



AMENDED AGENDA

REGULAR BOARD MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, February 3, 2021
TIME: 6:00 P.M.

Virtually attend the February 3rd Regular Board meeting at 6 PM by following the zoom link here:

Join Zoom Meeting (Please note this is a change from previous Go To Meetings used in past meetings)

<https://zoom.us/j/95442392113>

Meeting ID: 954 4239 2113

+1 312 626 6799 US (Chicago)

Meeting ID: 954 4239 2113

For further details please refer to additional Information immediately following agenda.

REGULAR ORDER OF BUSINESS

- A. Roll call of Trustees
- B. Roll call of Officers and Department Heads
- C. Public Appearance for Items Not on the Agenda
- D. Consent Agenda
Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.
 - 1. Minutes of Regular Board Meeting of January 20, 2021
 - 2. Disbursement List
- E. Discussion/Action—Setzer/FedEx Site Plan
- F. Discussion—Landfill Odor
- G. Action—Nelson Crossing Site Amenities
- H. Action—Ordinance No. 1, Series 2021 Amending Chapter 2 Administration, Article V Board, Commissions and Committees Section 2-157 of the Village of Little Chute Municipal Code

- I. Action—Personnel Manual Amendments
- J. Action—Commission Appointments
- K. Little Chute Kayak Launch Easement**
- L. Discussion—Covid-19 Updates
- M. Department and Officers Progress Reports
- N. Call for Unfinished Business
- O. Items for Future Agenda
- P. Closed Session:
19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Development Negotiations*
- Q. Return to Open Session
- R. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852,. Prepared: February 2, 2021



Information for the Regular Board Meeting – February 3, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the February 3rd Regular Board Meeting at 6:00 PM by following the link here:
<https://zoom.us/j/95442392113>
Meeting ID: 954 4239 2113
+1 312 626 6799 US (Chicago)
Meeting ID: 954 4269 2113
2. Find your local number: <https://zoom.us/u/alPccKswC>
3. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE REGULAR BOARD MEETING OF JANUARY 20, 2021

Call to Order: President Vanden Berg called the Regular Board Meeting to Order at 6:00 p.m.

Roll call of Trustees

PRESENT: Michael Vanden Berg, President
Larry Van Lankvelt, Trustee
Skip Smith, Trustee
Bill Peerenboom, Trustee
Brian Van Lankveldt, Trustee
Don Van Deurzen, Trustee
James Hietpas, Trustee

Roll call of Officers and Department Heads

PRESENT: James Fenlon, Village Administrator
Adam Breest, Director of Parks, Recreation and Forestry
Dave Kittel, Community Development Director
Lisa Remiker-DeWall, Finance Director
Kent Taylor, Director of Public Works
Katherine Freund, LC Library Director
Dan Meister, Fox Valley Metro Police Chief
Chris Murawski, Village Engineer
Donna Koebe, Program Supervisor
EXCUSED: Laurie Decker, Village Clerk
Tyler Claringbole, Village Attorney

Public Appearance for Items Not on the Agenda

None

Consent Agenda

Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.

1. Minutes of Regular Board Meeting of January 6, 2021
2. Disbursement List

Moved by Trustee B. Van Lankveldt, seconded by Trustee Smith to Approve the Consent Agenda items as listed

Ayes 7, Nays 0 – Motion Carried

Other Informational Items—December Fire Monthly Report and December Monthly Report

Presentation—2021 Concrete Pavement Cross-Section (Hartzheim Dr. & Evergreen Dr.)

Engineer Murawski went over the recommendation to construct the road cross section as presented for Evergreen Drive Phase 2 and Hartzheim Drive. Engineering staff is requesting direction for installing a 5-foot walk in Hartzheim drive with the current project. Trustee Peerenboom would like a sidewalk at least on the northside to keep pedestrians off of Hartzheim Drive. Trustee L. Van Lankvelt agreed that the sidewalk would be a good idea.

Discussion/Action— CTH N Traffic Signal Agreement

Administrator Fenlon advised the Board that this is a carryover from 2020 to 2021. There will be a formal budget amendment brought forward in February and staff is recommending approval.

Moved by Trustee L. Van Lankvelt, seconded by Trustee Van Deurzen to Approve the agreement as presented.

Ayes 7, Nays 0 – Motion Carried

Discussion/Action— CTH OO Sanitary Sewer Reconstruction

Director Taylor advised the Board that staff and the Utility Commission are recommending approval of the proposed replacement of the 10” sanitary sewer main and appurtenances on Hwy “OO” from Bohm Drive to Rosehill Road and Rosehill Road from Hwy “OO” to Joyce Street and associated work including 2021 budget amendment to provide funding of the project.

Moved by Trustee Smith, seconded by Trustee L. Van Lankvelt to Approve the Sanitary Sewer Reconstruction for \$313,595.38 as presented

Ayes 7, Nays 0 – Motion Carried

Discussion— Park Planning Committee

Director Breest presented the draft ordinance to Amend Chapter 2 Administration, Article V Board Commissions and Committees Section 2-157 of the Village of Little Chute Municipal Code. This Ordinance would enable the Park Planning Committee as an official Committee of the Village. The proposal will include six citizen members and one board member.

Discussion— 2021 Cheesefest Special Event Permit

Mr. Joe Harlow from the Great Wisconsin Cheese Festival is looking for direction for holding the Great Wisconsin Cheese Festival in early June. Trustee Smith gave his approval for the application. Administrator Fenlon will check the State guidelines on large gathering per a question from Trustee B. Van Lankveldt. Trustee Peerenboom suggested to proceed with the planning but should be addressed again in March or April depending on the Covid numbers and vaccination availability. Mr. Harlow would like to have an answer 60 days prior (April 1st) to the event to be able to cancel or finalize all the plans needed to put on the festival. Trustee B. Van Lankveldt felt by April 1st the Board should be able to make the decision.

Discussion— 2021 Personnel Manual

Administrator Fenlon went over some changes made to the Personnel Manual for 2021. This is for discussion only and will be brought back to the Board for approval at the February 3rd Regular Board Meeting.

Discussion— 2021 Holiday Guidance

Administrator Fenlon provided the dates for the 2021 holidays for discussion only and will come back on February 3rd for final approval.

Discussion—Covid-19 Updates

Administrator Fenlon advised the vaccine will be available for the Fire and Police Departments starting next week and thanked Smith Pharmacy.

Department and Officers Progress Reports

Departments and Officers provided progress reports to the Board

Call for Unfinished Business

None

Items for Future Agenda

None

Closed Session:

19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session. *Economic Development Proposals*

Moved by Trustee Smith, seconded by Trustee B. Van Lankveldt to enter into closed session

Ayes 7, Nays 0 – Motion Carried

Return to Open Session

Moved by Trustee Smith, seconded by Trustee B. Van Lankveldt to exit closed session

Ayes 7, Nays 0 – Motion Carried

Adjournment

Moved by Trustee Van Deurzen, seconded by Trustee B. Van Lankveldt to Adjourn the Regular Board Meeting at 9:17 p.m.

Ayes 7, Nays 0 – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

Disbursement List - February 3, 2021

Payroll & Payroll Liabilities - January 21, 2021	\$215,630.96
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Prepaid Invoices - January 22, 2021	\$854,484.31
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Prepaid Invoices - January 29, 2021	\$103,721.83
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Prepaid Invoices -	
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Utility Commission-

CURRENT ITEMS

Bills List - February 3, 2021	\$894,631.39
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Total Payroll, Prepaid & Invoices	\$2,068,468.49
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The above payments are recommended for approval:

Rejected: _____

Approved February 3, 2021

Michael R Vanden Berg, Village President

Laurie Decker, Clerk

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
2020 TAX REFUNDS (5158)							
260085100	Invoi	2020 TAX REFUND	2,250.60	Open	Non	01/21	803-21215
260324700	Invoi	2020 TAX REFUND	96.24	Open	Non	01/21	803-21215
260427000	Invoi	2020 TAX REFUND	70.15	Open	Non	01/21	803-21215
Total 2020 TAX REFUNDS (5158):			2,416.99				
ARING EQUIPMENT CO INC (577)							
766037	Invoi	MIRROR #26	80.01	Open	Non	01/21	101-53330-225
Total ARING EQUIPMENT CO INC (577):			80.01				
BAYCOM (1318)							
31849	Invoi	SERVICE AGREEMENT 1/1/20 - 12/31/21	2,534.11	Open	Non	01/21	101-52200-204
Total BAYCOM (1318):			2,534.11				
CELLCOM (4683)							
303409	Invoi	ENGINEERING PHONE CHARGES	241.27	Open	Non	01/21	452-57331-203
303409	Invoi	DPW PHONE CHARGES	317.71	Open	Non	01/21	101-53310-203
303409	Invoi	PARKS PHONE CHARGES	58.99	Open	Non	01/21	101-55200-203
303409	Invoi	REC PHONE CHARGES	109.05	Open	Non	01/21	101-55300-203
303409	Invoi	FACILITIES PHONE CHARGES	45.06	Open	Non	01/21	101-51650-203
303409	Invoi	INSPECTOR PHONE CHARGES	45.06	Open	Non	01/21	101-52050-203
303409	Invoi	COMMUNITY DEVELOPER CHARGES	45.06	Open	Non	01/21	101-51530-208
303409	Invoi	IPAD STORM	280.34	Open	Non	13/20	630-53442-218
303409	Invoi	IPAD STREETS	280.34	Open	Non	13/20	101-53300-218
303409	Invoi	IPAD VEHICLE MAINTENANCE	280.34	Open	Non	13/20	101-53330-218
303409	Invoi	IPAD SANITARY SEWER	280.34	Open	Non	13/20	610-53612-218
303409	Invoi	IPAD STREETS	280.34	Open	Non	13/20	101-53300-218
Total CELLCOM (4683):			2,263.90				
CITY OF APPLETON (68)							
6040	Invoi	DECEMBER 2020 TRANSIT	7,789.00	Open	Non	13/20	101-51780-233
Total CITY OF APPLETON (68):			7,789.00				
CITY OF KAUKAUNA (1488)							
5268	Invoi	FOX RIVER BOARD WALK MICHEL'S PAYMENT #4	672,781.19	Open	Non	01/21	420-57620-277
Total CITY OF KAUKAUNA (1488):			672,781.19				
FEHR GRAHAM ENGINEERING & (4414)							
98691	Invoi	2020 ANNUAL SAFETY REQUIREMENTS	4,350.00	Open	Non	13/20	101-53310-213
Total FEHR GRAHAM ENGINEERING & (4414):			4,350.00				
GFC LEASING - WI (4989)							
100632243	Invoi	GFC PW COPIER LEASING	92.26	Open	Non	01/21	101-53310-207
Total GFC LEASING - WI (4989):			92.26				
HEARTLAND BUSINESS SYSTEMS (3449)							
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	201-53620-206
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	610-53614-206
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	620-53904-206

