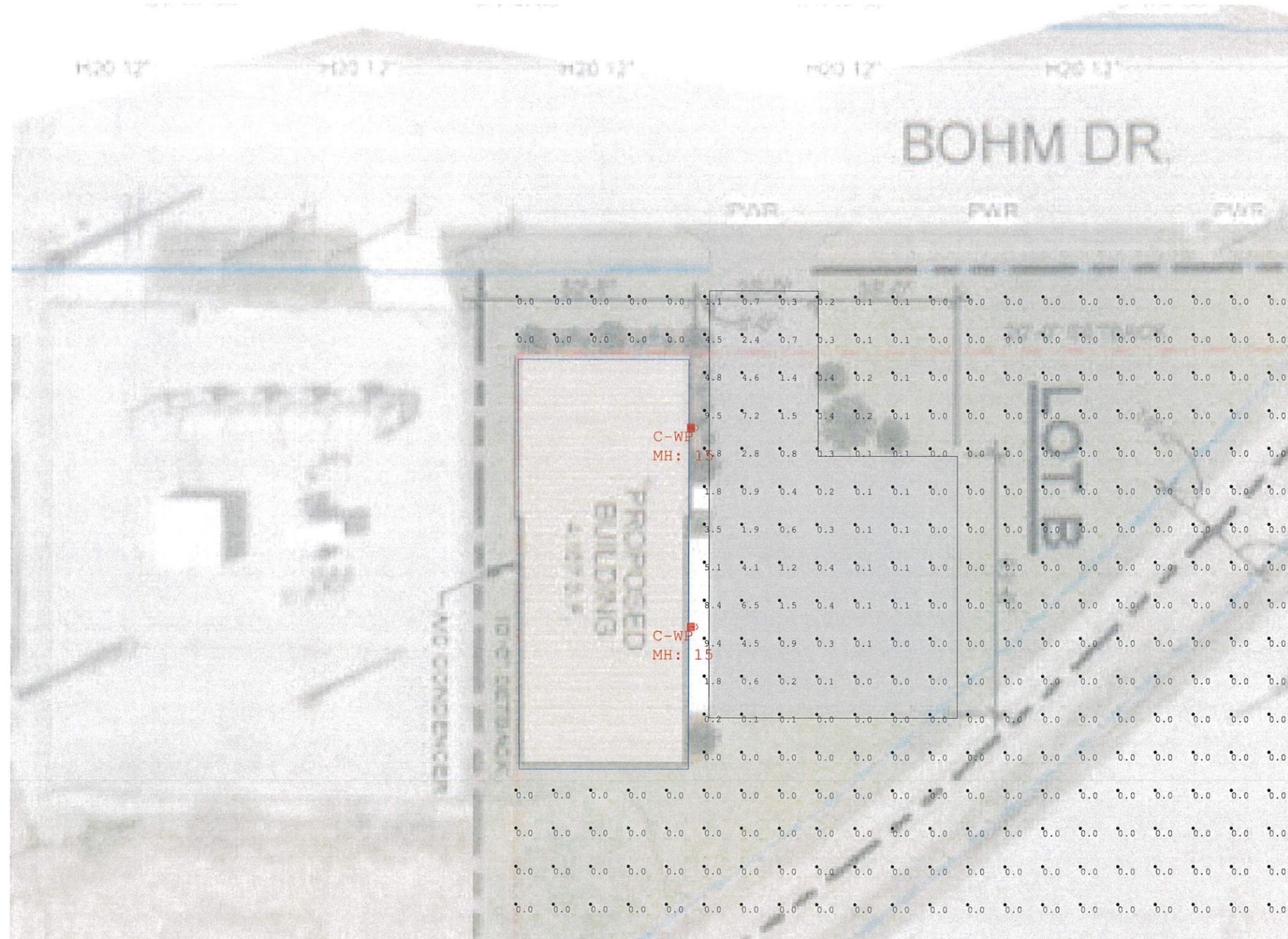
A2.0

PRELIMINARY - NOT FOR CONSTRUCTION

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
■	2	C-WP	SINGLE	N.A.	1.000	154	C-WP-A-RDC-10L-50K-DB

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcFits 1	0.36	9.5	0.0	N.A.	N.A.
Pavement of Lot B	0.88	7.2	0.0	N.A.	N.A.

Customer to verify Color, Mounting, Fixture Location and Voltage prior to ordering.



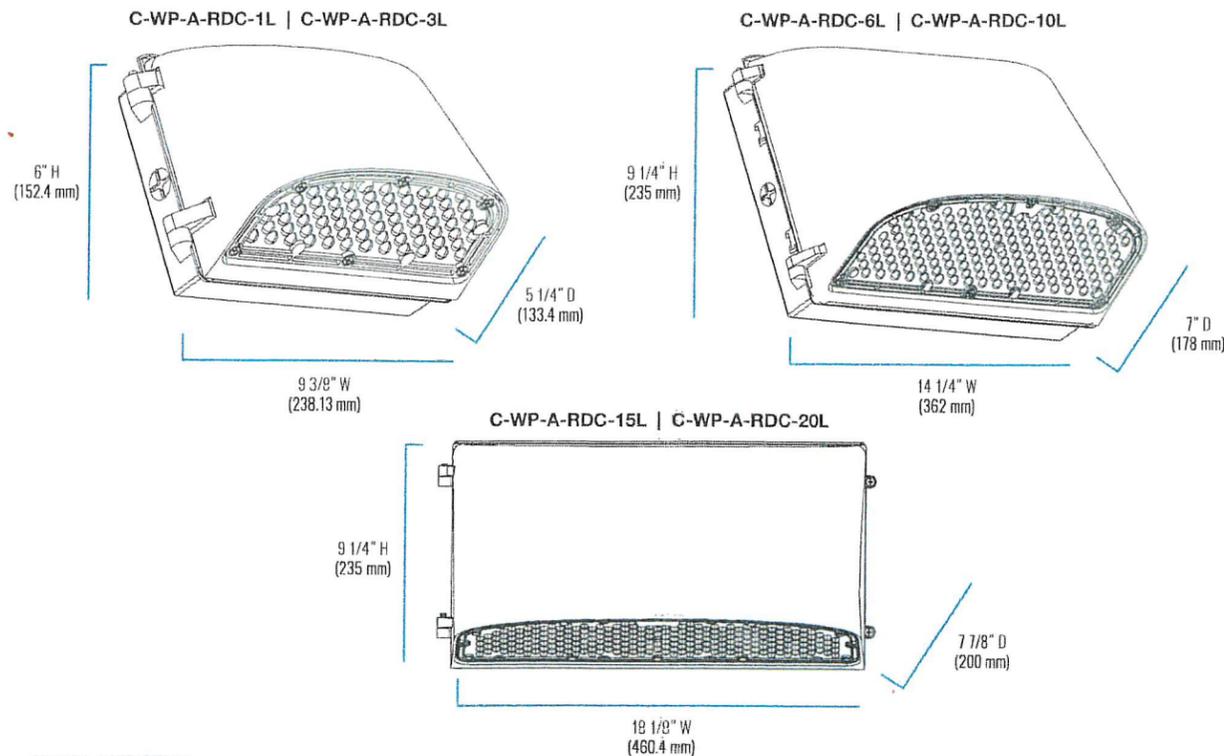
1501 96th Street
 Sturtevant, Wisconsin 53177
 PH: (888) 243-9445
 FX: (262) 504-5409
 www.e-conolight.com

Customer responsible to verify ordering information/
 catalog number prior to placing order.

Date: 8/19/2020	Scale: 1"=16'	Layout by: Nicholas Passeri
Project Name: DG Storage, Village of Little Chute, WI	Salesforce: SR-32547	
Filename: V:\Common\AppEng\Working\Nrp\2020 Virtual Drawer\Outdoor\08 AUG\0818 - SR32547		
Footcandles calculated at grade using initial lumen values		

Illumination results shown on this lighting design are based on project parameters provided to E-conolight used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

C-WP-A-RDC Series



SERIES OVERVIEW

SKU	DIMENSIONS	PRODUCT WEIGHT
C-WP-A-RDC-1L	9-3/8" W x 6" H x 5-1/4" D	2.41 lbs.
C-WP-A-RDC-3L		
C-WP-A-RDC-6L	14-1/4" W x 9-1/4" H x 7" D	5.48 lbs.
C-WP-A-RDC-10L		
C-WP-A-RDC-15L	18-1/8" W x 9-1/4" H x 7-7/8" D	12.94 lbs.
C-WP-A-RDC-20L		

FIXTURE SPECIFICATIONS

HOUSING	Heavy duty, die-cast aluminum housing with hinged door frame. Dark bronze polyester powder-coat finish.
LENS ASSEMBLY	UV Stabilized polycarbonate lens designed to not only protect the LEDs but also to distribute the light efficiently.
MOUNTING	1/2" threaded knockouts provided for conduit entry or mount over a recessed junction box.

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.p65warnings.ca.gov

C-WP-A-RDC Series

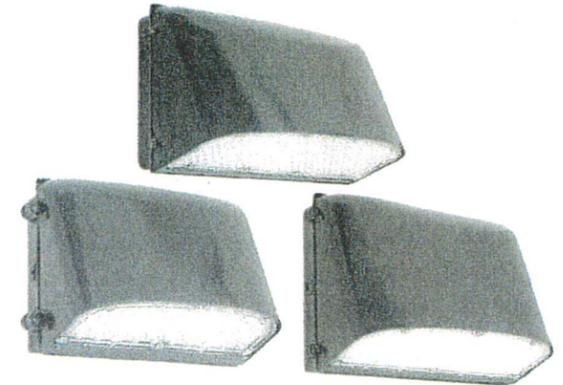
Full Cutoff LED Wall Pack

Replaces up to 400W PSMH

C-LITE
LED LIGHTING

THE WALL PACK DESIGNED WITH YOU IN MIND

UL listed, the C-WP-A-RDC Series LED Full Cutoff Wall Pack features an aesthetically pleasing form factor, with an optical lens designed to pass full cutoff compliance with many town ordinances. It delivers up to 21,100 lumens, with a ≥ 70 CRI and estimated 50,000-hour maintenance-free lifespan. Choose yours in 3000K, 4000K, or 5000K.



PRODUCT SPECIFICATIONS

OVERVIEW

- Initial Delivered Lumens: Up to: 21,100L
- CRI: ≥ 70 CRI
- CCT: Warm White 3000K, Neutral White 4000K, Cool White 5000K
- Mounting: 1/2" threaded knockouts provided for conduit entry or mount over a recessed junction box
- Input Power: Up to 144 Watts
- Dimmable: No
- Operating Range: -40°C (-40°F) 40°C (104°F)
- Lifespan: Estimated >50,000 Hours
- Power Factor: > 0.9
- Total Harmonic Distortion: < 20%
- Limited Warranty: 5-Years*
- Replaces up to 400W PSMH
- Distribution: Forward throw

C-WP-A-RDC-10L-50K-DB

FEATURES	BENEFITS	RECOMMENDED USE
<ul style="list-style-type: none"> Easy to install Lens assembly designed to control the light 	<ul style="list-style-type: none"> Full cutoff luminaire Developed with the contractor in mind Fully tested and backed by Cree Lighting 	<ul style="list-style-type: none"> Building Facade Security Perimeter General Area Lighting

ORDERING INFORMATION

Example: C-WP-A-RDC-1L-30K-DB

PRODUCT	SERIES	STYLE	LUMEN PACKAGE	CCT	COLOR
C-WP	A	RDC	1L 1500 Lumens (30K, 40K, 50K) 12W 3L 3000 Lumens (30K, 40K, 50K) 22W 6L 6200 Lumens (30K, 40K) 6300 Lumens (50K) 47W 10L 10,600 Lumens (40K, 50K) 77W 15L 15,000 Lumens (40K) 15,200 Lumens (50K) 108W 20L 20,900 Lumens (40K) 21,100 Lumens (50K) 144W	30K Warm White (3000K) (Only Available in 1L, 3L and 6L) 40K Neutral White (4000K) 50K Cool White (5000K)	-

