



# AGENDA

## REGULAR BOARD MEETING

PLACE: Little Chute Village Hall  
DATE: Wednesday, February 3, 2021  
TIME: 6:00 P.M.

**Virtually attend the February 3rd Regular Board meeting at 6 PM by following the zoom link here:**

Join Zoom Meeting (Please note this is a change from previous Go To Meetings used in past meetings)

<https://zoom.us/j/95442392113>

Meeting ID: 954 4239 2113

+1 312 626 6799 US (Chicago)

Meeting ID: 954 4239 2113

For further details please refer to additional Information immediately following agenda.

### REGULAR ORDER OF BUSINESS

- A. Roll call of Trustees
- B. Roll call of Officers and Department Heads
- C. Public Appearance for Items Not on the Agenda
- D. Consent Agenda  
*Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.*
  - 1. Minutes of Regular Board Meeting of January 20, 2021
  - 2. Disbursement List
- E. Discussion/Action—Setzer/FedEx Site Plan
- F. Discussion—Landfill Odor
- G. Action—Nelson Crossing Site Amenities
- H. Action—Ordinance No. 1, Series 2021 Amending Chapter 2 Administration, Article V Board, Commissions and Committees Section 2-157 of the Village of Little Chute Municipal Code

- I. Action—Personnel Manual Amendments
- J. Action—Commission Appointments
- K. Discussion—Covid-19 Updates
- L. Department and Officers Progress Reports
- M. Call for Unfinished Business
- N. Items for Future Agenda
- O. Closed Session:  
19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Development Negotiations*
- P. Return to Open Session
- Q. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852,. Prepared: January 29, 2021



### **Information for the Regular Board Meeting – February 3, 2021 – 6:00 PM**

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16<sup>th</sup>, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the February 3rd Regular Board Meeting at 6:00 PM by following the link here:  
<https://zoom.us/j/95442392113>  
Meeting ID: 954 4239 2113  
+1 312 626 6799 US (Chicago)  
Meeting ID: 954 4269 2113
2. Find your local number: <https://zoom.us/u/alPccKswC>
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at [james@littlechutewi.org](mailto:james@littlechutewi.org)
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at [james@littlechutewi.org](mailto:james@littlechutewi.org) or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

## **MINUTES OF THE REGULAR BOARD MEETING OF JANUARY 20, 2021**

Call to Order: President Vanden Berg called the Regular Board Meeting to Order at 6:00 p.m.

### **Roll call of Trustees**

PRESENT: Michael Vanden Berg, President  
Larry Van Lankvelt, Trustee  
Skip Smith, Trustee  
Bill Peerenboom, Trustee  
Brian Van Lankveldt, Trustee  
Don Van Deurzen, Trustee  
James Hietpas, Trustee

### **Roll call of Officers and Department Heads**

PRESENT: James Fenlon, Village Administrator  
Adam Breest, Director of Parks, Recreation and Forestry  
Dave Kittel, Community Development Director  
Lisa Remiker-DeWall, Finance Director  
Kent Taylor, Director of Public Works  
Katherine Freund, LC Library Director  
Dan Meister, Fox Valley Metro Police Chief  
Chris Murawski, Village Engineer  
Donna Koebe, Program Supervisor  
EXCUSED: Laurie Decker, Village Clerk  
Tyler Claringbole, Village Attorney

### **Public Appearance for Items Not on the Agenda**

None

### **Consent Agenda**

*Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.*

1. Minutes of Regular Board Meeting of January 6, 2021
2. Disbursement List

*Moved by Trustee B. Van Lankveldt, seconded by Trustee Smith to Approve the Consent Agenda items as listed*

Ayes 7, Nays 0 – Motion Carried

### **Other Informational Items—December Fire Monthly Report and December Monthly Report**

#### **Presentation—2021 Concrete Pavement Cross-Section (Hartzheim Dr. & Evergreen Dr.)**

Engineer Murawski went over the recommendation to construct the road cross section as presented for Evergreen Drive Phase 2 and Hartzheim Drive. Engineering staff is requesting direction for installing a 5-foot walk in Hartzheim drive with the current project. Trustee Peerenboom would like a sidewalk at least on the northside to keep pedestrians off of Hartzheim Drive. Trustee L. Van Lankvelt agreed that the sidewalk would be a good idea.



**Discussion/Action— CTH N Traffic Signal Agreement**

Administrator Fenlon advised the Board that this is a carryover from 2020 to 2021. There will be a formal budget amendment brought forward in February and staff is recommending approval.

*Moved by Trustee L. Van Lankvelt, seconded by Trustee Van Deurzen to Approve the agreement as presented.*

Ayes 7, Nays 0 – Motion Carried

**Discussion/Action— CTH OO Sanitary Sewer Reconstruction**

Director Taylor advised the Board that staff and the Utility Commission are recommending approval of the proposed replacement of the 10” sanitary sewer main and appurtenances on Hwy “OO” from Bohm Drive to Rosehill Road and Rosehill Road from Hwy “OO” to Joyce Street and associated work including 2021 budget amendment to provide funding of the project.

*Moved by Trustee Smith, seconded by Trustee L. Van Lankvelt to Approve the Sanitary Sewer Reconstruction for \$313,595.38 as presented*

Ayes 7, Nays 0 – Motion Carried

**Discussion— Park Planning Committee**

Director Breest presented the draft ordinance to Amend Chapter 2 Administration, Article V Board Commissions and Committees Section 2-157 of the Village of Little Chute Municipal Code. This Ordinance would enable the Park Planning Committee as an official Committee of the Village. The proposal will include six citizen members and one board member.

**Discussion— 2021 Cheesefest Special Event Permit**

Mr. Joe Harlow from the Great Wisconsin Cheese Festival is looking for direction for holding the Great Wisconsin Cheese Festival in early June. Trustee Smith gave his approval for the application. Administrator Fenlon will check the State guidelines on large gathering per a question from Trustee B. Van Lankveldt. Trustee Peerenboom suggested to proceed with the planning but should be addressed again in March or April depending on the Covid numbers and vaccination availability. Mr. Harlow would like to have an answer 60 days prior (April 1<sup>st</sup>) to the event to be able to cancel or finalize all the plans needed to put on the festival. Trustee B. Van Lankveldt felt by April 1<sup>st</sup> the Board should be able to make the decision.

**Discussion— 2021 Personnel Manual**

Administrator Fenlon went over some changes made to the Personnel Manual for 2021. This is for discussion only and will be brought back to the Board for approval at the February 3<sup>rd</sup> Regular Board Meeting.

**Discussion— 2021 Holiday Guidance**

Administrator Fenlon provided the dates for the 2021 holidays for discussion only and will come back on February 3<sup>rd</sup> for final approval.

**Discussion—Covid-19 Updates**

Administrator Fenlon advised the vaccine will be available for the Fire and Police Departments starting next week and thanked Smith Pharmacy.

**Department and Officers Progress Reports**

Departments and Officers provided progress reports to the Board

**Call for Unfinished Business**

None

**Items for Future Agenda**

None

**Closed Session:**

19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Economic Development Proposals*

*Moved by Trustee Smith, seconded by Trustee B. Van Lankveldt to enter into closed session*

Ayes 7, Nays 0 – Motion Carried

**Return to Open Session**

*Moved by Trustee Smith, seconded by Trustee B. Van Lankveldt to exit closed session*

Ayes 7, Nays 0 – Motion Carried

**Adjournment**

*Moved by Trustee Van Deurzen, seconded by Trustee B. Van Lankveldt to Adjourn the Regular Board Meeting at 9:17 p.m.*

Ayes 7, Nays 0 – Motion Carried

**VILLAGE OF LITTLE CHUTE**

By: \_\_\_\_\_  
Michael R. Vanden Berg, Village President

Attest: \_\_\_\_\_  
Laurie Decker, Village Clerk

## Disbursement List - February 3, 2021

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Payroll & Payroll Liabilities - January 21, 2021	\$215,630.96
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Prepaid Invoices - January 22, 2021	\$854,484.31
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Prepaid Invoices - January 29, 2021	\$103,721.83
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Prepaid Invoices -	
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Utility Commission-

### **CURRENT ITEMS**

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Bills List - February 3, 2021	\$894,631.39
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<b>Total Payroll, Prepaid &amp; Invoices</b>	<b>\$2,068,468.49</b>
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The above payments are recommended for approval:

Rejected: \_\_\_\_\_

\_\_\_\_\_

Approved February 3, 2021

\_\_\_\_\_  
Michael R Vanden Berg, Village President

\_\_\_\_\_  
Laurie Decker, Clerk

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
2020 TAX REFUNDS (5158)							
260085100	Invoi	2020 TAX REFUND	2,250.60	Open	Non	01/21	803-21215
260324700	Invoi	2020 TAX REFUND	96.24	Open	Non	01/21	803-21215
260427000	Invoi	2020 TAX REFUND	70.15	Open	Non	01/21	803-21215
Total 2020 TAX REFUNDS (5158):			2,416.99				
ARING EQUIPMENT CO INC (577)							
766037	Invoi	MIRROR #26	80.01	Open	Non	01/21	101-53330-225
Total ARING EQUIPMENT CO INC (577):			80.01				
BAYCOM (1318)							
31849	Invoi	SERVICE AGREEMENT 1/1/20 - 12/31/21	2,534.11	Open	Non	01/21	101-52200-204
Total BAYCOM (1318):			2,534.11				
CELLCOM (4683)							
303409	Invoi	ENGINEERING PHONE CHARGES	241.27	Open	Non	01/21	452-57331-203
303409	Invoi	DPW PHONE CHARGES	317.71	Open	Non	01/21	101-53310-203
303409	Invoi	PARKS PHONE CHARGES	58.99	Open	Non	01/21	101-55200-203
303409	Invoi	REC PHONE CHARGES	109.05	Open	Non	01/21	101-55300-203
303409	Invoi	FACILITIES PHONE CHARGES	45.06	Open	Non	01/21	101-51650-203
303409	Invoi	INSPECTOR PHONE CHARGES	45.06	Open	Non	01/21	101-52050-203
303409	Invoi	COMMUNITY DEVELOPER CHARGES	45.06	Open	Non	01/21	101-51530-208
303409	Invoi	IPAD STORM	280.34	Open	Non	13/20	630-53442-218
303409	Invoi	IPAD STREETS	280.34	Open	Non	13/20	101-53300-218
303409	Invoi	IPAD VEHICLE MAINTENANCE	280.34	Open	Non	13/20	101-53330-218
303409	Invoi	IPAD SANITARY SEWER	280.34	Open	Non	13/20	610-53612-218
303409	Invoi	IPAD STREETS	280.34	Open	Non	13/20	101-53300-218
Total CELLCOM (4683):			2,263.90				
CITY OF APPLETON (68)							
6040	Invoi	DECEMBER 2020 TRANSIT	7,789.00	Open	Non	13/20	101-51780-233
Total CITY OF APPLETON (68):			7,789.00				
CITY OF KAUKAUNA (1488)							
5268	Invoi	FOX RIVER BOARD WALK MICHEL'S PAYMENT #4	672,781.19	Open	Non	01/21	420-57620-277
Total CITY OF KAUKAUNA (1488):			672,781.19				
FEHR GRAHAM ENGINEERING & (4414)							
98691	Invoi	2020 ANNUAL SAFETY REQUIREMENTS	4,350.00	Open	Non	13/20	101-53310-213
Total FEHR GRAHAM ENGINEERING & (4414):			4,350.00				
GFC LEASING - WI (4989)							
100632243	Invoi	GFC PW COPIER LEASING	92.26	Open	Non	01/21	101-53310-207
Total GFC LEASING - WI (4989):			92.26				
HEARTLAND BUSINESS SYSTEMS (3449)							
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	201-53620-206
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	610-53614-206
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	620-53904-206

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	630-53443-206
Total HEARTLAND BUSINESS SYSTEMS (3449):			551.88				
KAUKAUNA UTILITIES (234)							
JANUARY 2021	Invoi	SAFETY CENTER	404.82	Open	Non	01/21	101-52250-249
JANUARY 2021	Invoi	SAFETY CENTER	607.24	Open	Non	01/21	207-52120-249
JANUARY 2021	Invoi	VILLAGE HALL PLAZA	18.00	Open	Non	01/21	101-51650-249
JANUARY 2021	Invoi	VILLAGE HALL	894.02	Open	Non	01/21	101-51650-249
JANUARY 2021	Invoi	CIVIC CENTER	868.08	Open	Non	01/21	206-55110-249
JANUARY 2021	Invoi	MUNICIPAL POOL	139.95	Open	Non	01/21	204-55420-249
JANUARY 2021	Invoi	BALLFIELD DPI/SHED LIGHTS	134.69	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	DOYLE PARK STAGE	40.71	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	DOYLE PARK BALLFIELD DP2 LIGHT	59.08	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	HEESAKKER PARK TRAIL	30.30	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	HERITAGE PARK	23.70	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	LEGION PARK RESTROOMS	343.85	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT PARK	244.31	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT BALLFIELD	177.09	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT PK SECURITY LT	65.03	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	LINCOLN AVE E HEESAKKER PARK	373.79	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	PUMP STATION JEFFERSON ST	246.78	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	#4 WELL EVERGREEN DR	4,608.52	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	#3 WELL WASHINGTON ST	299.34	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	STEPHEN ST TOWER/LIGHTING	213.23	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	CANAL BRIDGE - NORTH SIDE	18.88	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	CANAL BRIDGE - SOUTH SIDE	40.99	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SECURITY LIGHT	13.69	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/GRAND & MAIN	48.39	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	COMMUNITY BRIDGE LIGHTING	179.66	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/MAIN & MADISON	50.54	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	STREET LIGHTING	9,531.01	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/NORTH & BUCHANAN	32.16	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	PATRIOT DR FLAG POLE	36.00	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/NE CORNER N & ELM	95.76	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	STEPHEN ST SIGN	16.24	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	1401 E ELM DR	1,038.61	Open	Non	01/21	101-53310-249
JANUARY 2021	Invoi	721 W ELM DR	163.11	Open	Non	01/21	208-52900-249
JANUARY 2021	Invoi	DOYLE PARK WELL	3,620.24	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	1800 STEPHEN ST STORM	256.77	Open	Non	01/21	630-53441-249
Total KAUKAUNA UTILITIES (234):			24,934.58				
MADISON NATIONAL LIFE (4857)							
1425267	Invoi	FEBRUARY LTD	962.48	Open	Non	01/21	101-21385
1425267	Invoi	FEBRUARY LIFE	437.31	Open	Non	01/21	101-21391
Total MADISON NATIONAL LIFE (4857):			1,399.79				
MCCLONE (4766)							
4176	Invoi	1ST QTR WORKERS COMP	253.00	Open	Non	01/21	101-51900-230
4176	Invoi	1ST QTR WORKERS COMP	85.00	Open	Non	01/21	206-55110-230
4176	Invoi	1ST QTR WORKERS COMP	50.00	Open	Non	01/21	207-52120-230
4176	Invoi	1ST QTR WORKERS COMP	21.00	Open	Non	01/21	610-53614-230
4176	Invoi	1ST QTR WORKERS COMP	23.00	Open	Non	01/21	620-53924-230
4176	Invoi	1ST QTR WORKERS COMP	16.00	Open	Non	01/21	630-53444-230
4176	Invoi	1ST QTR WORKERS COMP	15,455.00	Open	Non	01/21	101-51900-230

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
4176	Invoi	1ST QTR WORKERS COMP	1,729.00	Open	Non	01/21	201-53620-230
4176	Invoi	1ST QTR WORKERS COMP	1,086.00	Open	Non	01/21	204-55420-230
4176	Invoi	1ST QTR WORKERS COMP	931.00	Open	Non	01/21	610-53614-230
4176	Invoi	1ST QTR WORKERS COMP	2,650.00	Open	Non	01/21	630-53444-230
4176	Invoi	1ST QTR WORKERS COMP	519.00	Open	Non	01/21	620-53924-230
4176	Invoi	1ST QTR WORKERS COMP	12,888.00	Open	Non	01/21	207-52120-230
4176	Invoi	1ST QTR WORKERS COMP	1,495.00	Open	Non	01/21	101-52250-230
4176	Invoi	1ST QTR GENERAL LIABILITY	6,157.00	Open	Non	01/21	101-51900-231
4176	Invoi	1ST QTR GENERAL LIABILITY	158.00	Open	Non	01/21	101-52250-231
4176	Invoi	1ST QTR GENERAL LIABILITY	437.00	Open	Non	01/21	201-53620-231
4176	Invoi	1ST QTR GENERAL LIABILITY	275.00	Open	Non	01/21	204-55420-231
4176	Invoi	1ST QTR GENERAL LIABILITY	882.00	Open	Non	01/21	206-55110-231
4176	Invoi	1ST QTR GENERAL LIABILITY	6,836.00	Open	Non	01/21	207-52120-231
4176	Invoi	1ST QTR GENERAL LIABILITY	437.00	Open	Non	01/21	101-51900-231
4176	Invoi	1ST QTR GENERAL LIABILITY	454.00	Open	Non	01/21	610-53614-231
4176	Invoi	1ST QTR GENERAL LIABILITY	293.00	Open	Non	01/21	620-53924-231
4176	Invoi	1ST QTR GENERAL LIABILITY	842.00	Open	Non	01/21	630-53444-231
4176	Invoi	1ST QTR POLICE LIABILITY	4,103.00	Open	Non	01/21	207-52120-231
4176	Invoi	1ST QTR AUTO LIABILITY	2,291.00	Open	Non	01/21	201-53620-231
4176	Invoi	1ST QTR AUTO LIABILITY	2,836.00	Open	Non	01/21	101-51900-231
4176	Invoi	1ST QTR AUTO LIABILITY	4,035.00	Open	Non	01/21	101-52250-231
4176	Invoi	1ST QTR AUTO LIABILITY	873.00	Open	Non	01/21	207-52120-231
4176	Invoi	1ST QTR AUTO LIABILITY	109.00	Open	Non	01/21	620-53924-231
4176	Invoi	1ST QTR AUTO LIABILITY	764.00	Open	Non	01/21	630-53444-231
Total MCCLONE (4766):			68,983.00				
PUBLIC SERVICE COMMISSION (723)							
2012-I-03140	Invoi	12/01/20 - 12/31/20 PSC DIRECT ASSESSMENT	125.90	Open	Non	13/20	620-53924-262
Total PUBLIC SERVICE COMMISSION (723):			125.90				
SCHWAAB INC (1925)							
5641564	Invoi	PRE-INKED STAMP	76.25	Open	Non	01/21	206-55110-218
Total SCHWAAB INC (1925):			76.25				
SILVERLEAF LLC (4560)							
260440504-FINAL	Invoi	DEVELOPMENT INCENTIVE-EAGLE SUPPLY & PL	25,679.90	Open	Non	01/21	414-57400-266
Total SILVERLEAF LLC (4560):			25,679.90				
TIME WARNER CABLE (89)							
01/21 66256890150	Invoi	JANUARY/FEBRUARY SERVICE	12.36	Open	Non	01/21	101-52200-208
01/21 71538770140	Invoi	JANUARY/FEBRUARY SERVICE	550.00	Open	Non	01/21	101-53310-203
Total TIME WARNER CABLE (89):			562.36				
TRANSAMERICA LIFE INSURANCE COMPANY (4355)							
2504037058	Invoi	JANUARY BILLING	467.36	Open	Non	01/21	101-21364
Total TRANSAMERICA LIFE INSURANCE COMPANY (4355):			467.36				
VFIS (2923)							
105126121	Invoi	2021 GROUP TERM LIFE	4,298.05	Open	Non	01/21	101-52200-104
2021-LOSA	Invoi	2021 ADMINISTRATIVE FEE-LOSA	18,125.90	Open	Non	01/21	101-52200-104
31007903-21	Invoi	2021 CONTRIBUTION LOSAP-#31007903-21	13,730.00	Open	Non	01/21	101-52200-104

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
Total VFIS (2923):			36,153.95				
VILLAGE OF LITTLE CHUTE (1404)							
JANUARY 2021	Invoi	3609 FREEDOM RD	18.15	Open	Non	01/21	630-53441-249
JANUARY 2021	Invoi	721 W ELM	41.00	Open	Non	01/21	208-52900-249
JANUARY 2021	Invoi	1401 E ELM DR	892.15	Open	Non	01/21	101-53310-249
JANUARY 2021	Invoi	206 KAREN DR	8.25	Open	Non	01/21	416-57600-249
JANUARY 2021	Invoi	200 KAREN DR	8.25	Open	Non	01/21	416-57600-249
JANUARY 2021	Invoi	#3 WELL WASHINGTON ST	12.38	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	DOYLE PARK WELL #1	12.26	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	PUMP STATION JEFFERSON ST	36.82	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	DOYLE PARK POOL	10.97	Open	Non	01/21	204-55420-249
JANUARY 2021	Invoi	DOYLE PARK POOL/RESTROOMS	293.29	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	DOYLE PARK POOL/RESTROOMS	293.29	Open	Non	01/21	204-55420-249
JANUARY 2021	Invoi	HEESAKKER PARK RESTROOM	52.33	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT PARK	120.45	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	LEGION PARK RESTROOMS	367.95	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	HERITAGE PARK	5.78	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	CIVIC CENTER	281.94	Open	Non	01/21	206-55110-249
JANUARY 2021	Invoi	VILLAGE HALL	132.15	Open	Non	01/21	101-51650-249
JANUARY 2021	Invoi	GB & MISS CANAL CO	4.95	Open	Non	01/21	101-51780-249
JANUARY 2021	Invoi	SAFETY CENTER	291.62	Open	Non	01/21	207-52120-249
JANUARY 2021	Invoi	SAFETY CENTER	72.90	Open	Non	01/21	101-52250-249
Total VILLAGE OF LITTLE CHUTE (1404):			2,956.88				
WARRANT PAYMENTS (4565)							
M21000525	Invoi	WARRANT- HOULIHAN	285.00	Open	Non	01/21	207-21495
Total WARRANT PAYMENTS (4565):			285.00				
Grand Totals:			854,484.31				