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
418872-H	Invoi	DECEMBER BILL PRINT QNTY 3942	137.97	Open	Non	13/20	630-53443-206
Total HEARTLAND BUSINESS SYSTEMS (3449):			551.88				
KAUKAUNA UTILITIES (234)							
JANUARY 2021	Invoi	SAFETY CENTER	404.82	Open	Non	01/21	101-52250-249
JANUARY 2021	Invoi	SAFETY CENTER	607.24	Open	Non	01/21	207-52120-249
JANUARY 2021	Invoi	VILLAGE HALL PLAZA	18.00	Open	Non	01/21	101-51650-249
JANUARY 2021	Invoi	VILLAGE HALL	894.02	Open	Non	01/21	101-51650-249
JANUARY 2021	Invoi	CIVIC CENTER	868.08	Open	Non	01/21	206-55110-249
JANUARY 2021	Invoi	MUNICIPAL POOL	139.95	Open	Non	01/21	204-55420-249
JANUARY 2021	Invoi	BALLFIELD DPI/SHED LIGHTS	134.69	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	DOYLE PARK STAGE	40.71	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	DOYLE PARK BALLFIELD DP2 LIGHT	59.08	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	HEESAKKER PARK TRAIL	30.30	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	HERITAGE PARK	23.70	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	LEGION PARK RESTROOMS	343.85	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT PARK	244.31	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT BALLFIELD	177.09	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT PK SECURITY LT	65.03	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	LINCOLN AVE E HEESAKKER PARK	373.79	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	PUMP STATION JEFFERSON ST	246.78	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	#4 WELL EVERGREEN DR	4,608.52	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	#3 WELL WASHINGTON ST	299.34	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	STEPHEN ST TOWER/LIGHTING	213.23	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	CANAL BRIDGE - NORTH SIDE	18.88	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	CANAL BRIDGE - SOUTH SIDE	40.99	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SECURITY LIGHT	13.69	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/GRAND & MAIN	48.39	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	COMMUNITY BRIDGE LIGHTING	179.66	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/MAIN & MADISON	50.54	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	STREET LIGHTING	9,531.01	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/NORTH & BUCHANAN	32.16	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	PATRIOT DR FLAG POLE	36.00	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	SIGNALS/NE CORNER N & ELM	95.76	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	STEPHEN ST SIGN	16.24	Open	Non	01/21	101-53300-249
JANUARY 2021	Invoi	1401 E ELM DR	1,038.61	Open	Non	01/21	101-53310-249
JANUARY 2021	Invoi	721 W ELM DR	163.11	Open	Non	01/21	208-52900-249
JANUARY 2021	Invoi	DOYLE PARK WELL	3,620.24	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	1800 STEPHEN ST STORM	256.77	Open	Non	01/21	630-53441-249
Total KAUKAUNA UTILITIES (234):			24,934.58				
MADISON NATIONAL LIFE (4857)							
1425267	Invoi	FEBRUARY LTD	962.48	Open	Non	01/21	101-21385
1425267	Invoi	FEBRUARY LIFE	437.31	Open	Non	01/21	101-21391
Total MADISON NATIONAL LIFE (4857):			1,399.79				
MCCLONE (4766)							
4176	Invoi	1ST QTR WORKERS COMP	253.00	Open	Non	01/21	101-51900-230
4176	Invoi	1ST QTR WORKERS COMP	85.00	Open	Non	01/21	206-55110-230
4176	Invoi	1ST QTR WORKERS COMP	50.00	Open	Non	01/21	207-52120-230
4176	Invoi	1ST QTR WORKERS COMP	21.00	Open	Non	01/21	610-53614-230
4176	Invoi	1ST QTR WORKERS COMP	23.00	Open	Non	01/21	620-53924-230
4176	Invoi	1ST QTR WORKERS COMP	16.00	Open	Non	01/21	630-53444-230
4176	Invoi	1ST QTR WORKERS COMP	15,455.00	Open	Non	01/21	101-51900-230

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
4176	Invoi	1ST QTR WORKERS COMP	1,729.00	Open	Non	01/21	201-53620-230
4176	Invoi	1ST QTR WORKERS COMP	1,086.00	Open	Non	01/21	204-55420-230
4176	Invoi	1ST QTR WORKERS COMP	931.00	Open	Non	01/21	610-53614-230
4176	Invoi	1ST QTR WORKERS COMP	2,650.00	Open	Non	01/21	630-53444-230
4176	Invoi	1ST QTR WORKERS COMP	519.00	Open	Non	01/21	620-53924-230
4176	Invoi	1ST QTR WORKERS COMP	12,888.00	Open	Non	01/21	207-52120-230
4176	Invoi	1ST QTR WORKERS COMP	1,495.00	Open	Non	01/21	101-52250-230
4176	Invoi	1ST QTR GENERAL LIABILITY	6,157.00	Open	Non	01/21	101-51900-231
4176	Invoi	1ST QTR GENERAL LIABILITY	158.00	Open	Non	01/21	101-52250-231
4176	Invoi	1ST QTR GENERAL LIABILITY	437.00	Open	Non	01/21	201-53620-231
4176	Invoi	1ST QTR GENERAL LIABILITY	275.00	Open	Non	01/21	204-55420-231
4176	Invoi	1ST QTR GENERAL LIABILITY	882.00	Open	Non	01/21	206-55110-231
4176	Invoi	1ST QTR GENERAL LIABILITY	6,836.00	Open	Non	01/21	207-52120-231
4176	Invoi	1ST QTR GENERAL LIABILITY	437.00	Open	Non	01/21	101-51900-231
4176	Invoi	1ST QTR GENERAL LIABILITY	454.00	Open	Non	01/21	610-53614-231
4176	Invoi	1ST QTR GENERAL LIABILITY	293.00	Open	Non	01/21	620-53924-231
4176	Invoi	1ST QTR GENERAL LIABILITY	842.00	Open	Non	01/21	630-53444-231
4176	Invoi	1ST QTR POLICE LIABILITY	4,103.00	Open	Non	01/21	207-52120-231
4176	Invoi	1ST QTR AUTO LIABILITY	2,291.00	Open	Non	01/21	201-53620-231
4176	Invoi	1ST QTR AUTO LIABILITY	2,836.00	Open	Non	01/21	101-51900-231
4176	Invoi	1ST QTR AUTO LIABILITY	4,035.00	Open	Non	01/21	101-52250-231
4176	Invoi	1ST QTR AUTO LIABILITY	873.00	Open	Non	01/21	207-52120-231
4176	Invoi	1ST QTR AUTO LIABILITY	109.00	Open	Non	01/21	620-53924-231
4176	Invoi	1ST QTR AUTO LIABILITY	764.00	Open	Non	01/21	630-53444-231
Total MCCLONE (4766):			68,983.00				
PUBLIC SERVICE COMMISSION (723)							
2012-I-03140	Invoi	12/01/20 - 12/31/20 PSC DIRECT ASSESSMENT	125.90	Open	Non	13/20	620-53924-262
Total PUBLIC SERVICE COMMISSION (723):			125.90				
SCHWAAB INC (1925)							
5641564	Invoi	PRE-INKED STAMP	76.25	Open	Non	01/21	206-55110-218
Total SCHWAAB INC (1925):			76.25				
SILVERLEAF LLC (4560)							
260440504-FINAL	Invoi	DEVELOPMENT INCENTIVE-EAGLE SUPPLY & PL	25,679.90	Open	Non	01/21	414-57400-266
Total SILVERLEAF LLC (4560):			25,679.90				
TIME WARNER CABLE (89)							
01/21 66256890150	Invoi	JANUARY/FEBRUARY SERVICE	12.36	Open	Non	01/21	101-52200-208
01/21 71538770140	Invoi	JANUARY/FEBRUARY SERVICE	550.00	Open	Non	01/21	101-53310-203
Total TIME WARNER CABLE (89):			562.36				
TRANSAMERICA LIFE INSURANCE COMPANY (4355)							
2504037058	Invoi	JANUARY BILLING	467.36	Open	Non	01/21	101-21364
Total TRANSAMERICA LIFE INSURANCE COMPANY (4355):			467.36				
VFIS (2923)							
105126121	Invoi	2021 GROUP TERM LIFE	4,298.05	Open	Non	01/21	101-52200-104
2021-LOSA	Invoi	2021 ADMINISTRATIVE FEE-LOSA	18,125.90	Open	Non	01/21	101-52200-104
31007903-21	Invoi	2021 CONTRIBUTION LOSAP-#31007903-21	13,730.00	Open	Non	01/21	101-52200-104