CERTIFICATIONS

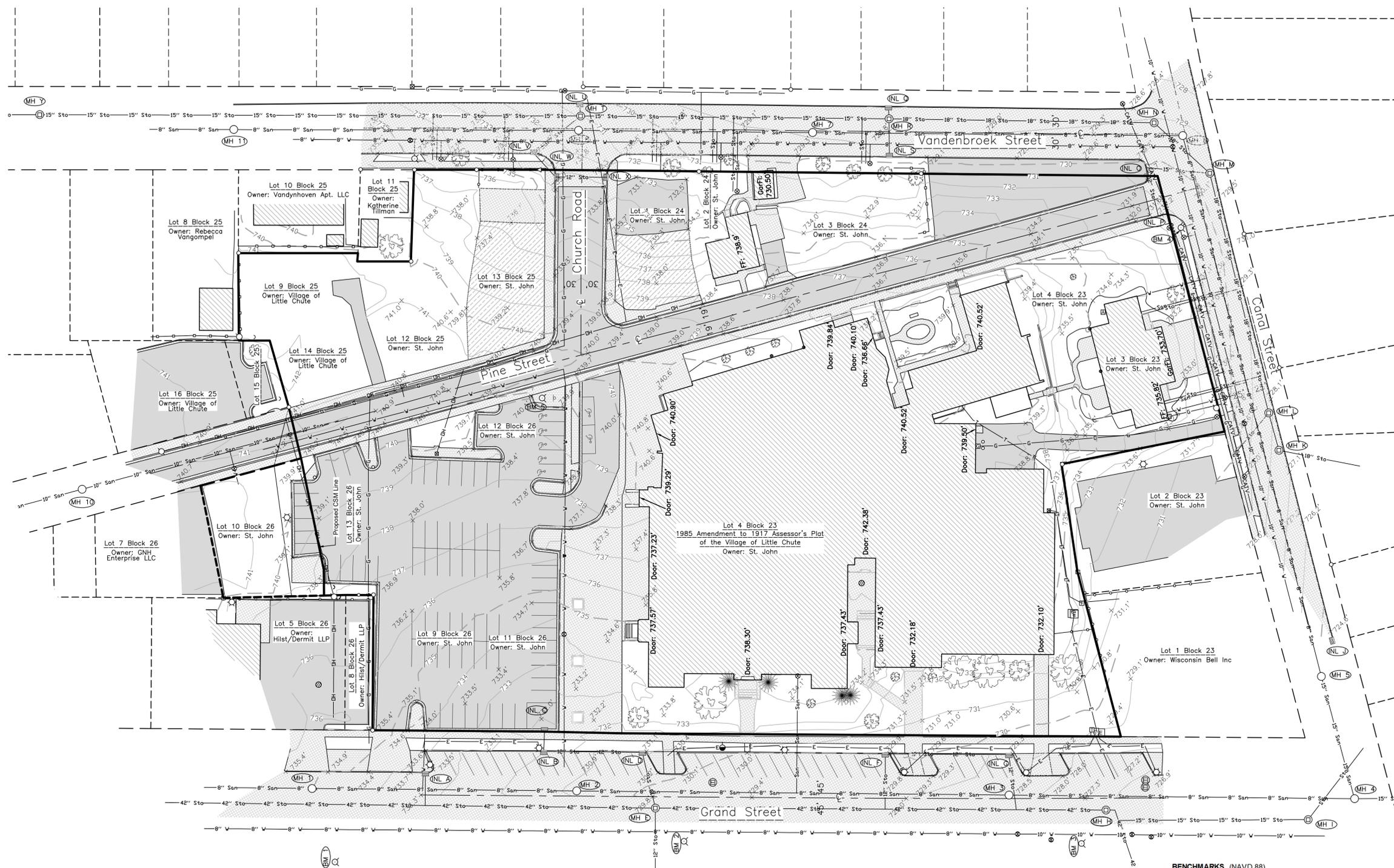




D.G. STORAGE

LITTLE CHUTE,

WISCONSIN

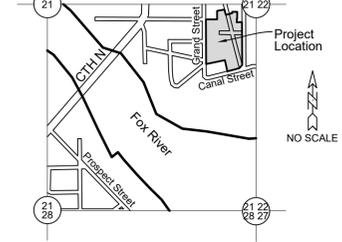


Storm Structures						
Structure	#	Rim	Inv	Size	Material	Direction
INL	A	733.45	731.25	12"	PVC	W
INL	B	732.02	728.47	12"	PVC	E
			728.12	12"	PVC	S
INL	C	731.73	728.76	12"	PVC	W
INL	D	730.35	726.50	12"	PVC	N
			725.73	15"	PVC	W
MH	E	729.63	722.83	15"	PVC	E
			723.78	12"	PVC	W
			717.03	42"	RCP	N
			717.03	42"	RCP	S
INL	F	729.46	724.81	12"	PVC	W
			724.81	12"	PVC	S
INL	G	728.73	724.45	12"	PVC	N
			724.41	12"	PVC	W
MH	H	726.86	714.90	42"	RCP	N
			714.90	42"	RCP	S
MH	I	725.56	719.98	18"	RCP	N
INL	J	724.44	721.81	15"	PVC	W
			721.83	15"	PVC	E
MH	K	727.64	721.61	15"	PVC	W
			722.21	18"	RCP	E
			721.61	18"	RCP	SW
MH	L	728.20	722.64	18"	RCP	W
			723.63	10"	PVC	NW
			722.64	18"	RCP	E
MH	M	729.57	724.54	18"	RCP	W
			724.54	15"	PVC	N
			724.54	18"	RCP	NE
MH	N	729.13	724.92	18"	RCP	SW
			724.95	18"	RCP	N
INL	O	730.08	726.26	12"	PVC	W
			725.55	15"	PVC	S
INL	P	731.25	727.61	12"	PVC	E
INL	Q	727.94	725.25	12"	PVC	W
MH	R	728.41	725.18	18"	RCP	S
			725.19	12"	PVC	W
			725.19	12"	PVC	E
			725.19	15"	PVC	N
INL	S	728.90	725.45	12"	PVC	E
MH	T	731.04	726.60	15"	PVC	S
			726.61	12"	PVC	NW
			726.61	12"	PVC	E
			726.61	12"	PVC	N
INL	U	730.60	727.23	12"	PVC	W
INL	V	732.41	728.65	12"	PVC	SE
INL	W	733.03	729.00	12"	PVC	NE
			729.01	12"	PVC	S
INL	X	732.43	729.11	12"	PVC	N
MH	Y	738.36	732.70	12"	PVC	NW
			10"	PVC	N	

Sanitary Structures						
Structure	#	Rim	Inv	Size	Material	Direction
MH	1	735.01	723.91	8"	PVC	N
			723.91	8"	PVC	S
MH	2	730.76	721.56	8"	PVC	N
			721.55	8"	PVC	S
MH	3	728.37	719.11	8"	PVC	N
			719.10	8"	PVC	S
MH	4	725.19	717.14	8"	PVC	N
			717.14	15"	PVC	S
			717.41	15"	PVC	E
MH	5	725.55	717.95	15"	PVC	W
			717.95	8"	PVC	E
MH	6	729.33	720.06	8"	PVC	W
			720.06	8"	PVC	NE
MH	7	728.91	721.24	8"	PVC	S
			721.27	8"	PVC	N
MH	8	731.41	724.13	8"	PVC	S
			724.14	8"	PVC	N
MH	9	740.67	731.92	10"	PVC	NW
MH	10	740.21	729.93	10"	PVC	SE
			729.92	10"	PVC	NW
MH	11	737.84	727.09	8"	PVC	N
			727.09	8"	PVC	S

- BENCHMARKS (NAVD 88)**
- BM 0 NGS Benchmark Designation - CELCD 27 USE (PN0657) Elev 695.10
 - BM 1 Fire Hydrant, Tag Bolt NW Quad of W. Lincoln Ave & Grand St. Elev 735.72
 - BM 2 Fire Hydrant, Tag Bolt SW Quad of Ravine St. & Grand St. Elev 730.96
 - BM 3 Fire Hydrant, Tag Bolt SW Quad of Ravine St. & Grand St. Elev 729.54
 - BM 4 Fire Hydrant, NW Tag Bolt NW Quad of Pine St. & Canal St. Elev 730.96
 - BM 5 Fire Hydrant, NW Tag Bolt NW Quad of Pine St. & Church St. Elev 741.62

LOCATION MAP
SE 1/4 SEC 21, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WI



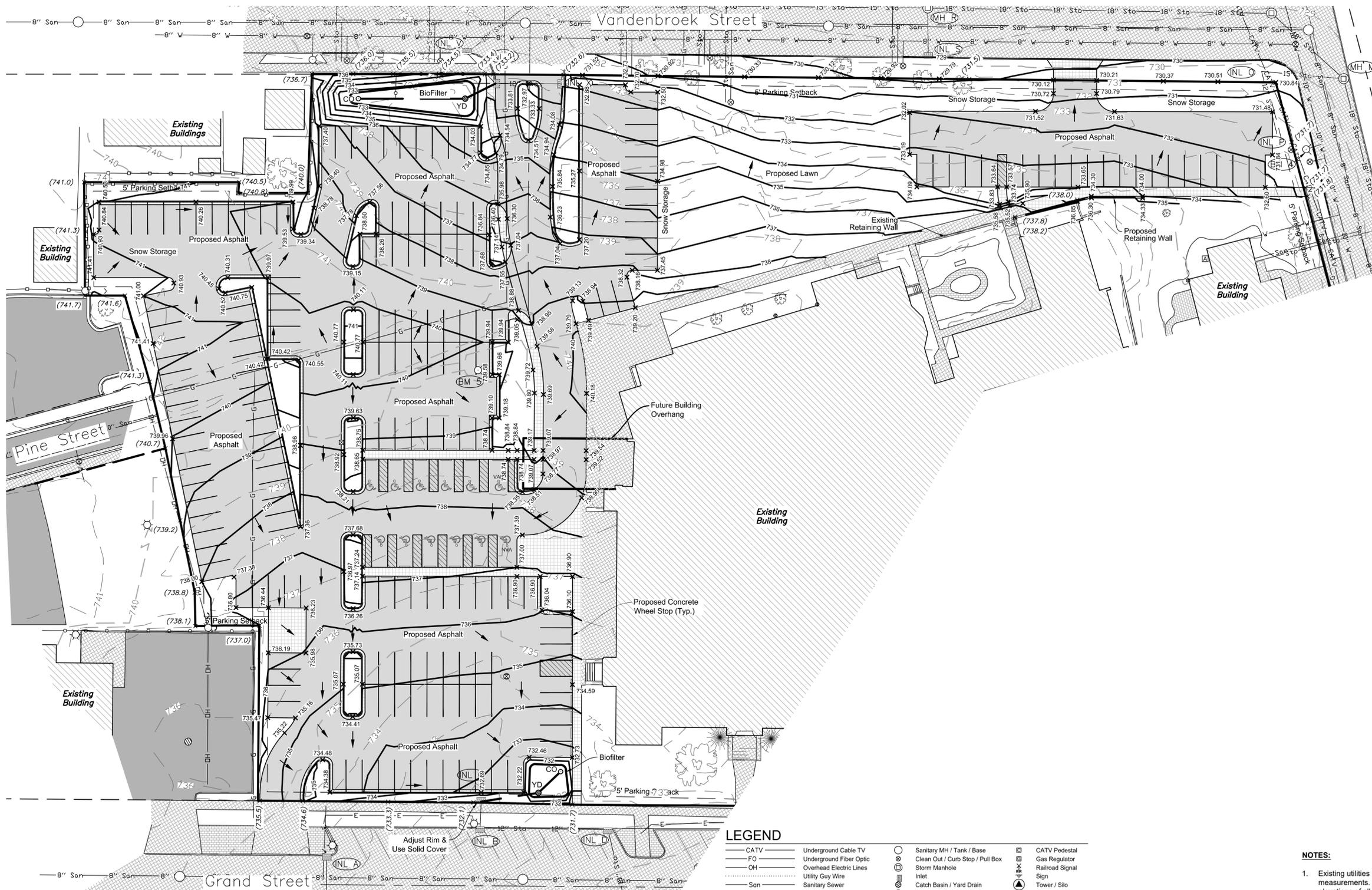
- LEGEND**
- CATV - CATV
 - DH - Overhead Electric Lines
 - San - San
 - Sto - Storm Sewer
 - E - Undergroud Electric
 - G - Undergroud Gas Line
 - T - Undergroud Telephone
 - W - Water Main
 - Utility Pole
 - Fence - Steel
 - Fence - Wood
 - 800 - Index Contour
 - 799 - Intermediate Contour
 - Sanitary MH / Tank / Base
 - Clean Out / Curb Stop / Pull Box
 - Storm Manhole
 - Inlet
 - Catch Basin / Yard Drain
 - Hydrant
 - Utility Valve
 - Utility Meter
 - Gas Regulator
 - Flag Pole
 - Deciduous Tree
 - Coniferous Tree
 - Asphalt Pavement
 - Concrete Pavement
 - Stamped Concrete / Paver Block
 - Gravel
 - +799.9 Ex Spot Elevation
 - Sanitary MH / Tank / Base
 - Clean Out / Curb Stop / Pull Box
 - Storm Manhole
 - Inlet
 - Catch Basin / Yard Drain
 - Hydrant
 - Utility Valve
 - Utility Meter
 - Gas Regulator
 - Flag Pole
 - Deciduous Tree
 - Coniferous Tree
 - Asphalt Pavement
 - Concrete Pavement
 - Stamped Concrete / Paver Block
 - Gravel
 - +799.9 Ex Spot Elevation



TOPOGRAPHIC SURVEY

St. John Nepomucene Catholic Community
 Village of Little Chute, Outagamie County, WI
 For: St. John Nepomucene Catholic Community

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com



BENCHMARKS (NAVD 88)

BM 0	NGS Benchmark Designation - CELCD 27 USE (PN0657) Elev 695.10
BM 1	Fire Hydrant, Tag Bolt NW Quad of W. Lincoln Ave & Grand St. Elev 735.72
BM 2	Fire Hydrant, Tag Bolt SW Quad of Wilson St. & Grand St. Elev 730.96
BM 3	Fire Hydrant, Tag Bolt SW Quad of Ravine St. & Grand St. Elev 729.54
BM 4	Fire Hydrant, NW Tag Bolt NW Quad of Pine St. & Canal St. Elev 730.96
BM 5	Fire Hydrant, NW Tag Bolt NW Quad of Pine St. & Church St. Elev 741.62

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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davelpro

DRAINAGE & GRADING PLAN

St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community

LEGEND

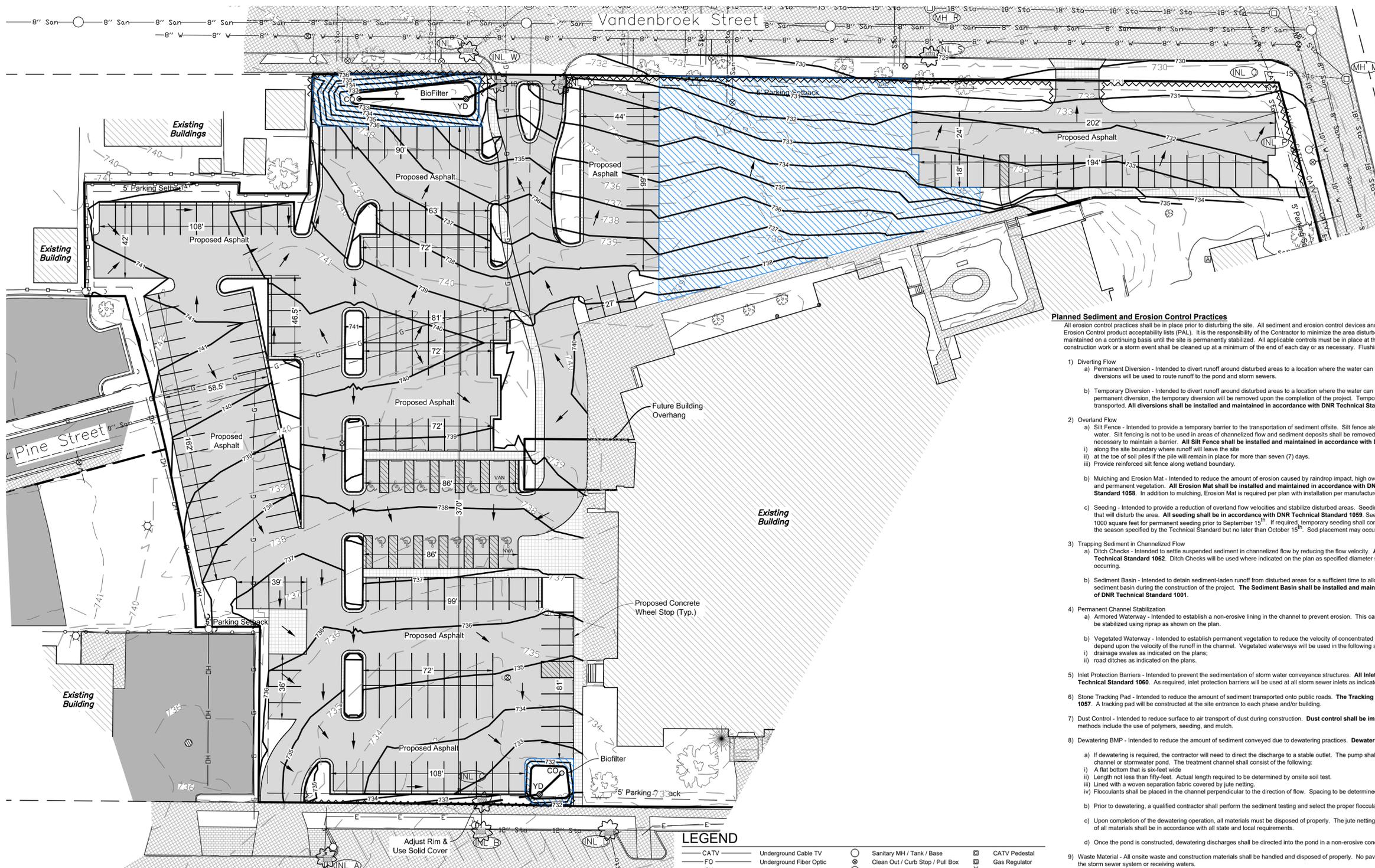
<ul style="list-style-type: none"> — CATV — FO — OH — San — Sto — E — G — T — W — Fence - Steel — Fence - Wood — Fence - Barbed Wire — Wetlands — Trelisne — Railroad Tracks — Culvert — Index Contour — Intermediate Contour — 608 — 608.73 — 608.73 TW — + (608.7) 	<ul style="list-style-type: none"> — Underground Cable TV — Underground Fiber Optic — Overhead Electric Lines — Utility Guy Wire — Sanitary Sewer — Storm Sewer — E — G — T — W — Water Main — Fence - Steel — Fence - Wood — Fence - Barbed Wire — Wetlands — Trelisne — Railroad Tracks — Culvert — Index Contour — Intermediate Contour — 608 — 608.73 — 608.73 TW — + (608.7) 	<ul style="list-style-type: none"> ○ Sanitary MH / Tank / Base ○ Clean Out / Curb Stop / Pull Box ○ Inlet ○ Catch Basin / Yard Drain ○ Water MH / Well ○ Hydrant ○ Utility Valve ○ Utility Meter ○ Utility Pole ○ Light Pole / Signal ○ Guy Wire ○ Electric Pedestal ○ Electric Transformer ○ Air Conditioner ○ Telephone Pedestal ○ Telephone Manhole ○ Well ○ Wetlands ○ +799.9 Ex Spot Elevation ○ Proposed Storm Manhole ○ Proposed Curb Inlet ○ Prop. Catch Basin / Yard Drain ○ Proposed Endwall ○ Proposed Rip Rap ○ Prop. Drainage Direction ○ FF=000.0 Prop. Finished Floor Elev. 	<ul style="list-style-type: none"> ○ CATV Pedestal ○ Gas Regulator ○ Railroad Signal ○ Sign ○ Tower / Silo ○ Post / Guard Post ○ Satellite Dish ○ Large Rock ○ Flag Pole ○ Deciduous Tree ○ Coniferous Tree ○ Bush / Hedge ○ Slump ○ Marsh ○ Soil Boring ○ Benchmark ○ Asphalt Pavement ○ Concrete Pavement ○ Gravel
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NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.