## Report GL Period Summary

Vendor number hash: 72796  
Vendor number hash - split: 317125  
Total number of invoices: 25  
Total number of transactions: 123

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	854,484.31	854,484.31
Grand Totals:	854,484.31	854,484.31

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
2020 TAX REFUNDS (5158)							
260078200	Invoi	2020 TAX REFUND	2,596.52	Open	Non	01/21	803-21215
260080400	Invoi	2020 TAX REFUND	95.88	Open	Non	01/21	803-21215
Total 2020 TAX REFUNDS (5158):			2,692.40				
5 ALARM FIRE & SAFETY EQUIPMENT (4319)							
203335-1	Invoi	GAS CYLINDER	310.00	Open	Non	01/21	101-52200-218
Total 5 ALARM FIRE & SAFETY EQUIPMENT (4319):			310.00				
AMERICAN FIDELITY ASSURANCE (4885)							
2090625	Invoi	FLEX SPENDING JANUARY	1,380.72	Open	Non	01/21	101-21368
2091209	Invoi	FLEX SPENDING JANUARY	1,380.72	Open	Non	01/21	101-21368
D255978	Invoi	JANUARY BILLING	1,409.50	Open	Non	01/21	101-21367
D268258	Invoi	FEBRUARY BILLING	1,349.46	Open	Non	02/21	101-21367
Total AMERICAN FIDELITY ASSURANCE (4885):			5,520.40				
ASCENSION MEDICAL GROUP-FOX VALLEY WI (2514)							
393060	Invoi	DRUG SCREEN	65.00	Open	Med	13/20	101-53310-213
Total ASCENSION MEDICAL GROUP-FOX VALLEY WI (2514):			65.00				
ASHWAUBENON DANCE TEAM (4326)							
INVITE 3/7/21	Invoi	DANCE INVITE FEE 3/7/21	287.00	Open	Non	01/21	101-55300-218
Total ASHWAUBENON DANCE TEAM (4326):			287.00				
AT& T (409)							
92078873810963 0	Invoi	JAN/FEB SERVICE	23.41	Open	Non	01/21	207-52120-203
92078873810963 0	Invoi	JAN/FEB SERVICE	117.05	Open	Non	01/21	101-53310-203
92078873810963 0	Invoi	JAN/FEB SERVICE	23.41	Open	Non	01/21	204-55420-203
92078873810963 0	Invoi	JAN/FEB SERVICE	93.63	Open	Non	01/21	620-53924-203
Total AT& T (409):			257.50				
BAYCOM (1318)							
31846	Invoi	SERVICE AGREEMENT 1/1/20 - 12/31/21	4,738.56	Open	Non	01/21	207-52120-204
Total BAYCOM (1318):			4,738.56				
DELTA DENTAL OF WISCONSIN (33)							
1543009	Invoi	JANUARY DENTAL	6,410.09	Open	Non	01/21	101-21345
1543009	Invoi	JANUARY VISION	361.91	Open	Non	01/21	101-21366
1556268	Invoi	FEBRUARY DENTAL	6,449.45	Open	Non	02/21	101-21345
1556268	Invoi	FEBRUARY VISION	432.83	Open	Non	02/21	101-21366
Total DELTA DENTAL OF WISCONSIN (33):			13,654.28				
DUDE SOLUTIONS INC (5174)							
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	101-55200-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	101-55300-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	101-53300-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	620-53924-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	630-53444-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,646.31	Open	Non	01/21	610-53614-204



Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,500.00	Open	Non	13/20	101-55200-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	101-53300-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	620-53924-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	630-53444-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	610-53614-204
Total DUDE SOLUTIONS INC (5174):			16,711.31				
HERRLING CLARK LAW FIRM LTD (208)							
4Q/20 131-10Q	Invoi	TID 4	231.00	Open	Atto	13/20	414-57400-262
4Q/20 131-10Q	Invoi	TID 6	2,425.50	Open	Atto	13/20	416-57600-262
4Q/20 131-10Q	Invoi	TID 8	731.50	Open	Atto	13/20	418-57800-262
4Q/20 131-10Q	Invoi	LEGAL MATTERS	3,740.41	Open	Atto	13/20	101-51110-262
4Q/20 131-10Q	Invoi	SEWER	885.50	Open	Atto	13/20	610-53614-262
4Q/20 131-10Q	Invoi	STORM	77.00	Open	Atto	13/20	630-53444-262
4Q/20 131-10Q	Invoi	REGISTER OF DEEDS	105.00	Open	Atto	13/20	221-56700-262
4Q/20 131-47Q	Invoi	TID 6	35.00	Open	Atto	13/20	416-57600-262
4Q/20 131-68Q	Invoi	LEGAL MATTERS	154.00	Open	Atto	13/20	101-51110-262
4Q/20 131-74Q	Invoi	TID 4	577.50	Open	Atto	13/20	414-57400-262
4Q/20 132-01M	Invoi	4Q/20 TRAFFIC MATTERS	7,931.00	Open	Atto	13/20	101-51110-262
Total HERRLING CLARK LAW FIRM LTD (208):			16,893.41				
MORTON SALT (352)							
5402194562	Invoi	ROAD SALT	33,082.25	Open	Non	13/20	101-53350-218
Total MORTON SALT (352):			33,082.25				
SCIENCE NEWS (5173)							
010121	Invoi	1 YEAR SUBSCRIPTION TO MAGAZINE	50.00	Open	Non	01/21	206-55110-207
Total SCIENCE NEWS (5173):			50.00				
SUN LIFE FINANCIAL (4312)							
232004-FEB 2021	Invoi	FEB STD	259.85	Open	Non	02/21	101-21365
Total SUN LIFE FINANCIAL (4312):			259.85				
TIME WARNER CABLE (89)							
01/21 71406480150	Invoi	JANUARY/FEBRUARY SERVICE	147.70	Open	Non	01/21	207-52120-203
Total TIME WARNER CABLE (89):			147.70				
VILLAGE OF COMBINED LOCKS (3145)							
FEBRUARY	Invoi	PROPERTY STORAGE AREA MONTHLY LEASE-FE	494.16	Open	Non	02/21	207-52120-204
JANUARY	Invoi	PROPERTY STORAGE AREA MONTHLY LEASE-JA	494.16	Open	Non	01/21	207-52120-204
Total VILLAGE OF COMBINED LOCKS (3145):			988.32				
WACPC INC (2032)							
JEM 2021	Invoi	JEM COMPETITION FEES	570.00	Open	Non	01/21	101-55300-218
Total WACPC INC (2032):			570.00				
WARRANT PAYMENTS (4565)							
M21000974	Invoi	WARRANT- HENNES	285.00	Open	Non	01/21	207-21495

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
Total WARRANT PAYMENTS (4565):			285.00				
WE ENERGIES (2788)							
4494800612 01/21	Invoi	721 W ELM DR	193.93	Open	Non	01/21	208-52900-249
4494800612 01/21	Invoi	1401 E ELM DR	2,898.56	Open	Non	01/21	101-53310-249
4494800612 01/21	Invoi	CROSSWINDS LED STREET LIGHTS	123.04	Open	Non	01/21	101-53300-249
4494800612 01/21	Invoi	108 W MAIN ST	674.50	Open	Non	01/21	101-51650-249
4494800612 01/21	Invoi	STREET LIGHTS	1,062.01	Open	Non	01/21	101-53300-249
4494800612 01/21	Invoi	LC WELL #4 PUMPHOUSE (625 E EVERGREEN)	335.73	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	CIVIC CENTER (630 MONROE ST)	886.08	Open	Non	01/21	206-55110-249
4494800612 01/21	Invoi	PLANT #2 (1118 JEFFERSON ST)	131.20	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	PLANT #1 (100 WILSON ST)	269.57	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	920 WASHINGTON ST	113.93	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	200 E MCKINLEY ST-FIRE DEPT	196.56	Open	Non	01/21	101-52250-249
4494800612 01/21	Invoi	200 E MCKINLEY ST-FVMPD	294.84	Open	Non	01/21	207-52120-249
4494800612 01/21	Invoi	DOYLE POOL	28.90	Open	Non	01/21	204-55420-249
Total WE ENERGIES (2788):			7,208.85				
Grand Totals:			103,721.83				

## Report GL Period Summary

Vendor number hash: 79797  
Vendor number hash - split: 162360  
Total number of invoices: 29  
Total number of transactions: 61

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	103,721.83	103,721.83
Grand Totals:	103,721.83	103,721.83

## Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Description	Total Cost	Period	GL Account
<b>ADVANCE CONSTRUCTION INC</b>				
2020005	DOWNTOWN STORM SEWER PROJECT	184,347.40	01/21	418-51219-263
Total ADVANCE CONSTRUCTION INC:		184,347.40		
<b>AMERICAN WATER WORKS ASSOCIATION</b>				
7001882724	2021 MEMBERSHIP-TAYLOR	394.00	01/21	620-53924-208
Total AMERICAN WATER WORKS ASSOCIATION:		394.00		
<b>AMPLITEL TECHNOLOGIES</b>				
17043	MDC REPLACEMENT BATTERY	55.00	01/21	207-52120-205
Total AMPLITEL TECHNOLOGIES:		55.00		
<b>APPLETON TROPHY &amp; ENGRAVING</b>				
25669	METAL NAMETAGS	24.00	01/21	207-52120-212
Total APPLETON TROPHY & ENGRAVING:		24.00		
<b>ASCAP</b>				
500636518-2021	MUSIC/ENTERTAIN LICENSE FEE 2021	367.33	01/21	101-55300-204
Total ASCAP:		367.33		
<b>AUTOMATED COMFORT CONTROLS</b>				
28130	PREVENTATIVE MAINTENANCE @ MSB	430.59	13/20	101-53310-204
28131	SERVICE REQUEST AT MSB BUILDING	398.29	01/21	101-53310-204
28132	SERVICE REQUEST AT LIBRARY	277.50	01/21	206-55110-245
Total AUTOMATED COMFORT CONTROLS:		1,106.38		
<b>AUTOMOTIVE SUPPLY CO</b>				
60892603	VENT FAN #46	35.56	01/21	101-53330-225
60893252	TIRE PRESSURE MONITOR #3631	70.44	01/21	101-53330-225
60893307	TIRE PRESSURE MONITOR #3631	35.22	01/21	101-53330-225
60893329	BATTERY #11	207.16	01/21	101-53330-225
60893375	AIR FILTER	8.60	01/21	101-53330-218
60893386	OIL FOR SMALL ENGINES	31.20	01/21	101-53330-217
60893440	SPARK PLUGS	3.44	01/21	101-53330-221
Total AUTOMOTIVE SUPPLY CO:		391.62		
<b>BATTERIES PLUS LLC</b>				
P35892658	SANITARY SEWER METER BATTERIES	47.70	01/21	610-53612-251
Total BATTERIES PLUS LLC:		47.70		
<b>BERGSTROM FORD-LINCOLN</b>				
359817	REPLACED WATER PUMP & SERPENTINE BELT #	137.03	01/21	207-52120-247
Total BERGSTROM FORD-LINCOLN:		137.03		

Invoice	Description	Total Cost	Period	GL Account
<b>CELLCOM</b>				
330855	FVMPD CELL - JANUARY	1,827.85	01/21	207-52120-203
Total CELLCOM:		1,827.85		
<b>DORNER INC</b>				
2020004-2	2020 WATER MAIN PROJECT-MOASIS/FINAL PAY	112,146.99	13/20	620-51115-263
2020004-2	2020 WATER MAIN PROJECT-MOASIS/FINAL PAY	24,835.36	13/20	630-51115-263
Total DORNER INC:		136,982.35		
<b>EVERGREEN POWER LLC</b>				
9254	CARBURETOR	43.99	01/21	101-55440-221
Total EVERGREEN POWER LLC:		43.99		
<b>HEARTLAND BUSINESS SYSTEMS</b>				
421796-H	JANUARY BILL PRINT QNTY 3949	138.22	01/21	201-53620-206
421796-H	JANUARY BILL PRINT QNTY 3949	138.22	01/21	610-53614-206
421796-H	JANUARY BILL PRINT QNTY 3949	138.22	01/21	620-53904-206
421796-H	JANUARY BILL PRINT QNTY 3949	138.20	01/21	630-53443-206
Total HEARTLAND BUSINESS SYSTEMS:		552.86		
<b>HOME DEPOT CREDIT SERVICES</b>				
15900	5GAL PLASTIC BUCKETS/HOOKS/TOOLS	153.54	13/20	101-52250-242
3012513	MEASURING WHEEL	31.97	01/21	206-55110-244
Total HOME DEPOT CREDIT SERVICES:		185.51		
<b>HYDROCLEAN EQUIPMENT</b>				
7612	PREVENTATIVE MAINTENANCE-PRESSURE WAS	95.00	01/21	101-53330-204
Total HYDROCLEAN EQUIPMENT:		95.00		
<b>INGRAM LIBRARY SERVICES</b>				
50785277	BOOKS	189.53	01/21	206-55110-206
Total INGRAM LIBRARY SERVICES:		189.53		
<b>LIBRARY JOURNAL</b>				
90119929	MAGAZINE SUBSCRIPTION	99.00	01/21	206-55110-207
Total LIBRARY JOURNAL:		99.00		
<b>LINDNER ACE HARDWARE LITTLE CHUTE</b>				
267625-312001	CAR WASH SUPPLIES	35.76	13/20	101-52200-218
267656-312001	OIL ABSORBENT	24.00	13/20	101-52200-218
267806-333011	OPEN REEL TAPE MEASURE/SAFETY SPRAY PAI	33.98	01/21	207-52120-218
267860-312001	ELECTRICAL WEATHERPROOF OUTLET BOX	13.98	01/21	101-52200-218
267879-312001	GARDEN HOSE NOZZLE	31.98	01/21	101-52200-218
Total LINDNER ACE HARDWARE LITTLE CHUTE:		139.70		
<b>MARASCH, MARTY</b>				
01/21 REIMBURSE	REIMBURSE FOR OFFICE SUPPLIES	41.30	01/21	101-52200-206

Invoice	Description	Total Cost	Period	GL Account
Total MARASCH, MARTY:		41.30		
MBM				
549072	CONTRACT OVERAGE CHARGE/COLOR COPIES	122.72	01/21	101-51650-207
Total MBM:		122.72		
MENARDS - APPLETON EAST				
98224	BLINDS FOR VL REC CENTER WINDOWS	236.69	01/21	208-52900-221
Total MENARDS - APPLETON EAST:		236.69		
MGD INDUSTRIAL CORP				
189635	BOLTS FOR SIGNS	4.38	01/21	101-53300-218
189773	WASHERS & BOLTS FOR #6 & #40	14.55	01/21	101-53330-225
189773	CABLE TIES FOR STREET BANNERS	68.70	01/21	101-53300-218
189773	STAINLESS STEEL SCREWS & BOLTS	19.56	01/21	630-53441-218
Total MGD INDUSTRIAL CORP:		107.19		
NATIONAL REVIEW				
010121	MAGAZINE SUBSCRIPTION	18.99	01/21	206-55110-207
Total NATIONAL REVIEW:		18.99		
O'REILLY AUTOMOTIVE INC				
2043-254168	WIPER BLADES FOR SQUAD #85	21.20	01/21	207-52120-247
Total O'REILLY AUTOMOTIVE INC:		21.20		
PLYMOUTH LUBRICANTS				
6182864	SHELL ROTELLA OIL	2,863.76	01/21	101-53330-217
Total PLYMOUTH LUBRICANTS:		2,863.76		
PREMIER LITTLE CHUTE LLC				
260-441300-3	2020 DEVELOPMENT INCENTIVE	255,452.65	01/21	414-57400-265
Total PREMIER LITTLE CHUTE LLC:		255,452.65		
PRIMADATA LLC				
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	201-53620-226
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	610-53613-226
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	620-53904-226
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	630-53443-226
Total PRIMADATA LLC:		1,100.00		
PROJECT ENTERTAINMENT LLC				
7375481	DEPOSIT FOR 8/18 MOVIE ON THE PLAZA	500.00	02/21	101-55300-218
7387277	DEPOSIT FOR 7/16 POOL MOVIE EVENT	259.88	02/21	204-55420-218
Total PROJECT ENTERTAINMENT LLC:		759.88		
REMINISCE EXTRA				
010121	MAGAZINE SUBSCRIPTION	11.00	01/21	206-55110-207

Invoice	Description	Total Cost	Period	GL Account
Total REMINISCE EXTRA:		11.00		
RICK'S TOWING				
15897	VEHICLE TOWED TO FVMPD	150.00	01/21	207-52120-218
Total RICK'S TOWING:		150.00		
SIRCHIE FINGERPRINT LABORATORY				
477796	EVIDENCE SUPPLIES	55.05	01/21	207-52120-218
Total SIRCHIE FINGERPRINT LABORATORY:		55.05		
SPEEDY CLEAN DRAIN & SEWER				
72005	SMOKE TESTING & AUGER BASEMENT LINES	1,325.00	01/21	101-51650-243
Total SPEEDY CLEAN DRAIN & SEWER:		1,325.00		
STAPLES ADVANTAGE				
3467223593	COPY PAPER/LEGAL PADS/PENS	106.54	01/21	207-52120-206
3467686889	BLACK INK FOR HP PRINTER-FINANCE	127.60	01/21	101-51420-206
Total STAPLES ADVANTAGE:		234.14		
SUPERIOR SEWER AND WATER INC				
L000191800487-1	EBBEN TRAIL STORM SEWER PROJECT	301,345.04	13/20	416-51216-263
Total SUPERIOR SEWER AND WATER INC:		301,345.04		
UNIFIRST CORPORATION				
0970324731	SHIRTS/PANTS	4.51	01/21	101-53330-213
0970324731	LAUNDRY BAGS/WIPERS	11.33	01/21	101-53330-218
0970325179	SHIRTS/PANTS	4.51	01/21	101-53330-213
0970325179	LAUNDRY BAGS/WIPERS	10.35	01/21	101-53330-218
Total UNIFIRST CORPORATION:		30.70		
VILLAGE OF COMBINED LOCKS				
2020-M33	2020 UTILITIES FOR COMBINED LOCKS EVIDENC	1,426.83	13/20	207-52120-249
Total VILLAGE OF COMBINED LOCKS:		1,426.83		
WESTBURG, SETH				
01/21 REIMBURSE	REIMBURSE FOR ARBORIST RECERTIFICATION	230.00	01/21	101-55440-201
Total WESTBURG, SETH:		230.00		
WI DEPT OF JUSTICE-TIME				
455TIME-00000100	TIME SYSTEM & OFFICER SUPPORT FEE	1,893.00	01/21	207-52120-204
Total WI DEPT OF JUSTICE-TIME:		1,893.00		
WI MUNICIPAL COURT CLERKS ASSOCIATION				
2021	2021 DUES - GLOUDEMANS	45.00	01/21	101-51680-208
Total WI MUNICIPAL COURT CLERKS ASSOCIATION:		45.00		

Invoice	Description	Total Cost	Period	GL Account
WPRA				
2187	VIRTUAL CEU WEBINAR SERIES-ALL SESSIONS	175.00	01/21	101-55300-201
Total WPRA:		175.00		
Grand Totals:		894,631.39		

## Report GL Period Summary

Vendor number hash: 178859  
Vendor number hash - split: 226971  
Total number of invoices: 57  
Total number of transactions: 68

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	894,631.39	894,631.39
Grand Totals:	894,631.39	894,631.39

## Report Criteria:

Invoice Detail.Voided = {=} FALSE

Village of Little Chute  
**REQUEST FOR BOARD CONSIDERATION**

**ITEM DESCRIPTION:** Setzer/FedEx Site Plan

**PREPARED BY:** David Kittel, Community Development Director

**REPORT DATE:** 1/27/2020

**ADMINISTRATOR'S REVIEW/COMMENTS:** 

**EXPLANATION:**

This site plan is for a new trucking terminal facility that will include a maintenance building as well as a terminal building. Overall, this facility will have about 2.5 Ac of buildings, 25.5 Ac of pavement, 183 parking spots for cars, 241 for Pup park (small trailers) 140 Van spaces and 117 spaces for tractors. Per information from Developers this facility is expecting to have 173 employees with a possible future addition that add even more employment opportunities. The entire Facility is to be surrounded by a fence with barb wire on top and a green screen on the south and west sides of the facility. With this project a turn lane is to be added to Vandebroek road that will require an extension on the existing Box Culvert bridge, to be paid for by the developer. An easement is being provided for maintenance of the storm water pipe as well as for the trail and laterals for the facility. This facility has a complex stormwater system that will utilize the new stormwater pipe that is being installed on the north side of the creek. Due to the complexity of this system and changes having to be made to assist in the development of this property some items are still being addressed to ensure the Stormwater system on the property and the new Stormwater pipe will not have any issues. The site plan has been attached with this report for further detail.