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
Total VFIS (2923):			36,153.95				
VILLAGE OF LITTLE CHUTE (1404)							
JANUARY 2021	Invoi	3609 FREEDOM RD	18.15	Open	Non	01/21	630-53441-249
JANUARY 2021	Invoi	721 W ELM	41.00	Open	Non	01/21	208-52900-249
JANUARY 2021	Invoi	1401 E ELM DR	892.15	Open	Non	01/21	101-53310-249
JANUARY 2021	Invoi	206 KAREN DR	8.25	Open	Non	01/21	416-57600-249
JANUARY 2021	Invoi	200 KAREN DR	8.25	Open	Non	01/21	416-57600-249
JANUARY 2021	Invoi	#3 WELL WASHINGTON ST	12.38	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	DOYLE PARK WELL #1	12.26	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	PUMP STATION JEFFERSON ST	36.82	Open	Non	01/21	620-53624-249
JANUARY 2021	Invoi	DOYLE PARK POOL	10.97	Open	Non	01/21	204-55420-249
JANUARY 2021	Invoi	DOYLE PARK POOL/RESTROOMS	293.29	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	DOYLE PARK POOL/RESTROOMS	293.29	Open	Non	01/21	204-55420-249
JANUARY 2021	Invoi	HEESAKKER PARK RESTROOM	52.33	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	VAN LIESHOUT PARK	120.45	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	LEGION PARK RESTROOMS	367.95	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	HERITAGE PARK	5.78	Open	Non	01/21	101-55200-249
JANUARY 2021	Invoi	CIVIC CENTER	281.94	Open	Non	01/21	206-55110-249
JANUARY 2021	Invoi	VILLAGE HALL	132.15	Open	Non	01/21	101-51650-249
JANUARY 2021	Invoi	GB & MISS CANAL CO	4.95	Open	Non	01/21	101-51780-249
JANUARY 2021	Invoi	SAFETY CENTER	291.62	Open	Non	01/21	207-52120-249
JANUARY 2021	Invoi	SAFETY CENTER	72.90	Open	Non	01/21	101-52250-249
Total VILLAGE OF LITTLE CHUTE (1404):			2,956.88				
WARRANT PAYMENTS (4565)							
M21000525	Invoi	WARRANT- HOULIHAN	285.00	Open	Non	01/21	207-21495
Total WARRANT PAYMENTS (4565):			285.00				
Grand Totals:			854,484.31				

Report GL Period Summary

Vendor number hash: 72796
Vendor number hash - split: 317125
Total number of invoices: 25
Total number of transactions: 123

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	854,484.31	854,484.31
Grand Totals:	854,484.31	854,484.31

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
2020 TAX REFUNDS (5158)							
260078200	Invoi	2020 TAX REFUND	2,596.52	Open	Non	01/21	803-21215
260080400	Invoi	2020 TAX REFUND	95.88	Open	Non	01/21	803-21215
Total 2020 TAX REFUNDS (5158):			2,692.40				
5 ALARM FIRE & SAFETY EQUIPMENT (4319)							
203335-1	Invoi	GAS CYLINDER	310.00	Open	Non	01/21	101-52200-218
Total 5 ALARM FIRE & SAFETY EQUIPMENT (4319):			310.00				
AMERICAN FIDELITY ASSURANCE (4885)							
2090625	Invoi	FLEX SPENDING JANUARY	1,380.72	Open	Non	01/21	101-21368
2091209	Invoi	FLEX SPENDING JANUARY	1,380.72	Open	Non	01/21	101-21368
D255978	Invoi	JANUARY BILLING	1,409.50	Open	Non	01/21	101-21367
D268258	Invoi	FEBRUARY BILLING	1,349.46	Open	Non	02/21	101-21367
Total AMERICAN FIDELITY ASSURANCE (4885):			5,520.40				
ASCENSION MEDICAL GROUP-FOX VALLEY WI (2514)							
393060	Invoi	DRUG SCREEN	65.00	Open	Med	13/20	101-53310-213
Total ASCENSION MEDICAL GROUP-FOX VALLEY WI (2514):			65.00				
ASHWAUBENON DANCE TEAM (4326)							
INVITE 3/7/21	Invoi	DANCE INVITE FEE 3/7/21	287.00	Open	Non	01/21	101-55300-218
Total ASHWAUBENON DANCE TEAM (4326):			287.00				
AT& T (409)							
92078873810963 0	Invoi	JAN/FEB SERVICE	23.41	Open	Non	01/21	207-52120-203
92078873810963 0	Invoi	JAN/FEB SERVICE	117.05	Open	Non	01/21	101-53310-203
92078873810963 0	Invoi	JAN/FEB SERVICE	23.41	Open	Non	01/21	204-55420-203
92078873810963 0	Invoi	JAN/FEB SERVICE	93.63	Open	Non	01/21	620-53924-203
Total AT& T (409):			257.50				
BAYCOM (1318)							
31846	Invoi	SERVICE AGREEMENT 1/1/20 - 12/31/21	4,738.56	Open	Non	01/21	207-52120-204
Total BAYCOM (1318):			4,738.56				
DELTA DENTAL OF WISCONSIN (33)							
1543009	Invoi	JANUARY DENTAL	6,410.09	Open	Non	01/21	101-21345
1543009	Invoi	JANUARY VISION	361.91	Open	Non	01/21	101-21366
1556268	Invoi	FEBRUARY DENTAL	6,449.45	Open	Non	02/21	101-21345
1556268	Invoi	FEBRUARY VISION	432.83	Open	Non	02/21	101-21366
Total DELTA DENTAL OF WISCONSIN (33):			13,654.28				
DUDE SOLUTIONS INC (5174)							
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	101-55200-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	101-55300-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	101-53300-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	620-53924-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,645.00	Open	Non	01/21	630-53444-204
81449	Invoi	ASSET ESSENTIALS ENTERPRISE	1,646.31	Open	Non	01/21	610-53614-204

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,500.00	Open	Non	13/20	101-55200-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	101-53300-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	620-53924-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	630-53444-204
81450	Invoi	VIRTUAL CONSULTING SERVICE	1,335.00	Open	Non	13/20	610-53614-204
Total DUDE SOLUTIONS INC (5174):			16,711.31				
HERRLING CLARK LAW FIRM LTD (208)							
4Q/20 131-10Q	Invoi	TID 4	231.00	Open	Atto	13/20	414-57400-262
4Q/20 131-10Q	Invoi	TID 6	2,425.50	Open	Atto	13/20	416-57600-262
4Q/20 131-10Q	Invoi	TID 8	731.50	Open	Atto	13/20	418-57800-262
4Q/20 131-10Q	Invoi	LEGAL MATTERS	3,740.41	Open	Atto	13/20	101-51110-262
4Q/20 131-10Q	Invoi	SEWER	885.50	Open	Atto	13/20	610-53614-262
4Q/20 131-10Q	Invoi	STORM	77.00	Open	Atto	13/20	630-53444-262
4Q/20 131-10Q	Invoi	REGISTER OF DEEDS	105.00	Open	Atto	13/20	221-56700-262
4Q/20 131-47Q	Invoi	TID 6	35.00	Open	Atto	13/20	416-57600-262
4Q/20 131-68Q	Invoi	LEGAL MATTERS	154.00	Open	Atto	13/20	101-51110-262
4Q/20 131-74Q	Invoi	TID 4	577.50	Open	Atto	13/20	414-57400-262
4Q/20 132-01M	Invoi	4Q/20 TRAFFIC MATTERS	7,931.00	Open	Atto	13/20	101-51110-262
Total HERRLING CLARK LAW FIRM LTD (208):			16,893.41				
MORTON SALT (352)							
5402194562	Invoi	ROAD SALT	33,082.25	Open	Non	13/20	101-53350-218
Total MORTON SALT (352):			33,082.25				
SCIENCE NEWS (5173)							
010121	Invoi	1 YEAR SUBSCRIPTION TO MAGAZINE	50.00	Open	Non	01/21	206-55110-207
Total SCIENCE NEWS (5173):			50.00				
SUN LIFE FINANCIAL (4312)							
232004-FEB 2021	Invoi	FEB STD	259.85	Open	Non	02/21	101-21365
Total SUN LIFE FINANCIAL (4312):			259.85				
TIME WARNER CABLE (89)							
01/21 71406480150	Invoi	JANUARY/FEBRUARY SERVICE	147.70	Open	Non	01/21	207-52120-203
Total TIME WARNER CABLE (89):			147.70				
VILLAGE OF COMBINED LOCKS (3145)							
FEBRUARY	Invoi	PROPERTY STORAGE AREA MONTHLY LEASE-FE	494.16	Open	Non	02/21	207-52120-204
JANUARY	Invoi	PROPERTY STORAGE AREA MONTHLY LEASE-JA	494.16	Open	Non	01/21	207-52120-204
Total VILLAGE OF COMBINED LOCKS (3145):			988.32				
WACPC INC (2032)							
JEM 2021	Invoi	JEM COMPETITION FEES	570.00	Open	Non	01/21	101-55300-218
Total WACPC INC (2032):			570.00				
WARRANT PAYMENTS (4565)							
M21000974	Invoi	WARRANT- HENNES	285.00	Open	Non	01/21	207-21495