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Author: MDB
Last Saved by: mitch
Page 1.2



NOTES:

- 733 l.f. of Silt Fence
- (8) Inlet Protections
- 1,964 s.y. of Urban, Type B Erosion Mat



- BENCHMARKS** (USGS per Town of Menasha Records)
- BM 1 Fire Hydrant, Tag Bolt
NE cor Deerwood Ave and CTH "CB"
Elev 0.00
 - BM 2 Fire Hydrant, Tag Bolt
±580' E of BM 1, N R/W Deerwood Ave
Elev 0.00
 - BM 3 Fire Hydrant, Tag Bolt
±400' SE of BM 2, W R/W Deerwood Ave
Elev 0.00
 - BM 4 Fire Hydrant, Tag Bolt
N cor, Deerwood Ave and Deerwood Court
Elev 0.00
 - BM 5 Fire Hydrant, on "OPEN"
±200' W of Deerwood Ave, N R/W CTH "I"
Elev 0.00

LEGEND

<ul style="list-style-type: none"> CATV FO OH San Sto E G T W Fence - Steel Fence - Wood Fence - Barbed Wire Wetlands Treeline Railroad Tracks Culvert Index Contour Intermediate Contour Proposed Storm Sewer Proposed Contour Proposed Swale Proposed Culvert Proposed Silt Fence Prop. Drainage Direction Proposed Tracking Pad Proposed Ditch Check 	<ul style="list-style-type: none"> Underground Cable TV Underground Fiber Optic Overhead Electric Lines Utility Guy Wire Sanitary Sewer Storm Sewer Underground Electric Underground Gas Line Underground Telephone Water Main Fence - Steel Fence - Wood Fence - Barbed Wire Wetlands Treeline Railroad Tracks Culvert Index Contour Intermediate Contour Proposed Storm Sewer Proposed Contour Proposed Swale Proposed Culvert Proposed Silt Fence Prop. Drainage Direction Proposed Tracking Pad Proposed Ditch Check 	<ul style="list-style-type: none"> Sanitary MH / Tank / Base Clean Out / Curb Stop / Pull Box Storm Manhole Inlet Catch Basin / Yard Drain Water MH / Well Hydrant Utility Valve Utility Meter Utility Pole Light Pole / Signal Guy Wire Electric Pedestal Electric Transformer Air Conditioner Telephone Pedestal Telephone Manhole Wetlands +799.9 Ex Spot Elevation Proposed Storm Manhole Proposed Curb Inlet Prop. Catch Basin / Yard Drain Proposed Endwall Proposed Inlet Protection Type of Inlet Protection Proposed Rip Rap Urban, Type B Erosion Mat 	<ul style="list-style-type: none"> CATV Pedestal Gas Regulator Railroad Signal Sign Tower / Site Post / Guard Post Satellite Dish Large Rock Flag Pole Deciduous Tree Coniferous Tree Bush / Hedge Stump Marsh Soil Boring Benchmark Asphalt Pavement Concrete Pavement Gravel
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Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day. All off-site sediment deposits occurring as a result of construction work or a storm event shall be cleaned up at a minimum of the end of each day or as necessary. Flushing shall not be allowed.

- Diverting Flow
 - Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the pond and storm sewers.
 - Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used uplope of any soil piles to reduce the amount of sediment transported. All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.
- Overland Flow
 - Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056. It will be placed at the following locations:
 - along the site boundary where runoff will leave the site
 - at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - Provide reinforced silt fence along wetland boundary.
 - Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by rainfall impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058. In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.
 - Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1059. Seed mixture 20 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than October 15th. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.
- Trapping Sediment in Channelized Flow
 - Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062. Ditch Checks will be used where indicated on the plan as specified diameter sediment logs. Additional ditch checks may be required in areas where erosion is occurring.
 - Sediment Basin - Intended to detain sediment-laden runoff from disturbed areas for a sufficient time to allow the sediment to settle. Once constructed, the proposed ponds will function as a sediment basin during the construction of the project. The Sediment Basin shall be installed and maintained in accordance with DNR Technical Standard 1064 and/or the requirements of DNR Technical Standard 1001.
- Permanent Channel Stabilization
 - Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of pipe outlets will be stabilized using riprap as shown on the plan.
 - Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel. Vegetated waterways will be used in the following areas:
 - drainage swales as indicated on the plans;
 - road ditches as indicated on the plans.
- Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1067. A tracking pad will be constructed at the site entrance to each phase and/or building.
- Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068. These methods include the use of polymers, seeding, and mulch.
- Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061.
 - If dewatering is required, the contractor will need to direct the discharge to a stable outlet. The pump shall discharge into a Type 1 Sediment Bag. The bag shall discharge to the treatment channel or stormwater pond. The treatment channel shall consist of the following:
 - A flat bottom that is six-feet wide
 - Length not less than fifty-feet. Actual length required to be determined by onsite soil test.
 - Lined with a woven separation fabric covered by jute netting.
 - Flocculants shall be placed in the channel perpendicular to the direction of flow. Spacing to be determined by onsite testing.
 - Prior to dewatering, a qualified contractor shall perform the sediment testing and select the proper flocculants and determine the necessary length of the treatment channel.
 - Upon completion of the dewatering operation, all materials must be disposed of properly. The jute netting can be buried on site. The separation fabric must be removed from the site. Disposal of all materials shall be in accordance with all state and local requirements.
 - Once the pond is constructed, dewatering discharges shall be directed into the pond in a non-erosive condition.

Sequence of Construction

- Obtain final approval and other applicable permits.
- Install & maintain all erosion & sediment control measures: **July 2020**.
- Strip topsoil and remove pavement; utility construction: **July 2020**.
- Site grading: **July 2020**.
- Grade and gravel construction: **August 2020**.
- Concrete and asphalt paving: **August-September 2020**.
- Stabilize lawn and ditch areas no later than one week after final grade is established. **September 15, 2020**
- Remove all temporary measures, topsoil critical areas, and establish vegetation. Water if necessary to establish healthy and well rooted vegetation.

Note: The dates provided are approximate and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- Construction and waste materials shall be properly disposed.

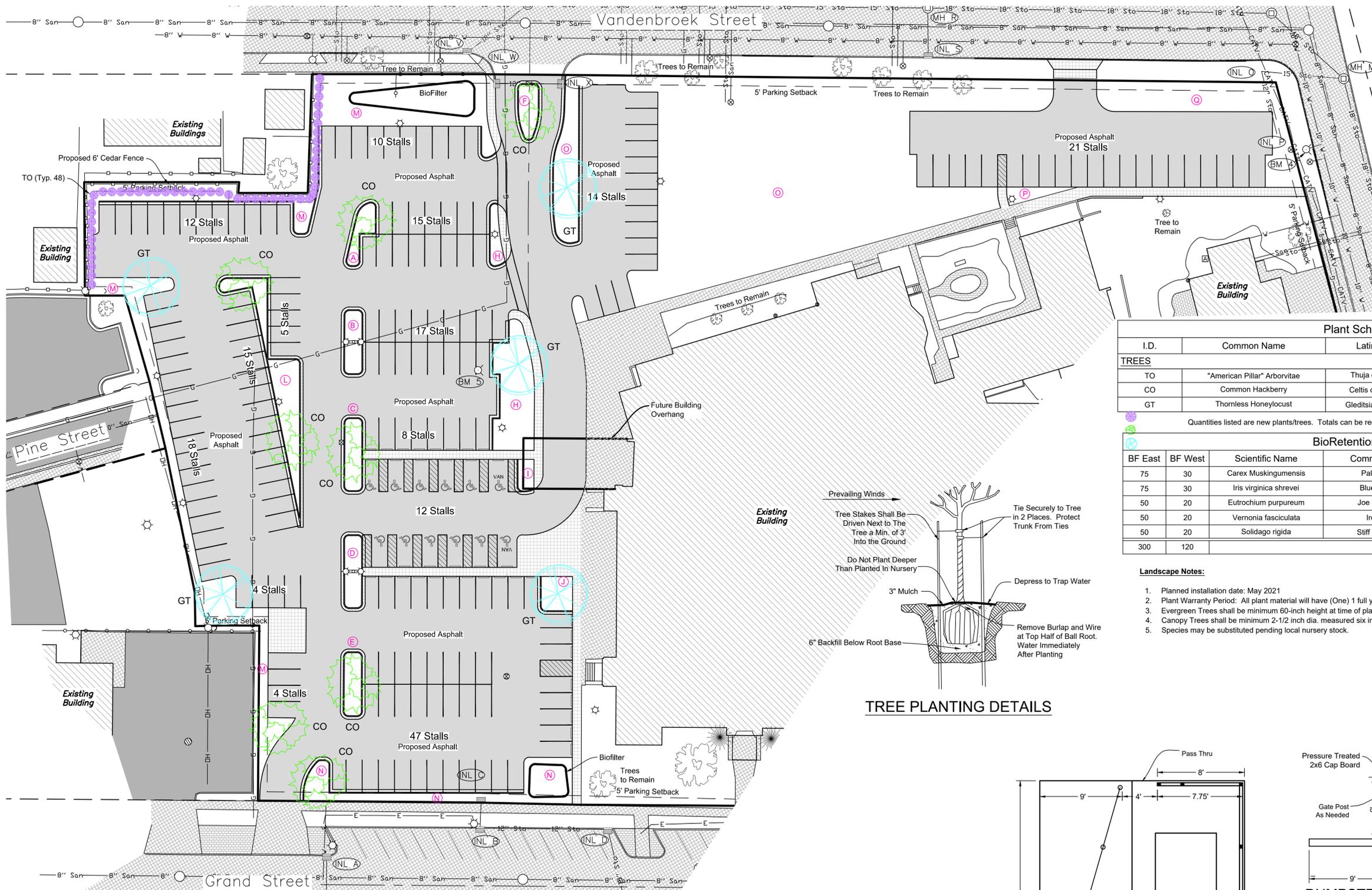
Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to the DNR website for a template: <http://dnr.wi.gov/files/PDF/forms/3400/3400-187.pdf>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the Village of Little Chute.

Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance:
To be Determined (TBD)
BMP Inspection and Compliance Enforcement
Village of Little Chute
Wisconsin Department of Natural Resources

EROSION & SEDIMENT CONTROL PLAN

St. John Nepomucene Catholic Community
Village of Little Chute, Outagamie County, WI
For: St. John Nepomucene Catholic Community



Proposed Concrete/Driveways 8,492 sf
 Lawn and Landscaping 26,991 sf
 Total Parking Spots = 202
 Total Handicapped Parking Spots = 12

12 Islands:
 A. 257sf
 B. 331sf
 C. 374sf
 D. 374sf
 E. 331sf
 F. 287sf
 G. 189sf
 H. 1,343sf
 I. 152sf
 J. 331sf
 K. 307sf
 L. 785sf

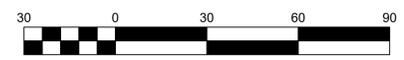
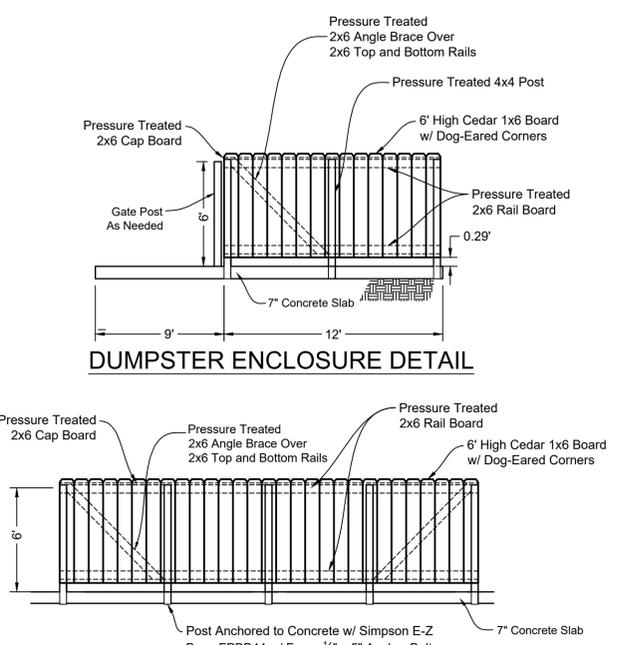
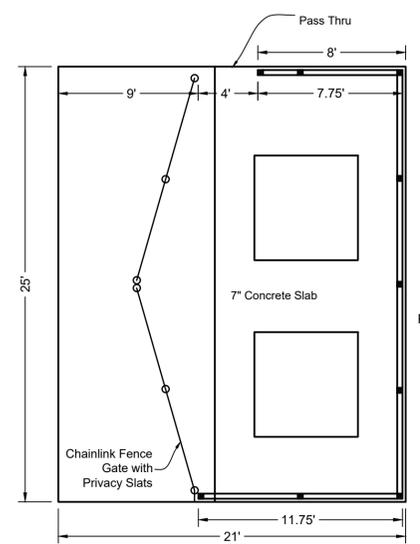
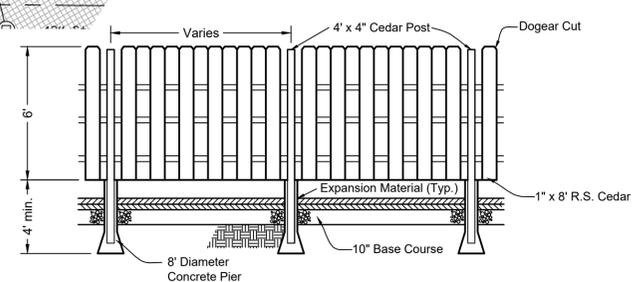
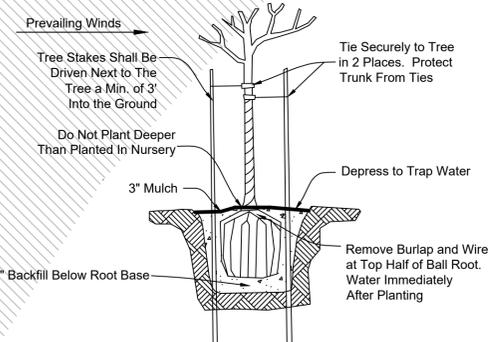
5 Peninsulas/Greenspace:
 M. 7,463sf
 N. 1,497sf
 O. 18,856sf
 P. 211sf
 Q. 4,321sf

Plant Schedule						
I.D.	Common Name	Latin Name	Planting Size	Height	Spread	Qty.
TREES						
TO	"American Pillar" Arborvitae	Thuja occidentalis	Refer Note 3	23'-30"	3'-5'	48
CO	Common Hackberry	Celtis occidentalis	Refer Note 4	40'-60"	40'-60"	8
GT	Thornless Honeylocust	Gleditsia triacanthos	Refer Note 4	30'-70"	30'-70"	5

Quantities listed are new plants/trees. Totals can be reduced if existing plants/trees are salvaged and transplanted.