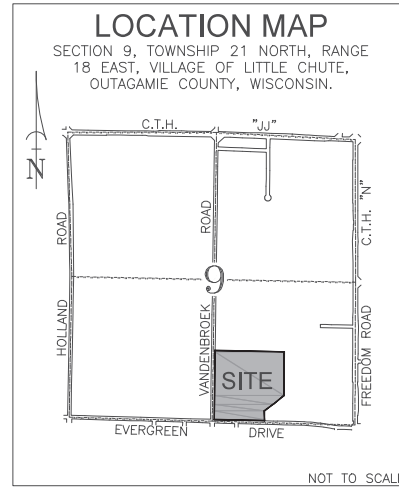
**RECOMMENDATION:** To approve the site plan for this facility with the condition that all staff comments are addressed.



# FEDEX SETZER PROPERTIES

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

INDEX OF SHEETS	
DRAWING NO.	DESCRIPTION:
C1.0	COVER SHEET
C1.1	SITE PLAN
C1.2	SITE PLAN (NORTH)
C1.3	SITE PLAN (SOUTH)
C1.4	SITE PLAN KEY NOTES (NORTH)
C1.5	SITE PLAN KEY NOTES (SOUTH)
C1.6	TOPOGRAPHIC SURVEY
C2.1	UTILITY LAYOUT PLAN (NORTH)
C2.2	UTILITY LAYOUT PLAN (SOUTH)
C2.3	UTILITY STRUCTURE TABLE
C3.1	DRAINAGE PLAN (NORTH)
C3.2	DRAINAGE PLAN (SOUTH)
C4.1	STORMWATER DETENTION
C4.2	STORMWATER DETENTION
C4.3	WEST POND DETAIL SHEET
C4.4	EAST POND DETAIL SHEET
C5.1	EROSION CONTROL PLAN (NORTH)
C5.2	EROSION CONTROL PLAN (SOUTH)
C5.3	EROSION CONTROL DETAILS
C5.4	EROSION CONTROL DETAILS
C6.1	STANDARD DETAIL DRAWINGS
C6.2	STANDARD DETAIL DRAWINGS
C6.3	STANDARD DETAIL DRAWINGS
C6.4	STANDARD DETAIL DRAWINGS
C7.1	LANDSCAPE PLAN (NORTH)
C7.2	LANDSCAPE PLAN (SOUTH)
S1.0	CULVERT EXTENSION PLANS
S1.1	CULVERT EXTENSION PLANS



PERTINENT CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY		
VILLAGE OF LITTLE CHUTE (COMMUNITY DEVELOPMENT)	DAVE KITTEL	920-423-3870
VILLAGE OF LITTLE CHUTE (PUBLIC WORKS)	KENT TAYLOR	920-423-3865
VILLAGE OF LITTLE CHUTE (ENGINEERING)	CHRIS MURAWSKI, P.E.	920-423-3861
OWNER		
SETZER PROPERTIES	BRETT SETZER	859-514-7767
SETZER PROPERTIES	SCOTT BENDER	859-514-7767
ENGINEER / SURVEYOR		
MARTENSON & EISELE	MIKE SIEWERT	920-731-0381
MARTENSON & EISELE	GARY ZAHNINGER	920-731-0381



## REVISION TRACKERS

DESIGN DEVELOPMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION
1	11/4/2020	WDNR SUBMITTAL SET
2	11/11/2020	DRIVEWAY, TURN LANE, AND CULVERT EXTENSION
3	12/4/2020	ISSUE FOR PLANNING MEETING
4	12/8/2020	LIGHTING AND UTILITY TABLE
5	12/16/2020	ISSUE FOR PERMITTING
6	12/18/2020	VILLAGE SUBMITTAL
7	1-7-2021	SITE GRADES & STORM UTILITIES
8	1-14-2021	UNDERGROUND STORM SYSTEM LAYOUT (C2.1&C2.2)
9	1-19-2021	SITE GRADES & STORM UTILITIES
10	1-20-2021	STORM UTILITIES
11	1/26/2021	RESUBMITTAL SET TO VILLAGE AND WDNR

CONSTRUCTION DOCUMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

RECORD DRAWING REVISION TRACKER		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

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www.martenson-eisele.com  
920.731.0381 1.800.336.0381

***REFER TO COVER SHEET FOR REVISION DESCRIPTIONS***					
EAE	DMB	MSS			
NO.	DATE	NO.	DATE	NO.	DATE
1	1/14/2020	8	1/14/2021		
2	1/11/2020	9	1/18/2021		
3	12/4/2020	10	1/20/2021		
4	12/8/2020	11	1/26/2021		
5	12/16/2020				
6	12/18/2020				
7	1/7/2021				

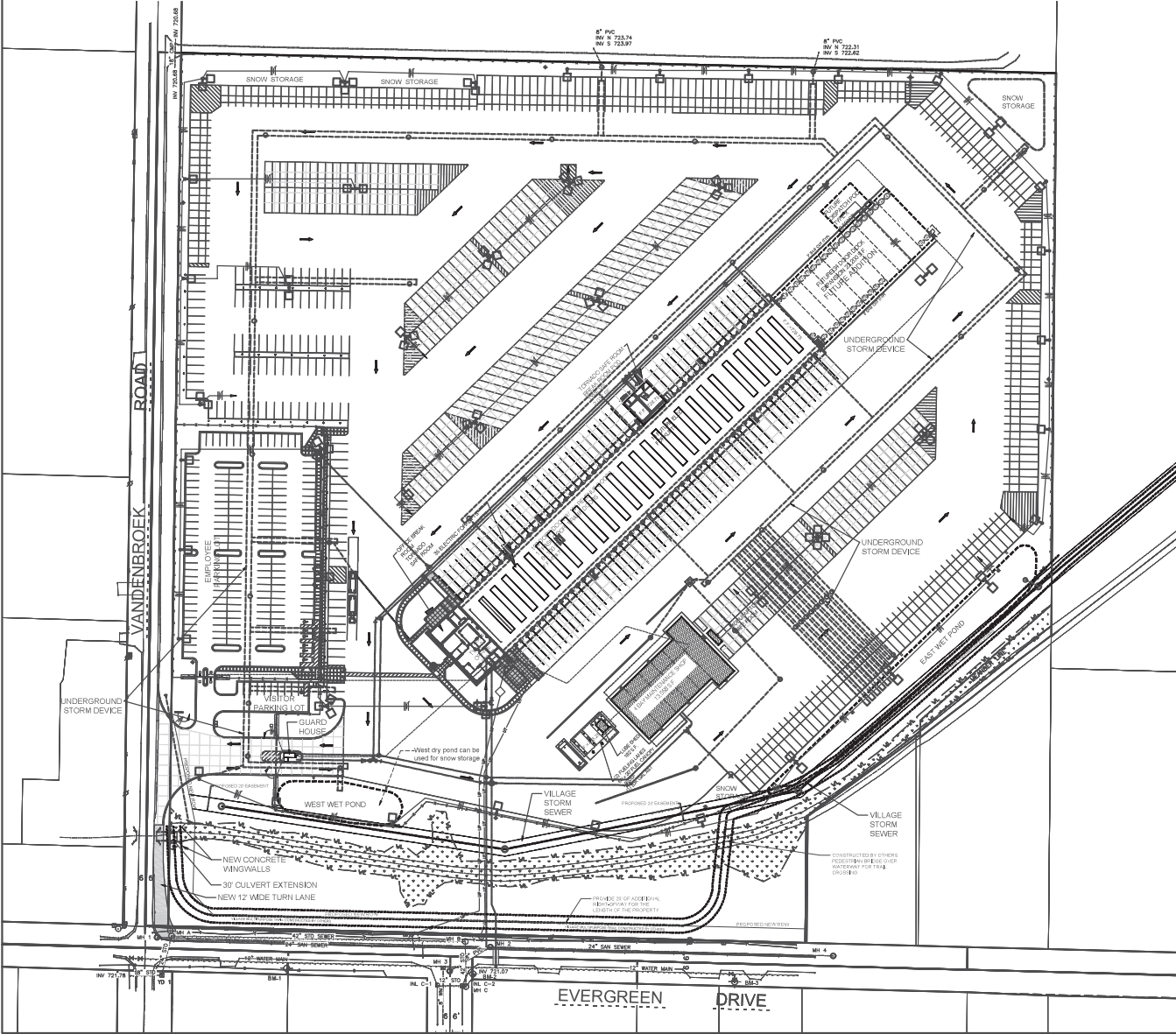
**COVER SHEET**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002ds.dwg	



DRAWING NO.  
C1.0

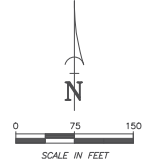
SITE PLAN: FEDEX SETZER PROPERTIES



SITE DATA

PROJECT AREA

EXISTING OPEN SPACE = 34,998 AC.  
EXISTING IMPERVIOUS PAVEMENT = 0 S.F.  
PROPOSED OPEN SPACE = 6,844 AC.  
PROPOSED PAVEMENT = 25,497 AC.  
PROPOSED BUILDINGS = 2,557 AC.



ZONING DATA

CURRENT ZONING DISTRICT:  
INDUSTRIAL DISTRICT (ID)

LANDSCAPING REQUIREMENTS

REQUIREMENTS OF SEC. 44-193

SITE/PROJECT INFORMATION

PROPERTY ADDRESS:  
PARCEL 260017400 AT THE NORTHEAST  
CORNER OF THE INTERSECTION OF  
EVERGREEN DR. AND VANDENBROEK RD.

LEGAL DESCRIPTION

PART OF THE SOUTHWEST 1/4 OF THE  
SOUTHEAST 1/4, SECTION 9, TOWNSHIP  
21 NORTH, RANGE 18 EAST,  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE  
COUNTY, WISCONSIN

PARKING COUNTS

TYPE	REQ'D/PROV.	REQ'D/PROV.
Car Park	143/183	179/183
Pup Park	179/241	224/241
Van Park	109/140	136/140
Tractor	93/117	116/117
Relay Park	28/35	35/35
Triplex Park	0/0	0/0

OWNER/APPLICANT:

SETZER PROPERTIES  
ATTN: BRETT SETZER  
354 WALLER AVENUE SUITE 200  
LEXINGTON, KY 40504  
bsetzer@bsetzon.com  
PHONE: 859-514-7767

ENGINEER:

MARTENSON & EISELE, INC.  
ATTN: MIKE SEWERT, P.E.  
1377 MIDWAY ROAD  
MENASHA, WI 54952  
msew@martenson-eisele.com  
PHONE: 920-231-0381

NRCS SOILS

McA—Manawa silty clay loam  
Hydrologic Soil Type D.  
WnB—Winneconne silty clay loam  
Hydrologic Soil Type D.  
WnC2—Winneconne silty clay loam  
Hydrologic Soil Type D.

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE OF LITTLE CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND

1" = 1/4" 16" HIGH PIPE SET	UNDERGROUND POWER LINES	00 GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	01 EXIST. STORM MANHOLE
CHIEFED 1" SET	UNDERGROUND TELEPHONE	02 STORM MANHOLE
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC	03 EXIST. VAD DRAIN
1" HIGH PIPE FOUND	UNDERGROUND GAS	04 EXIST. BATTERY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	05 EXIST. SAN SEWER
1" HIGH PIPE FOUND	EXIST. FENCE LINE	06 EXIST. STG. SEWER
CHIEFED 1" FOUND	01 SAN	07 EXIST. WATER MAIN
02 GOVERNMENT CORNER	02 POWER POLE	08 EXIST. SPOT ELEVATION
RECORDED AS	03 LIGHT POLE	09 EXIST. CONTROL W/ ELEVATION
01 CONTOUR TREE	04 TELEPHONE PEGS	10 EXIST. TOP OF CURB ELEV.
02 CONTOUR TREE	05 ELECTRIC PEGS	11 EXIST. FLOW LINE ELEV.
03 EXIST. WATER LINE	06 CABLE PEGS	12 EXIST. FIRST FLOOR - 00.00
04 WELLS	07 EXIST. FIBER	13 TYPICAL DEPTH
05 SOL BORING	08 WATER VALVE	14 INFILTRATION SOL BORING
06 WATER STOP BOX	09	

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920.231.0381 1.800.235.0381

NO.	DATE	NO.	DATE
1	1/14/2020	9	11/20/2021
2	1/11/2020	10	12/20/2021
3	12/24/2020	11	12/20/2021
4	12/24/2020	12	12/20/2021
5	12/24/2020	13	12/20/2021
6	12/24/2020	14	12/20/2021
7	12/24/2020	15	12/20/2021

**SITE PLAN**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002.ds.dwg	

DRAWING NO.  
C1.1

# SITE PLAN: FEDEX SETZER PROPERTIES (NORTH)

SITE PLAN NOTES	
1.	ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE OF LITTLE CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2.	ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3.	ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
5.	NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
6.	ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D., LATEST VERSION.
7.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
8.	NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND	
1" x 1/4" x 1/4" RHW PIPE SET	OVERHEAD POWER LINES
1-1/4" x 1/4" x 1/4" RHW SET	UNDERGROUND ELECTRIC
CHIEFED "X" SET	UNDERGROUND TELEPHONE
3/4" RHW PIPE FOUND	UNDERGROUND FIBEROPTIC
1" RHW PIPE FOUND	UNDERGROUND GAS
1-1/4" RHW PIPE FOUND	UNDERGROUND CABLE TV
2" RHW PIPE FOUND	EXIST. FENCE LINE
CHIEFED "X" FOUND	EXIST. SPA, SEWER
CONCRETE FORMER	EXIST. UTILITY SINKER
RECORDED AS	EXIST. WATER MAIN
CONCRETE TREE	EXIST. SPOT ELEVATION
EXIST. WOODS LINE	CONCRETE #4 ELEVATION
WETLANDS	EXIST. TOP OF CURB ELEV.
SOL. BORING	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
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	EXIST. FLOW LINE ELEV.
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	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
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	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
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	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FIRST FLOOR + 100.00
	EXIST. DEPTH
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONCRETE #4 ELEVATION
	EXIST.

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 1377 Midway Road  
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 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture

***REFER TO COVER SHEET FOR REVISION DESCRIPTIONS***									
DRAWN BY EAE		CHECKED DYM		APPROVED USS		FIELDWORK			
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE		
1	11/4/2020	8	1/14/2021						
2	11/11/2020	9	1/19/2021						
3	12/4/2020	10	1/20/2021						
4	12/8/2020	11	1/26/2021						
5	12/16/2020								
6	12/18/2020								
7	1/7/2021								

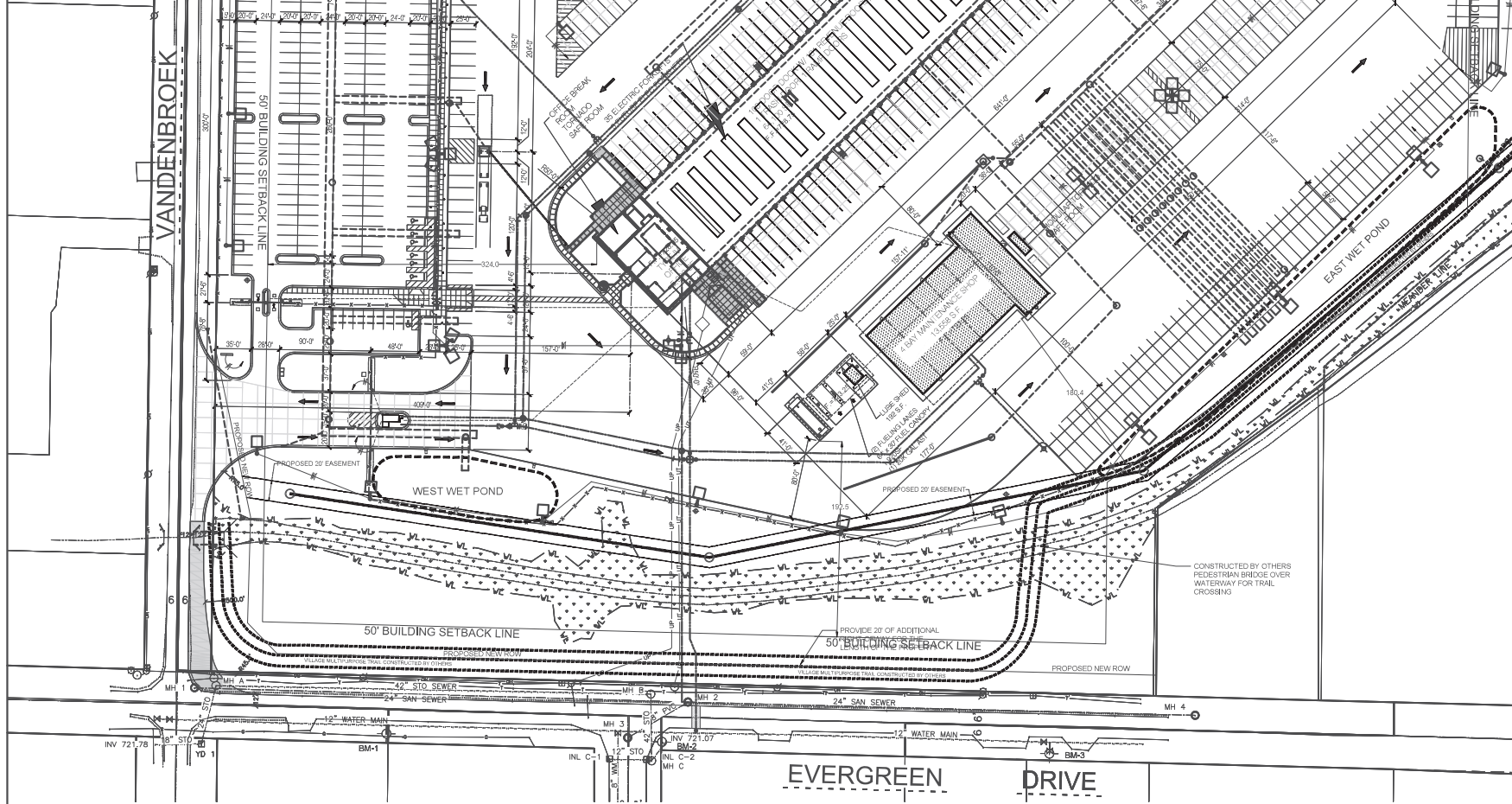
**SITE PLAN - NORTH**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
f-1342-002de.dwg	

DRAWING NO.  
C1.2



# SITE PLAN: FEDEX SETZER PROPERTIES (SOUTH)



EVERGREEN DRIVE

## SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE OF LITTLE CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
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- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
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- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND	
<ul style="list-style-type: none"> <li>1" = 18" HIGH PIPE SET</li> <li>1-1/4" = 30" REBAR SET</li> <li>CHAINED 1" SET</li> <li>3/4" REBAR FOUND</li> <li>1" HIGH PIPE FOUND</li> <li>1-1/4" REBAR FOUND</li> <li>2" HIGH PIPE FOUND</li> <li>CHAINED 1" FOUND</li> <li>CONCRETE CORNER</li> <li>RECORDED AS</li> <li>CONCRETE TREE</li> <li>DECOMPOSED TREE</li> <li>EXIST. WOOD LINE</li> <li>WELLHEAD</li> <li>SOL. BORING</li> </ul>	<ul style="list-style-type: none"> <li>UNDERGROUND POWER LINES</li> <li>UNDERGROUND ELECTRIC</li> <li>UNDERGROUND TELEPHONE</li> <li>UNDERGROUND FIBEROPTIC</li> <li>UNDERGROUND GAS</li> <li>UNDERGROUND CABLE TV</li> <li>EXIST. FENCE LINE</li> <li>IRON</li> <li>POWER POLE</li> <li>LIGHT POLE</li> <li>TELEPHONE PEGS</li> <li>ELECTRIC PEGS</li> <li>CABLE PEGS</li> <li>EXIST. HYDRANT</li> <li>WATER VALVE</li> <li>WATER STOP BOX</li> </ul>
<ul style="list-style-type: none"> <li>GAS VALVE</li> <li>EXIST. STORM MANHOLE</li> <li>STORM MANHOLE</li> <li>YARD DRAIN</li> <li>EXIST. BATTERY MANHOLE</li> <li>EXIST. SAN SEWER</li> <li>EXIST. STO. SEWER</li> <li>EXIST. WATER MAIN</li> <li>EXIST. SPOT ELEVATION</li> <li>CONTOUR W/ ELEVATION</li> <li>EXIST. TOP OF CURB ELEV.</li> <li>EXIST. FLOW LINE ELEV.</li> <li>EXIST. FLOW LINE ELEV.</li> <li>EXIST. FLOW LINE ELEV.</li> <li>EXIST. FLOW LINE ELEV.</li> <li>EXIST. FLOW LINE ELEV.</li> </ul>	