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
Total WARRANT PAYMENTS (4565):			285.00				
WE ENERGIES (2788)							
4494800612 01/21	Invoi	721 W ELM DR	193.93	Open	Non	01/21	208-52900-249
4494800612 01/21	Invoi	1401 E ELM DR	2,898.56	Open	Non	01/21	101-53310-249
4494800612 01/21	Invoi	CROSSWINDS LED STREET LIGHTS	123.04	Open	Non	01/21	101-53300-249
4494800612 01/21	Invoi	108 W MAIN ST	674.50	Open	Non	01/21	101-51650-249
4494800612 01/21	Invoi	STREET LIGHTS	1,062.01	Open	Non	01/21	101-53300-249
4494800612 01/21	Invoi	LC WELL #4 PUMPHOUSE (625 E EVERGREEN)	335.73	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	CIVIC CENTER (630 MONROE ST)	886.08	Open	Non	01/21	206-55110-249
4494800612 01/21	Invoi	PLANT #2 (1118 JEFFERSON ST)	131.20	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	PLANT #1 (100 WILSON ST)	269.57	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	920 WASHINGTON ST	113.93	Open	Non	01/21	620-53624-249
4494800612 01/21	Invoi	200 E MCKINLEY ST-FIRE DEPT	196.56	Open	Non	01/21	101-52250-249
4494800612 01/21	Invoi	200 E MCKINLEY ST-FVMPD	294.84	Open	Non	01/21	207-52120-249
4494800612 01/21	Invoi	DOYLE POOL	28.90	Open	Non	01/21	204-55420-249
Total WE ENERGIES (2788):			7,208.85				
Grand Totals:			103,721.83				

Report GL Period Summary

Vendor number hash: 79797
Vendor number hash - split: 162360
Total number of invoices: 29
Total number of transactions: 61

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	103,721.83	103,721.83
Grand Totals:	103,721.83	103,721.83

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Description	Total Cost	Period	GL Account
ADVANCE CONSTRUCTION INC				
2020005	DOWNTOWN STORM SEWER PROJECT	184,347.40	01/21	418-51219-263
Total ADVANCE CONSTRUCTION INC:		184,347.40		
AMERICAN WATER WORKS ASSOCIATION				
7001882724	2021 MEMBERSHIP-TAYLOR	394.00	01/21	620-53924-208
Total AMERICAN WATER WORKS ASSOCIATION:		394.00		
AMPLITEL TECHNOLOGIES				
17043	MDC REPLACEMENT BATTERY	55.00	01/21	207-52120-205
Total AMPLITEL TECHNOLOGIES:		55.00		
APPLETON TROPHY & ENGRAVING				
25669	METAL NAMETAGS	24.00	01/21	207-52120-212
Total APPLETON TROPHY & ENGRAVING:		24.00		
ASCAP				
500636518-2021	MUSIC/ENTERTAIN LICENSE FEE 2021	367.33	01/21	101-55300-204
Total ASCAP:		367.33		
AUTOMATED COMFORT CONTROLS				
28130	PREVENTATIVE MAINTENANCE @ MSB	430.59	13/20	101-53310-204
28131	SERVICE REQUEST AT MSB BUILDING	398.29	01/21	101-53310-204
28132	SERVICE REQUEST AT LIBRARY	277.50	01/21	206-55110-245
Total AUTOMATED COMFORT CONTROLS:		1,106.38		
AUTOMOTIVE SUPPLY CO				
60892603	VENT FAN #46	35.56	01/21	101-53330-225
60893252	TIRE PRESSURE MONITOR #3631	70.44	01/21	101-53330-225
60893307	TIRE PRESSURE MONITOR #3631	35.22	01/21	101-53330-225
60893329	BATTERY #11	207.16	01/21	101-53330-225
60893375	AIR FILTER	8.60	01/21	101-53330-218
60893386	OIL FOR SMALL ENGINES	31.20	01/21	101-53330-217
60893440	SPARK PLUGS	3.44	01/21	101-53330-221
Total AUTOMOTIVE SUPPLY CO:		391.62		
BATTERIES PLUS LLC				
P35892658	SANITARY SEWER METER BATTERIES	47.70	01/21	610-53612-251
Total BATTERIES PLUS LLC:		47.70		
BERGSTROM FORD-LINCOLN				
359817	REPLACED WATER PUMP & SERPENTINE BELT #	137.03	01/21	207-52120-247
Total BERGSTROM FORD-LINCOLN:		137.03		

Invoice	Description	Total Cost	Period	GL Account
CELLCOM				
330855	FVMPD CELL - JANUARY	1,827.85	01/21	207-52120-203
Total CELLCOM:		1,827.85		
DORNER INC				
2020004-2	2020 WATER MAIN PROJECT-MOASIS/FINAL PAY	112,146.99	13/20	620-51115-263
2020004-2	2020 WATER MAIN PROJECT-MOASIS/FINAL PAY	24,835.36	13/20	630-51115-263
Total DORNER INC:		136,982.35		
EVERGREEN POWER LLC				
9254	CARBURETOR	43.99	01/21	101-55440-221
Total EVERGREEN POWER LLC:		43.99		
HEARTLAND BUSINESS SYSTEMS				
421796-H	JANUARY BILL PRINT QNTY 3949	138.22	01/21	201-53620-206
421796-H	JANUARY BILL PRINT QNTY 3949	138.22	01/21	610-53614-206
421796-H	JANUARY BILL PRINT QNTY 3949	138.22	01/21	620-53904-206
421796-H	JANUARY BILL PRINT QNTY 3949	138.20	01/21	630-53443-206
Total HEARTLAND BUSINESS SYSTEMS:		552.86		
HOME DEPOT CREDIT SERVICES				
15900	5GAL PLASTIC BUCKETS/HOOKS/TOOLS	153.54	13/20	101-52250-242
3012513	MEASURING WHEEL	31.97	01/21	206-55110-244
Total HOME DEPOT CREDIT SERVICES:		185.51		
HYDROCLEAN EQUIPMENT				
7612	PREVENTATIVE MAINTENANCE-PRESSURE WAS	95.00	01/21	101-53330-204
Total HYDROCLEAN EQUIPMENT:		95.00		
INGRAM LIBRARY SERVICES				
50785277	BOOKS	189.53	01/21	206-55110-206
Total INGRAM LIBRARY SERVICES:		189.53		
LIBRARY JOURNAL				
90119929	MAGAZINE SUBSCRIPTION	99.00	01/21	206-55110-207
Total LIBRARY JOURNAL:		99.00		
LINDNER ACE HARDWARE LITTLE CHUTE				
267625-312001	CAR WASH SUPPLIES	35.76	13/20	101-52200-218
267656-312001	OIL ABSORBENT	24.00	13/20	101-52200-218
267806-333011	OPEN REEL TAPE MEASURE/SAFETY SPRAY PAI	33.98	01/21	207-52120-218
267860-312001	ELECTRICAL WEATHERPROOF OUTLET BOX	13.98	01/21	101-52200-218
267879-312001	GARDEN HOSE NOZZLE	31.98	01/21	101-52200-218
Total LINDNER ACE HARDWARE LITTLE CHUTE:		139.70		
MARASCH, MARTY				
01/21 REIMBURSE	REIMBURSE FOR OFFICE SUPPLIES	41.30	01/21	101-52200-206

Invoice	Description	Total Cost	Period	GL Account
Total MARASCH, MARTY:		41.30		
MBM				
549072	CONTRACT OVERAGE CHARGE/COLOR COPIES	122.72	01/21	101-51650-207
Total MBM:		122.72		
MENARDS - APPLETON EAST				
98224	BLINDS FOR VL REC CENTER WINDOWS	236.69	01/21	208-52900-221
Total MENARDS - APPLETON EAST:		236.69		
MGD INDUSTRIAL CORP				
189635	BOLTS FOR SIGNS	4.38	01/21	101-53300-218
189773	WASHERS & BOLTS FOR #6 & #40	14.55	01/21	101-53330-225
189773	CABLE TIES FOR STREET BANNERS	68.70	01/21	101-53300-218
189773	STAINLESS STEEL SCREWS & BOLTS	19.56	01/21	630-53441-218
Total MGD INDUSTRIAL CORP:		107.19		
NATIONAL REVIEW				
010121	MAGAZINE SUBSCRIPTION	18.99	01/21	206-55110-207
Total NATIONAL REVIEW:		18.99		
O'REILLY AUTOMOTIVE INC				
2043-254168	WIPER BLADES FOR SQUAD #85	21.20	01/21	207-52120-247
Total O'REILLY AUTOMOTIVE INC:		21.20		
PLYMOUTH LUBRICANTS				
6182864	SHELL ROTELLA OIL	2,863.76	01/21	101-53330-217
Total PLYMOUTH LUBRICANTS:		2,863.76		
PREMIER LITTLE CHUTE LLC				
260-441300-3	2020 DEVELOPMENT INCENTIVE	255,452.65	01/21	414-57400-265
Total PREMIER LITTLE CHUTE LLC:		255,452.65		
PRIMADATA LLC				
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	201-53620-226
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	610-53613-226
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	620-53904-226
FEBRUARY 2021	FEBRUARY POSTCARD POSTAGE	275.00	02/21	630-53443-226
Total PRIMADATA LLC:		1,100.00		
PROJECT ENTERTAINMENT LLC				
7375481	DEPOSIT FOR 8/18 MOVIE ON THE PLAZA	500.00	02/21	101-55300-218
7387277	DEPOSIT FOR 7/16 POOL MOVIE EVENT	259.88	02/21	204-55420-218
Total PROJECT ENTERTAINMENT LLC:		759.88		
REMINISCE EXTRA				
010121	MAGAZINE SUBSCRIPTION	11.00	01/21	206-55110-207