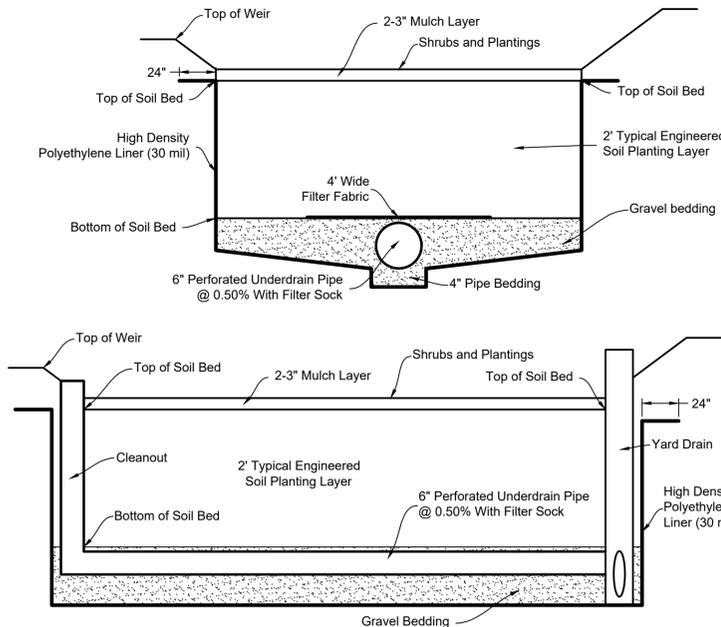
BioRetention Plants					
BF East	BF West	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
75	30	Carex Muskingumensis	Palm Sedge	2.5" Pot	8-12" Ht x 1-2' Spread
75	30	Iris virginica shrevei	Blue Flag Iris	2.5" Pot	8-12" Ht x 1-2' Spread
50	20	Eutrochium purpureum	Joe Pye Weed	2.5" Pot	8-12" Ht x 1-2' Spread
50	20	Vernonia fasciculata	Ironweed	2.5" Pot	8-12" Ht x 1-2' Spread
50	20	Solidago rigida	Stiff Goldenrod	2.5" Pot	8-12" Ht x 1-2' Spread
300	120				

- Landscape Notes:**
- Planned installation date: May 2021
 - Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of Village acceptance.
 - Evergreen Trees shall be minimum 60-inch height at time of planting.
 - Canopy Trees shall be minimum 2-1/2 inch dia. measured six inches from the ground at time of planting.
 - Species may be substituted pending local nursery stock.



LANDSCAPE PLAN

St. John Nepomucene Catholic Community
 Village of Little Chute, Outagamie County, WI
 For: St. John Nepomucene Catholic Community



BIOFILTRATION DETAIL SECTIONS

Biofilter	East	West
Soil Bed Area Required (sq. ft.)	900	350
Perimeter Treatment	Grass	Grass
Top of Weir Elev. (overflow path)	733.35	731.75
Top of Soil Bed Elev.	732.50	731.35
Bottom of Soil Bed Elev.	730.50	729.35
Yard Drain Rim Elev.	733.10	731.85
Yard Drain Outlet Pipe Invert Elev.	729.70	728.80
Yard Drain Underdrain Invert Elev.	729.85	728.80
Cleanout Rim Elev.	733.10	731.85
Cleanout Underdrain Invert Elev.	730.15	728.89
Underdrain Pipe Length (ft)	60.00	18.00
Underdrain Pipe Diameter (ft)	0.50	0.50

BIOFILTRATION DETAIL TABLE

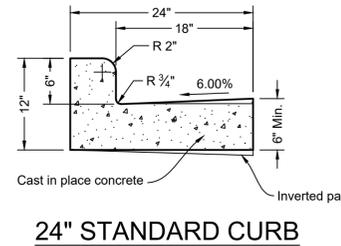
Biofiltration Specifications:

- Vegetation Plan**
Refer to plant schedule on Landscaping Plan (Page 1.5). Plants may be substituted as determined necessary by a professional landscaper. Turf grass is not to be used in the bioretention device, but may be used as the vegetation of pretreatment swales.
Shredded hardwood mulch or chips shall be placed on the surface of the planting soil to a depth of 2"-3". Mulch shall be free of foreign material, including other plant material. Mulch shall be aged a minimum of 12 months.
- Engineered Soil Planting Bed**
Planting soil shall be free of rocks, stumps, roots, brush, or other material over 1" in diameter. No other material shall be mixed with the planting soil that may be harmful to plant growth, infiltration rates, or prove a hindrance to planting and maintenance. Planting soil shall have adequate nutrients to meet plant growth requirements. Planting soil shall have a pH between 5.5 and 6.5. Planting soil shall be uniformly mixed and consist of 70-80% sand, and 15-30% compost.
Sand component shall be USDA classified coarse sand texture with 0.02" to 0.04" diameter, ASTM C33 (Fine Aggregate Concrete Sand), or Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5.3.4. (Fine Aggregate Concrete Sand) 2005 edition, or an equivalent as approved by the administering authority. Sand component shall be pre-washed to remove clay and silt particles and then well-drained or dried prior to mixing. The preferred sand component consists of mostly SiO₂, but sand consisting of dolomite or calcium carbonate may also be used. Manufactured sand or stone dust is not allowed.
Compost component shall contain less than 1% combined glass, metal, and plastic. Compost shall be resistant to further decomposition and free of compounds in concentrations toxic to plant growth. Compost shall comply with US EPA 503 regulations for class A biosolids and contain negligible concentrations of both heavy metals and other chemical contaminants. Compost shall also satisfy the following per the WDNR specifications S100:

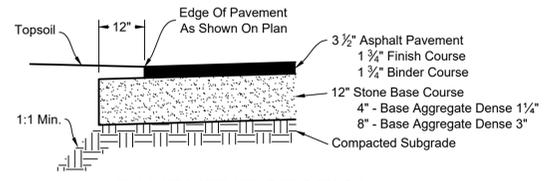
Particle Size	98% pass 0.75" screen
Organic Matter	40% minimum
Ash Content	60% maximum
Carbon to Nitrogen (C:N) ratio	10-20:1
pH Range	6.0 - 8.0
Soluble Salts	10 dS m ⁻¹ electrical conductivity maximum
Moisture Content	35% - 50% by weight
Compost Maturity Index	6-9
Pathogens and Noxious Seeds	Minimized

- Perforated Underdrain**
Underdrain shall be a minimum 6" diameter corrugated polyethylene pipe with circular or slotted perforations. At a minimum, 4" to 10" diameter pipes shall have 1.0 square inch of perforated open area per linear foot of pipe length, 12" to 18" diameter pipes shall have 1.5 square inches of perforated open area per linear foot of pipe length, and 18" diameter or larger pipes shall have 2.0 square inches of perforated open area per linear foot of pipe length. Circular perforations shall not exceed 0.19" for 4" to 10" diameter pipes or 0.38" for pipes greater than 10" diameter. The width of slot perforations shall not exceed 0.13". The underdrain pipe shall satisfy section 612.2.5, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.
A filter sock shall be installed on the perforated underdrain pipe. The filter sock shall prevent sand particles from entering the pipe. The filter sock shall be capable of passing water at a flow rate equal to or greater than the flow rate capacity of the underdrain pipe perforations. The filter sock shall satisfy section 612.2.8(1-3), State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.
Filter fabric shall not extend laterally from either side of underdrain pipe for more than 2". Filter fabric shall satisfy section 645.2.4, Schedule Test B, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.
A minimum 6" diameter vertical clean-out shall be connected to the upstream end of the underdrain. Clean-out shall be rigid, non-perforated PVC pipe with a removable, watertight cap that is flush with the finished ground surface.
Gravel bedding shall meet the coarse aggregate #2 of the Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5, 2003 edition.

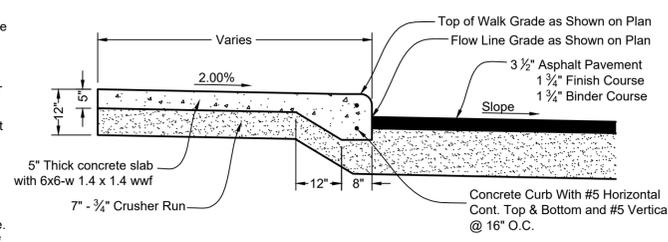
- Construction**
Contractor shall submit material certifications for review and approval prior to installation. Certifications shall state that materials satisfy specifications.
Construction site runoff from disturbed areas shall not be allowed to enter the bioretention device. Runoff from all upslope disturbed pervious areas shall be diverted away from the bioretention device until a permanent perennial vegetative cover is established with a uniform density of at least 70% sediment laden runoff will prematurely clog the biofiltration device.
Construction shall be suspended during periods of rainfall or snowmelt. Construction shall remain suspended if ponded water or residual soil moisture contributes to soil smearing, clumping, or other forms of compaction.
The planting soil layer and sand storage layer shall be placed in 12" lifts maximum. Compaction shall be minimized. Compaction will significantly contribute to biofiltration device failure. Grade each layer with hand tool, excavation hoes, marsh equipment, wide-track loaders, or light equipment with turf-type tires. Do not use heavy equipment with narrow tracks, narrow tires, rubber tires with lugs, or high-pressure tires. Steps may be taken to induce mild settling of the sand storage layer and planting soil layer as needed to prepare a stable planting bed. Vibrating plate-style compactors shall not be used.
Entire planting bed shall be mulched to a uniform depth of 2"-3" prior to planting vegetation to help prevent compaction of planting soil layer during planting process. Mulch shall be pushed aside for individual plant placement.
Plants shall be kept moist during transport and on-site storage. Plants shall be fertilized and watered as appropriate to maximize plant growth and survival. Plants must be well established before the onset of cold weather. Contractor shall provide a 2-year warranty for all installed plants, shrubs, and trees.



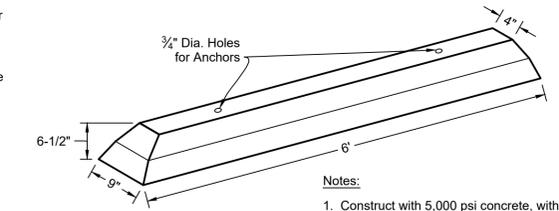
24" STANDARD CURB



PAVEMENT SECTION

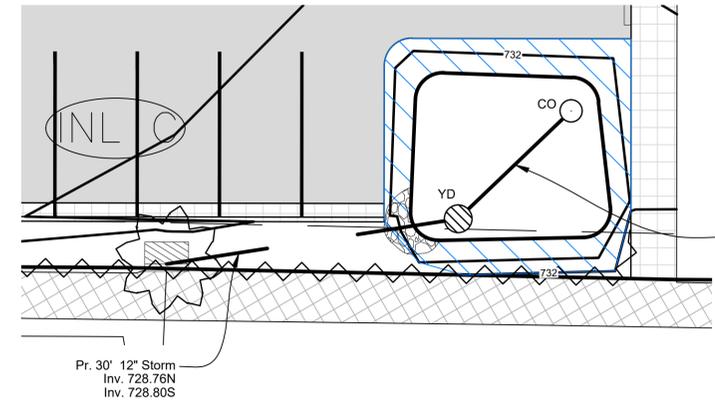


INTEGRAL SIDEWALK / PAVEMENT SECTION

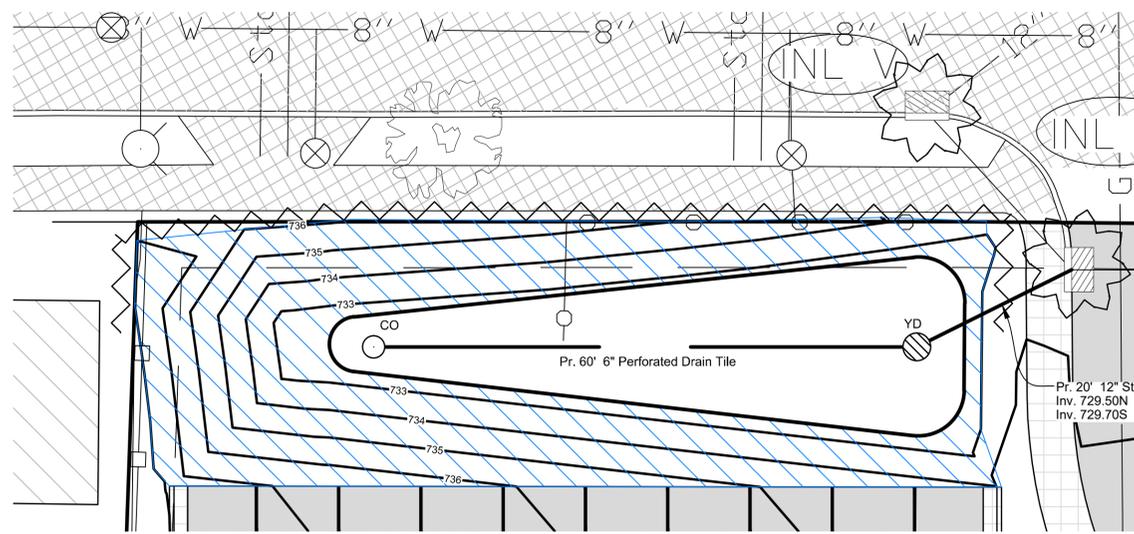


PRECAST CONCRETE WHEEL STOP

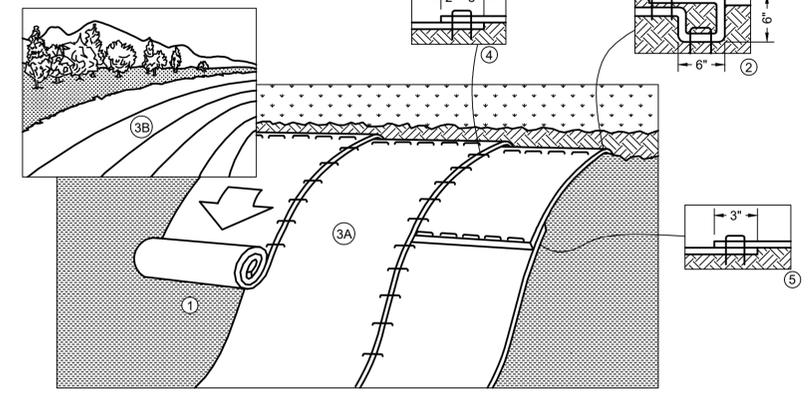
- Notes:**
- Construct with 5,000 psi concrete, with 5% air entrainment or as recommended by manufacturer.
 - Provide two #4 longitudinal reinforcement bars.
 - Taper sides as recommended by manufacturer.