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 1377 Mayer Road  
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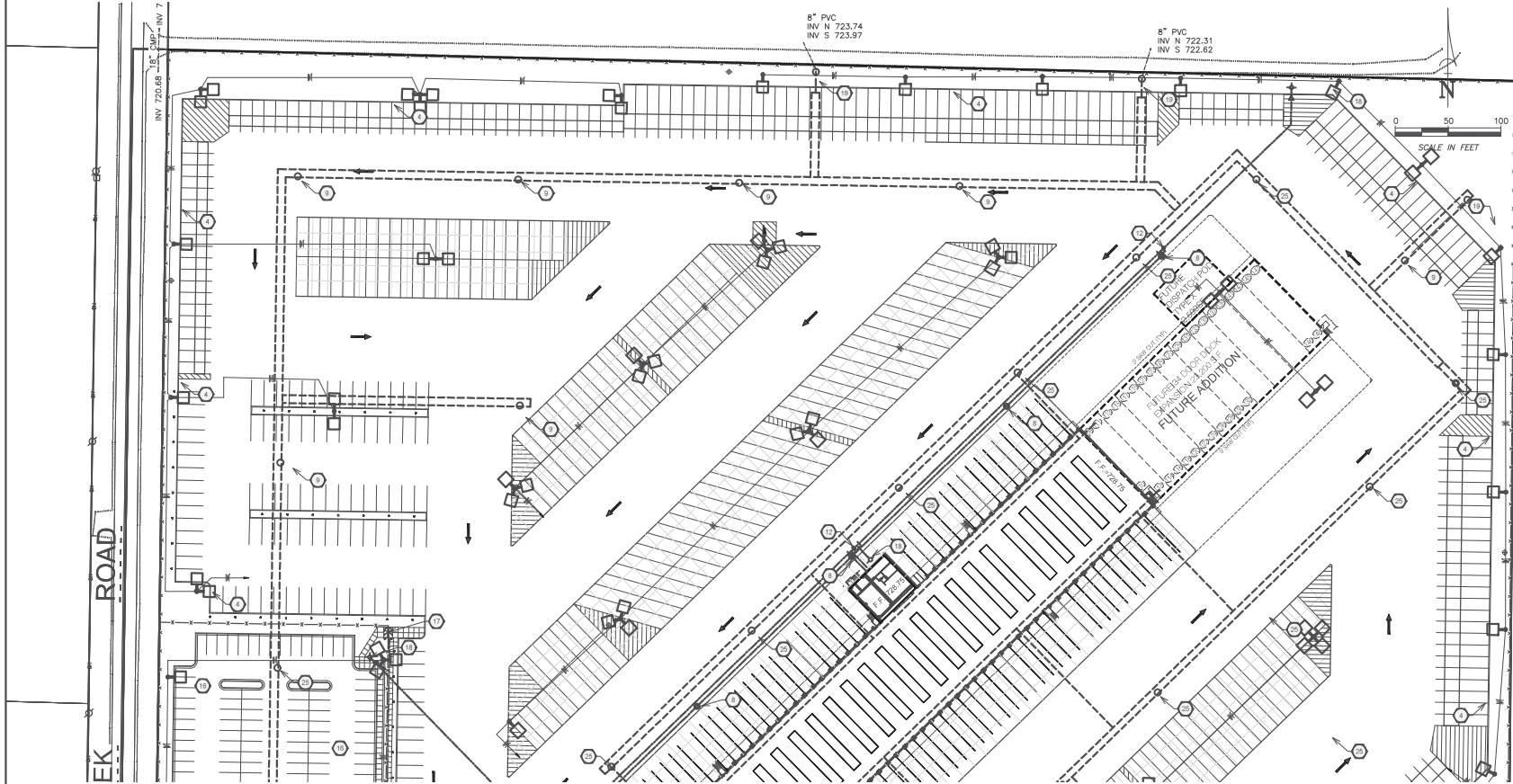
NO.	DATE	NO.	DATE
1	1/14/2020	9	11/29/2021
2	1/11/2023	10	12/29/2021
3	12/4/2023	11	12/29/2021
4	12/4/2023	12	12/29/2021
5	12/4/2023	13	12/29/2021
6	12/4/2023	14	12/29/2021
7	12/29/2021	15	12/29/2021

**SITE PLAN - SOUTH**  
**FEDEX SETZER PROPERTIES**  
 VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: 1" = 40' DATE: 10-30-2020  
 BAR SCALE: 1-1342-002.dwg

DRAWING NO. C1.3

# SITE PLAN KEY NOTES: FEDEX SETZER PROPERTIES (NORTH)



## PLAN KEY LEGEND

- |   |   |
|---|---|
| 1 BLOCK HEATER, LIFT GATE, & EV. CHARGING STATION | 1 |
| 2 FEDEX SIGNAGE - TYPE                            | 2 |
| 3 FLAGPOLE INSTALLATION                           | 3 |
| 4 CURB & GUTTER DETAIL                            | 4 |
| 5 LIGHT POLE BASE                                 | 5 |
| 6 SAFETY/TRASH GUARD FOR FLARED ENDS              | 6 |
| 7 CONCRETE RESTORATION - WALKWAY RAMP             | 7 |
| 8 SANITARY SEWER PRE-CAST MANHOLE                 | 8 |

## PLAN KEY LEGEND(CONT.)

- |  |   |
|--|---|
| 9 STORM SEWER PRE-CAST MANHOLE         | 2 |
| 10 24" X 36" INLET                     | 3 |
| 11 CONCRETE FLUME                      | 4 |
| 12 STANDARD VALVE & VALVE BOX SETTINGS | 5 |
| 13 BLOCKING FOR WATERMAIN BENDS        | 6 |
| 14 DOLLY PAD'S                         | 1 |
| 15 BOLLARD SLEEVES                     | 2 |
| 16 PARKING LOT STRIPING                | 3 |

## PLAN KEY LEGEND(CONT.)

- |  |   |
|--|---|
| 17 TURNSTILE AND HANDICAPPED SECURITY GATE | 4 |
| 18 HYDRANT                                 | 5 |
| 19 YARD DRAIN DETAIL                       | 1 |
| 20 CLASS "B" BEDDING FOR PVC PIPE          | 2 |
| 21 TYPICAL SIDEWALK SECTION                | 3 |
| 22 EXTERIOR DOWNSPOUT                      | 4 |
| 23 SIDEWALK CONTROL JOINT                  | 5 |
| 24 SIDEWALK EXPANSION JOINT                | 6 |

## PLAN KEY LEGEND(CONT.)

- |  |   |
|--|---|
| 25 UNDERGROUND STORAGE ACCESS RISER DETAIL | 6 |
| 26 PARKING STALL COUNT                     |   |

TOPOGRAPHIC LEGEND	
1" = 16" HON PVC SET	UNDERGROUND POWER LINES
1-1/4" = 30" HON PVC SET	UNDERGROUND ELECTRIC
CHASED "T" SET	UNDERGROUND TELEPHONE
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC
1" HON PIPE FOUND	UNDERGROUND GAS
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV
2" HON PIPE FOUND	EXIST. FENCE LINE
CHASED "T" FOUND	IRON
CONCRETE CORNER RECORDED AS	POWER POLE
1) CONIFEROUS TREE	GOIT
2) DECIDUOUS TREE	LIGHT POLE
3) EXIST. WOOD LINE	TELEPHONE PEGMOUNT
4) WETLAND	ELECTRIC PEGMOUNT
5) SOL BORING	CABLE PEGMOUNT
	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	GAS VALVE
	EXIST. STORM MANHOLE
	STORM ALLEY
	YARD DRAIN
	EXIST. BATTERY MANHOLE
	EXIST. SAN. SEWER
	EXIST. ST. SINKER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	SHOWN: EXIST. TOP OF CURB ELEV.
	SWAN: EXIST. FLOW LINE ELEV.
	PP: HON PIPE FOUND - 06.00
	TD: TYPICAL DEPTH
	INFILTRATION SOL. BORING

## SITE PLAN KEY NOTES - NORTH FEDEX SETZER PROPERTIES VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: 1"=40'-00" (1/4"=10'-00")  
DATE: 10-30-2020  
COMPUTER FILE: 1-1342-002.de.dwg

DRAWING NO.: C14





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***REFER TO COVER SHEET FOR REVISION DESCRIPTIONS***									
DRAWN BY EAE	CHECKED DYM	APPROVED USS	FIELD NO.		DATE				
NO.	DATE	NO.	DATE	NO.	DATE				
1	11/4/2020	8	11/4/2021						
2	11/11/2020	9	11/9/2021						
3	12/4/2020	10	1/20/2021						
4	12/8/2020	11	1/26/2021						
5	12/16/2020								
6	12/18/2020								
7	1/7/2021								

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
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DRAWING NO.  
C1.5

PLAN KEY LEGEND(CONT.)

	UNDERGROUND STORAGE ACCESS RISER DETAIL	
	PARKING STALL COUNT	

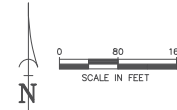
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TOPOGRAPHIC SURVEY: FEDEX SETZER PROPERTY

The map displays a topographic survey of the FedEx Setzer Property. Key features include:

- Contour Lines:** Elevation contours are shown, with labels such as 720, 724, 728, 732, 736, 740, 744, 748, 752, 756, 760, 764, 768, 772, 776, 780, 784, 788, 792, 796, 800, 804, 808, 812, 816, 820, 824, 828, 832, 836, 840, 844, 848, 852, 856, 860, 864, 868, 872, 876, 880, 884, 888, 892, 896, 900, 904, 908, 912, 916, 920, 924, 928, 932, 936, 940, 944, 948, 952, 956, 960, 964, 968, 972, 976, 980, 984, 988, 992, 996, 1000.
- Roads:**
  - VAN DER BROEK ROAD:** Located on the left side of the map, running vertically.
  - EVERGREEN DRIVE:** Located at the bottom of the map, running horizontally.
  - SPRIT COURT:** Located at the bottom center of the map, running vertically.
- Survey Data:**
  - Top Left:** 88°40'04"E, 1278.01', 8" P.C., N 722.74, N 722.87, N 722.31, N 722.82.
  - Right Side:** 776.30', 823.2', S00°30'58"W.
  - Bottom Right:** S00°31'16"W 21.26', S00°31'16"W 25.1', S00°31'16"W 185.00', N88°30'02"W 932.42', S00°31'16"W 25.37'.
  - Bottom Center:** N88°30'02"W 932.42', S00°31'16"W 185.00'.
  - Bottom Left:** N88°30'02"W 932.42', S00°31'16"W 185.00'.
- Other Features:**
  - CONCRETE DRIVEWAY:** Located on the left side of the map.
  - GRAVEL DRIVEWAY:** Located on the left side of the map.
  - TELEPHONE:** Located on the left side of the map.
  - APPROXIMATE PROPERTY:** Located on the left side of the map.
  - APPROXIMATE WETLAND LINE:** Located on the right side of the map.



BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT	725.91
2	TAG BOLT ON HYDRANT	725.24
3	TAG BOLT ON HYDRANT	726.47

EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN 1	724.53	704.17	20.36
SAN 2	723.04	703.72	19.32
SAN 3	723.76		
SAN 4	725.28	703.23	22.05
STO A	722.81	715.46	7.35
STO B	720.77	714.27	6.50
STO C	723.77	714.24	9.53
INL C-1	723.25	718.45	4.80
INL C-2	722.99	717.74	5.25
YD 1	721.89	716.49	5.40



TO OBTAIN LOCATION OF  
PARTICIPANTS' UNDERGROUND  
FACILITIES BEFORE YOU DIG  
IN WISCONSIN

CALL 811 or  
Toll Free 1-800-242-8511  
(262)432-7910  
Emergency Only (877) 500-9592  
FAX 1-800-338-3860  
FAX (414) 259-0947  
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

## TOPOGRAPHIC SURVEY NOTES

- |    |  |
|----|--|
| 1. | UTILITY AND LATERAL LOCATIONS SHOWN ARE BASED ON FIELD MARKINGS BY LOCATING COMPANIES AND THE VILLAGE OF LITTLE CHUTE, AND/OR MAPPING FROM THE RESPECTIVE UTILITY. THEREFORE THE LOCATIONS SHOWN ON THIS DRAWING CANNOT BE GUARANTEED. CONTACT DIGGERS AND THE VILLAGE OF LITTLE CHUTE FOR UTILITY AND CONSTRUCTION. |
| 2. | BASE SURVEY WAS PREPARED BY MAE, MARCH 2020. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND AVOID DAMAGE THERETO.  |
| 3. | HORIZONTAL DATUM IS BASED OUTAGAME COUNTY, WISCONSIN COUNTY COORDINATE SYSTEM.   |
| 4. | ACCURACY CAN BE IMPACTED BY WINTER CONDITIONS, I.E. FROST HEAVE, SNOW AND ICE COVER. MARTINSON & ESELE, INC. MAKES NO WARRANTY FOR INACCURACIES CAUSED BY THESE WINTER CONDITIONS.   |

# TOPOGRAPHIC LEGEND

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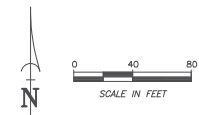
**Martenson & Eisele, Inc.**  
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info@martenson-eisele.com  
920.731.0381 1.800.236.0381

**TOPOGRAPHIC SURVEY**  
**FEDEX SETZER PROPERTIES**

SCALE	DATE
BAR SCALE	3/23/2020
COMPUTER FILE	
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DRAWING NO.  
C1.6

Topsoil  
Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2003 Edition, Section 625.



**Martenson & Eisele, Inc.** Planning  
Environmental  
Surveying  
Engineering  
Architecture

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The logo is a circular emblem. Inside the circle, the letters 'ME' are written in a stylized, bold font. The 'M' and 'E' are interconnected, with the 'E' having a horizontal bar that extends to the right and loops back towards the 'M'. The circle has a thick border.

DRAWN BY EAE	CHECKED DMW	APPROVED MSS	FIELDWORK
1	11/4/2020	8	11/4/2021
2	11/11/2020	9	11/9/2021
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4	12/8/2020	11	12/8/2021
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6	12/18/2020	6	12/18/2020
7	1/7/2021	7	1/7/2021

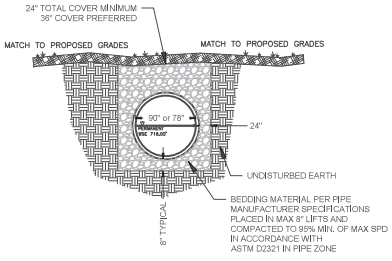
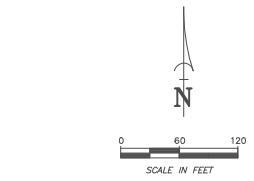
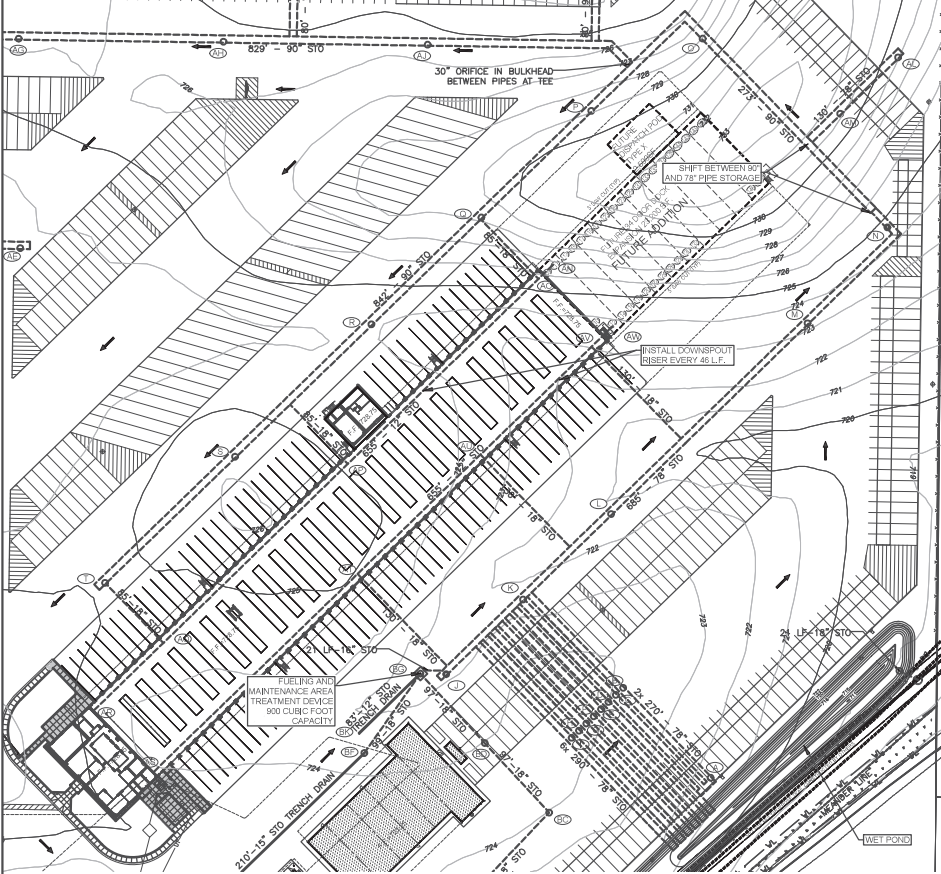
**STORMWATER DETENTION**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

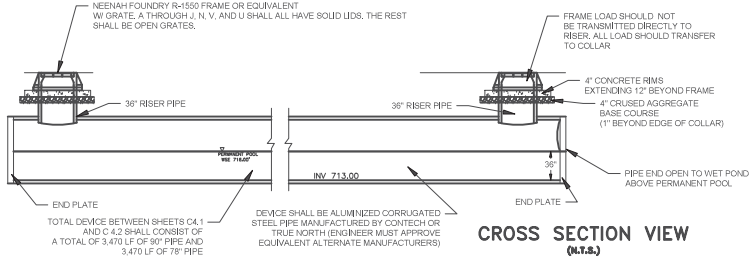
SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002de.dwg	
DRAWING NO.	
C4.1	



STORMWATER DETENTION: FEDEX SETZER PROPERTIES (EAST)



CROSS SECTION VIEW (N.T.S.)



CROSS SECTION VIEW (N.T.S.)

BURIED PIPE DETENTION SPECIFICATIONS

The buried pipe retention system shall be installed in accordance with ASTM D2321 "Standard Practice for Underground Installation of Thermoplastic Pipe for Sewers and Other Gravity Flow Applications", latest edition and the manufacturers published installation guides.

Topsoil Stripping

The contractor shall strip the area free of topsoil and stockpile at locations as indicated on the Erosion Control Plan.

Unclassified Excavation

Unclassified excavation shall include the removal and disposal of all materials encountered in the excavation for the device other than specific materials which have been classified and bid upon as a separate bid item for this project. When excavating for the device, the excavation limits shall be the limits per the device construction plans.

Foundation

Where the trench bottom consists of unsuitable soils to support the pipe structure, the contractor shall excavate to a depth specified by the Engineer and replace with suitable material specified by the engineer.

Bedding

Suitable material shall be clear stone. The clear stone shall also be installed along the length of the outlet pipe. The contractor shall supply documentation for material specification to Engineer.

Pipe Installation

Once the pipe has been constructed and installed, before trench dewatering pumps are turned off, the pipe shall be pre-filled to outlet elevation to reduce risk of flotation.

Final Grading

Final grading shall consist of shaping and compacting the total cross section and limits of the device according to the typical cross section illustrated on the plans. All costs associated shall be included in the unit price bid.

Geotextile Fabric

The geotextile fabric for under the riprap shall consist of Type "R" porous non-woven fabric with multiple layers of randomly arranged fibers. The Engineer shall inspect fabric prior to placement of riprap and during placement of riprap. Damaged filter fabric shall be replaced at Contractor's expense.

Manufacturers

- Merafi 140N by Merafi, Inc.
- Typar 3401 by Dupont
- Syrac 3P by Rialys Fibres Corporation
- Preplex 4545 by Amoco Fabrics Company

Riprap

The Contractor shall trim and shape the bed for the fabric prior to the placement of the riprap as indicated on the plan. The riprap shall be clean washed riprap measuring 12" thick measured perpendicular to the slope. (24" total depth)

All equipment, labor, and materials used to install and maintain the riprap shall be included in the unit price bid for Medium Rip Rap & Type R Filter Fabric, square yards.

Outlet Structures/Piping Etc.

Construction of the Outlet Structures with trash guards, pipe, apron endwalls with trash guard, and spillways shall be in accordance with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structures, pipe, concrete apron endwalls, and spillways shall be included in the price bid.

Restoration

The Contractor shall seed, fertilize and mulch or otherwise restore the disturbed area in accordance with the project erosion control and landscaping plan.

Topsoil

Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2003 Edition, Section 625.

TOPOGRAPHIC LEGEND		
1" x 1" x 1" NON PIPE SET	UNDERGROUND POWER LINES	Q GAS VALVE
1-1/4" x 3" REBAR SET	UNDERGROUND ELECTRIC	Q EXIST. STORM MANHOLE
CHIEFED 1" SET	UNDERGROUND TELEPHONE	Q STORM MANHOLE
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC	Q YARD DRAIN
1" NON PIPE FOUND	UNDERGROUND GAS	Q EXIST. BATTERY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	Q EXIST. SAN SEWER
2" NON PIPE FOUND	EXIST. FENCE LINE	Q EXIST. ST. SEWER
CHIEFED 1" FOUND	EXIST. FENCE LINE	Q EXIST. WATER MAIN
CONCRETE CORNER	EXIST. POWER POLE	Q EXIST. SPOT ELEVATION
RECORDED AS	EXIST. LIGHT POLE	Q EXIST. SPOT ELEVATION
CONCRETE TREE	EXIST. TELEPHONE PEGMOUNT	Q EXIST. TOP OF CURB ELEV.
DECEADOUS TREE	EXIST. ELECTRIC PEGMOUNT	Q EXIST. FLOW LINE ELEV.
EXIST. WOOD LINE	EXIST. CABLE PEGMOUNT	Q EXIST. FLOW LINE ELEV.
WETLAND	EXIST. HYDRAULIC	Q EXIST. FLOW LINE ELEV.
SOL. BORING	EXIST. WATER VALVE	Q EXIST. FLOW LINE ELEV.
	EXIST. WATER STOP BOX	Q EXIST. FLOW LINE ELEV.