Invoice	Description	Total Cost	Period	GL Account
Total REMINISCE EXTRA:		11.00		
RICK'S TOWING				
15897	VEHICLE TOWED TO FVMPD	150.00	01/21	207-52120-218
Total RICK'S TOWING:		150.00		
SIRCHIE FINGERPRINT LABORATORY				
477796	EVIDENCE SUPPLIES	55.05	01/21	207-52120-218
Total SIRCHIE FINGERPRINT LABORATORY:		55.05		
SPEEDY CLEAN DRAIN & SEWER				
72005	SMOKE TESTING & AUGER BASEMENT LINES	1,325.00	01/21	101-51650-243
Total SPEEDY CLEAN DRAIN & SEWER:		1,325.00		
STAPLES ADVANTAGE				
3467223593	COPY PAPER/LEGAL PADS/PENS	106.54	01/21	207-52120-206
3467686889	BLACK INK FOR HP PRINTER-FINANCE	127.60	01/21	101-51420-206
Total STAPLES ADVANTAGE:		234.14		
SUPERIOR SEWER AND WATER INC				
L000191800487-1	EBBEN TRAIL STORM SEWER PROJECT	301,345.04	13/20	416-51216-263
Total SUPERIOR SEWER AND WATER INC:		301,345.04		
UNIFIRST CORPORATION				
0970324731	SHIRTS/PANTS	4.51	01/21	101-53330-213
0970324731	LAUNDRY BAGS/WIPERS	11.33	01/21	101-53330-218
0970325179	SHIRTS/PANTS	4.51	01/21	101-53330-213
0970325179	LAUNDRY BAGS/WIPERS	10.35	01/21	101-53330-218
Total UNIFIRST CORPORATION:		30.70		
VILLAGE OF COMBINED LOCKS				
2020-M33	2020 UTILITIES FOR COMBINED LOCKS EVIDENC	1,426.83	13/20	207-52120-249
Total VILLAGE OF COMBINED LOCKS:		1,426.83		
WESTBURG, SETH				
01/21 REIMBURSE	REIMBURSE FOR ARBORIST RECERTIFICATION	230.00	01/21	101-55440-201
Total WESTBURG, SETH:		230.00		
WI DEPT OF JUSTICE-TIME				
455TIME-00000100	TIME SYSTEM & OFFICER SUPPORT FEE	1,893.00	01/21	207-52120-204
Total WI DEPT OF JUSTICE-TIME:		1,893.00		
WI MUNICIPAL COURT CLERKS ASSOCIATION				
2021	2021 DUES - GLOUDEMANS	45.00	01/21	101-51680-208
Total WI MUNICIPAL COURT CLERKS ASSOCIATION:		45.00		

Invoice	Description	Total Cost	Period	GL Account
WPRA				
2187	VIRTUAL CEU WEBINAR SERIES-ALL SESSIONS	175.00	01/21	101-55300-201
Total WPRA:		175.00		
Grand Totals:		894,631.39		

Report GL Period Summary

Vendor number hash: 178859
Vendor number hash - split: 226971
Total number of invoices: 57
Total number of transactions: 68

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	894,631.39	894,631.39
Grand Totals:	894,631.39	894,631.39

Report Criteria:

Invoice Detail.Voided = {=} FALSE

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Setzer/FedEx Site Plan

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 1/27/2020

ADMINISTRATOR'S REVIEW/COMMENTS: 

EXPLANATION:

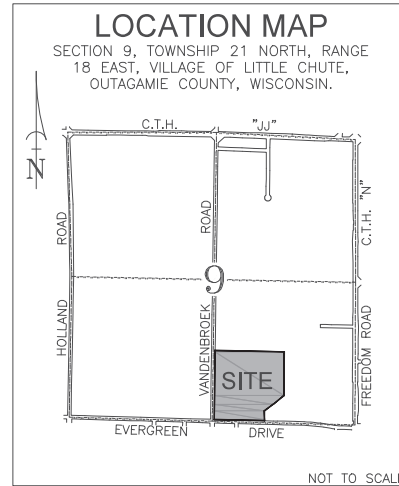
This site plan is for a new trucking terminal facility that will include a maintenance building as well as a terminal building. Overall, this facility will have about 2.5 Ac of buildings, 25.5 Ac of pavement, 183 parking spots for cars, 241 for Pup park (small trailers) 140 Van spaces and 117 spaces for tractors. Per information from Developers this facility is expecting to have 173 employees with a possible future addition that add even more employment opportunities. The entire Facility is to be surrounded by a fence with barb wire on top and a green screen on the south and west sides of the facility. With this project a turn lane is to be added to Vandebroek road that will require an extension on the existing Box Culvert bridge, to be paid for by the developer. An easement is being provided for maintenance of the storm water pipe as well as for the trail and laterals for the facility. This facility has a complex stormwater system that will utilize the new stormwater pipe that is being installed on the north side of the creek. Due to the complexity of this system and changes having to be made to assist in the development of this property some items are still being addressed to ensure the Stormwater system on the property and the new Stormwater pipe will not have any issues. The site plan has been attached with this report for further detail.

RECOMMENDATION: To approve the site plan for this facility with the condition that all staff comments are addressed.

FEDEX SETZER PROPERTIES

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

INDEX OF SHEETS	
DRAWING NO.	DESCRIPTION:
C1.0	COVER SHEET
C1.1	SITE PLAN
C1.2	SITE PLAN (NORTH)
C1.3	SITE PLAN (SOUTH)
C1.4	SITE PLAN KEY NOTES (NORTH)
C1.5	SITE PLAN KEY NOTES (SOUTH)
C1.6	TOPOGRAPHIC SURVEY
C2.1	UTILITY LAYOUT PLAN (NORTH)
C2.2	UTILITY LAYOUT PLAN (SOUTH)
C2.3	UTILITY STRUCTURE TABLE
C3.1	DRAINAGE PLAN (NORTH)
C3.2	DRAINAGE PLAN (SOUTH)
C4.1	STORMWATER DETENTION
C4.2	STORMWATER DETENTION
C4.3	WEST POND DETAIL SHEET
C4.4	EAST POND DETAIL SHEET
C5.1	EROSION CONTROL PLAN (NORTH)
C5.2	EROSION CONTROL PLAN (SOUTH)
C5.3	EROSION CONTROL DETAILS
C5.4	EROSION CONTROL DETAILS
C6.1	STANDARD DETAIL DRAWINGS
C6.2	STANDARD DETAIL DRAWINGS
C6.3	STANDARD DETAIL DRAWINGS
C6.4	STANDARD DETAIL DRAWINGS
C7.1	LANDSCAPE PLAN (NORTH)
C7.2	LANDSCAPE PLAN (SOUTH)
S1.0	CULVERT EXTENSION PLANS
S1.1	CULVERT EXTENSION PLANS



PERTINENT CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY		
VILLAGE OF LITTLE CHUTE (COMMUNITY DEVELOPMENT)	DAVE KITTEL	920-423-3870
VILLAGE OF LITTLE CHUTE (PUBLIC WORKS)	KENT TAYLOR	920-423-3865
VILLAGE OF LITTLE CHUTE (ENGINEERING)	CHRIS MURAWSKI, P.E.	920-423-3861
OWNER		
SETZER PROPERTIES	BRETT SETZER	859-514-7767
SETZER PROPERTIES	SCOTT BENDER	859-514-7767
ENGINEER / SURVEYOR		
MARTENSON & EISELE	MIKE SIEWERT	920-731-0381
MARTENSON & EISELE	GARY ZAHNINGER	920-731-0381

DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-336-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

REVISION TRACKERS

DESIGN DEVELOPMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION
1	11/4/2020	WDNR SUBMITTAL SET
2	11/11/2020	DRIVEWAY, TURN LANE, AND CULVERT EXTENSION
3	12/4/2020	ISSUE FOR PLANNING MEETING
4	12/8/2020	LIGHTING AND UTILITY TABLE
5	12/16/2020	ISSUE FOR PERMITTING
6	12/18/2020	VILLAGE SUBMITTAL
7	1-7-2021	SITE GRADES & STORM UTILITIES
8	1-14-2021	UNDERGROUND STORM SYSTEM LAYOUT (C2.1&C2.2)
9	1-19-2021	SITE GRADES & STORM UTILITIES
10	1-20-2021	STORM UTILITIES
11	1/26/2021	RESUBMITTAL SET TO VILLAGE AND WDNR