WEST BIOFILTER

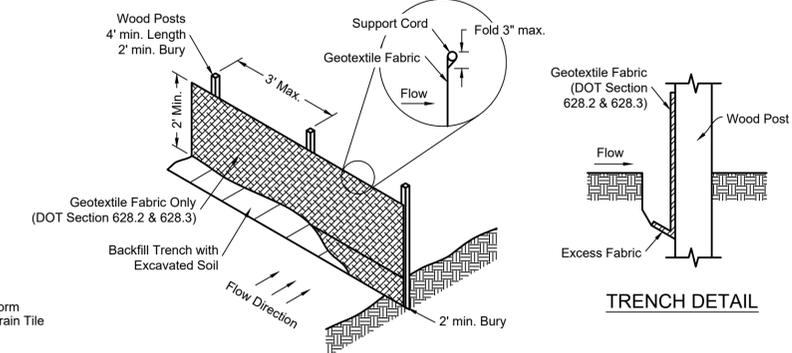


EAST BIOFILTER



- Prepare soil before installing Rolled Erosion Control Products (RECPs), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
- Begin at the top of the slope by anchoring the RECPs in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECPs back over seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
- The edges of parallel RECPs must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
- Consecutive RECPs spliced down the slope must be placed end over end (single style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECPs.
- Detail provided by North American Green (www.nagreen.com)
- Turf Reinforcement Mats (TRMs) shall be installed in accordance with the above specifications for all RECPs. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



TRENCH DETAIL

- Silt fence notes:**
- Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
 - When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
 - Attach the fabric to the posts with wire staples or wooden lath and nails.
 - 8'-0" post spacing allowed if a woven geotextile fabric is used.
 - Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
 - Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
 - Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

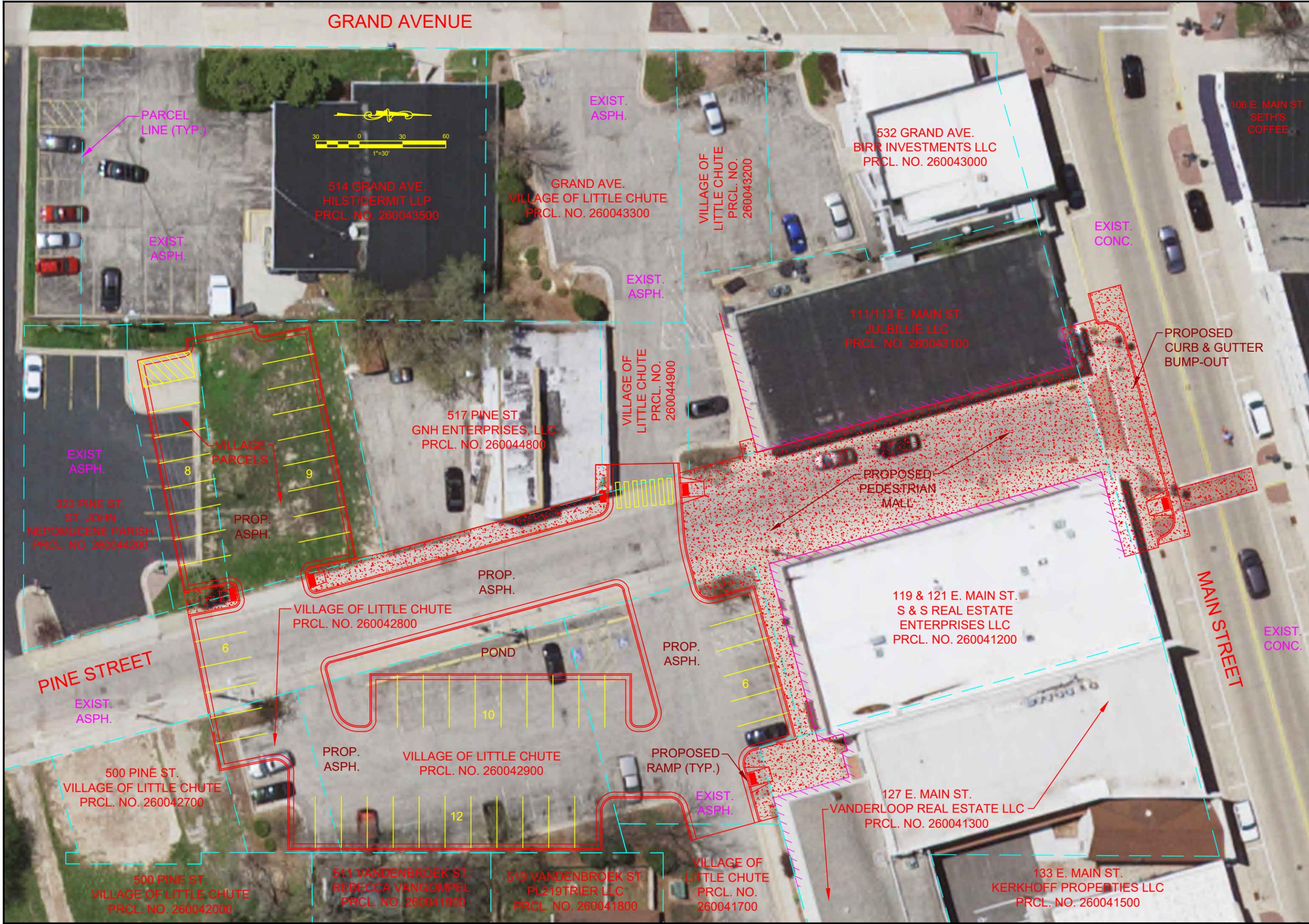
SILT FENCE INSTALLATION

Village of Little Chute
Engineering Department

REQUEST FOR BOARD'S CONSIDERATION

ITEM DESCRIPTION:	Pine Street Parking Lot Alternatives
REPORT PREPARED BY:	Christopher L. Murawski, P.E.
REPORT DATE:	September 10, 2020
ADMINISTRATOR'S REVIEW / COMMENTS:	No additional comments to this report _____ See additional comments attached _____
EXPLANATION:	<p>Village staff have been working on two preliminary layouts for the Proposed Pine Street Parking Lot configuration.</p> <p>The proposed improvements is considered a redevelopment project and will require additional storm water management improvements for water quality. However, these requirements are less restrictive than for new development and can most likely be provided in the green space area provided. It is most likely that a bio-swale will accommodate the needs of this project and not a pond with a normal water surface.</p> <p>Alternate 1 – an attached exhibit is providing for a pedestrian mall to be created between the two existing buildings while providing pedestrian access to Main Street for the proposed parking lot. Although vehicle access to Main Street will be removed, public access to the parking area would remain from Grand Avenue and Vandebroek Street. The vacation of Pine Street further to the south provides an excellent opportunity to provide additional parking for the downtown area while also allowing for additional open space for pedestrians and other special event activities.</p> <p>Alternate 2- is provided to show that vehicle access from Main Street can still be provided with 11-ft. sidewalks on both sides of a 15-ft wide one way street. This layout could still accomplish a pedestrian mall atmosphere by blocking off vehicle access from Main Street during special events. Removable decorative chains or fencing could be installed when vehicle access is not desired.</p>
RECOMMENDATION:	These alternatives are being provided for discussion purposes. Village staff is seeking direction from the planning commission and the Village Board as to their opinion on how to best utilize this space. Other options for discussion is also open and is not limited to the two alternatives provided.

G:\Dept of Public Works\Engineering Department\2000 - Municipal Projects\Pine St. - Main - Vacation\Parking Lot.dwg: 9/9/2020 3:20:11 PM, ROBERT OLKIEWICZ, ----



**PINE STREET - PEDESTRIAN MALL
& PARKING LOT LAYOUT
PRELIMINARY DESIGN
VILLAGE OF LITTLE CHUTE, WISCONSIN**

Rev	Date	Description

Issued

Designed: REO
Drawn: REO
Checked: CLM
Approved: _____

PROJECT NUMBER
EXHIBIT
SHEET REFERENCE NUMBER
Alternate 1

\ Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Ballfield Banner Spending Authority

PREPARED BY: Adam Breest, Parks, Recreation, & Forestry Director

REPORT DATE: September 11, 2020

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: JPF
See additional comments attached: _____

EXPLANATION: Every year the Parks department sells banner space at Legion and Van Lieshout. In 2020, the village brought in \$1750 in revenues and spent \$488.22 in expenses for the new and replacement banners. The total amount remaining is \$1261.78. The Parks department is requesting spending authority to spend \$1261.78 to pay for fencing around the Legion Ballfield 3 dugouts. The new dugout caps were installed this year and now we need to install the new fencing to go around the dugouts.

RECOMMENDATION: Discussion/Possible Action To increase donations and the parks Repair and Maintenance budget by \$1261.78 for the banner funds and proceed with the Legion Park Fencing Repair.

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: 2020 Heesakker Park Deer Culling

PREPARED BY: Adam Breest, Parks, Recreation, & Forestry Director

REPORT DATE: September 11, 2020

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: JPF
See additional comments attached: _____

EXPLANATION: In 2019, the Village of Little Chute elected to participate in the deer culling at Heesakker Park. 2019 was a slower year as we only harvested 2 doe and 1 buck. With the population of deer at Heesakker Park and the surrounding neighborhoods continuing to stay high I am proposing that we continue to operate the deer hunt in 2020 but at a reduced scope due to the David and Rita Nelson Family Heritage Crossing construction.

2020 Modifications:

- 4 hunters per week (8 total)
- Little Chute residents only (since we are not utilizing the island)
- Split the 4 hunters into 4 quadrants within Heesakker Park.

Dates: Week 1 - Monday, November 30, 2020 – Sunday, December 6, 2020
Week 2 – Monday, December 14, 2020 – Sunday, December 20, 2020

Locations: Heesakker Park ONLY (north of the Heesakker Bridge)

Amount of Does or Bucks Harvested

2019 - 3
2018 - 8
2017 - 6
2016 - 8
2014 – 6

I believe that the Deer Culling has been beneficial in the past. The format that we currently utilize allows residents to participate and it has been a success.

RECOMMENDATION: Discussion/Action

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Revaluation Contract

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/8/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

The Village of Little Chute has experienced a large amount of growth over the last few years, as well as an increase in the economic value of the properties. Over the last few years, the sale to assessment ratio has decreased to the low 80% area, with the 2020 estimated ratio to be 78.9%. This means that on the average a property is selling for more than the assessed value. The Department of Revenue (DOR) tracks these market changes and requires assessments to be within 10% of full value at least once within a five-year period. Due to the increasing value of sales in the Village, we have not been within 10% of full value since 2018 and we will not be without a revaluation. With our last revaluation being conducted in 2014 it is time for the Village to conduct another revaluation to bring our assessments into compliance. This also will ensure our assessment records are in good order.

It is important to note that with DOR requirements under sec 70.05(5), a revaluation will be needed in 2023 at the very latest. If the Village is not back into compliance after six consecutive years of non-compliance, there will be an order for a supervised revaluation. The supervised revaluation is dramatically more expensive than conducting a revaluation now and it is recommended to conduct a revaluation before the last year of non-compliance. In addition, the farther away from full value the assessments are causes, larger changes to assessed values that are often creates confusion to homeowners. See below for our assessment ratio's over the last few years:

Year	Property Class	Municipal Assessed Value	DOR Base Value	% of DOR Base Value	Ratio (%)	Major Class Municipal Compliance Status
2019	Residential	481,099,000	590,307,600	69.01	81.50	NO
	Commercial	222,011,800	255,566,000	29.88	86.87	NO
	Agricultural	99,600	121,700	0.01	81.84	
	Sum Of 5, 5M, 6, 7	490,900	644,100	0.08	76.21	
	Personal	7,131,300	8,696,800	1.02	82.00	
	Total	710,832,600	855,336,200	100.00	83.11	NO
2018	Residential	473,862,100	549,689,600	70.14	86.21	NO
	Commercial	208,468,600	225,554,900	28.78	92.42	YES
	Agricultural	70,400	80,300	0.01	87.67	
	Sum Of 5, 5M, 6, 7	309,900	442,200	0.06	70.08	
	Personal	6,927,900	7,963,100	1.02	87.00	
	Total	689,638,900	783,730,100	100.00	87.99	NO
2017	Residential	465,593,900	495,049,600	72.81	94.05	YES
	Commercial	170,590,300	171,834,400	25.27	99.28	YES
	Agricultural	80,700	84,500	0.01	95.50	
	Sum Of 5, 5M, 6, 7	309,900	464,800	0.07	66.67	
	Personal	11,821,100	12,509,100	1.84	94.50	
	Total	648,395,900	679,942,400	100.00	95.36	YES
2016	Residential	458,427,200	464,692,400	72.54	98.65	YES
	Commercial	166,467,800	163,439,400	25.51	101.85	YES
	Agricultural	76,500	76,200	0.01	100.39	
	Sum Of 5, 5M, 6, 7	309,900	433,400	0.07	71.50	
	Personal	11,955,300	11,955,300	1.87	100.00	
	Total	637,236,700	640,596,700	100.00	99.48	YES

As was outlined above, the 2020 the overall estimated Ratio (%) is 78.91%.

Due to the uncertainty of COVID-19, staff is suggesting that the Village opts for an exterior only revaluation. This means that each property will be visited to verify exterior measurements, a new photo of the property will be taken, and updates to overall condition of the property will be provided. A door hanger will be left at each property if no contact is made and any applicable interior information can be gathered without entering the dwelling in a safe, minimal to no contact manner. With the last revaluation in 2014 being a full revaluation (all properties visited with interior inspections requested) and routine maintenance work having been performed for all remodels/new construction, it is felt that the assessment records still hold reliable and efficient interior information. Attached is the proposed contract from Associated Appraisal which also gives the costs associated to a full revaluation, exterior revaluation, and interim market update.

An effort will be made to execute a portion of this work in 2020 and then complete the revaluation in 2021. This will allow us to balance the cost of the revaluation using a combination of designated fund balance and unused funds from 2020. Further budget adjustments may be necessary in order to effectively balance this required expense.

RECOMMENDATION: Staff has reviewed and recommends approving the exterior revaluation for 2021 contract with Associated Appraisal Consultants

Assessment Proposal Summary for the Village of Little Chute

Services Performed For:
Village of Little Chute

James Fenlon
Village Administrator

**Associated Appraisal
Consultants, Inc.**
Appleton ■ Hurley ■ Lake Geneva



Fee Schedule

The figures below are based on 5 years of professional assessment services. Optional add-on assessment services for a revaluation would be in addition to the price of annual maintenance.

Contract Proposal	2021 Assessment Year	2022 Assessment Year	2023 Assessment Year	2024 Assessment Year	2025 Assessment Year
MAINTENANCE	\$23,900	\$24,100	\$24,300	\$24,500	\$24,700
OPTIONAL ADD-ON ASSESMENT SERVICES					
INTERIM MARKET UPDATE	+\$50,000 (for each IMU assessment year)				
EXTERIOR REVALUATION	+\$90,000 (for each revaluation assessment year)				
FULL REVALUATION	+\$120,000 (for each revaluation assessment year)				

Out-of-Pocket Expenses / Invoice Procedures

MAINTENANCE: The compensation due the Assessor shall continue to be paid in monthly or quarterly installments throughout the 2021, 2022, 2023, 2024 and 2025 assessment year(s). The maintenance contract will continue to have separate charges for personal property, and mobile home accounts.