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NO.	DATE	NO.	DATE
1	11/14/2020	9	11/20/2021
2	11/11/2020	10	11/20/2021
3	12/4/2020	11	12/6/2021
4	12/16/2020	12	12/16/2021
5	12/16/2020	13	12/16/2021
6	12/16/2020	14	12/16/2021
7	12/16/2021		

**STORMWATER DETENTION**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	1-1342-002.de.dwg
DRAWING NO.	C4.2

WEST DETENTION POND: FEDERAL PROJECT

The drawing shows a plan view of the West Detention Pond. Key features include:

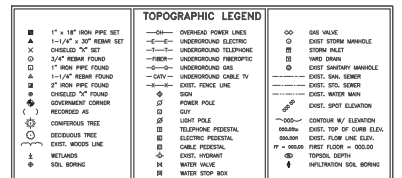
- Pond Layout:** The pond is elongated with a curved head. Elevation contours are shown as concentric lines with labels 715, 716, 720, and 722.
- Spillways & E-Mating:** Located at the downstream end of the pond, indicated by a box labeled "SPILLWAYS & E-MATING".
- GATE:** A structure located downstream of the spillways, labeled "GATE".
- RIPRAP:** Two areas of riprap are indicated by boxes labeled "RIPRAP", one near the head of the pond and one near the spillways.
- Easement:** A "PROPOSED 20' EASEMENT" is shown as a dashed line along the left boundary, labeled "BH".
- Structures & Markers:**
  - A structure labeled "V" is located near the head of the pond.
  - A structure labeled "U" is located near the right side of the pond.
  - Various markers including "X" and "O" are placed along the boundaries and within the pond.
- Flow Indicators:** Arrows indicate the flow direction, generally from the head of the pond towards the spillways and gate.
- Elevation Labels:** Numerous elevation points are marked, including 721, 720, 716, 715, and 718.

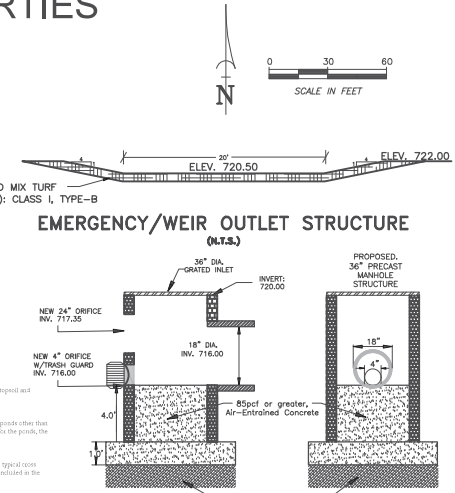
5. *Field Acquisition of Data:*
  - a. Thickness of clay layer and surface elevations shall conform to Drawings.
  - b. Points on surface with vertical datum at 100 feet shall be marked.
  - c. About groundwater level gauged in collecting materials of fine to coarse sand from samples (Slurry Tube Method) on post. Test shall be performed in contact with ground surface and no exposure to air shall be allowed.
  - d. Cut Groundwater
  - e. Laboratory tests (ASTM D 4141).
  - f. Grain Size Analysis (ASTM D 422).
  - g. Contact Head Permeability (ASTM D 5084).
6. *Forward as files for lab testing as follows:*
  - a. Carbon content
  - b. D<sub>10</sub>
  - c. Gradation with the restrictive content.
  - d. Compaction
  - e. R-value
7. *Mohy GUNNER and ENGINEER when assay is completed shall report to:*
8. *Assess that lab testing shall have material received and analyzed as per contract to GUNNER.*

UNAPPROVED	APPROVED	REVIEWED
DATE	DATE	DATE
1	11/4/2020	8
2	11/11/2020	9
3	12/4/2020	10
4	12/8/2020	11
5	12/16/2020	

SCALE	DATE
BAR SCALE	10-30-20
COMPUTER FILE	
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DRAWING NO.  
C4.3



[illegible][illegible]

1. Clay material not suitable for backfilling and excess material shall be hauled offsite, to location specified by OWNER.

Geotextile Fabric:  
The geotextile fabric for under the riprap shall consist of "Type R" porous non-woven fabric with multiple layers of randomly arranged

work. The signposts were not replaced at Contractor's expense.

- *Model 1400* by Masai, Inc.
- *Type 1401* by Dupont

- Supac 50 by Phillips Fibers Corporation
- Prosper 4045 by Amoco Fibrics Company

The Contractor shall trim and shape the bed for the fabric prior to the placement of the carpet as indicated on the plan. The carpet shall be clean washed medium nap.

All equipment, labor, and materials used to install and maintain the signpost shall be included in the unit price bid for Medium Rip-Rap & Type B Filter Fabric, source: Trade.

Outlet Structures/Pipes/Boys  
Construction of the Outlet Structures with trash guards, pipe, concrete access roadways with trash guard, and sidewalks shall be in accordance

with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structures, pipe, concrete apron endwalls, and spillways shall be included in the price bid.

Restoration  
The Contractor shall seed, fertilize and mulch the pond only above the normal water surface. Restoration of the pond shall be in accordance with Section 26.03.03, Appendix B-6.

**Breast Cancer/Vaginovaginal Mat**

The data source was obtained from a large study of drivers with cases 1, 2, type 3, and type 4, from a variety of regions across the United States. The data were obtained from the Product Acceptability List (PAL) for Multi-Model Applications published by the Wisconsin Department of Transportation, current edition.

Notes:  
Topical shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and


	TOPOGRAPHIC LEGEND	
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	1" x 18" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC		EXIST STORM MANHOLE
	PAVED BY CITY		UNDERGROUND TO BE PLACED		STORM BY CITY

⊙	3/4" REBAR FOUND	—FIBER—	UNDERGROUND FIBEROPTIC	⊠	YARD DRAIN
⊠	1" IRON PIPE FOUND	—○—○—	UNDERGROUND GAS	⊙	EXIST SANITARY MANHOLE

1-1/4" IRON PIPE FOUND	—X—X—	UNDERGROUND CABLE TV	-----	EXIST. SANI. SEWER
2" IRON PIPE FOUND	—X—X—	EXIST. FENCE LINE	-----	EXIST. STO. SEWER
CHISELED "C" FOUND	⊕	SON	-----	EXIST. WATER MAIN

☐ GOVERNMENT CORNER      ☐ POWER POLE      ☐ EXIST. SPOT ELEVATION  
☐ RECORDED AS      ☐ GUY      ☐

	CONIFEROUS TREE	00	EXIST. POLE	000	EXIST. TOP OF ELEVATION
	DECIDUOUS TREE	01	TELEPHONE PEDESTAL	000/000	EXIST. TOP OF CURB ELEV.
		02	ELECTRIC PEDESTAL	000/000	EXIST. FLOW LINE ELEV.

	WETLANDS		CABLE PEDESTAL	FF = 000.00	FIRST FLOOR = 000.00
	SEE BORING		EXIST. HYDRANT		TOPSOIL DEPTH
			WATER VALVE		MECHANICAL SOIL BORING

	WATER STOP BOX	
--	----------------	--

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NO.	DATE	NO.	DATE	NO.	DATE
1	11/14/2020	8	1/14/2021		
2	11/11/2020	9	1/19/2021		
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6	12/18/2020				
7	1/7/2021				

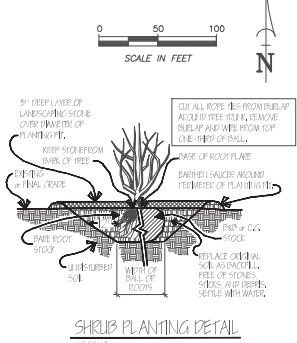
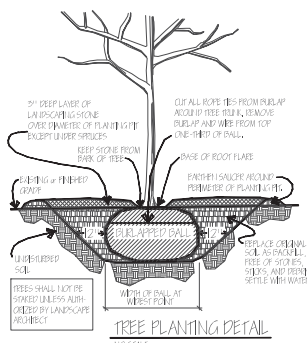
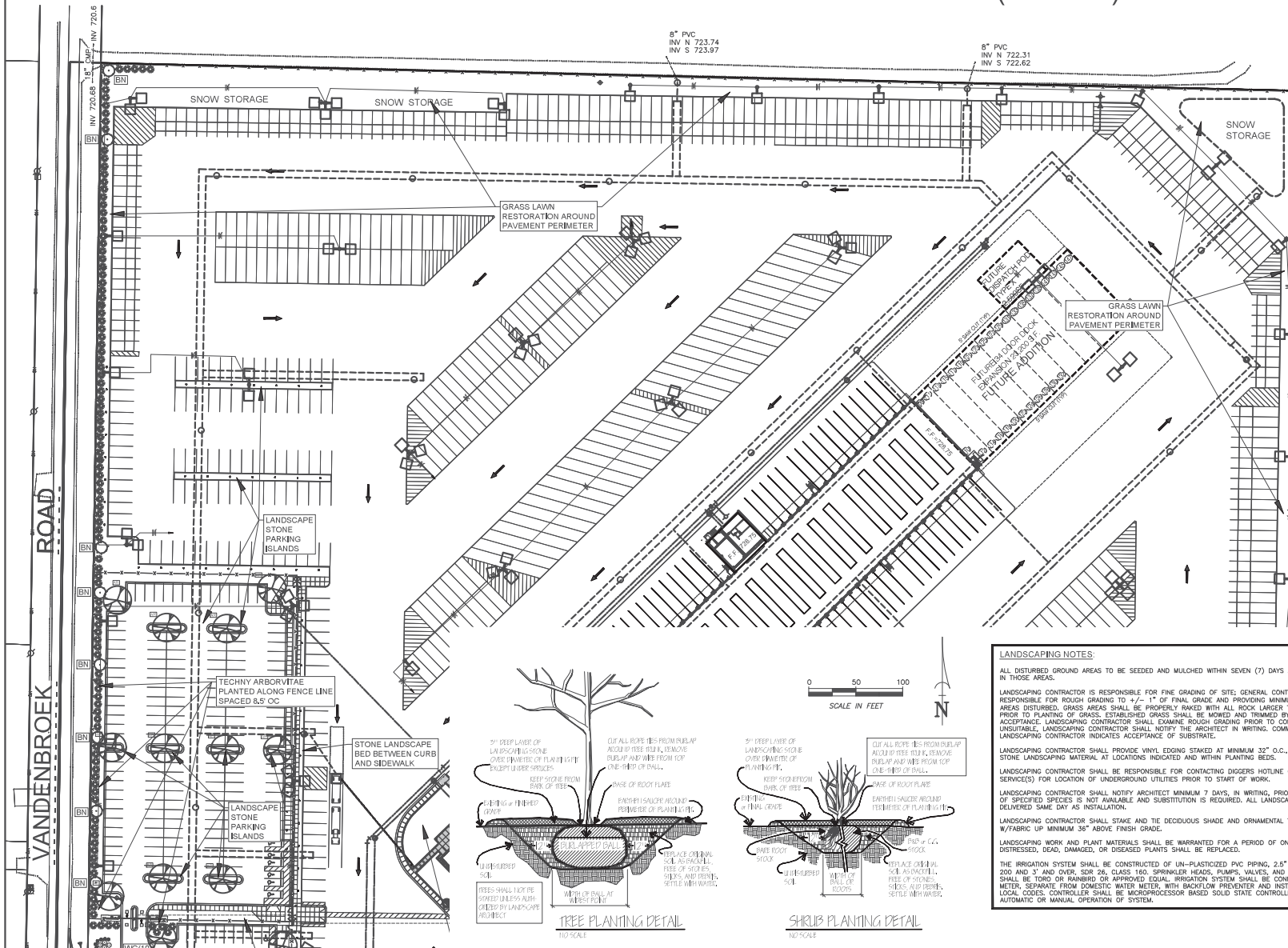
# EAST DETENTION POND FEDEX SETZER PROPERTIES VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002de.dwg	
DRAWING NO.	
C4.4	

DRAWING NO.  
C4.4



# LANDSCAPE PLAN: FEDEX SETZER PROPERTIES (NORTH)



**LANDSCAPING NOTES:**

ALL DISTURBED GROUND AREAS TO BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF WORK IN THOSE AREAS.

LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SITE; GENERAL CONTRACTOR / EXCAVATOR IS RESPONSIBLE FOR ROUGH GRADING TO +/- 1" OF FINAL GRADE AND PROVIDING MINIMUM 4" OF TOPSOIL AT ALL AREAS DISTURBED. GRASS AREAS SHALL BE PROPERLY RAKED WITH ALL ROCK LARGER THAN 1.5" DIAMETER REMOVED PRIOR TO PLANTING OF GRASS. ESTABLISHED GRASS SHALL BE MOVED AND THINDED BY LANDSCAPER UNTIL FINAL ACCEPTANCE. LANDSCAPING CONTRACTOR SHALL EXAMINE ROUGH GRADING PRIOR TO COMMENCEMENT OF WORK; IF UNSATISFACTORY, LANDSCAPING CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING. COMMENCEMENT OF WORK BY LANDSCAPING CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATE.

LANDSCAPING CONTRACTOR SHALL PROVIDE VINYL EDGING STAKED AT MINIMUM 32" O.C., LANDSCAPING FABRIC AND STONE LANDSCAPING MATERIAL AT LOCATIONS INDICATED AND WITHIN PLANTING BEDS.

LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE OR OTHER LOCATOR SERVICE(S) FOR LOCATION OF UNDERGROUND UTILITIES PRIOR TO START OF WORK.

LANDSCAPING CONTRACTOR SHALL NOTIFY ARCHITECT MINIMUM 7 DAYS, IN WRITING, PRIOR TO START OF INSTALLATION OF SPECIFIED SPECIES IS NOT AVAILABLE AND SUBSTITUTION IS REQUIRED. ALL LANDSCAPING MATERIAL SHALL BE DELIVERED SAME DAY AS INSTALLATION.

LANDSCAPING CONTRACTOR SHALL STAKE AND TIE DECIDUOUS SHADE AND ORNAMENTAL TREES AND WRAP TRUNK 8"/FABRIC UP MINIMUM 36" ABOVE FINISH GRADE.

LANDSCAPING WORK AND PLANT MATERIALS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR. DURING WARRANTY, DISTRESSED, DEAD, DAMAGED, OR DISEASED PLANTS SHALL BE REPLACED.

THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED OF UN-PLASTICIZED PVC PIPING, 2.5" AND UNDER SDR 26, CLASS 200 AND 3" AND OVER, SDR 26, CLASS 160. SPRINKLER HEADS, PUMPS, VALVES, AND ASSOCIATED EQUIPMENT SHALL BE TORQ OR RAINBOW OR APPROVED EQUAL. IRRIGATION SYSTEM SHALL BE CONNECTED TO LANDSCAPE WATER METER, SEPARATE FROM DOMESTIC WATER METER, WITH BACKFLOW PREVENTER AND INSTALLED AS REQUIRED TO MEET LOCAL CODES. CONTROLLER SHALL BE MICROPROCESSOR BASED SOLID STATE CONTROLLER CAPABLE OF FULLY AUTOMATIC OR MANUAL OPERATION OF SYSTEM.

**Martenson & Eisele, Inc.**  
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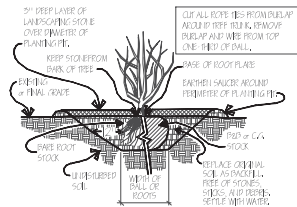
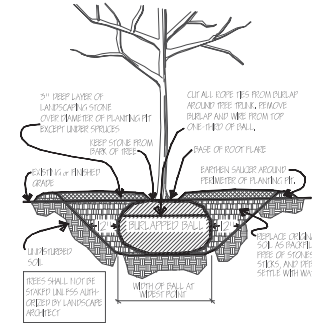
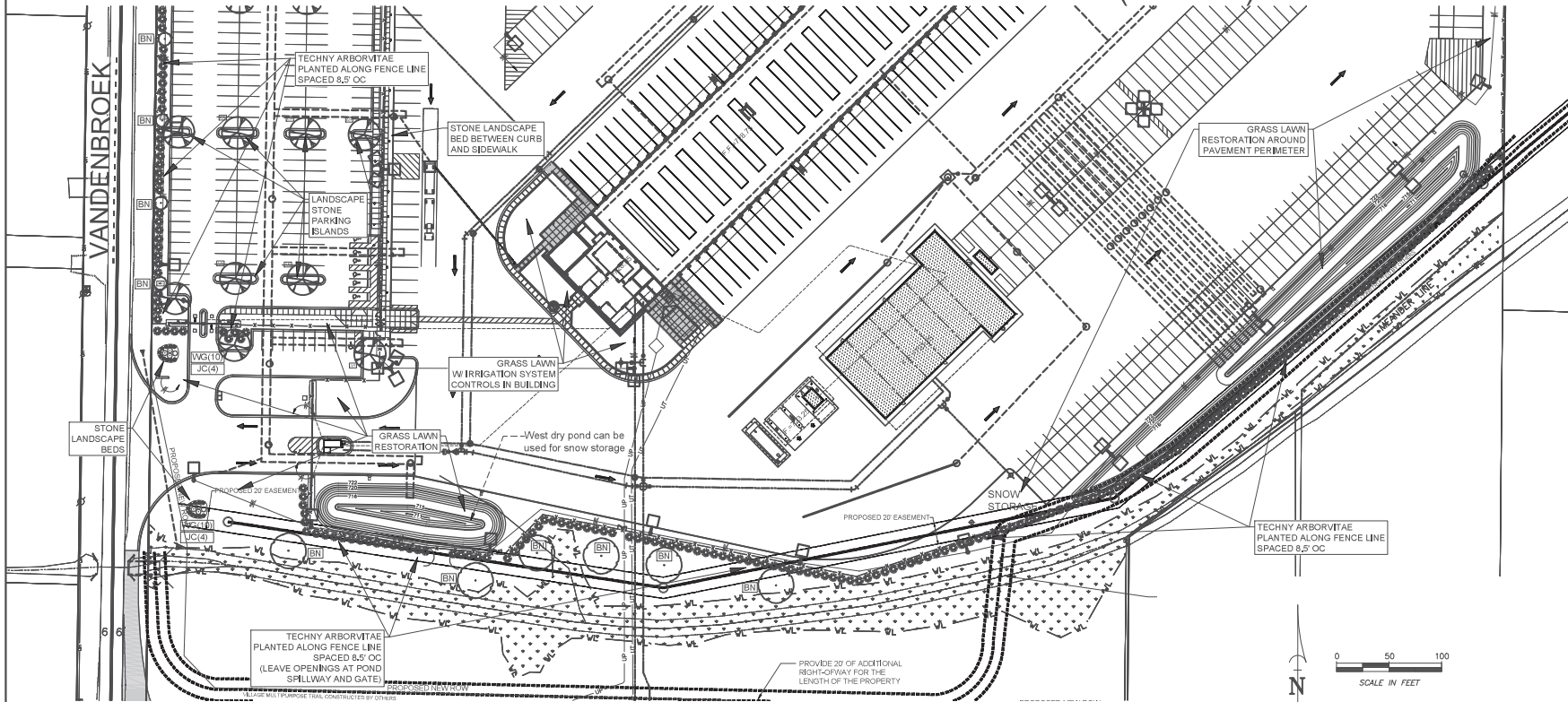
NO.	DATE	NO.	DATE
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2	11/11/2020	10	12/09/2021
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4	12/16/2020	12	12/16/2021
5	12/16/2020	13	12/16/2021
6	12/16/2020	14	12/16/2021
7	12/16/2020	15	12/16/2021

**LANDSCAPE PLAN - NORTH**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
1-1342-002a.dwg	

DRAWING NO.
C7.1

# LANDSCAPE PLAN: FEDEX SETZER PROPERTIES (SOUTH)



LANDSCAPE SCHEDULE							
	MARK	COMMON NAME botanical name	SIZE		INITIAL	MATURE	QTY
TREES	BS	BLACK HILLS SPRUCE <i>picea glauca densata</i>	2"	25'		8	
	BN	RIVER BIRCH <i>betula nigra</i>	2"	35'		6	
	AR	RED SUNSET MARLE <i>acer rubrum 'red sunset'</i>	2"	50'		13	
	WG	SPILED VINE WEGGELA <i>weigela florida 'Spiralvine'</i>	5 gal	3'		20	
	JC	KALLA'S COMPACT PRITZER JUNIPER <i>juniper chinensis 'Kallia's Compact'</i>	5 gal	2-3'		8	
SHRUBS	TO	TECHNY ARBORVITAE <i>thuja occidentalis 'techny'</i>	5 gal	3-5'		268	

## LANDSCAPING NOTES:

ALL DISTURBED GROUND AREAS TO BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF WORK IN THOSE AREAS.

LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SITE; GENERAL CONTRACTOR / EXCAVATOR IS RESPONSIBLE FOR ROUGH GRADING TO +/- 1" OF FINAL GRADE AND PROVIDING MINIMUM 6" OF TOPSOIL AT ALL AREAS DISTURBED. GRASS AREAS SHALL BE PROPERLY RAKED WITH ALL ROCK LARGER THAN 1.5" DIAMETER REMOVED PRIOR TO PLANTING OF GRASS. ESTABLISHED GRASS SHALL BE MOWED AND TRIMMED BY LANDSCAPER UNTIL FINAL ACCEPTANCE. LANDSCAPING CONTRACTOR SHALL EXAMINE ROUGH GRADING PRIOR TO COMMENCEMENT OF WORK. IF UNSUITABLE, LANDSCAPING CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING. COMMENCEMENT OF WORK BY LANDSCAPING CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATE.

LANDSCAPING CONTRACTOR SHALL PROVIDE VINYL EDGING STAKED AT MINIMUM 32" O.C., LANDSCAPING FABRIC AND STONE LANDSCAPING MATERIAL AT LOCATIONS INDICATED AND WITHIN PLANTING BEDS.

LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE OR OTHER LOCATOR SERVICE(S) FOR LOCATION OF UNDERGROUND UTILITIES PRIOR TO START OF WORK.

LANDSCAPING CONTRACTOR SHALL NOTIFY ARCHITECT MINIMUM 7 DAYS, IN WRITING, PRIOR TO START OF INSTALLATION OF SPECIFIED SPECIES IS NOT AVAILABLE AND SUBSTITUTION IS REQUIRED. ALL LANDSCAPING MATERIAL SHALL BE DELIVERED SAME DAY AS INSTALLATION.

LANDSCAPING CONTRACTOR SHALL STAKE AND THE DECIDUOUS SHADE AND ORNAMENTAL TREES AND WRAP TRUNK W/FABRIC UP MINIMUM 36" ABOVE FINISH GRADE.

LANDSCAPING WORK AND PLANT MATERIALS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR. DURING WARRANTY, DISTRESSED, DEAD, DAMAGED, OR DISEASED PLANTS SHALL BE REPLACED.

THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED OF UN-PLASTICIZED PVC PIPING, 2.5" AND UNDER SDR 26, CLASS 200 AND 3" AND OVER, SDR 26, CLASS 160, SPRINKLER HEADS, PUMPS, VALVES, AND ASSOCIATED EQUIPMENT SHALL BE TOND OR RANIBROD OR APPROVED EQUAL. IRRIGATION SYSTEM SHALL BE CONNECTED TO LANDSCAPE WATER METER, SEPARATE FROM DOMESTIC WATER METER, WITH BACKFLOW PREVENTER AND INSTALLED AS REQUIRED TO MEET LOCAL CODES. CONTROLLER SHALL BE MICROPROCESSOR BASED SOLID STATE CONTROLLER CAPABLE OF FULLY AUTOMATIC OR MANUAL OPERATION OF SYSTEM.

**Martenson & Eisele, Inc.**  
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Environmental  
Engineering  
Architecture  
920.731.0381 1.800.236.0381

NO.	DATE	NO.	DATE
1	1/14/2020	9	11/29/2021
2	1/11/2020	10	11/29/2021
3	12/4/2020	11	12/6/2021
4	12/16/2020	12	12/16/2020
5	12/16/2020	13	12/16/2020
6	12/16/2020	14	12/16/2020
7	12/16/2020	15	12/16/2020

**LANDSCAPE PLAN - SOUTH**  
**FEDEX SETZER PROPERTIES**  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

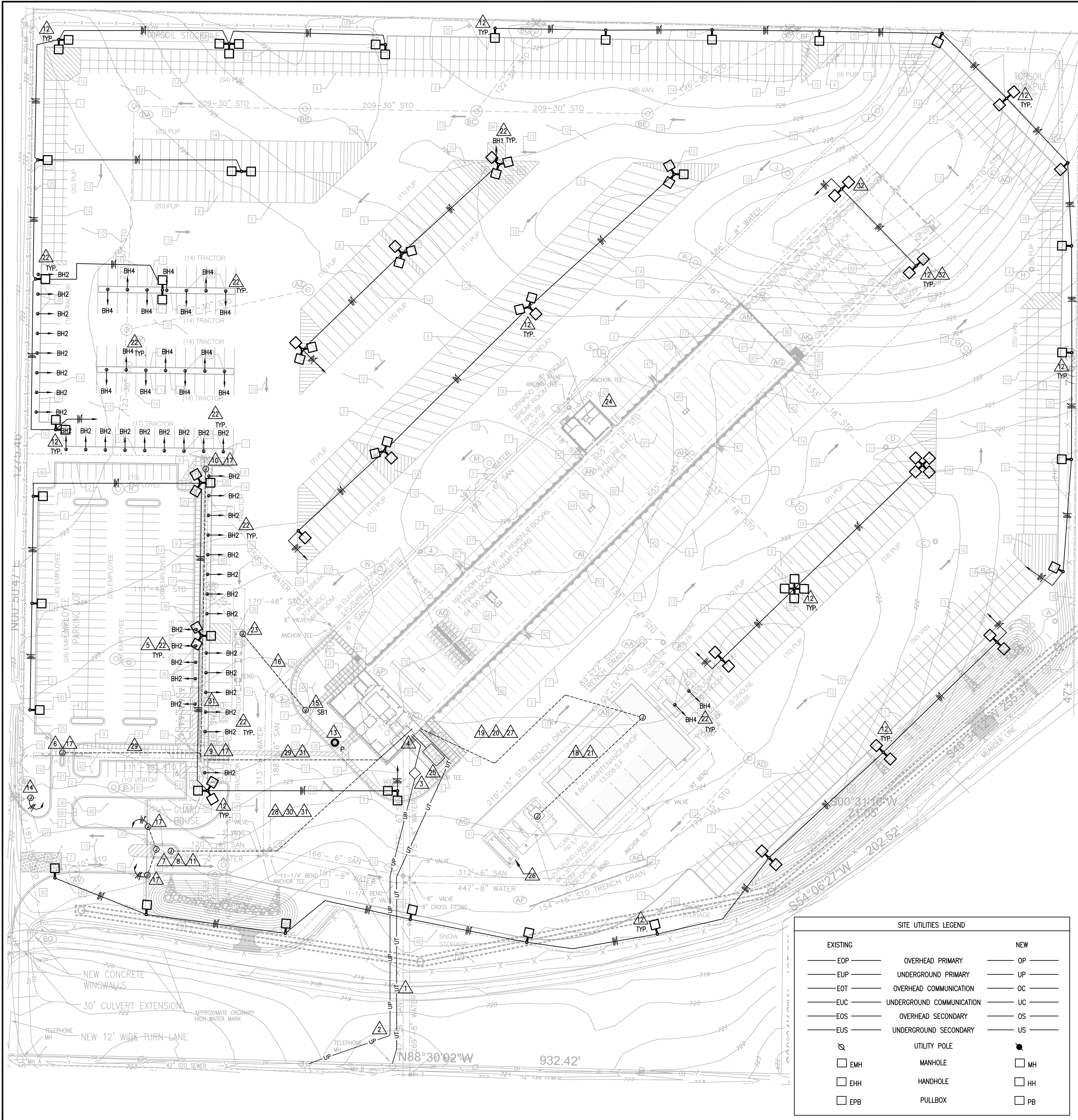
SCALE	DATE
BAR SCALE	10-30-2020

1-1342-002ds.dwg

DRAWING NO.  
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SITE UTILITIES LEGEND		
EXISTING		NEW
— EOP —	OVERHEAD PRIMARY	— OP —
— EUP —	UNDERGROUND PRIMARY	— UP —
— EOT —	OVERHEAD COMMUNICATION	— OC —
— EUC —	UNDERGROUND COMMUNICATION	— UC —
— EOS —	OVERHEAD SECONDARY	— OS —
— EUS —	UNDERGROUND SECONDARY	— US —
UTILITY POLE		
□ EMH	MANHOLE	□ MH
□ EHH	HANDHOLE	□ HH
□ EPB	PULLBOX	□ PB

TAGGED NOTES:

- TELECOMMUNICATION SERVICE ENTRANCE PER CIVIL PLANS FOR EXACT QUANTITY AND PLACEMENT OF SERVICE CONDUITS. COORDINATE EXACT LOCATIONS WITH TELEPHONE COMPANY IN FIELD. CAP CONDUITS 24" AFF AT TELEPHONE BOARD IN MAIN OFFICE TELCO ROOM. REFER TO FXF SPECIFICATION SECTION 16.6 FOR ADDITIONAL INFORMATION. COORDINATE WITH UTILITY AND CIVIL PLANS FOR EXACT REQUIREMENTS.
- PRIMARY ELECTRICAL SERVICE PER CIVIL PLANS. COORDINATE WITH UTILITY AND CIVIL PLANS FOR EXACT REQUIREMENTS.
- PROVIDE CONCRETE PAD (PER UTILITY SPECIFICATIONS). PRIMARY CONDUITS WITH PULL STRINGS. (1) 3" CONDUIT FOR TEMPORARY POWER AND SECONDARY CONDUITS TO AUTOMATIC TRANSFER SWITCH, UTILITY TRANSFORMER FURNISHED AND INSTALLED BY UTILITY COMPANY. COORDINATE EXACT LOCATION, REQUIREMENTS, AND ROUTING WITH UTILITY COMPANY AND CIVIL ENGINEER PRIOR TO ANY WORK.
- SECONDARY ELECTRICAL SERVICE ENTRANCE. REFER TO RISER FOR DETAILS. MIN. BURY 30".
- PROVIDE ELECTRIC FOR EV CHARGING STATIONS. REFER TO CIVIL DRAWINGS AND DETAILS FOR COORDINATION.
- PROVIDE ELECTRICAL CONNECTIONS AS REQUIRED FOR MOTORIZED CANTILEVERED SLIDE GATES @ EMPLOYEE VEHICLE ENTRANCE W/ CARD ACCESS IN/CARD ACCESS OUT & VIDEO INTERCOM EACH SIDE. SEE SITE CIVIL DETAILS AND FXF SD DETAILS FOR COORDINATION.
- PROVIDE YARD CARD ACCESS. SEE SITE CIVIL DETAILS AND FXF SD DETAILS FOR COORDINATION.
- PROVIDE ELECTRICAL CONNECTIONS AS REQUIRED FOR MOTORIZED CANTILEVERED SLIDE GATES @ TRUCK ENTRANCE W/ CARD ACCESS IN/CARD ACCESS OUT & VIDEO INTERCOM EACH SIDE. SEE SITE CIVIL DETAILS AND FXF SD DETAILS FOR COORDINATION.
- HANDICAP GATE W/CBM & CARD READER, PROVIDE ALL REQUIRED CONDUITS AND CONNECTIONS. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- HANDICAP GATE & TURNSTILE W/CBM & CARD READER, PROVIDE ALL REQUIRED CONDUITS AND CONNECTIONS SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE UTILITY AND TELECOM CONNECTIONS AS REQUIRED FOR MODULAR GUARD HOUSE. SEE ARCHITECTURAL DRAWINGS/DETAILS AND FXF DETAILS FOR COORDINATION.
- 35' SECURITY LIGHT W/BASE SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION. TYP. LIGHT BASE TO BE LOCATED (8FT FOR PUPS & 13FT FOR VANS) FROM BACK OF CURB TO CENTER LINE OF POLE AND CENTERED ON PARKING STALL STRIPE.
- FLAGPOLE LOCATION. PROVIDE 3/4" CONDUIT WITH POWER TO BASELIGHT, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- FEDEX FREIGHT MONUMENT SIGN. PROVIDE 3/4" CONDUIT AND POWER W/20 AMP CIRCUIT, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- SCOREBOARD/INDICATOR. PROVIDE 1 1/4" CONDUIT AND ALL REQUIRED CONNECTIONS TO SCALE. POLE MOUNTED PER DETAIL ON AXLE SCALE DRAWINGS UNLESS INDICATED TO BE MOUNTED ON DOCK, SHOP, OR FUEL CANOPY
- PROVIDE 3/4" POWER CONDUIT AND ALL REQUIRED CONNECTIONS TO SCOREBOARD PER DETAIL ON AXLE SCALE DRAWINGS.
- PROVIDE 16"x16"x12" MIN. WATER-TIGHT JUNCTION BOX OR WATER-TIGHT YARD ELECTRICAL PULL BOX AT FINISH GRADE WITH CONDUITS AS REQUIRED CONNECTIONS FOR TURNSTILE & H.C. SECURITY GATES. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE ALL REQUIRED CONNECTIONS, FROM OFFICE/SHOP ELECTRICAL ROOM TO PANEL IN LUBE SHED & (1)-4" CONDUIT W/ PULL TAPE FROM OFFICE/SHOP TELCO TO LUBE SHED. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE ELECTRICAL FEEDER AS REQUIRED (MIN 1-4" C.) FROM SHOP ELECTRICAL ROOM TO YARD ELECTRICAL PULL BOX. REFER TO RISER DIAGRAM FOR FEEDER SIZING.
- PROVIDE 1" CONDUIT AND ALL REQUIRED CONNECTIONS FROM OFFICE FIRE ALARM CONTROL PANEL TO SHOP FIRE ALARM CONTROL PANEL.
- PROVIDE ALL REQUIRED CONNECTIONS FROM PULL BOX TO OFFICE/SHOP TELCO ROOM LOCATION. REFER TO FUELING SHEETS FOR CABLING REQUIREMENTS.
- BLOCKHEATER, PROVIDE ELECTRICAL CONNECTION AS REQUIRED. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- AST, PROVIDE ALL REQUIRED CONNECTIONS AS DENOTED ON FUEL SHEETS & FXF SPECIFICATIONS.
- TRASH COMPACTOR LOCATION. PROVIDE ELECTRICAL CONNECTION AS REQUIRED. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS TO AUTOMATIC TRANSFER SWITCH FROM GENERATOR AND ASSOCIATED CIRCUITS FOR GENERATOR SUPPORT POWER (JACKET HEATER, BATTERY CHARGER, ETC.) COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH GENERATOR MANUFACTURER. REFER TO SINGLE-LINE DIAGRAM FOR MORE INFORMATION. REFER TO CIVIL AND ARCHITECTURAL PLANS FOR GENERATOR PAD REQUIREMENTS. PROVIDE METAL CAT WALK ON TWO SIDES W/ METAL SHIP STAIR & GUARDRAILS. SEE FXF SPECIFICATIONS, SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- REFER TO AST(FUEL ISLAND) SHEETS FOR CONDUIT LOCATIONS AND CONNECTION REQUIREMENTS. PROVIDE ALL REQUIRED.
- PROVIDE (1)-4" CONDUIT W/POWER (REFER TO RISER DIAGRAM), FROM OFFICE ELECTRICAL ROOM TO PANEL IN SHOP ELECTRICAL ROOM & (1)-4" CONDUIT FROM OFFICE TELCO TO SHOP TELCO. PROVIDE ALL CABLING AS REQUIRED.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FROM JUNCTION BOX TO ISLAND PULL BOX AT YARD ENTRY ISLAND, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FROM JUNCTION BOX TO ISLAND PULL BOX AT EMPLOYEE PARKING ISLAND, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FROM JUNCTION BOX TO GUARD HOUSE ISLAND PULLBOX AT YARD ENTRY, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FOR SECURITY TURNSTILE FOR YARD ACCESS, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- LIGHT POLES ARE TO BE AT END OF CIRCUITING FOR REMOVAL DURING FUTURE EXPANSION.

GENERAL NOTES:

- DO NOT SCALE FROM MECHANICAL AND ELECTRICAL DRAWINGS. FIELD VERIFY REQUIRED DIMENSIONS.
- CONTRACTOR SHALL CUT AND PATCH ALL PAVEMENT, CURBING, etc. AS REQUIRED. FOR WORK. CONTRACTOR SHALL REPAIR ALL LANDSCAPING THAT IS DAMAGED FOR WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY EXCAVATION WORK REQUIRED TO LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY ANY OTHER AFFECTED UTILITY OWNERS PRIOR TO DIGGING. IN THE EVENT OF ACCIDENTAL INTERRUPTION OF SERVICE, CONTRACTOR WILL IMMEDIATELY NOTIFY THE OTHER UTILITY OWNERS.
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD OTHER EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE OTHER UTILITIES, THE UTILITY WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT.
- FEDERAL, STATE, LOCAL, MUNICIPALITY AND UTILITY COMPANY CODES, RULES, REGULATIONS AND REQUIREMENTS APPLY UNLESS EXCEEDED BY THIS DESIGN.
- WHEN INTERRUPTION OF AN EXISTING UTILITY OR SERVICES IS PLANNED OR OCCURS ACCIDENTALLY, THE CONTRACTOR(S) SHALL WORK CONTINUOUSLY AS NEEDED TO RESTORE SAME PROVIDING PREMIUM TIME AS NEEDED AT NO INCREASE IN THE CONTRACT PRICE.
- PLANNED INTERRUPTION OF ANY SERVICE SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPALITY OR UTILITY COMPANY, THE ARCHITECT AND THE BUILDING OPERATIONS AT LEAST ONE WEEK IN ADVANCE OR ANTICIPATED INTERRUPTION. A SCHEDULE FOR THESE OUTAGES SHALL BE DEVELOPED AND AGREED UPON BETWEEN THE PARTIES MENTIONED TO AVOID UNNECESSARY INCONVENIENCE TO THE OWNER OR ANY AFFECTED PARTY. NOTIFY THE UTILITY COMPANY OF ANY ANTICIPATED SERVICES REQUIRED FROM THEM AT LEAST TWO WEEKS IN ADVANCE IN WRITING AND INSURE THAT THEY DO NOT DELAY WORK.
- LOCATIONS, DEPTHS, MATERIAL TYPES, ELEVATIONS, ETC. OF ALL APPURTENANCES, LINES, BUILDINGS, ETC. INDICATED ON THESE DRAWINGS WERE TAKEN FROM VARIOUS SOURCES, ARE DIAGRAMMATIC ONLY AND ARE SUBJECT TO SUBSTANTIAL VARIATION FROM EXISTING CONDITIONS. EXISTING UTILITIES LOCATIONS MAY VARY. (CONSEQUENTLY ALL CONTRACTORS SHALL EXERCISE EXTREME CARE IN THE COURSE OF THEIR WORK SO AS INSURE THAT THEY DO NOT INTERRUPT ANY EXISTING SERVICE. FOR SAFETY PURPOSES, PAY PARTICULAR ATTENTION TO THIS PRECAUTION RELATIVE TO NATURAL GAS AND ELECTRICAL LINES. ALL WORK SHALL BE PERFORMED IN ACCORD WITH ALL FEDERAL, STATE AND/OR LOCAL RULES, REGULATIONS, STANDARDS AND SAFETY REQUIREMENTS. UTILITIES SHALL ALSO BE INSTALLED IN ACCORD WITH THE APPLICABLE MUNICIPALITY OR UTILITY COMPANY STANDARDS. IN ALL CASES, THE MOST STRINGENT SHALL APPLY. IF ANY VARIATION OCCURS, CONSULT THE BUILDING ENGINEER AND THE MECHANICAL ENGINEER'S REPRESENTATIVE). CONTRACTOR SHALL VISIT SITE AND FIELD VERIFY THE ROUTING OF ALL UTILITIES NEW AND EXISTING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID PROPOSAL INDICATES THAT THE CONTRACTOR IS FULLY AWARE OF ALL OBSTRUCTIONS AND WILL INSTALL ALL OF THE NEW UTILITIES WITHOUT REQUESTS FOR ANY ADDITIONAL CHANGES.
- EXTERIOR LIGHTING TO BE ROUTED THROUGH SITE LIGHTING RELAY PANEL PRIOR TO CONNECTION TO ELECTRICAL PANEL.
- SITE LIGHTING HEADS ARE TO BE MOUNTED 39'-0" AFG, 4' CONCRETE BASE PER DETAIL, AND 35' POLE.
- ALL PARKING LOT LIGHTING POLES ARE TO BE LOCATED A MINIMUM OF 8' FOR PUPS & 13' FOR VANS BEHIND CURB.
- REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- PROVIDE ALL REQUIRED POWER, CONTROL WIRING, MAGNETIC LOCKS, ENTRAPMENT PROTECTION AND IN-GROUND CONTROL LOOPS AS REQUIRED FOR A COMPLETE FUNCTIONAL SYSTEM.
- REFER TO FXF SPECIFICATION SECTION 2.8(C) FOR ADDITIONAL GATE REQUIREMENTS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ALL REQUIREMENTS OF THE GATE OPERATOR (LIFTMASTER CSW 200-UL-1HP).
- REFER TO FXF SPECIFICATION SECTION 16.7 FOR ADDITIONAL SECURITY CARD ACCESS CONTROL REQUIREMENTS.
- ALL EXTERIOR PANELS AND TRANSFORMERS TO BE RATED NEMA 3R.
- REFER TO SITE PHOTOMETRIC DRAWINGS FOR EXTERIOR SITE LIGHTING FIXTURE SCHEDULE, DETAILS AND SPECIFICATIONS

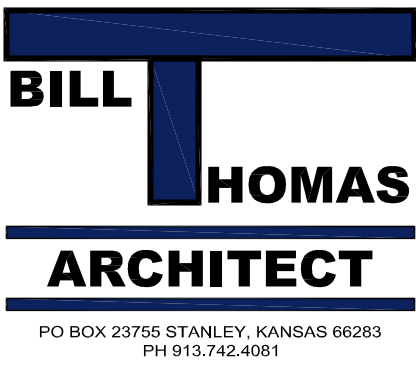
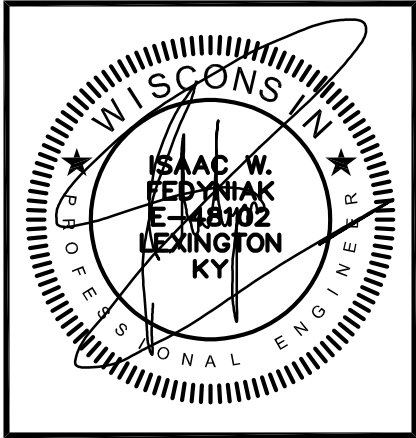
THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CONTACT "BUD (BEFORE YOU DIG)" AT 1-800-752-6007 TO OBTAIN UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY CONTRACTOR OR SUBCONTRACTOR PERFORMING ANY TYPE OF EXCAVATION ON THIS PROJECT SHALL CALL "BUD" TO OBTAIN AN AUTHORIZATION NUMBER.