CONSTRUCTION DOCUMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

RECORD DRAWING REVISION TRACKER		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

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1377 Maken Road
Menasha, WI 54952
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EAE			DXM			MSS		
*** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS ***								
NO.	DATE	NO.	DATE	NO.	DATE			
1	11/4/2020	8			1/14/2021			
2	11/11/2020	9			1/19/2021			
3	12/4/2020	10			1/20/2021			
4	1/26/2021	11			1/26/2021			
5	12/16/2020							
6	12/18/2020							
7	1/17/2021							

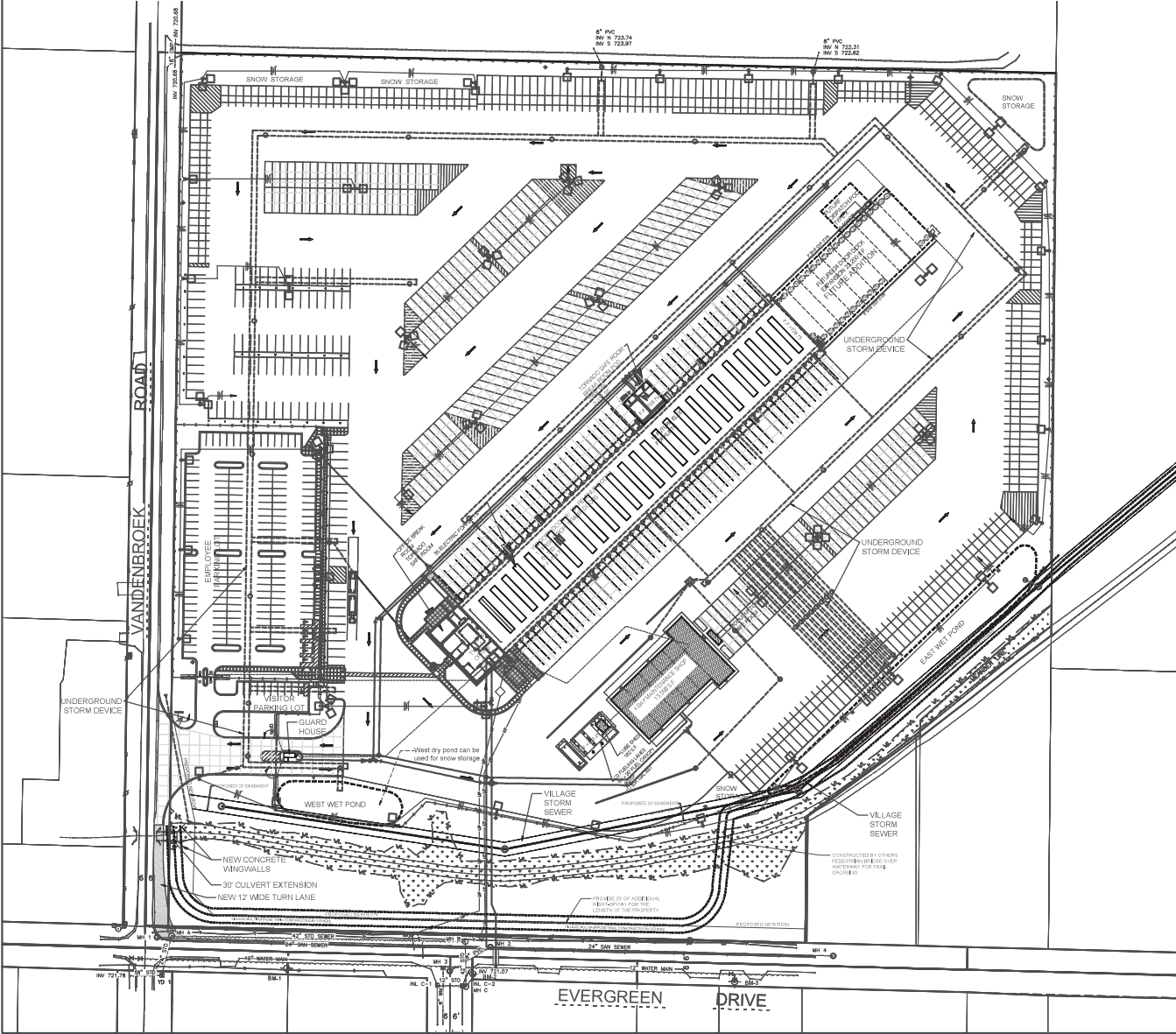
COVER SHEET
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002ds.dwg	



DRAWING NO.
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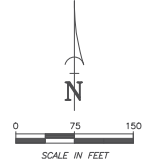
SITE PLAN: FEDEX SETZER PROPERTIES



SITE DATA

PROJECT AREA

EXISTING OPEN SPACE = 34,998 AC.
EXISTING IMPERVIOUS PAVEMENT = 0 S.F.
PROPOSED OPEN SPACE = 6,844 AC.
PROPOSED PAVEMENT = 25,497 AC.
PROPOSED BUILDINGS = 2,557 AC.



ZONING DATA

CURRENT ZONING DISTRICT:
INDUSTRIAL DISTRICT (ID)

LANDSCAPING REQUIREMENTS

REQUIREMENTS OF SEC. 44-193

SITE/PROJECT INFORMATION

PROPERTY ADDRESS:
PARCEL 260017400 AT THE NORTHEAST
CORNER OF THE INTERSECTION OF
EVERGREEN DR. AND VANDENBROEK RD.

LEGAL DESCRIPTION

PART OF THE SOUTHWEST 1/4 OF THE
SOUTHEAST 1/4, SECTION 9, TOWNSHIP
21 NORTH, RANGE 18 EAST,
VILLAGE OF LITTLE CHUTE, OUTAGAMIE
COUNTY, WISCONSIN

PARKING COUNTS

TYPE	REQ'D/PROV.	REQ'D/PROV.
Car Park	143/183	179/183
Pup Park	179/241	224/241
Van Park	109/140	136/140
Tractor	93/117	116/117
Relay Park	28/35	35/35
Triples Park	0/0	0/0

OWNER/APPLICANT:

SETZER PROPERTIES
ATTN: BRETT SETZER
354 WALLER AVENUE SUITE 200
LEXINGTON, KY 40504
bsetzer@bsetzon.com
PHONE: 859-514-7767

ENGINEER:

MARTENSON & EISELE, INC.
ATTN: MIKE SEWERT, P.E.
1377 MIDWAY ROAD
MENASHA, WI 54952
msew@martenson-eisele.com
PHONE: 920-511-0381

NRCS SOILS

McA—Manawa silty clay loam
Hydrologic Soil Type D.
WnB—Winneconne silty clay loam
Hydrologic Soil Type D.
WnC2—Winneconne silty clay loam
Hydrologic Soil Type D.

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE OF LITTLE CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND

1" = 1/4" 16" HIGH PIPE SET	—C—C— UNDERGROUND ELECTRIC	00 GAS VALVE
1-1/4" x 1/4" 30" REBAR SET	—E—E— UNDERGROUND TELEPHONE	01 EXIST. STORM MANHOLE
CHIEFED 1" SET	—F—F— UNDERGROUND FIBEROPTIC	02 STORM INLET
3/4" REBAR FOUND	—G—G— UNDERGROUND GAS	03 EXIST. DRAIN
1" HIGH PIPE FOUND	—H—H— UNDERGROUND CABLE TV	04 EXIST. BATTERY MANHOLE
1-1/4" REBAR FOUND	—I—I— EXIST. FENCE LINE	05 EXIST. SAN SEWER
1" HIGH PIPE FOUND	—J—J— EXIST. FENCE LINE	06 EXIST. STORM SEWER
CHIEFED 1" FOUND	—K—K— EXIST. FENCE LINE	07 EXIST. WATER MAIN
30" MANHOLE FOUND	—L—L— EXIST. FENCE LINE	08 EXIST. SPOT ELEVATION
CONCRETE CORNER	—M—M— EXIST. FENCE LINE	09 EXIST. CONTROL W/ ELEVATION
RECORDED AS	—N—N— EXIST. FENCE LINE	10 EXIST. TOP OF CURB ELEV.
CONCRETE TREE	—O—O— EXIST. FENCE LINE	11 EXIST. FLOW LINE ELEV.
DECOMPOSED TREE	—P—P— EXIST. FENCE LINE	12 EXIST. FLOW LINE ELEV.
EXIST. WATER LINE	—Q—Q— EXIST. FENCE LINE	13 EXIST. FLOW LINE ELEV.
WETLAND	—R—R— EXIST. FENCE LINE	14 EXIST. FLOW LINE ELEV.
SOL BORING	—S—S— EXIST. FENCE LINE	15 EXIST. FLOW LINE ELEV.
	—T—T— EXIST. FENCE LINE	16 EXIST. FLOW LINE ELEV.
	—U—U— EXIST. FENCE LINE	17 EXIST. FLOW LINE ELEV.
	—V—V— EXIST. FENCE LINE	18 EXIST. FLOW LINE ELEV.
	—W—W— EXIST. FENCE LINE	19 EXIST. FLOW LINE ELEV.
	—X—X— EXIST. FENCE LINE	20 EXIST. FLOW LINE ELEV.
	—Y—Y— EXIST. FENCE LINE	21 EXIST. FLOW LINE ELEV.
	—Z—Z— EXIST. FENCE LINE	22 EXIST. FLOW LINE ELEV.
	—AA—AA EXIST. FENCE LINE	23 EXIST. FLOW LINE ELEV.
	—AB—AB EXIST. FENCE LINE	24 EXIST. FLOW LINE ELEV.
	—AC—AC EXIST. FENCE LINE	25 EXIST. FLOW LINE ELEV.
	—AD—AD EXIST. FENCE LINE	26 EXIST. FLOW LINE ELEV.
	—AE—AE EXIST. FENCE LINE	27 EXIST. FLOW LINE ELEV.
	—AF—AF EXIST. FENCE LINE	28 EXIST. FLOW LINE ELEV.
	—AG—AG EXIST. FENCE LINE	29 EXIST. FLOW LINE ELEV.
	—AH—AH EXIST. FENCE LINE	30 EXIST. FLOW LINE ELEV.
	—AI—AI EXIST. FENCE LINE	31 EXIST. FLOW LINE ELEV.
	—AJ—AJ EXIST. FENCE LINE	32 EXIST. FLOW LINE ELEV.
	—AK—AK EXIST. FENCE LINE	33 EXIST. FLOW LINE ELEV.
	—AL—AL EXIST. FENCE LINE	34 EXIST. FLOW LINE ELEV.
	—AM—AM EXIST. FENCE LINE	35 EXIST. FLOW LINE ELEV.
	—AN—AN EXIST. FENCE LINE	36 EXIST. FLOW LINE ELEV.
	—AO—AO EXIST. FENCE LINE	37 EXIST. FLOW LINE ELEV.
	—AP—AP EXIST. FENCE LINE	38 EXIST. FLOW LINE ELEV.
	—AQ—AQ EXIST. FENCE LINE	39 EXIST. FLOW LINE ELEV.
	—AR—AR EXIST. FENCE LINE	40 EXIST. FLOW LINE ELEV.
	—AS—AS EXIST. FENCE LINE	41 EXIST. FLOW LINE ELEV.
	—AT—AT EXIST. FENCE LINE	42 EXIST. FLOW LINE ELEV.
	—AU—AU EXIST. FENCE LINE	43 EXIST. FLOW LINE ELEV.
	—AV—AV EXIST. FENCE LINE	44 EXIST. FLOW LINE ELEV.
	—AW—AW EXIST. FENCE LINE	45 EXIST. FLOW LINE ELEV.
	—AX—AX EXIST. FENCE LINE	46 EXIST. FLOW LINE ELEV.
	—AY—AY EXIST. FENCE LINE	47 EXIST. FLOW LINE ELEV.
	—AZ—AZ EXIST. FENCE LINE	48 EXIST. FLOW LINE ELEV.
	—BA—BA EXIST. FENCE LINE	49 EXIST. FLOW LINE ELEV.
	—BB—BB EXIST. FENCE LINE	50 EXIST. FLOW LINE ELEV.
	—BC—BC EXIST. FENCE LINE	51 EXIST. FLOW LINE ELEV.
	—BD—BD EXIST. FENCE LINE	52 EXIST. FLOW LINE ELEV.
	—BE—BE EXIST. FENCE LINE	53 EXIST. FLOW LINE ELEV.
	—BF—BF EXIST. FENCE LINE	54 EXIST. FLOW LINE ELEV.
	—BG—BG EXIST. FENCE LINE	55 EXIST. FLOW LINE ELEV.
	—BH—BH EXIST. FENCE LINE	56 EXIST. FLOW LINE ELEV.
	—BI—BI EXIST. FENCE LINE	57 EXIST. FLOW LINE ELEV.
	—BJ—BJ EXIST. FENCE LINE	58 EXIST. FLOW LINE ELEV.
	—BK—BK EXIST. FENCE LINE	59 EXIST. FLOW LINE ELEV.
	—BL—BL EXIST. FENCE LINE	60 EXIST. FLOW LINE ELEV.
	—BM—BM EXIST. FENCE LINE	61 EXIST. FLOW LINE ELEV.
	—BN—BN EXIST. FENCE LINE	62 EXIST. FLOW LINE ELEV.
	—BO—BO EXIST. FENCE LINE	63 EXIST. FLOW LINE ELEV.
	—BP—BP EXIST. FENCE LINE	64 EXIST. FLOW LINE ELEV.
	—BQ—BQ EXIST. FENCE LINE	65 EXIST. FLOW LINE ELEV.
	—BR—BR EXIST. FENCE LINE	66 EXIST. FLOW LINE ELEV.
	—BS—BS EXIST. FENCE LINE	67 EXIST. FLOW LINE ELEV.
	—BT—BT EXIST. FENCE LINE	68 EXIST. FLOW LINE ELEV.
	—BU—BU EXIST. FENCE LINE	69 EXIST. FLOW LINE ELEV.
	—BV—BV EXIST. FENCE LINE	70 EXIST. FLOW LINE ELEV.
	—BW—BW EXIST. FENCE LINE	71 EXIST. FLOW LINE ELEV.
	—BX—BX EXIST. FENCE LINE	72 EXIST. FLOW LINE ELEV.
	—BY—BY EXIST. FENCE LINE	73 EXIST. FLOW LINE ELEV.
	—BZ—BZ EXIST. FENCE LINE	74 EXIST. FLOW LINE ELEV.
	—CA—CA EXIST. FENCE LINE	75 EXIST. FLOW LINE ELEV.
	—CB—CB EXIST. FENCE LINE	76 EXIST. FLOW LINE ELEV.
	—CC—CC EXIST. FENCE LINE	77 EXIST. FLOW LINE ELEV.
	—CD—CD EXIST. FENCE LINE	78 EXIST. FLOW LINE ELEV.
	—CE—CE EXIST. FENCE LINE	79 EXIST. FLOW LINE ELEV.
	—CF—CF EXIST. FENCE LINE	80 EXIST. FLOW LINE ELEV.
	—CG—CG EXIST. FENCE LINE	81 EXIST. FLOW LINE ELEV.
	—CH—CH EXIST. FENCE LINE	82 EXIST. FLOW LINE ELEV.
	—CI—CI EXIST. FENCE LINE	83 EXIST. FLOW LINE ELEV.
	—CJ—CJ EXIST. FENCE LINE	84 EXIST. FLOW LINE ELEV.
	—CK—CK EXIST. FENCE LINE	85 EXIST. FLOW LINE ELEV.
	—CL—CL EXIST. FENCE LINE	86 EXIST. FLOW LINE ELEV.
	—CM—CM EXIST. FENCE LINE	87 EXIST. FLOW LINE ELEV.
	—CN—CN EXIST. FENCE LINE	88 EXIST. FLOW LINE ELEV.
	—CO—CO EXIST. FENCE LINE	89 EXIST. FLOW LINE ELEV.
	—CP—CP EXIST. FENCE LINE	90 EXIST. FLOW LINE ELEV.
	—CQ—CQ EXIST. FENCE LINE	91 EXIST. FLOW LINE ELEV.
	—CR—CR EXIST. FENCE LINE	92 EXIST. FLOW LINE ELEV.
	—CS—CS EXIST. FENCE LINE	93 EXIST. FLOW LINE ELEV.
	—CT—CT EXIST. FENCE LINE	94 EXIST. FLOW LINE ELEV.
	—CU—CU EXIST. FENCE LINE	95 EXIST. FLOW LINE ELEV.
	—CV—CV EXIST. FENCE LINE	96 EXIST. FLOW LINE ELEV.
	—CW—CW EXIST. FENCE LINE	97 EXIST. FLOW LINE ELEV.
	—CX—CX EXIST. FENCE LINE	98 EXIST. FLOW LINE ELEV.
	—CY—CY EXIST. FENCE LINE	99 EXIST. FLOW LINE ELEV.
	—CZ—CZ EXIST. FENCE LINE	100 EXIST. FLOW LINE ELEV.

Martenson & Eisele, Inc.
Professional Planning
1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
920.511.0381 1.800.336.0381

NO.	DATE	NO.	DATE
1	11/14/2020	9	11/20/2021
2	11/11/2020	10	12/02/2021
3	12/04/2020	11	12/02/2021
4	12/04/2020	12	12/02/2021
5	12/04/2020	13	12/02/2021
6	12/04/2020	14	12/02/2021
7	12/02/2021	15	12/02/2021

SITE PLAN
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002.de.dwg	

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REFER TO COVER SHEET FOR REVISION DESCRIPTIONS									
DRAWN BY EAE		CHECKED DYM		APPROVED USS		FIELDWORK			
NO.	DATE	NO.	DATE	NO.	DATE				
1	11/4/2020	8	1/14/2021						
2	11/11/2020	9	1/19/2021						
3	12/4/2020	10	1/20/2021						
4	12/8/2020	11	1/26/2021						
5	12/16/2020								
6	12/18/2020								
7	1/7/2021								

SITE PLAN - NORTH
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
f-1342-002de.dwg	

DRAWING NO.
C1.2

SITE PLAN: FEDEX SETZER PROPERTIES (SOUTH)