REVALUATION: Payment shall be made on a monthly basis for services and expenses incurred during a Revaluation year. Monthly invoices shall reflect the percentage of work completed, less 5 percent retained by the Municipality until completion of the revaluation and final adjournment of the Board of Review.

- The 2020 assessment year will be the 3rd year out of compliance in accordance with sec. 70.05(5), Wis. Stats. The Village will be required to conduct a revaluation prior to or during the 2023 assessment year at the latest to avoid a state ordered reassessment for the 2024 assessment year which will cost 2-3 times the amounts provided above due to WIDOR oversight etc.
- Municipality will be responsible for all postage costs during the revaluation year and are estimated to cost \$3,000 - \$5,500 +/- depending on revaluation chosen and how many assessment notices and general correspondence letters are mailed.
- For budgeting purposes if the Village were to conduct one of the revaluation options for the 2021 assessment year the estimated total cost would be as follows:

Maintenance	IMU Revaluation	Personal Property	Postage	Total
\$23,900	+\$50,000	+\$2,500 +/-	+\$3,000 +/-	= \$79,400 +/-
Maintenance	Exterior Revaluation	Personal Property	Postage	Total
\$23,900	+\$90,000	+\$2,500 +/-	+\$5,500 +/-	= \$121,900 +/-
Maintenance	Full Revaluation	Personal Property	Postage	Total
\$23,900	+\$120,000	+\$2,500 +/-	+\$5,500 +/-	= \$151,900 +/-

- Options to spread a portion of a revaluation cost over two years is available upon request.

Utility Commission Meeting

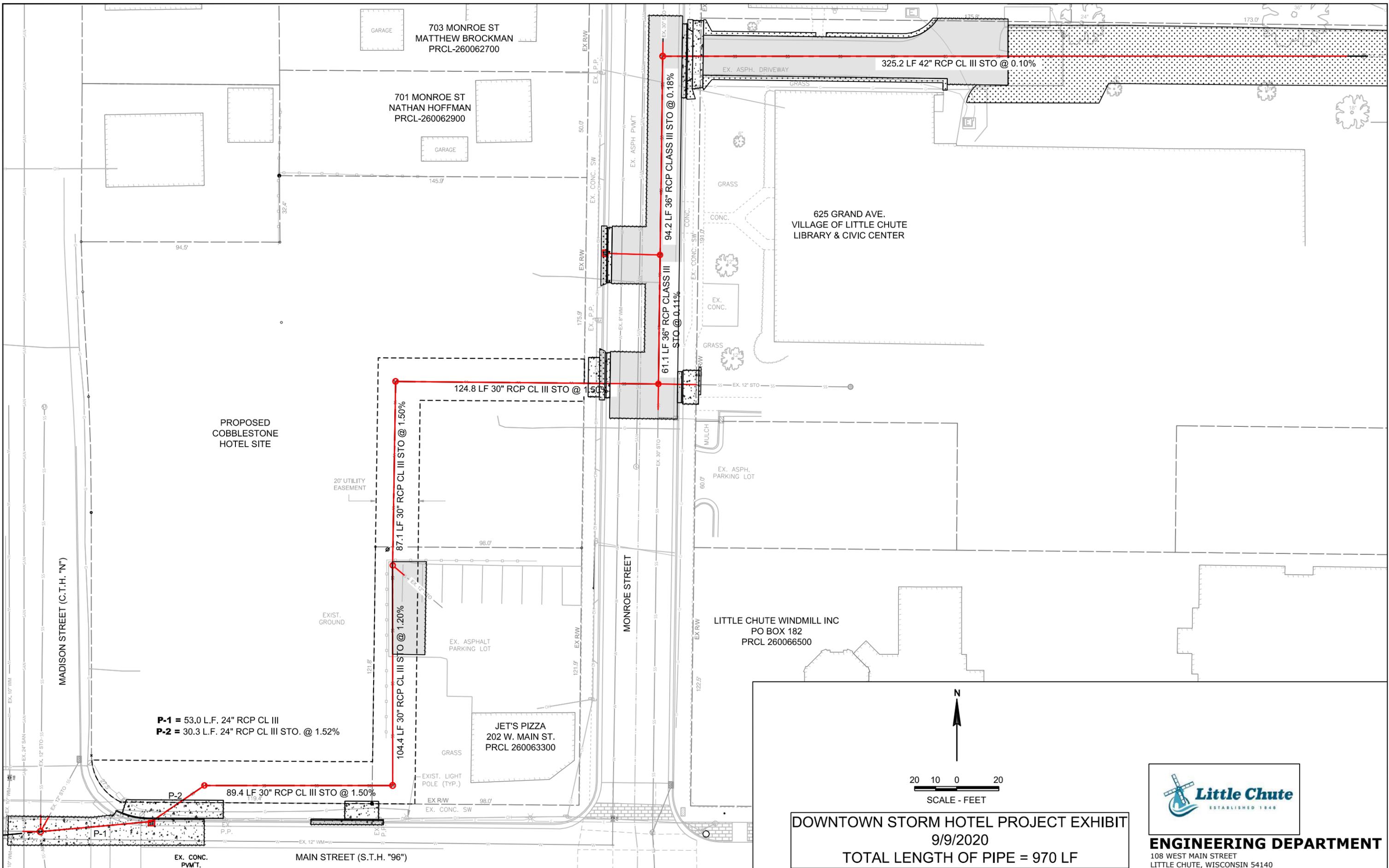
9-15-20

Utility Project Description

Downtown Storm Sewer Extension – This project was driven to provide water quality and storm water detention for the Cobblestone Hotel development but will also provide these same benefits for the Civic Center/Library, neighboring residential homes, public streets and Village Hall. Ultimately, the new storm sewer will extend to the intersection of Main Street and Madison Street to improve drainage for an existing restriction at this intersection.

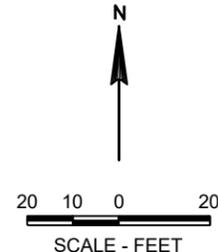
Lyle Street Storm Sewer – Storm water drainage from Carol Lynn Drive discharges to a rear yard storm sewer that reduces from a 27-inch diameter pipe to an 18-inch diameter pipe. The rear yard pipe and the storm sewer in Lyle Street do not have the capacity to pass flows for the 10-year storm event and ultimately has backup issues for the residential homes adjacent to this storm pipe. The pipe size that is required is a 36-inch pipe using the available slope. The 30-inch pipe in Sanitorium Road has a steeper slope and therefore, can provide the necessary pipe capacity. Plans have been prepared and will be submitted for bid as an alternate to the Downtown Storm Sewer Extension to serve the Cobblestone Hotel. If the project cost is favorable, it is the recommendation of engineering staff to proceed with this work at the same time as the Downtown Storm Sewer project.

Ebben Storm Sewer and Pedestrian Trail – This project is being driven by development to provide a lower elevation to discharge the 2-year storm event. This will not eliminate the site improvements from discharging storm water to the navigable waterway but will allow for greater vertical storm water storage within the development site. Ultimately this storm sewer will extend to French Pond and allow the outflow from this basin to discharge by gravity without the need of a pumping system. The easement that will contain the storm sewer will also provide a pedestrian trail that will also allow maintenance vehicles to provide access to the storm sewer for cleaning purposes.

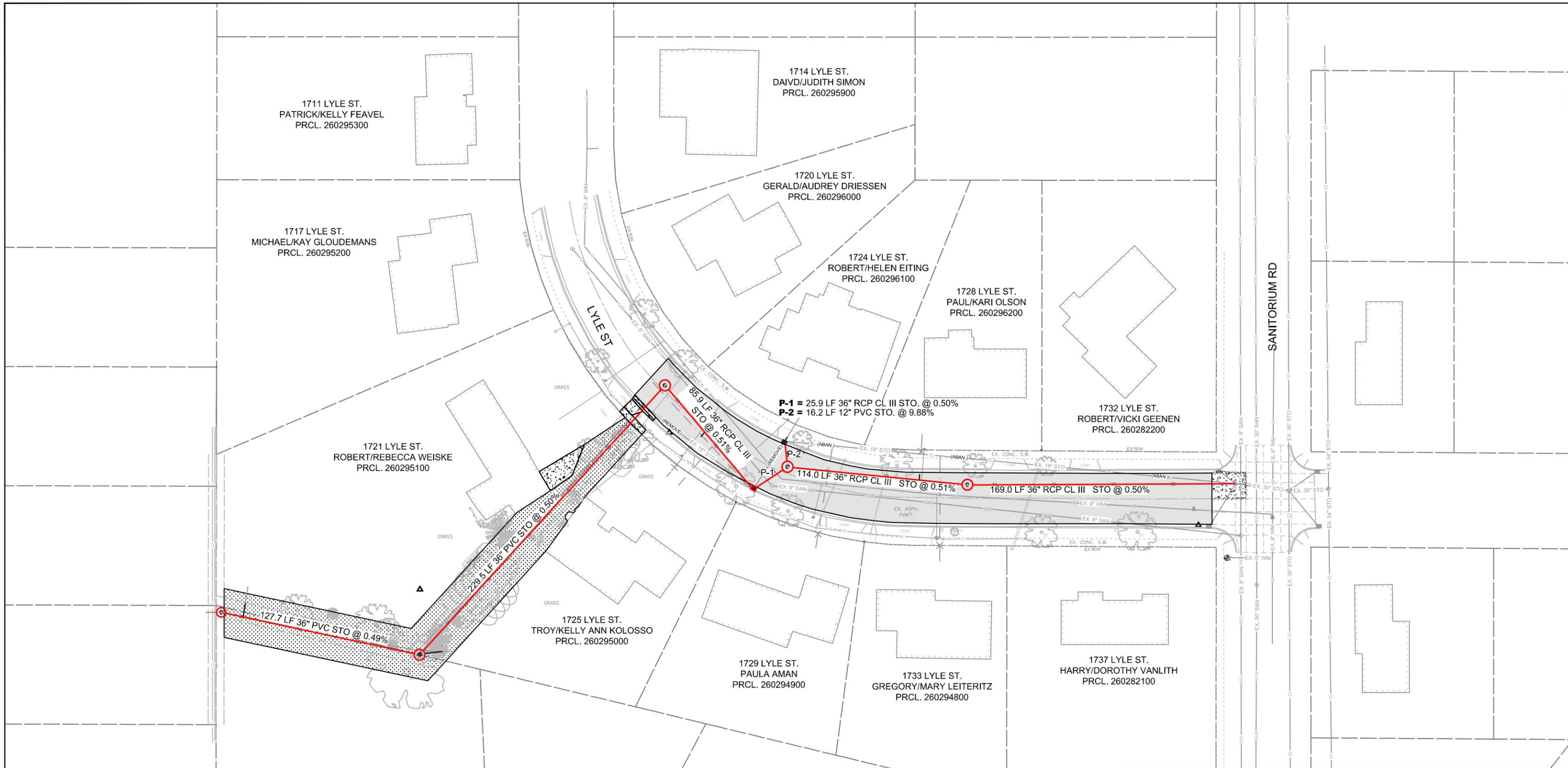


P-1 = 53.0 L.F. 24" RCP CL III
P-2 = 30.3 L.F. 24" RCP CL III STO. @ 1.52%

DOWNTOWN STORM HOTEL PROJECT EXHIBIT
 9/9/2020
TOTAL LENGTH OF PIPE = 970 LF

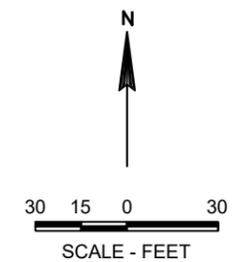


ENGINEERING DEPARTMENT
 108 WEST MAIN STREET
 LITTLE CHUTE, WISCONSIN 54140



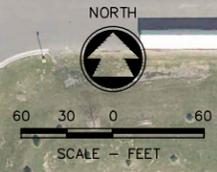
P-1 = 25.9 LF 36" RCP CL III STO. @ 0.50%
P-2 = 16.2 LF 12" PVC STO. @ 9.88%

LYLE STORM PROJECT EXHIBIT
9/9/2020
TOTAL LENGTH OF PIPE = 750 LF



ENGINEERING DEPARTMENT
 108 WEST MAIN STREET
 LITTLE CHUTE, WISCONSIN 54140

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50' BUILDING SETBACK, DRAINAGE, AND TRAIL EASEMENT TO BE MEASURED FROM THE ORDINARY HIGH WATER MARK ON EACH SIDE OF THE INTERMITTENT STREAM PER #7261

EXISTING WETLAND BOUNDARY

UNNAMED APPLE CREEK TRIBUTARY

McMAHON
 ENGINEERING ARCHITECTURE
 McMAHON ASSOCIATES, INC.
 1445 McMAHON DRIVE NEENAH, WI 54956
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
 PH 920/751-4200 FX 920/751-4284 MCMGRP.COM

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NO.	DATE	REVISION

**EBBEN TRAIL & STORM SEWER
 VILLAGE OF LITTLE CHUTE, OUTAGAMIE CO, WI
 TRAIL & STORM SEWER ALIGNMENT - EAST OF CTH N**

DESIGNED ###	DRAWN ###
PROJECT NO. L0001-9-18-00487	
DATE SEPT, 2020	
SHEET NO.	

FIG. 1

jhoechst, w:\PROJECTS\L0001\91800487\CADD\Civil3D\XREF\X-Prop Linework North Side Storm Interceptor_Rev2020.dwg, 2x34 (2), Plot Date: 9/10/2020 12:02 PM, xrefs: (x-exist topo north side storm interceptor, x-all points north side storm interceptor, x-exist shade north side storm interceptor, x-all points scannell record drawing, contours heart of valley, x-lc apple creek drainage areas_2018, prop lines comp, x-little chute north estates, x-wetlands, 0958-02-18 eng_rev001_mcm, 1-1342-001topo, 20-0038 wetland, 1-1342-001_concept, 11342001gis, 1-1342-001isp, 1-1342-001tb, es01, x-aerial)



McMAHON
 ENGINEERS ARCHITECTS
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 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
 PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

NO.	DATE	REVISION

EBBEN TRAIL & STORM SEWER
VILLAGE OF LITTLE CHUTE, OUTAGAMIE CO, WI
TRAIL & STORM SEWER ALIGNMENT - WEST OF CTH N

DESIGNED ###	DRAWN ###
PROJECT NO. L0001-9-18-00487	
DATE SEPT, 2020	
SHEET NO. FIG. 2	

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Fee increase for Real Estate Inquires

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 9/3/2020

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

When a property is to be sold or refinanced often there is a real estate inquiry to gather basic property information. This process requires different departments to look into records for each property such as: Assessment information, Zoning, Special assessments, unpaid utility bills, any outstanding orders, flood plain information, etc. This can take some time for each property primarily when there is a “rush” and this form is requested to be filled out in 4 hours. Currently our fees are \$25 for a non-rush (min of 5 working days) and \$35 for a rush to be completed in 4 hours. From looking into other communities’ fees for this service it appears our fees, last updated in 2009, need to be adjusted to accommodate the staff time that is allocated to this effort.