PLAN NORTH

**SITE ELECTRICAL PLAN**

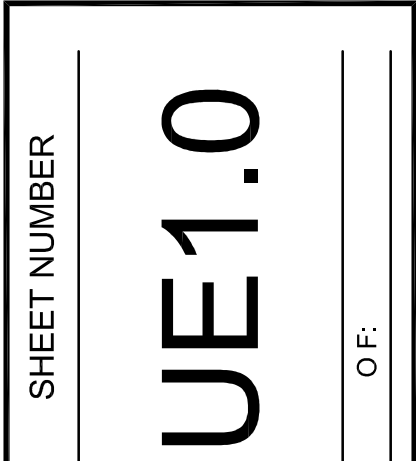
SCALE: 1" = 60'-0"

0 15' 30' 60' 90' 120' 180' 240'



DESIGNER:	
DRAWN BY:	IWF
JOB NO.:	GRB20
DATE:	12/09/20

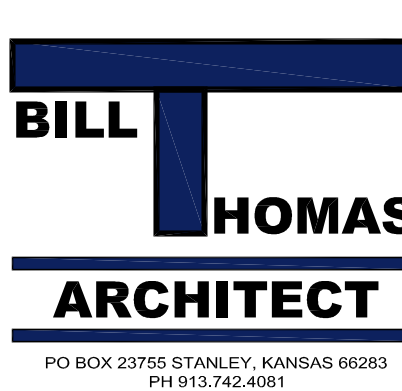
PROJECT REVISIONS	REV DATE
	MM-DD-YY











**BILL THOMAS**  
**ARCHITECT**

PO BOX 23755 STANLEY, KANSAS 66283  
PH 913.742.4081

A NEW CROSS DOCK BUILDING FOR:  
**FEDEX FREIGHT**  
VANDENBROEK ROAD & EVERGREEN DRIVE  
VILLAGE OF LITTLE CHUTE, WISCONSIN 54165

GRB



DESIGNER:	
DRAWN BY:	IWR
JOB NO.:	GRB20
DATE:	12/09/20

## PROJECT REVISIONS

REV DATE  
MM-DD-YY

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## FUEL CANOPY PLAN NOTES

1. BASE COURSE FUEL TANK & FUEL TANK CONCRETE.
2. RAISED CONCRETE FUEL TANK FOR FOUNDATION DRAINAGE - SLOPE 1% PER TANK MANUFACTURER SPECIFICATIONS. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
3. 20,000 GALLON AT&T DIESEL FUEL TANK - DOUBLE WALLED 18,285 (2) HOUR FIRE RATED PER SPECIFICATIONS. VERIFY DIMENSIONAL SIZE OF TANK W/ TANK MANUFACTURER TO INSTALLATION. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
4. 6" DIA. SCH. 40 STEEL FUEL BOLLARDS FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLIDE CAPS TO PROTECT BOLLARDS FROM DAMAGE. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
5. SUSPENDED HOSE REEL SYSTEM - AT&T 4" DIA. S.C.
6. FIRE EXTINGUISHER PER SPECIFICATIONS FURNISHED & INSTALLED BY GENERAL CONTRACTOR.
7. PROPOSED LOCATION OF TANKS: DOWNHILL TOWARDS HARBOR FUEL UNDERGROUND. COORDINATE ALL LOCATIONS W/ FUEL SUPPLIER MANUFACTURER FOR FUEL DRAWINGS.
8. PAINTED STEEL TANK CURB FORM - TYPICAL ANCHOR ALL CURBS.
9. MASTER #1 FUEL DISPENSER - GASCOY 9850K 200 GPN TOP OF BRWAO A67630 CONTAINMENT SUMP.
10. MASTER #2 FUEL DISPENSER - GASCOY 9850K 200 GPN TOP OF BRWAO A67630 CONTAINMENT SUMP.
11. TANK CURB 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
12. PROVIDE 10%+ SLOPE LONG TANKS TOWARDS BRWAO INSTALLED ON EACH SIDE OF REAR SLOPE + CORROD WIDE BY CONTRACTOR & ELECTRICAL DRAWINGS.
13. TANK CURB 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
14. SATELLITE #3 FUEL DISPENSER - GASCOY 9216K-200 GPN TOP OF BRWAO A67630 CONTAINMENT SUMP.
15. SUPPLY & INSTALL VEREDEL ROOF OVERFILL ALARM ON EXTERIOR OF STORAGE SHED. DEVELOPER TO CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALARMS, FIRE TEMPERATURES, TESTING & TANKING.
16. SLOPE PAD FLOOR.
17. OIL TANK CONTROL ON 10" MIN. RELIABLE SYSTEM PER SPECIFICATIONS.
18. CANOPY SLOUT FOUTLINE PER ELECTRICAL DRAWINGS.
19. INTAKE AIR EXHAUST PER MECHANICAL DRAWINGS.
20. DIEZEL EXHAUST FUEL/STORAGE TANK PROVIDED BY & INSTALLED BY CONTRACTOR - PROVIDE EXHAUST SYSTEM TO EXHAUST OUTSIDE OF SHED. PROVIDE ELECTRICAL CONTRACTOR FOR ELECTRICAL DETAILS.
21. PROVIDE EXHAUST SHUT OFF BUTTON TO BE LOCATED IN COMPLIANCE W/INCE A, FIRE HAZARD & LOCAL CODES. BUTTON TO BE CONFIGURED TO SHUT OFF POWER FUEL SUPPLY. COORDINATE EXHAUST SHUT OFF WITH FUEL SUPPLIER MANUFACTURER FOR FUEL DRAWINGS.
22. EXIST WORKING TO SLOPE ABOVE. PROVIDE 10%+ SLOPE LONG TANKS TOWARDS BRWAO INSTALLED ON EACH SIDE OF REAR SLOPE + CORROD WIDE BY CONTRACTOR & ELECTRICAL DRAWINGS.
23. LINE OF FUEL CANOPY ABOVE.
24. FINISHED FLOOR FINISH TO BE IN LINE SLOPE = 100 +/-
25. FINISHED CONCRETE ELEVATION AT REAR SHED = 100 +/-
26. FINISHED CONCRETE PAVING ELEVATION AT STAIR SLOPE = 99.50'
27. ICU CARD READER #1.
28. TOP OF STEEL SLAB ELEVATION = 100.00' - CURB FORM SHALL BE A MINIMUM OF 6" ABOVE ANY ADJACENT EXISTING CONCRETE.
29. FINISHED CONCRETE ELEVATION @ ISLAND = 100.00' - CURB FORM SHALL BE A MINIMUM OF 6" ABOVE ANY ADJACENT EXISTING CONCRETE.
30. ELECTRICAL PANEL PER ELECTRICAL DRAWINGS.
31. ELECTRIC HAZARD PER ELECTRICAL/MECHANICAL DRAWINGS.
32. AIR COMPRESSOR PER MECHANICAL DRAWINGS.
33. PRODUCT STORAGE DRUMS.
34. SPILL CONTAINMENT PALLETS: MPE - ULTRA SPL PALLET MODEL NUMBER 2361, 4-DRUM MODEL - 10' X 7' 5 1/2" MIN. X 3 1/2" DIA. 60 GALS. CONTAINMENT 90 GALLONS.
35. 25 TON STIFFENING RIG SIGHT GAUGE, LABEL PRODUCT TANKS.
36. 6" W. X 8" H. 10' OVERHUNG INSULATED BOLLING. DOWEL W/ ANCHOR PER STD. FOR SHEET PILING. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS. PROVIDE 10%+ SLOPE LONG TANKS TOWARDS BRWAO INSTALLED ON EACH SIDE OF REAR SLOPE + CORROD WIDE BY CONTRACTOR & ELECTRICAL DRAWINGS.
37. 10" DIA. SCH. 40 STEEL FUEL BOLLARDS FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLIDE CAPS TO PROTECT BOLLARDS FROM DAMAGE. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
38. 6" W. X 8" H. 10' OVERHUNG INSULATED BOLLING. DOWEL W/ ANCHOR PER STD. FOR SHEET PILING. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
39. 10" DIA. SCH. 40 STEEL FUEL BOLLARDS FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLIDE CAPS TO PROTECT BOLLARDS FROM DAMAGE. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
40. 6" W. X 8" H. 10' OVERHUNG INSULATED BOLLING. DOWEL W/ ANCHOR PER STD. FOR SHEET PILING. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
41. 10" DIA. SCH. 40 STEEL FUEL BOLLARDS FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLIDE CAPS TO PROTECT BOLLARDS FROM DAMAGE. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
42. 6" W. X 8" H. 10' OVERHUNG INSULATED BOLLING. DOWEL W/ ANCHOR PER STD. FOR SHEET PILING. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
43. 10" DIA. SCH. 40 STEEL FUEL BOLLARDS FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLIDE CAPS TO PROTECT BOLLARDS FROM DAMAGE. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
44. 6" W. X 8" H. 10' OVERHUNG INSULATED BOLLING. DOWEL W/ ANCHOR PER STD. FOR SHEET PILING. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
45. 10" DIA. SCH. 40 STEEL FUEL BOLLARDS FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLIDE CAPS TO PROTECT BOLLARDS FROM DAMAGE. PROVIDE 10" MIN. THICK CONCRETE SLAB WITH 4" MIN. REINFORCING BARS.
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68. 6" W. X 8" H. 10' OVERHUNG INSULATED BOLLING. DOWEL W/ ANCHOR PER

## CODE ANALYSIS

CONSTRUCTION TYPE: IIB

### FIRE RESISTANCE RATINGS REQUIRED

**FIRE RESISTANCE RATINGS REQUIRED:**  
TYPE 28 BUILDING CONSTRUCTION  
STRUCTURAL FRAME: 0 HRS.  
BEARINGS WALLS: 0 HRS.  
EXTERIOR: 0 HRS.  
INTERIOR: 0 HRS.  
NON BEARING WALLS & PARTITION  
INTERIOR: 0 HRS.  
FLOOR CONSTRUCTION: 0 HRS.  
ROOF CONSTRUCTION: 0 HRS.

**BUILDING AREA:**

**BUILDING AREA:**  
192 SQ. FT. (LUBE SHED)  
1920 SQ. FT. (FUEL ISLAND CANOPY)

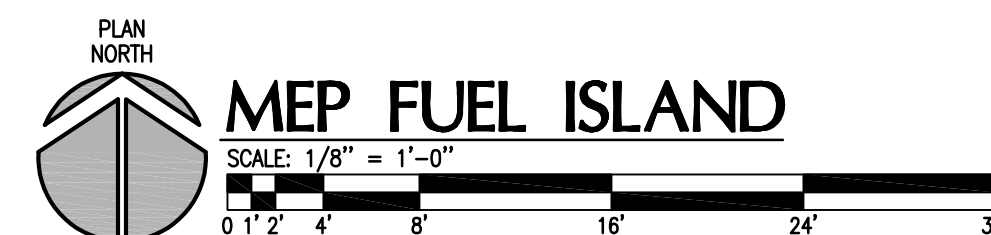
### APPLICABLE CODES

ICC/ANSI A117.1 - 2009  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2015 INTERNATIONAL FIRE CODE  
NFPA 54 FUEL GAS CODE - 2015

## GENERAL NOTES

- THESE GENERAL NOTES APPLY TO ALL ARCHITECTURAL SHEETS IN THE PROJECT SET. SEE:
- DRAWINGS ARE CREATED FOR USE BY GENERAL CONTRACTOR. ARCHITECT ASSUMES NO RESPONSIBILITY FOR TRADES AND SUB-CONTRACTOR DRAWINGS CREATED UNDER CONTRACTOR'S RESPONSIBILITY. ALL DRAWINGS ARE LIMITED TO CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL & CONCRETE WALL DRAWINGS.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK TO BE DONE. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY ALL EXISTING CONDITIONS AS ONE OF THE REQUIREMENTS FOR THIS WORK. VERIFY TO EXISTING DOCUMENTS TO IDENTIFY TO LOCATIONS, DEPTHS, AND SPACING OF ALL EXISTING UTILITIES.
- CONTRACTOR TO VERIFY ALL EXISTING RECORDING AND AS-BUILT RECORDING REFLECTING ANY EXISTING ELEMENTS DAMAGED DURING THE CONSTRUCTION PROCESS. FAILURE TO DO SO SHALL DEMAND TYPE CORRECTIONS TO BE INCORPORATE.
- CONTRACTOR TO OBTAIN KEYNOTES - REFERRING TO THEM BY PLANS APPLY TO THE SAME TYPE OF ITEM. IF ANY OF SUCH ITEMS ARE IDENTIFIED THAT IS NOT IDENTIFIED IN THE KEYNOTES, THEN ITEM WOULD BE TYPICAL AND APPLY TO ALL SUCH ITEMS. KEYNOTES MAY NOT ALWAYS APPLY.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, THE MORE STRINGENT TO GOVERN DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND CODES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ANY DIMENSIONAL VARIATION FROM THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR REVIEW OR PROPER IDENTIFICATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROPERLY AND IMMEDIATELY.
- STRUCTURAL AND MISC. STEEL SUPER SHALL BE RESPONSIBLE FOR REVIEW OF TOTAL CONTRACT DOCUMENTS AND ALL SHEET SHEETS CONTAINED THEREIN.
- STRUCTURAL, STEEL FABRICATION, CONNECTIONS, DETAILING, AND ERECTION SHALL BE IN CHARGE OF ALL STEEL FABRICATION AND ERECTION. ALL FABRICATION SHALL BE IN ACCORDANCE WITH AISC, AISC 360, AND AISC 358, 15TH EDITION.
- THIS FACILITY WAS DESIGNED TO MEET ALL FIRE PROTECTION CODES AND ORDINANCES - SEE SPECIFICATIONS FOR ADDITIONAL FIRE PROTECTION INFORMATION.
- ALL EXPOSED SURFACES TO HAVE EITHER FACTORY FINISH OR PAINT. ALL COLORS WILL BE SPECIFIED BY THE ARCHITECT.
- ALWAYS LOCATE MASTER DISCHARGE ON OUTSIDE SIDE OF TRUCKS & SATELLITE DISCHARGE ON PASSINGERS SIDE OF TRUCK. TRAFFIC FLOW THROUGH FUELING CANOPY SHALL BE AS SHOWN ON FLOOR PLAN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK BY SUB-CONTRACTORS TO PROVIDE A COMPLETE & SEPARATE FUEL SYSTEM (FUEL TANK, FUEL BURNER).
- FUELING CANOPY VINYL SHALL BE RESPONSIBLE FOR ALL DRAWINGS RELATED TO CANOPY & ALL FOUNDATIONS TO SUPPORT ENTIRE CANOPY.
- ALL FUELING PIPING SHALL BE ROUTED ABOVE GROUND.
- THE FUEL PUMP DRAWINGS ARE CREATED FOR GENERAL INTENT OF FUELING. FUELING VEHICLE TO BE USED FOR TESTING PURPOSES ONLY.

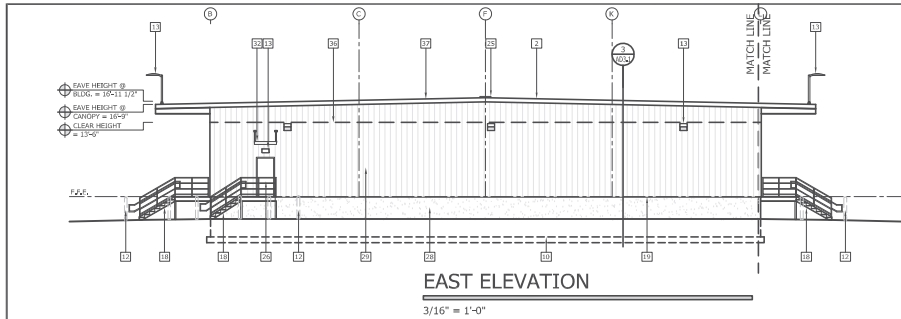
\*\*\* PROVIDE ALL REQUIRED ELECTRICAL, PLUMBING, AND HVAC CONNECTIONS, EQUIPMENT BY FUEL SYSTEM VENDOR. \*\*\*





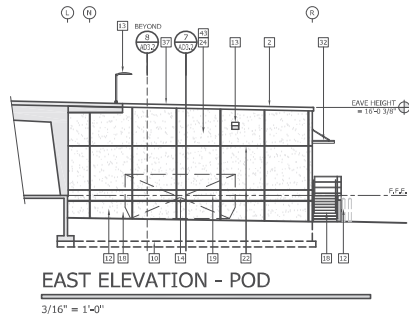






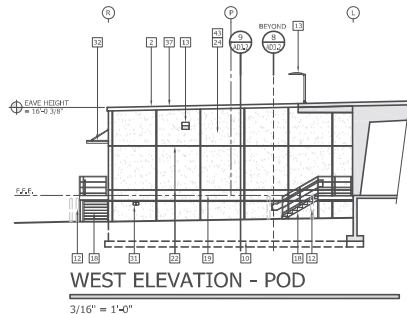
EAST ELEVATION

3/16" = 1'-0"



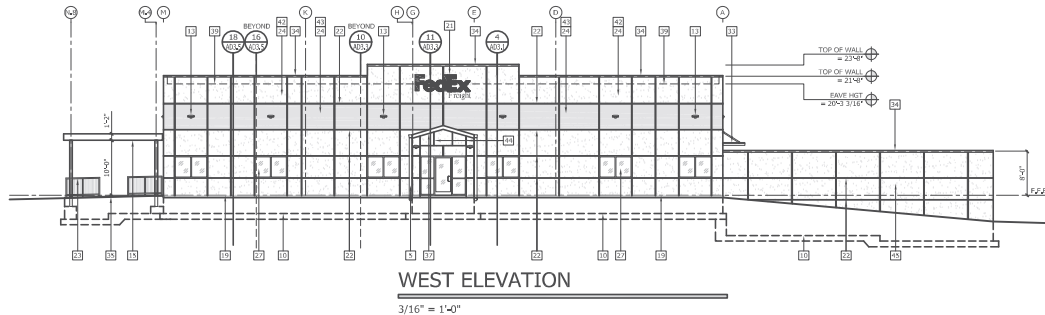
EAST ELEVATION - POD

3/16" = 1'-0"



WEST ELEVATION - POD

3/16" = 1'-0"



WEST ELEVATION

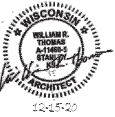
3/16" = 1'-0"

## ELEVATION KEYED NOTES

THESE NOTES ONLY APPLY TO THIS SHEET ONLY BUT SOME NOTES MAY NOT APPLY

KEY NOTE SYMBOL

- OVERHEAD COILING SHEET DOORS PER FPF SPECIFICATIONS & DOOR SCHEDULE - COLOR WHITE.
- STANDING SEAM STEEL ROOF OVER PURLINS PER PEMB MANUFACTURER.
- CONTINUOUS "T" TRIM AT BOTTOM OF METAL WALL PANELS - COLOR TO MATCH WALL PANEL COLOR.
- 3/8" THICK, 2-5/8" WIDE, 1/8" DEEP (SEE DETAIL) OTHERWISE ON FLOOR PLANS, 1/8" x 1/8" STEEL PLATE BETWEEN OVERHEAD COILING DOORS WELDED TO RIBS 12 GA DOOR POST WITH 1/4" FLAT HEADS @ 24" CENTERS PER PEMB MANUFACTURER. BOTTOM OF PLATE TO BE FLUSH W/DOCK CHANNEL.
- PRE-FINISHED METAL DOWNSPUTS W/UNFINISHED METAL STRAP ANCHORS PER PEMB MANUFACTURER W/NO PIPED UNDERGROUND.
- EDGE OF DOCK LEVELERS & BUMPERS WELDED TO CONTINUOUS STEEL CHANNEL. PAINT ALL WELDS. REFER TO DETAIL A SHEET ADQL & FPF SPECIFICATIONS.
- CONCRETE FORKLIFT RAMP PER FLOOR PLANS.
- EXTERIOR OVERHEAD DOCK DOOR NUMBER - REFER TO DETAIL 1 SHEET ADQL, COORDINATE NUMBER SYSTEM (2) WITH FPF PROJECT MANAGER.
- GENERATOR & CATWALK ON CONCRETE PAD PER FLOOR PLANS.
- CONCRETE FOOTINGS PER FOUNDATION DRAWINGS.
- PRE-FINISHED METAL BUTTER PER PEMB MANUFACTURER.
- EXTERIOR @ DIA. 60# 40 STEEL PIPE BOLARS FULLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLEEVE W/ STANDARD DUTY INTEGRAL YELLOW DOME CAP - SEE DETAIL G SHEET ADQL.
- LIGHT FEATURE PER ELECTRICAL DRAWINGS.
- TRASH CONTAINER W/ ELECTRICAL DISCONNECT PER ELECTRICAL DRAWINGS - NO DOCK LEVELER OR DOCK SHALTER REQUIRED.
- PRE-MANUFACTURED CANOPY PER SPECIFICATIONS. HOLD CANOPY ROOF BACK 2" FROM FACE OF CONCRETE WALL PANELS - PROVIDE FLASHING & TERMINATION BAR ATTACHED TO CONCRETE WALL PANELS. FLASH PANELS TO RISE TO FACE OF CONCRETE WALL PANELS. SET CANOPY COLUMNS 2'-0" BELOW FINISHED FLOOR. PROVIDE INTERNALLY SUPP. JOIST SYSTEM W/ V. INTERNAL COLUMN BEAMS W/NO PIPED UNDERGROUND.
- CONCRETE STAIR W/ PRE-FINISHED NON WELDED ALUMINUM PIPE RAILING SYSTEM TO INCLUDE ALL RAILS, POSTS, CONNECTORS, ANCHORS, ETC. - COLOR TO BE SELECTED BY FPF. RAILING POSTS TO BE SPACED @ 4'-0" O.C. MAX. - REFER TO FLOOR PLANS FOR MORE INFORMATION.
- PIT LEVELERS PER FPF SPECIFICATIONS & FLOOR PLANS. DOCK EDGE CHANNEL SHALL FORM ALL SIDES OF PIT LEVELER.
- METAL STAIR, HANDRAIL & GUARDRAIL PER FLOOR PLANS.
- NO EDGE OF DOCK CHANNEL REQUIRED AT OFFICE, POD OR END WALLS.
- ARCHITECTURAL STANDING SEAM ROOF PER FPF SPECIFICATIONS OVER STEEL PURLINS PER PEMB MANUFACTURER.
- BACK LIT SIGN TYPE 2 PER FPF SPECIFICATIONS - SIGNAGE WILL BE ON A FUTURE SHEET.
- HORIZONTAL RUSTICATION JOINT PER WALL PANEL DRAWINGS.
- PRE-FINISHED NON WELDED ALUMINUM PIPE RAILING SYSTEM TO INCLUDE ALL RAILS, POSTS, CONNECTORS, ANCHORS, ETC. - COLOR TO BE SELECTED BY FPF. RAILING POSTS TO BE SPACED @ 4'-0" O.C. MAX.
- CONCRETE WALL PANELS PER WALL PANEL DRAWINGS. REFER TO SECTION 3 SHEET ADQL FOR PANEL JOINT DETAILS.
- CONTINUOUS NON VENTED RIDGE CAP BY PEMB MANUFACTURER.
- PASSAGE DOOR & FRAME PER FLOOR PLANS & DOOR SCHEDULE.
- WINDOW & FRAME PER FLOOR PLANS & WINDOW SCHEDULE.
- CONCRETE STEEL WALL PER FOUNDATION DRAWINGS - RUBBED CONCRETE FINISH.
- METAL WALL PANEL ATTACHED TO HORIZONTAL WALL GIRTS PER PEMB MANUFACTURER.
- DOCK SHALTERS @ ALL COILING DOCK DOOR LOCATIONS PER FPF SPECIFICATIONS.
- PROPOSED LOCATION OF FDC - EXACT LOCATION TO BE DETERMINED BY FIRE SUPPRESSION CONTRACTOR & VERIFIED W/ FPF PROJECT MANAGER.
- 48" x 48" METAL CANOPY PER PEMB MANUFACTURER - MAINTAIN 3'-0" CLEAR UNDER CANOPY.
- 48" x 48" METAL CANOPY PER DETAIL B SHEET ADQL.
- PRE-FINISHED METAL PARAPET CAP - COLOR TO MATCH EAVE/RIDGE TRIM.
- CONCRETE SIDEWALK.
- LINE REPRESENTS CLEAR HEIGHT OF BUILDING SHALL BE 12'-0" MINIMUM - NOTHING TO BE IN CLEAR HEIGHT AREA INCLUDING PLUMB FRAMES, HURCH, FIRE SUPPRESSION PIPING, CONDENS. LIGHTS, FUME EXHAUSTS, ETC. NO EXCEPTS. 12'-0" FIRE SPROKELER & OTHER FIRE SUPPRESSION DEVICES AT SIZE & SPACING AS REQUIRED BY CODE. INSTALLED FIRE SUPPRESSION DEVICES SHALL NOT INTERFERE WITH OPERATION OF CEILING FANS, LIGHTS, DOOR LOAD LIGHTS, DOCK STANDS, ETC.
- PRE-FINISHED METAL RAMP TRIM PER PEMB MANUFACTURER.
- METAL HIGHWAY RAIL @ RAMP - REFER TO FORKLIFT RAMP PLANS FOR MORE INFORMATION.
- ROOF LINE BEYOND.
- PEMB MANUFACTURER DOCK JAMB POSTS SHALL BE CONTINUOUS TO EAVE STRUT BOTH SIDES OF ALL DOORS.
- CONCRETE RETAINING WALL PER FOUNDATION DRAWINGS - RUBBED CONCRETE FINISH.
- ACCENT COLOR AS SELECTED BY FPF.
- FIELD COLOR AS SELECTED BY FPF.
- VERTICAL RUSTICATION JOINTS PER WALL PANEL DRAWINGS.
- CONCRETE SCREEN WALL - HEIGHT AS NOTED.
- FRESH AIR INTAKE LOUVER INTER-DOCK W/ROOF EXHAUST FANS PER MECHANICAL DRAWINGS - SET SILL OF LOUVER @ 12'-0" +/- A.F.P.
- PROVIDE 7'-0" x 7'-0" PERM. B-161 150 HPN TORNSHED WIND & IMPACT RATED LOUVER PER MECHANICAL DRAWINGS - SET TOP OF LOUVER @ ELEVATION 7'-0" ABOVE FINISHED FLOOR.
- RETURN AIR GRILL PER MECHANICAL DRAWINGS - SET BOTTOM OF GRILL @ 15'-0" A.F.P.



WILLIAM R. THOMAS, JR.  
71587

**BILL THOMAS**  
**ARCHITECT**  
PO BOX 22784 OMAHA, NE 68122  
(402) 466-1111

A NEW CROSS DOCK BUILDING FOR:  
**FEDEX FREIGHT**  
VANDERBROOK ROAD & EVERGREEN DRIVE  
VILLAGE OF LITTLE CHUTE, WISCONSIN 54165

GRB

**SETZER**  
**PROPERTIES**

DESIGNER:  
DRAWN BY: WRT  
JOB NO.: 20200812  
DATE: 12x15x20


PROJECT REVISIONS  
FOR CONSTRUCTION

NO.	REVISION

SHEET NUMBER  
**AD2.0C**  
OF:

Village of Little Chute  
INFORMATION FOR VILLAGE BOARD CONSIDERATION

**ITEM DESCRIPTION: Outagamie County Landfill Odor – Resident Requested Discussion**

**PREPARED BY:** James P. Fenlon, Administrator 

**REPORT DATE:** January 29, 2021

**EXPLANATION:** This memo is meant as a follow-up to the November meeting where Mr. Bruce Jansen (950 W. Florida Ave) brought forward his complaint regarding the odor of the Outagamie County Landfill. Since that time, staff have researched various issues pertaining to this matter. To assist the board in guiding the discussion, I am including the following resources:

1. See the legal analysis provided below from Village of Little Chute Legal Counsel.
2. An article from Waste Today, a publication that covers North America regarding the waste related topics including landfill management subjects, published an article in September of 2017 related to the management of odors. This article provides an overview of the challenges of this topic, namely that enforcement at times is subjective. Most importantly, the case study analysis provides resources to implement and address odor issues. You can find the full article here: <https://www.scsengineers.com/wp-content/uploads/2017/09/WasteToday-Odor-Management-PartI-Sept-Oct.pdf>
3. Previous correspondence provided by Mr. Jansen: <http://www.littlechutewi.org/DocumentCenter/View/5867/20201117-Bruce-Jansen-Overview-of-Odor>
4. DNR Report from summer of 2020 that was provided by Mr. Jansen with attention to pages 5, 6, and 7 which note exceedances of standards and discussion from DNR officials regarding how the Outagamie County Landfill must correct the methane exceedances that had been observed: <http://www.littlechutewi.org/DocumentCenter/View/5868/DNR-Landfill-Report---Summer-of-2020>
5. Village of Little Chute Code of Ordinances Zoning Code – Chapter 28 Nuisances, Article I In General, Sec. 28-5 Unlawful Acts and Offensive Places or Conditions: [https://library.municode.com/wi/little\\_chute/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH28NU\\_ARTIIN\\_GE\\_S28-5SANLACOFLOTCE](https://library.municode.com/wi/little_chute/codes/code_of_ordinances?nodeId=COOR_CH28NU_ARTIIN_GE_S28-5SANLACOFLOTCE)
6. Village of Little Chute Code of Ordinances Zoning Code – Chapter 44, Article VIII Performance Standards, Sec. 44-248 Odor: [https://library.municode.com/wi/little\\_chute/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH44ZO\\_ARTVIII\\_PESTINCODE\\_S44-248OD](https://library.municode.com/wi/little_chute/codes/code_of_ordinances?nodeId=COOR_CH44ZO_ARTVIII_PESTINCODE_S44-248OD)

**Village Legal Counsel Overview:**

In the process of analyzing the strengths and weaknesses of potential nuisance claims under both Village ordinances and Wisconsin state statutes and common law, it turns out that the state legislature has already addressed this issue as a matter of public policy under **Wis. Stat. s. 823.085**, which provides as follows.

This statute now supersedes the common law of nuisance liability, and standard remedies, for landfills (“solid waste facilities”), if the requirements for liability limitations are met by the landfill described in the statute. Note there are exclusions from this definition, but I suspect they may not apply to this situation.

- (1) In this section, “solid waste facility” has the meaning given in s. 289.01(35).
- (2) In any action finding a solid waste facility or the operation of a solid waste facility to be a public or private nuisance, if the solid waste facility was licensed under s. 289.31(1) and was operated in substantial compliance with the license, the plan of operation for the solid waste facility approved by the department of natural resources and the rules promulgated under s. 289.05(1) that apply to the facility, then all of the following apply:
  - (a) Notwithstanding s. 823.03, **the court may not order closure of the solid waste facility or substantial restriction in the operation of the solid waste facility unless the court determines that the continued operation of the solid waste facility is a threat to public health and safety.**
  - (b) The department of natural resources shall comply with a request by the court to provide suggestions for practices to reduce the offensive aspects of the nuisance.
  - (c) The amount recovered by any person for damage to real property may not exceed the value of the real property as of the date that the solid waste facility began operation increased by 8 percent per year.

(d) Punitive damages may not be awarded.

Note: s. 289.01(35) defines “solid waste facility” as “a facility for solid waste treatment, solid waste storage, or solid waste disposal, and includes commercial, industrial, municipal, state, and federal establishments or operations such as, without limitation because of enumeration, sanitary landfills, dumps, land disposal sites, incinerators, transfer stations, storage facilities, collection and transportation services, and processing, treatment, and recovery facilities. “Solid waste facility” includes the land where the facility is located. “Solid waste facility” does not include a facility for the processing of scrap iron, steel, or nonferrous metal using large machines to produce a principal product of scrap metal for sale or use for remelting purposes. “Solid waste facility” does not include a facility which uses large machines to sort, grade, compact, or bale clean wastepaper, fibers, or plastics, not mixed with other solid waste, for sale or use for recycling purposes. “Solid waste facility” does not include an auto junk yard or scrap metal salvage yard. “Solid waste facility” does not include a pyrolysis facility or a gasification facility.”

This statute appears to leave open the following alternatives.

- A. An action could be commenced in Court seeking a declaration that the landfill constitutes a nuisance to the neighboring property owners and if successful in obtaining a Court declaration of that sort, the following remedies appear to be authorized.
  - i. The Court could order the WDNR to come up with recommendations to reduce the extent of the nuisance, but the Court cannot close the landfill.
  - ii. The private property owners could make a claim for monetary damages associated with the reduction in value of their properties but the monetary damages they can be awarded will be limited to the formula above, which may be a challenge to compute. Whether or not this computation would justify the cost of litigation should be determined in advance.
- B. Given the above alternative remedies, another approach would be for the property owners to approach the County and request the same form of remedies through voluntary negotiations and settlement to avoid the cost of litigation as a first effort, since the maximum form of remedy is already governed by this statute itself.

Note that the individual landowners claim for reduction in value of their land as monetary damages and/or for the general loss of the use and enjoyment of their properties, would be a private claim that in our opinion would have to be brought by the landowners themselves either individually or as a group of Plaintiffs in mass as a single lawsuit naming the County as the Defendant.

In terms of actions to take and remedies, we generally look for guidance from Appeals Court, or Wisconsin Supreme Court, case law precedent dealing with these issues under a specific statute such as the one above. Interestingly there is not a single reported Court decision at either level, so we can only use our best judgment as to what may happen if legal action is filed and that is how we have expressed our opinions above.

**Administrator Observations:** Given the information from Attorney Koehler, I believe enforcing or applying Chapters 28 and 44 of the municipal code in this instance are difficult. Per several resources and efforts to identify what other communities have done, appropriately identifying violations of these codes is problematic.

As part of the Outagamie County’s Plan of Operations for the Northeast Landfill, their own odor control plan does include proactive monitoring efforts that are to be completed on a weekly basis. According to the plan, these weekly monitoring activities are to be documented. I have formally requested the monitoring forms from the Director of the Outagamie County Landfill. Upon receipt, I will review and file for future reference.

I also would reference the article linked above from Waste Today. If you review that closely, it appears that the case studies outline a more proactive approach to dealing with odors from solid waste facilities. It appears that working with the Outagamie County Landfill to be proactive, whether on the Northeast cell or the future Northwest cell will be worth our collective effort.

**RECOMMENDATION: Provided for information for the Board of Trustees.**

Village of Little Chute  
**REQUEST FOR VILLAGE BOARD CONSIDERATION**

**ITEM DESCRIPTION:** Nelson Crossing Site Amenities

**PREPARED BY:** Adam Breest, Parks, Recreation, & Forestry Director

**REPORT DATE:** January 28, 2021

**ADMINISTRATOR'S REVIEW/COMMENTS:**

No additional comments to this report: JPF

See additional comments attached: \_\_\_\_\_

**EXPLANATION:** Since 2018, the Village of Little Chute and City of Kaukauna began requesting donations for the David and Rita Nelson Family Heritage Crossing. The city and village created a donation flyer that included site amenities that you could donate towards. In total, we received 6 bench donations and 1 bike repair station donation. The donor needed to donate \$5,000 for a bench and \$5,000 for a bike a repair station.

Due to the lead time of these products, we now need to order these items so we can have them by April. Michels Corporation will be installing the site amenities located within the project site when the frost is out of the ground. These items were not included in previous year's expense budgets so will not be part of the carryover request presented at the next meeting.

**Site Amenities to Purchase**

- Benches – \$8,884.00
- Bike Repair Station - \$1,803.00
- Trash Receptacles - \$1,140.00

**TOTAL - \$11,827.00**

The village and city will be splitting this cost just as we have done with other project costs. The city has approved the amount below for the site amenities. Village staff is asking for approval to proceed with the purchase of our portion of the site amenities and applicable budget amendment.

**Village of Little Chute Share - \$5,913.50**

**City of Kaukauna Share - \$5,913.50**

**2021 Budget Amendment:**

**Park Improvement Fund**

Nelson Crossing expenditures	+ 5,914
Fund balance	- 5,914

*NOTE: A final true up of overall 2021 budget for the Nelson Crossing Budget will be brought forward when all invoices are received for 2020. This project budget became complicated by previous actions taken where Kaukauna held the construction contract and Little Chute the DNR Grant agreement. To comply with DNR grant requirements, Little Chute had to have full expenditures on our books to claim the funding. Additional entries between the two communities were required to rectify this so 2020 Budget adjustments will be brought forward accordingly.*

**RECOMMENDATION:** Approve purchase of site amenities and applicable 2021 budget adjustment for Nelson Crossing in the amount of \$5,914



**VILLAGE OF LITTLE CHUTE  
ORDINANCE NO, 1, SERIES 2021**

**AN ORDINANCE AMENDING CHAPTER 2 ADMINISTRATION, ARTICLE V BOARD,  
COMMISSIONS AND COMMITTEES SECTION 2-157 OF THE VILLAGE OF LITTLE CHUTE  
MUNICIPAL CODE**

**WHEREAS**, the Village of Little Chute has had an informal park planning committee since the early 2000s and wishes to now formally recognize the park planning committee as an official committee of the Village of Little Chute.

**WHEREAS**, the Village of Little Chute Board of Trustees, Village of Little Chute, finds the following ordinance amendments to be in the public interest;

**NOW, THEREFORE**, The Village Board of Trustees, Village of Little Chute, do ordain as follows:

**That the Chapter 2, Article V, section 2-157 of the Municipal Code of the Village of Little Chute is hereby amended to read as follows:**

**Sec. 2-157 Park Planning Committee**

(a) *Creation*. The “Park Planning Committee” is hereby created as an official Committee of the Village.

(b) *Composition*. The Park Planning Committee members shall be appointed by the village board and shall include seven members. Membership shall include one citizen member as chairperson, one village board trustee or his/her designee, and five citizen members. The members shall serve with such compensation as determined by ordinance of the village board and shall be removable by the village board with or without cause. Preference shall be given to those persons having knowledge or experience in the village parks, recreational opportunities, natural resources, club sports, construction, landscaping, or forestry. Citizen members shall either reside within, or own a business within, the village. The village parks, recreation, & forestry director is the village staff member responsible to oversee operations of the Park Planning Committee and will preside as secretary of the Committee in a non-voting role, but will not be one of the seven members on the Committee.

(c) *Term of office*. All citizen members shall be appointed to three-year staggered terms by the village board. Citizen members can serve multiple terms, if approved by the Village Board. The Committee shall elect a chairperson annually at the first meeting of the new year to schedule, conduct, and preside over meetings of the Committee members.

(d) *Duties*. The duties of the Park Planning Committee shall be as follows.

(1) Park Development – The Park Planning Committee shall review designs and plans for new park infrastructure, land acquisition for new parks, improvements to existing facilities, and planning initiatives such as the comprehensive outdoor recreation plan.

(2) Recreational Programs – The Park Planning Committee shall review program fees and expenses on a yearly basis and make a recommendation to the village board for the budget process.

(3) Forestry – The Park Planning Committee shall review and recommend changes or updates for the village forestry manual.

(4) Doyle Pool and Slide – The Park Planning Committee shall assist the village board in long range planning for the Doyle Pool and Slide.

(5) Bicycle and Pedestrian Accommodations – The Park Planning Committee shall assist in the planning and review of the village's bicycle and pedestrian plan. The Committee will recommend changes and additions to the plan as needed.

(6) Special Assignments – The Park Planning Committee shall undertake special assignments regarding park related matters as may be requested by the Village Board from time to time.

Introduced, Approved and Adopted: February 3, 2021

## **VILLAGE OF LITTLE CHUTE**

By: \_\_\_\_\_  
Michael R. Vanden Berg, Village President

Attest: \_\_\_\_\_  
Laurie Decker, Village Clerk



Village of Little Chute  
**REQUEST FOR VILLAGE BOARD CONSIDERATION**

**ITEM DESCRIPTION: 2021 Personnel Manual Changes**

**PREPARED BY: James P. Fenlon, Administrator** *JPF*


**REPORT DATE: January 15, 2021**

**EXPLANATION:** There several amendments that we are proposing to the personnel manual. These are largely administrative changes to policy versus policy changes themselves. Upon approval, the 2021 wage table will also be updated in the manual per the 2021 budget. The policies recommended for change are as follows:

1. Policy 425 Vacation and Sick Leave
  - a) Policy 425.2 - Eligibility. Regular employees working at least ~~(2030)~~ or more hours per week are eligible for ~~vacation and sick leave all the benefits documented herein.~~ Regular Part-time employees will accrue vacation and sick leave based on a pro-rated basis as determined by the hourly standard authorized classification of the position (30 hours per week will accrue at 0.75 and 20 hours per week will accrue at 0.5).
2. Policy 503 Overtime and Compensatory Time
  - a) Policy 503.5.3 - ~~Department Heads have the authority to authorize the carryover of a maximum of 40 hours of earned compensatory time per employee from one calendar year to the next or to payout the employee on the second payroll of December.~~ Compensatory time is paid out on the first payroll in December. Any compensatory time earned from this payout through December 31<sup>st</sup> shall also be paid out on subsequent payrolls. Compensatory time can not be banked until January 1<sup>st</sup> for the new year.
3. Policy 601 Benefits – Health Insurance, Dental Insurance, & Cobra
  - a) Policy 601.3.1 Full-time employees who qualify for coverage may participate in the Health Insurance Plan(s). Eligible employees will contribute, and the Village will contribute, to the costs for the Health Insurance Plan. ~~Ineligible Regular~~ part-time employees ~~who work 30 hours or more may participate in the health insurance plan by paying 25% of the cost of the premium~~ will be eligible for the Health Insurance Plan as determined by the policies of the Wisconsin Department of Employee Trust Funds.
  - b) Policy 601.9 Group Dental Plan. The Village will make available a group dental plan to all regular full and regular part-time employees who work 30 hours or more per week.
4. Policy 603 Benefits – Other
  - a) Policy 603.1.4 Life Insurance. The Village provides Life Insurance to regular ~~full-time~~ employees ~~who work 30 hours a week or more~~ at no cost to the employee. The insurance provides for \$25,000 of coverage in the event of a death of an employee.
  - b) Policy 603.1.5 Long-term Disability. The Village provides long-term disability insurance to regular ~~full-time~~ employees ~~who work 30 hours a week or more~~ at no cost to the employee.

**RECOMMENDATION: Staff recommends the board approve the changes as presented.**

Village of Little Chute  
**INFORMATION FOR VILLAGE BOARD CONSIDERATION**

<b>ITEM DESCRIPTION: Plan Commission Appointment</b>
<b>PREPARED BY: James P. Fenlon, Administrator</b> 
<b>REPORT DATE: January 29, 2021</b>
<b>EXPLANATION:</b> On behalf of the Village President, he would like to appoint Mr. Jim Moes to the Plan Commission. The appointment is made to a currently vacant seat on the commission. Plan Commission appointments are subject to a majority vote of the Village Board and are for a three-year term.
<b>RECOMMENDATION: Appoint Jim Moes to the Little Chute Plan Commission.</b>