Real Estate Inquiries Costs	Non-rush	Rush
Appleton	\$38 - 4 Working Days	\$58 - 4 Hours
Combined Locks	\$35 - 5 Working Days	N/A
Grand Chute	\$30 - 4 or More Working Days	\$60 - Less Than 4 Working Days
Green Bay	\$30 - 5 Working Days	\$50 - 1 Working Day
Kaukauna	\$25 - 5 Working Days	N/A
Kimberly	\$25 - 5 Working Days	\$35 - 1 Working Day
Neenah	\$30 - 2 to 4 Working Days	\$50 - 1 Working Day
Menasha	\$30 - 5 Working Days	\$50 - 1 Working Day

From this the main concern is in the Rush aspect. Our current 4 hour turn around for Rushes is low and these are typically the ones that are more difficult and time consuming from a staff effort to accomplish.

RECOMMENDATION: Staff recommends increasing our Non-rush fee to \$30 for up to 5 working days and increase the Rush fee to \$50 in 1 working day.

TRAIL VIEW SOUTH DEVELOPMENT AGREEMENT

THIS AGREEMENT, made by and between the **City of Appleton** by its City Council, a body politic and municipal corporation with a mailing address of 100 North Appleton Street, Appleton, WI 54911 (“City”), the **Village of Little Chute** by its Village Board, a body politic and municipal corporation with a mailing address of 108 W. Main Street, Little Chute, WI 54140 (“Village”) and **Emerald Valley Estates, LLC**, a corporation with a business address of 2100 N. Freedom Road #A, Little Chute, WI 54140, the owner and developer (“Developer”) of property lying within the City of Appleton:

WHEREAS, Section 17-3 of the Appleton Municipal Code and Section 42-6 of the Little Chute Municipal Code provide for the installation of required improvements in new subdivisions; and

WHEREAS, the Developer has proposed to develop the Trail View South residential subdivision on property within the corporate limits of the City (“Proposed Development”), described in *Exhibit 1* (Legal Description provided by Developer) attached hereto; and

WHEREAS, the Final Plat of the Trail View South Subdivision, shown in *Exhibit 2* (provided by Developer) attached hereto, has been conditionally approved by the City and Village; and

WHEREAS, a series of meetings and negotiations have taken place between the City, the Village and the Developer to determine various development and financial responsibilities as between the City, the Village and the Developer for on-site and off-site public improvements and fees in connection with the Proposed Development; and

WHEREAS, the City, the Village and the Developer, for their mutual benefit, have mutually agreed as to development and financial responsibilities for public improvements and fees in connection with the Proposed Development;

NOW THEREFORE, it is mutually agreed as follows:

1. The Developer shall be responsible for the installation of the following in the Proposed Development, to the standards set forth by the City and the Village, pursuant to paragraph 4 below:
 - a. Sanitary sewer mains, manholes and laterals
 - b. Water mains, valves, hydrants, hydrant leads, fittings, and services
 - c. Storm sewer mains, manholes, catch basins, inlet leads, overland flow paths, yard drains and associated piping and laterals
 - d. Street excavation and graveling, terrace seeding, lot filling, grading and seeding and all associated construction site erosion control measures, with fill to consist of clay fill in the streets. Once the streets are accepted by the City, no additional repairs are required by the Developer to such streets after a three-month period
 - e. Street Lights
 - f. All other infrastructure required for the developments not specifically set forth in this agreement

2. The Developer shall provide the City and Village an estimate for items 1a – 1f prior to the installation of the items for the development.
3. The Developer shall provide fully executed and signed *Waivers of Special Assessment Notices and Hearing* (shown in **Exhibit 3**) for the development, acknowledging consent to pay Special Assessments levied by the City for the following items to be furnished and/or installed by the City or Village:
 - a. Televising of sanitary and storm sewer lines
 - b. Street name Signs
 - c. Traffic Control Signs
 - d. Concrete Pavement abutting lots owned by the Developer at the time of concrete paving
 - e. Sidewalks installed on lots owned by the Developer at the time of concrete paving

Estimates of up-front City and Village costs and associated special assessments to be paid by the Developer for items 3a – 3e for the development are attached hereto as **Exhibit 4**. The actual final costs for items 3a-3e will be used as the basis for the special assessments billed to the Developer.

4. Any concrete street and sidewalk assessments for Cherryvale Drive on the east side of the street would be limited to the 335' as listed in Exhibit 6.
5. The Developer shall provide the City and Village with copies of all final costs, invoices, labor costs, the contract documents and specifications, design documentation, all contract administration supporting documentation, an itemized list of all expenses for the installation of sanitary sewer, storm sewer, water main, street excavation and graveling and street lights for the Proposed Development. Said information provided by Developer shall be provided within 60 days of installation and shall meet City's and Village's Infrastructure Adjustment Form requirements. The Developer's design engineer shall perform the construction staking and the City and Village shall inspect the same.
6. The Developer's contractor shall perform the testing of the water main, sanitary sewer, storm sewer and compaction of fill material placed in future roadway areas in the Proposed Development under the supervision of City and Village inspectors.
7. The Developer shall provide lien waivers to the City and Village from prime contractor, subcontractors, suppliers and consultants within 60 days of the installation of the items in paragraph 1.
8. The Developer agrees to convey by deed, dedication, or other appropriate means, to the City and/or Village all the streets, roads, courts, avenues, drives, public ways, sanitary sewer, storm sewer, water main, and storm water facilities in the Proposed Development. Developer further agrees to convey any public access ways by dedication or easement to the City. All public improvements contemplated in the final plat shall be constructed within areas to be dedicated to the City either by deed, dedication or easement as contemplated in the Proposed Development and this agreement.
9. The City and Village agree to accept the dedication of all the Public Improvements in the Proposed Development, whether by deed, dedication or easement subject to the City's and Village's Acceptance of the Public Improvements in accordance with and subject to the terms of the City's Subdivision Ordinance.

10. The Developer shall repair or replace, as directed by the City or Village and to the City's or Village's satisfaction, at its own cost, any damage caused to City or Village property by the installation of the improvements in the Proposed Development. Repairs shall be completed within six (6) months of notification from the City or Village to the Developer of the need to repair or replace such damage.
11. The Developer shall pay the cost of all items listed under Paragraph 1 above. Concrete Paving and sidewalks will be assessed to the abutting property owners and the Developer will be assessed for only the cost of those lots owned by the Developer. Concrete streets shall be installed only after 75% of the lots in the Proposed Development have been issued building permits or after a 7-year period from the date of official street opening, whichever comes first.
12. The schedule for the Proposed Development shall be as follows:
 - a. Infrastructure installation may commence after City and Village approval of the Final Plat, Drainage Plan, Established Grades, Storm Water Management Plan, Construction Plans, Construction Specifications and procurement of all necessary City and Regulatory Agency permits.
 - b. Building permits may be issued upon City and Village approval and acceptance of all infrastructure. Streets must be officially opened to the public by the City Engineer prior to the issuance of building permits.
13. The developer shall pay any required parkland fees pursuant to Chapter 17 of the Appleton Municipal Code, not to exceed \$300 per lot.
14. Individual lot owners will be responsible for payment of applicable assessments for existing City/Village regional stormwater facilities at the time of building permit issuance.
15. Individual lot owners will be responsible for payment of applicable Heart of The Valley Metropolitan Sewerage District utility connection fees to the Village in conjunction with the installation of water meters for each home.
16. The Developer shall provide on the Final Plat a 16-foot wide outlot between lots 91 and 110 connecting Golden Gate Drive and the existing Apple Creek Trail to accommodate pedestrian access to the public trail. The City will be responsible for all costs to construct and maintain this trail access corridor.
17. The 140,000 special assessment identified in Exhibit 5 has been fully met with no outstanding obligations for these connection fees.
18. The City agrees to waive all Administrative Fees and all costs related to the installation of Temporary Asphalt Pavement.
19. The City agrees to waive the \$48,000 paid to Little Chute for Lots 5 and 6 in the Crosswinds Plat in order to provide access to the Trail View South Development, and such land will be dedicated as street right-of-way within the Village of Little Chute at no cost to the Developer.

20. The City and Village represent that this Agreement and the terms and conditions contained herein are consistent with adopted ordinances and resolutions on the subject matter.

21. The Developer shall pay the entire cost associated with installation of underground gas, electric, telephone and cable TV utilities and streetlights in the Proposed Development. The City shall review the proposed locations and have approval authority over any utilities proposed within the public right-of-way, prior to installation. The City standard for streetlights is wooden poles. The street lighting plan shall be designed by We Energies and approved by the City. The City shall pay We Energies the monthly electrical charge for street lighting. If the Developer desires decorative streetlights, then the Developer shall be responsible for all costs associated with the decorative streetlights, above the standard wood pole equivalent costs. The Developer shall be responsible for requesting said decorative lights from WE Energies. The Developer must also sign a Waiver of Special Assessments document for the annual assessments associated with decorative lighting.

22. Annual Tax Guarantee

- a. The City agrees to uniformly apply tax assessment procedures and practices with respect to the property and the Development in accordance with state law regarding property tax assessments. Notwithstanding the foregoing, Developer shall pay to the City the minimum real estate tax payment for the years and in accordance with the formula as set forth below. It is the intent of this provision that the Developers Minimum Real Estate Tax Payment shall be in such an amount as will fully amortize the City's \$374,725 contribution to the project over a 12-year period commencing with tax payments made in 2028, for the tax year 2027, and ending with the year 2039, for tax year 2038. The guaranteed value, for the purposes of this Agreement, is to be \$4,030,000.
- b. The Minimum Real Estate Tax Payment shall be paid in the following manner: Commencing with the 2028 calendar year (for the tax year 2027) and for each calendar year thereafter to 2039, the Developer shall pay to the City the deficit, if any, between the amount of property taxes generated by the development and the amount of property taxes generated based on a \$4,030,000 assessed value (Minimum Real Estate Payment). If the amount of the actual real estate tax payments exceeds the Minimum Real Estate Tax Payment, no additional payment shall be due from Developer.
- c. By August 15, starting with calendar year 2028, the City shall provide Developer with: (1) an itemization of the actual real estate tax payments received from the Development, and (2) a calculation in the amount, if any, by which the Minimum Real Estate Tax payment for the Development for such calendar year exceeds the actual real estate tax payment allocable to the Development for the preceding calendar year. If for any given calendar year the Minimum Real Estate tax Payment exceeds the actual real estate tax payment, developer shall pay the amount of such excess to the City. If the amount of the actual real estate tax payment exceeds the Minimum Real Estate Tax Payment, no additional payment shall be due from Developer.

23. The City and Village represent and warrant to Developer that they have the power, authority and legal right to enter into all of the transactions and to perform all of the covenants and obligations required to be entered into or performed by the City and Village under this Agreement.

- a. The City and Village represent and warrant to Developer that they are empowered and authorized to execute and deliver this Agreement and other agreements and documents, if any, required hereunder to be executed and delivered by the City or Village. This Agreement has been, and each such document at the time it is executed and delivered, will be duly executed and delivered on behalf of the City and Village.
- b. When executed and delivered to Developer, all such agreements shall constitute a legal, valid and binding obligation of the City and Village, enforceable in accordance with their terms.

24. The Developer represents and warrants to the City and Village that Developer is a Limited Liability Company, duly organized and existing under the laws of the State of Wisconsin, and that all proceedings of Developer necessary to authorize the negotiation and execution of this Agreement and the consummation of the transaction contemplated by this Agreement have been taken in accordance with applicable law.

25. The Developer represents and warrants to the City and Village that the execution and delivery of this Agreement, the consummation of the transactions contemplated in this Agreement and the execution and delivery of the documents required to be executed, delivered or acknowledged by Developer at the closing will not violate any provision of Developer's operating agreement or any applicable statute, rule, regulation, judgment, order or decree of the State of Wisconsin or a court having jurisdiction over Developer or its property.

26. The Agreement shall be effective as of the date of execution thereof and remain in effect until the earliest of: (a) the Developer notifies the City and Village that the Proposed Development has been terminated, (b) upon the mutual agreement of the Parties to terminate the Agreement, or (c) if one (1) year after the date of execution the Developer not take any further action on the Proposed Development.

27. This Agreement, along with ***Exhibits 1 through 4*** sets forth the entire understanding of the parties relative to its subject matter and supersedes and merges any and all prior communications, negotiations and agreements, oral or written, except for the Land Dedication Agreement for Cherryvale Avenue (***Exhibit 5***) and Council approved incentive dated 4-1-2018 (***Exhibit 6***).

28. It is understood and agreed that the provisions of this Agreement shall be deemed severable and the invalidity or unenforceability of any one or more of the provisions contained herein shall not affect the validity and enforceability of the other provisions contained herein.

29. This Agreement may not be modified or amended, except when placed in writing, with the written consent of the City, the Village and the Developer.

[SIGNATURE PAGE TO FOLLOW]

Emerald Valley Estates, LLC

By: Robert DeBruin

By: _____

Printed Name: Robert De Bruin

Printed Name: _____

Title: Member

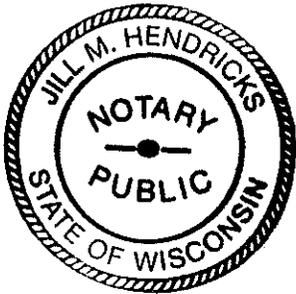
Title: _____

STATE OF WISCONSIN)

OUTAGAMIE COUNTY)

: ss.

Personally came before me on this 17 day of August, 2020, the above-named persons, Robert A DeBruin and _____, to me known to be the persons who executed the foregoing instrument and acknowledge the same.

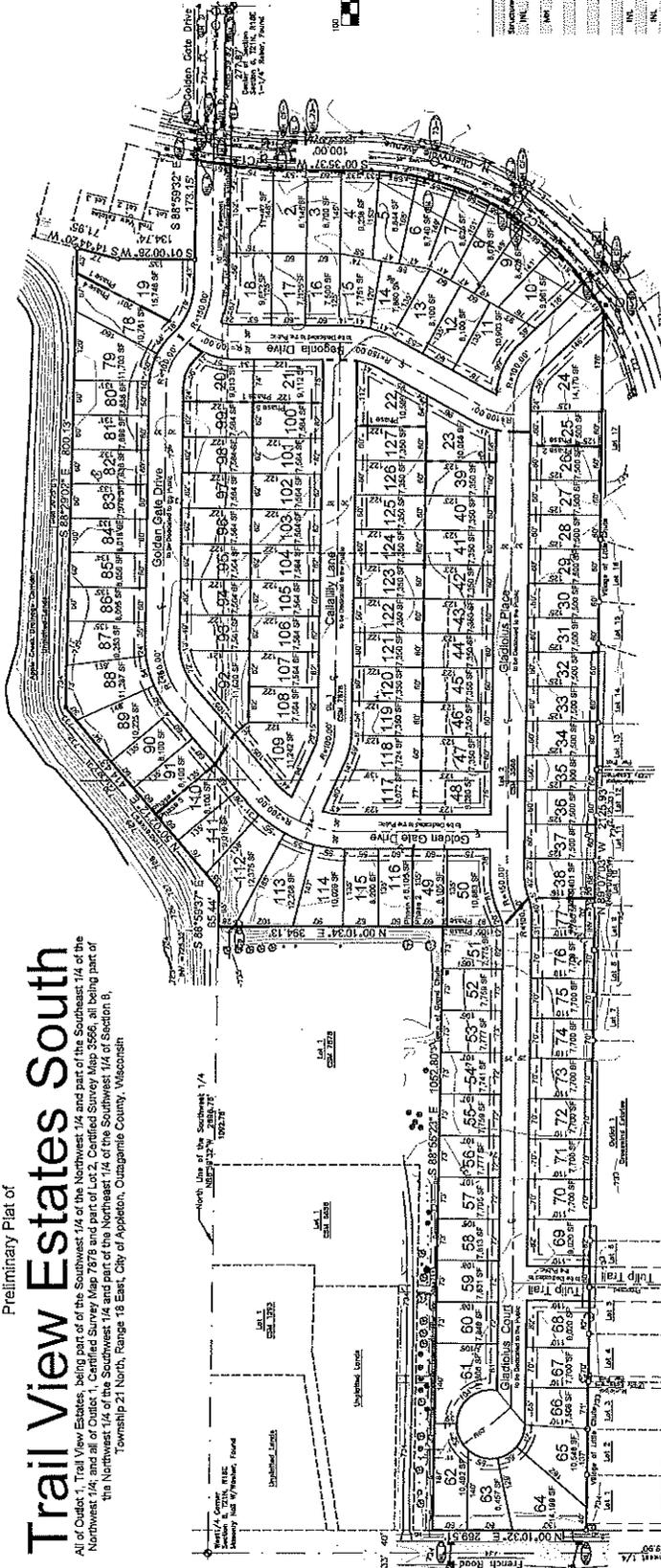
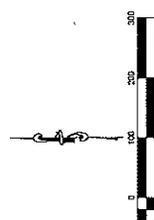
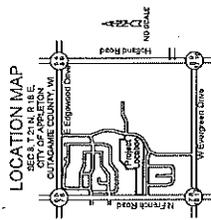


Jill M. Hendricks
Notary Public, State of Wisconsin
My commission ~~is~~/ expires: 10/19/2023

Preliminary Plat of

Trail View Estates South

All of Outlot 1, Trail View Estates, being part of the Southwest 1/4 and part of the Southeast 1/4 of the Northwest 1/4 and all of Outlot 1, Certified Survey Map 7878 and part of Lot 2, Certified Survey Map 3556, all being part of the Northwest 1/4 and all of Outlot 1, Certified Survey Map 7878 and part of the Northeast 1/4 of the Southwest 1/4 of Section 8, Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin



Storm Structures

Structure # (City)	Run	Flow	Spill	Material	Direction
SNL A	733.64	733.64	12'	PVC	SW
SNL B	733.64	733.64	12'	PVC	SW
SNL C	733.64	733.64	12'	PVC	SW
SNL D	733.64	733.64	12'	PVC	SW
SNL E	733.64	733.64	12'	PVC	SW
SNL F	733.64	733.64	12'	PVC	SW
SNL G	733.64	733.64	12'	PVC	SW
SNL H	733.64	733.64	12'	PVC	SW
SNL I	733.64	733.64	12'	PVC	SW
SNL J	733.64	733.64	12'	PVC	SW
SNL K	733.64	733.64	12'	PVC	SW
SNL L	733.64	733.64	12'	PVC	SW
SNL M	733.64	733.64	12'	PVC	SW
SNL N	733.64	733.64	12'	PVC	SW
SNL O	733.64	733.64	12'	PVC	SW
SNL P	733.64	733.64	12'	PVC	SW
SNL Q	733.64	733.64	12'	PVC	SW
SNL R	733.64	733.64	12'	PVC	SW
SNL S	733.64	733.64	12'	PVC	SW

Sanitary Structures

Structure # (City)	Run	Flow	Spill	Material	Direction
SM 1	733.64	733.64	12'	PVC	SW
SM 2	733.64	733.64	12'	PVC	SW
SM 3	733.64	733.64	12'	PVC	SW
SM 4	733.64	733.64	12'	PVC	SW
SM 5	733.64	733.64	12'	PVC	SW
SM 6	733.64	733.64	12'	PVC	SW
SM 7	733.64	733.64	12'	PVC	SW
SM 8	733.64	733.64	12'	PVC	SW
SM 9	733.64	733.64	12'	PVC	SW
SM 10	733.64	733.64	12'	PVC	SW

Supplementary Data

Item	Value
1. Total Area	1,362,146 SF, 31.0111 acres
2. Net Area	1,305,523 SF, 29.9253 acres
3. Number of Lots	177
4. Area of Lots	1,305,523 SF, 29.9253 acres
5. Area of Streets	56,623 SF, 1.2858 acres
6. Area of Other	0 SF, 0.0000 acres
7. Zoning	Residential Single-Family (RS)
8. Project zoning	RS

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LEGEND

- 1. 1/4" = 1' Scale
- 2. 1/8" = 1' Scale
- 3. 1/16" = 1' Scale
- 4. 1/32" = 1' Scale
- 5. 1/64" = 1' Scale
- 6. 1/128" = 1' Scale
- 7. 1/256" = 1' Scale
- 8. 1/512" = 1' Scale
- 9. 1/1024" = 1' Scale
- 10. 1/2048" = 1' Scale
- 11. 1/4096" = 1' Scale
- 12. 1/8192" = 1' Scale
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- 16. 1/131072" = 1' Scale
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- 185. 1/9807973147560886844711111111111111111111" = 1' Scale

NOTES:

1. Liberty and Drainage Easements will be shown on Final Plat.
2. All dimensions are in feet and inches.
3. All areas are in square feet.
4. All volumes are in cubic feet.
5. All bearings are in degrees, minutes, and seconds.
6. All curves are in feet.
7. All grades are in percent.
8. All elevations are in feet above mean sea level.
9. All structures are to be constructed in accordance with the applicable building code.
10. All utilities are to be installed in accordance with the applicable utility code.
11. All easements are to be shown on the final plat.
12. All setbacks are to be shown on the final plat.
13. All encroachments are to be shown on the final plat.
14. All errors are to be corrected by the engineer.
15. All questions are to be directed to the engineer.

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 4. Area of Lots: 1,305,523 SF, 29.9253 acres
 5. Area of Streets: 56,623 SF, 1.2858 acres
 6. Area of Other: 0 SF, 0.0000 acres
 7. Zoning: Residential Single-Family (RS)
 8. Project zoning: RS

Supplementary Data

1. Total Area: 1,362,146 SF, 31.0111 acres
 2. Net Area: 1,305,523 SF, 29.9253 acres
 3. Number of Lots: 17



Little Chute

ESTABLISHED 1848

Funding Street Reconstruction
September 16th 2020

Introduction

This presentation is meant as a basic overview of how the Village of Little Chute funds street reconstruction. This effort is meant to ensure all stakeholders have a basic understanding of the moving parts, options/alternatives, and how these facets impact the overall financial picture for the Village of Little Chute.

DISCLAIMER – the Village of Little Chute **MUST** not get too far away from 1 mile of reconstruction per year. This is essentially putting off the costs now only to have future generations and future costs grow. It also will vastly impact utility operations.

Presentation Outline

- Defining Reconstruction
- Current Street Assessment Overview
- Overview of Recent Efforts
- Alternative Methods and Analysis
- Recommended Next Steps
- Conclusion

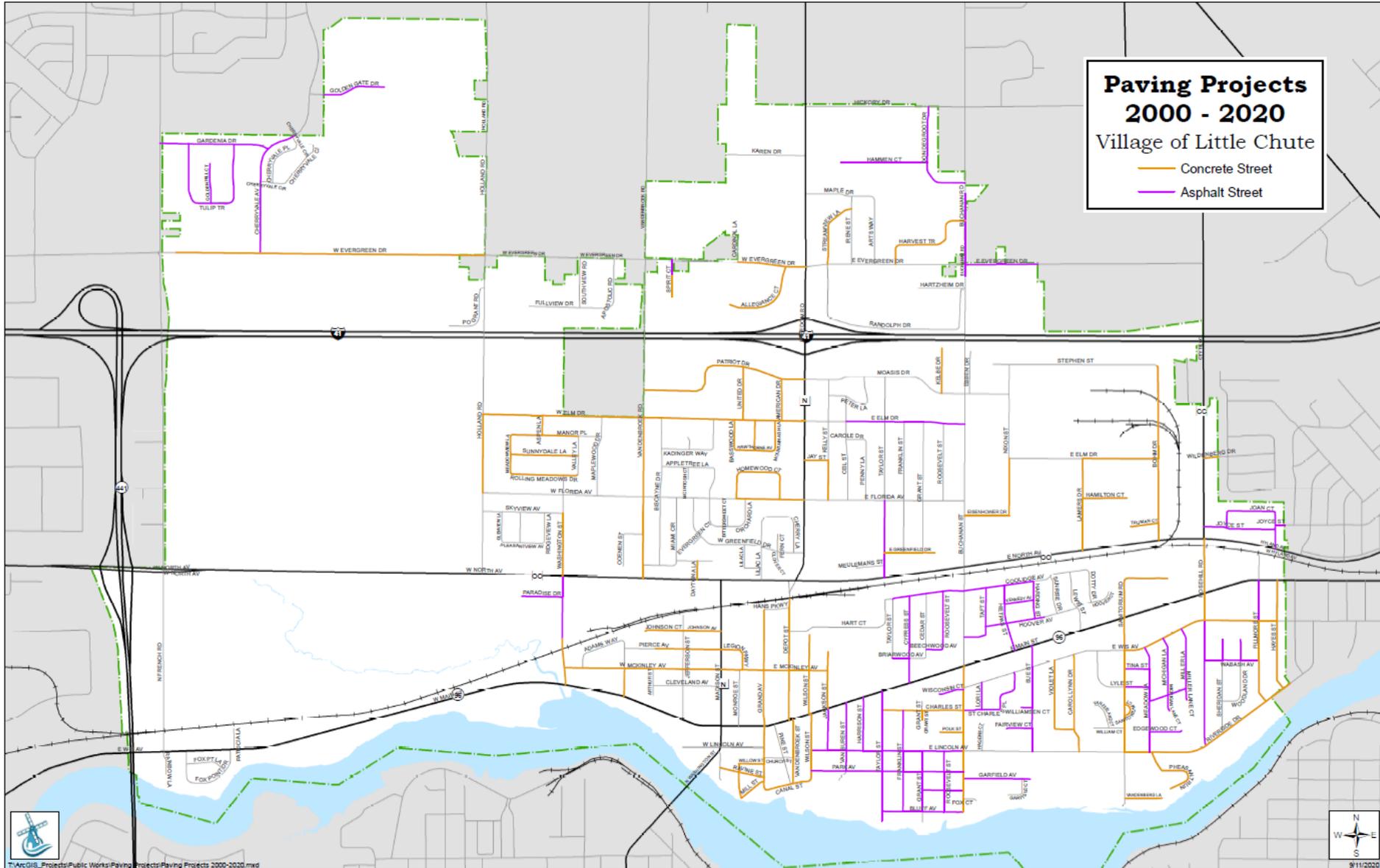
What is Reconstruction?

- Reconstruction is the complete overhaul of a village roadway. This would exclude new subdivisions (Gardenia, Tulip, Hammen, DeGroot), annexed roadways (Evergreen Drive), or new right of way construction (Hartzheim Drive)
- Reconstruction typically also includes reconstruction of underground utilities (Storm, Sewer, Water)
- Reconstruction also typically contains new curb and gutter, sidewalks, aprons, and full concrete street
- Asphalt overlays and spot repair, like the 2019 Park Avenue project, are not considered reconstruction

Current Street Assessment Information

- According to the DOT, we have ~55 miles of centerline road
- Paving costs are general fund responsibility, while the utilities are responsible for their respective main costs
- If we presume that the finished product is a concrete street, we should be reconstructing approximately 1 mile of centerline road per year to stay consistent with the life cycle of concrete
- Using very basic estimates, 1 mile of paving would cost approximately \$1.5M (excluding utilities)
- Using the policy goal of assessing 60/40, that means that we are assessing approximately \$900k annually and the village is funding \$600k

2000 – 2020 Paving History



Current Assessment Policy

- The current assessment policy calls for a road diet consisting of two drive lanes and one parking lane unless dictated otherwise
- Resident cost (one parking): \$95.10
- Commercial cost (one parking): \$121.11
- For new construction, we recommend staying with current policy as other communities have done

Pros and Cons of the Current Policy

Pros	Cons
Steady and consistent funding source	Cost control is difficult (inflation) which means higher portions end up on the levy
Assessment directly benefits property	Residents, understandably, do not like being assessed
Assess non-taxable properties (County/School/Nonprofit)	Administratively burdensome for staff
We assess for utilities, so assessing for street is an efficient process	

Alternatives to Current Policy

- Lower Assessment Ratio and move more to levy supported efforts
- Create a transportation utility
- Shift assessments completely to the levy
- Combination of the above options

Pros and Cons of Lowering Ratio and Shifting Costs to Levy

Pros	Cons
Residents being assessed would see relief	Residents being assessed, even if halved, would still not like the process
Could use outside sources like wheel tax to support and reduce assessment ration/per foot cost	Continued administrative burden for staff
Could use outside sources like sales tax to support (cannot be used to lower assessments but can be used to lower levy support)	Levy pressure and limits outside of our control
	Wheel tax addresses vehicle use but not generation (commercial carriers)

Pros and Cons of Transportation Utility Fee

Pros	Cons
Equitable in the big picture	Administratively burdensome to create and maintain (multi-tenants, updates, vacancies, no vehicles, etc.)
All users pay their “fair share”, including non-taxable properties	Must ensure it does not hamper business
Can be a mix of utility and levy support	Those that have been assessed in the past would have to be addressed
If starting from scratch, this would be policy recommendation	Still must address utility costs one way or another
Annual construction meetings/hearings would be more focused on the best allocation of resources	Must be done appropriately to avoid legal challenge – becoming a target in some circles

Reconstruction Costs all Levy Supported

Pros	Cons
Equitable in the big picture	Nontaxable properties would not contribute
Annual construction meetings/hearings would be more focused on the best allocation of resources	Levy pressure and lack of local control
Little to no administrative burden	Those that have been assessed in the past would have to be addressed
	Still must address utility costs one way or another
	Mill rate would be higher to accommodate and is a metric many use to assess performance

Combination of all of the Above

- There is nothing to say that we can't create a multi-featured policy to fund this effort
- Far and away, this discussion is one that all communities grapple with
- Stakeholders and demands on the issue are multifaceted
- This would take a careful, scalpel like approach to arriving at something that addresses all issues/stakeholders
- Could use external sources like sales tax or wheel tax to supplement
- Some communities assign a percentage of street reconstruction to each utility below the road (Kimberly)

Next Steps

- This is not an issue that can be addressed overnight
- Citizen input and outreach is mandatory for success
- Create a taskforce/subcommittee - Gather the SMEs, Board, and interested stakeholders and study the options in depth
- Engage the community
- Roll out new policy, if deemed necessary

Projected Timeline

- Identify Taskforce members – October 2021
- Taskforce identifies goals/issues and ideal state – December 2021
- Taskforce narrows options – January 2021
- Taskforce studies alternatives in depth along with “what-if” analysis – March 2021
- Taskforce engages board/public – May 2021
- Taskforce makes a recommendation – June 2021
- Board acts – July 2021

Conclusion

- Largest asset for government funds (~50%) - Outside of annual operations/services, the maintenance of roads/utilities is our core responsibility
- We must maintain an adequate level of effort
- We should strive for consistency in our approach
- We must accept that annual costs will continue to increase – plan for it
- Given the CIP, this is the ideal timeframe to make changes (if warranted) and have in place by 2022 or the latest by 2023