SITE PLAN NOTES

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TOPOGRAPHIC LEGEND

1" x 18" HIGH PIPE SET	OVERHEAD POWER LINES	00 GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	01 EXIST. STORM MANHOLE
CHISELED "Y" SET	UNDERGROUND TELEPHONE	02 EXIST. STORM PILE
3/4" REBAR FOUND	UNDERGROUND FIBER OPTIC	03 EXIST. SANITARY MANHOLE
1" HIGH PIPE FOUND	UNDERGROUND GAS	04 EXIST. SANITARY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	05 EXIST. SANITARY MANHOLE
1" HIGH PIPE FOUND	EXIST. FENCE LINE	06 EXIST. SANITARY MANHOLE
CHISELED "Y" FOUND	EXIST. FENCE LINE	07 EXIST. SANITARY MANHOLE
CONCRETE CORNER	EXIST. FENCE LINE	08 EXIST. SANITARY MANHOLE
RECORDED AS	EXIST. FENCE LINE	09 EXIST. SANITARY MANHOLE
CONCRETE TREE	EXIST. FENCE LINE	10 EXIST. SANITARY MANHOLE
EXIST. WOODS LINE	EXIST. FENCE LINE	11 EXIST. SANITARY MANHOLE
WETLANDS	EXIST. FENCE LINE	12 EXIST. SANITARY MANHOLE
SOIL BORING	EXIST. FENCE LINE	13 EXIST. SANITARY MANHOLE
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	EXIST. FENCE LINE	59 EXIST. SANITARY MANHOLE
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	EXIST. FENCE LINE	65 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	66 EXIST. SANITARY MANHOLE
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	EXIST. FENCE LINE	71 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	72 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	73 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	74 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	75 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	76 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	77 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	78 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	79 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	80 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	81 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	82 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	83 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	84 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	85 EXIST. SANITARY MANHOLE
	EXIST. FENCE LINE	86 EXIST. SANITARY MANHOLE

Martenson & Eisele, Inc.

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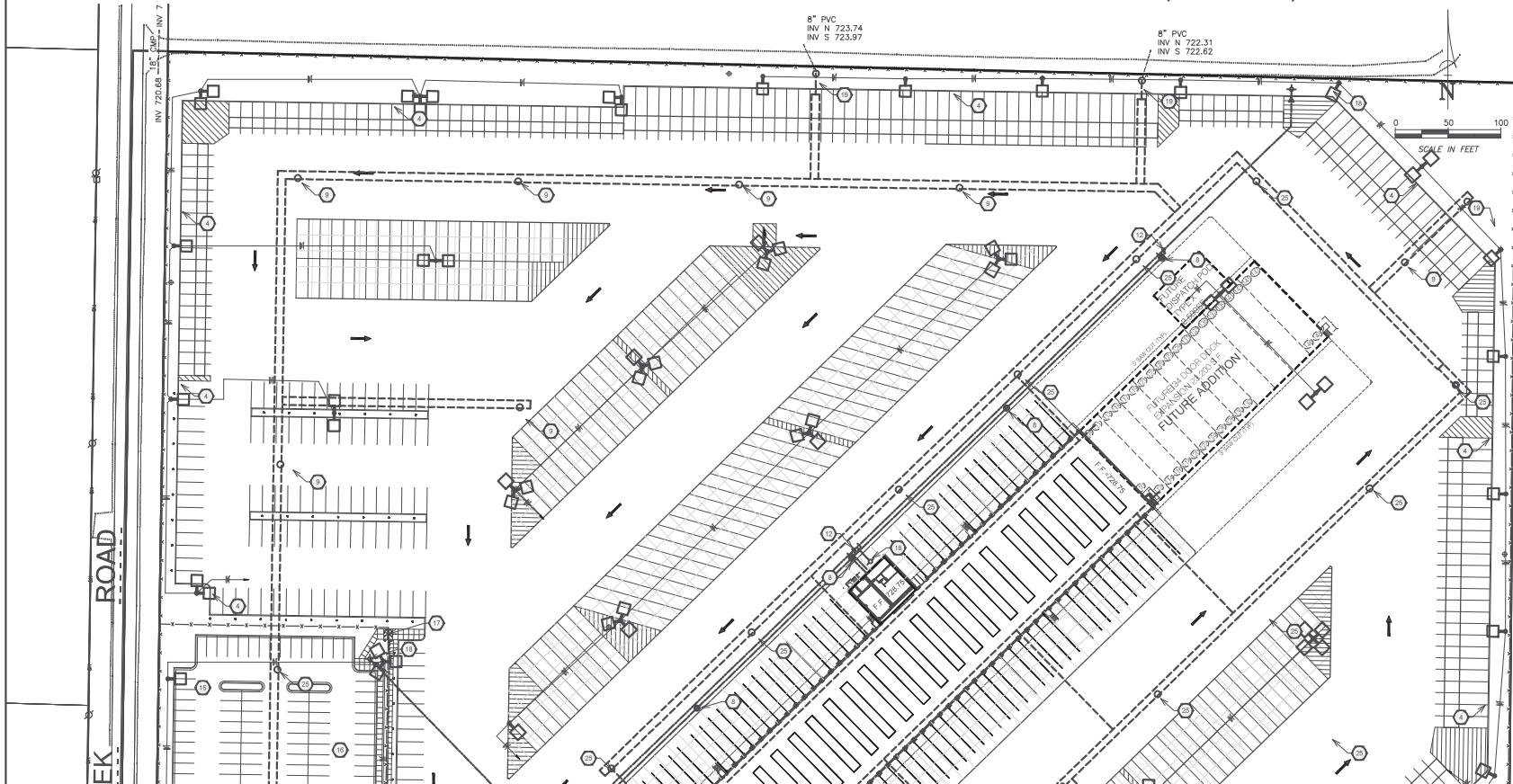
DRAWN BY	CHECKED	APPROVED	FIELDWORK
EAE	DYAL	MSS	
REFER TO COVER SHEET FOR REVISION DESCRIPTIONS			
1	11/14/2020	8	11/14/2021
2	11/11/2020	9	11/19/2021
3	12/14/2020	10	12/01/2021
4	12/16/2020	11	12/08/2021
5	12/16/2020		
6	12/16/2020		
7	1/7/2021		

SITE PLAN - SOUTH
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
1-1342-002de.dwg	

DRAWING NO.
C1.3

SITE PLAN KEY NOTES: FEDEX SETZER PROPERTIES (NORTH)



PLAN KEY LEGEND

- | | |
|---------------------------------------------------|---|
| 1 BLOCK HEATER, LIFT GATE, & EV. CHARGING STATION | 1 |
| 2 FEDEX SIGNAGE - TYPE | 2 |
| 3 FLAGPOLE INSTALLATION | 3 |
| 4 CURB & GUTTER DETAIL | 4 |
| 5 LIGHT POLE BASE | 5 |
| 6 SAFETY/TRASH GUARD FOR FLARED ENDS | 6 |
| 7 CONCRETE RESTORATION - WALKWAY RAMP | 7 |
| 8 SANITARY SEWER PRE-CAST MANHOLE | 8 |

PLAN KEY LEGEND(CONT.)

- | | |
|----------------------------------------|----|
| 9 STORM SEWER PRE-CAST MANHOLE | 9 |
| 10 24" X 36" INLET | 10 |
| 11 CONCRETE FLUME | 11 |
| 12 STANDARD VALVE & VALVE BOX SETTINGS | 12 |
| 13 BLOCKING FOR WATERMAIN BENDS | 13 |
| 14 DOLLY PAD'S | 14 |
| 15 BOLLARD SLEEVES | 15 |
| 16 PARKING LOT STRIPING | 16 |

PLAN KEY LEGEND(CONT.)

- | | |
|--------------------------------------------|----|
| 17 TURNSTILE AND HANDICAPPED SECURITY GATE | 17 |
| 18 HYDRANT | 18 |
| 19 YARD DRAIN DETAIL | 19 |
| 20 CLASS "B" BEDDING FOR PVC PIPE | 20 |
| 21 TYPICAL SIDEWALK SECTION | 21 |
| 22 EXTERIOR DOWNSPOUT | 22 |
| 23 SIDEWALK CONTROL JOINT | 23 |
| 24 SIDEWALK EXPANSION JOINT | 24 |

PLAN KEY LEGEND(CONT.)

- | | |
|--------------------------------------------|----|
| 25 UNDERGROUND STORAGE ACCESS RISER DETAIL | 25 |
| 26 PARKING STALL COUNT | 26 |

TOPOGRAPHIC LEGEND	
1" = 16" HON PVC SET	UNDERGROUND POWER LINES
1-1/4" = 30" HON PVC SET	UNDERGROUND ELECTRIC
CHASED "T" SET	UNDERGROUND TELEPHONE
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC
1" HON PIPE FOUND	UNDERGROUND GAS
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV
2" HON PIPE FOUND	EXIST. FENCE LINE
CHASED "T" FOUND	IRON
CONCRETE CORNER RECORDED AS	POWER POLE
1) CONIFEROUS TREE	GOIT
2) DECIDUOUS TREE	LIGHT POLE
3) EXIST. WOOD LINE	TELEPHONE PEGMOUNT
4) WETLAND	ELECTRIC PEGMOUNT
5) SOL BORING	CABLE PEGMOUNT
	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	EXIST. GAS VALVE
	EXIST. STORM MANHOLE
	STORM ALLEY
	YARD DRAIN
	EXIST. BATTERY MANHOLE
	EXIST. SAN. SEWER
	EXIST. ST. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	SHOWN: EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	W/ REBAR FIRST FLOOR = 06.00
	TOPSOIL DEPTH
	INFILTRATION SOL. BORING

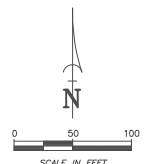
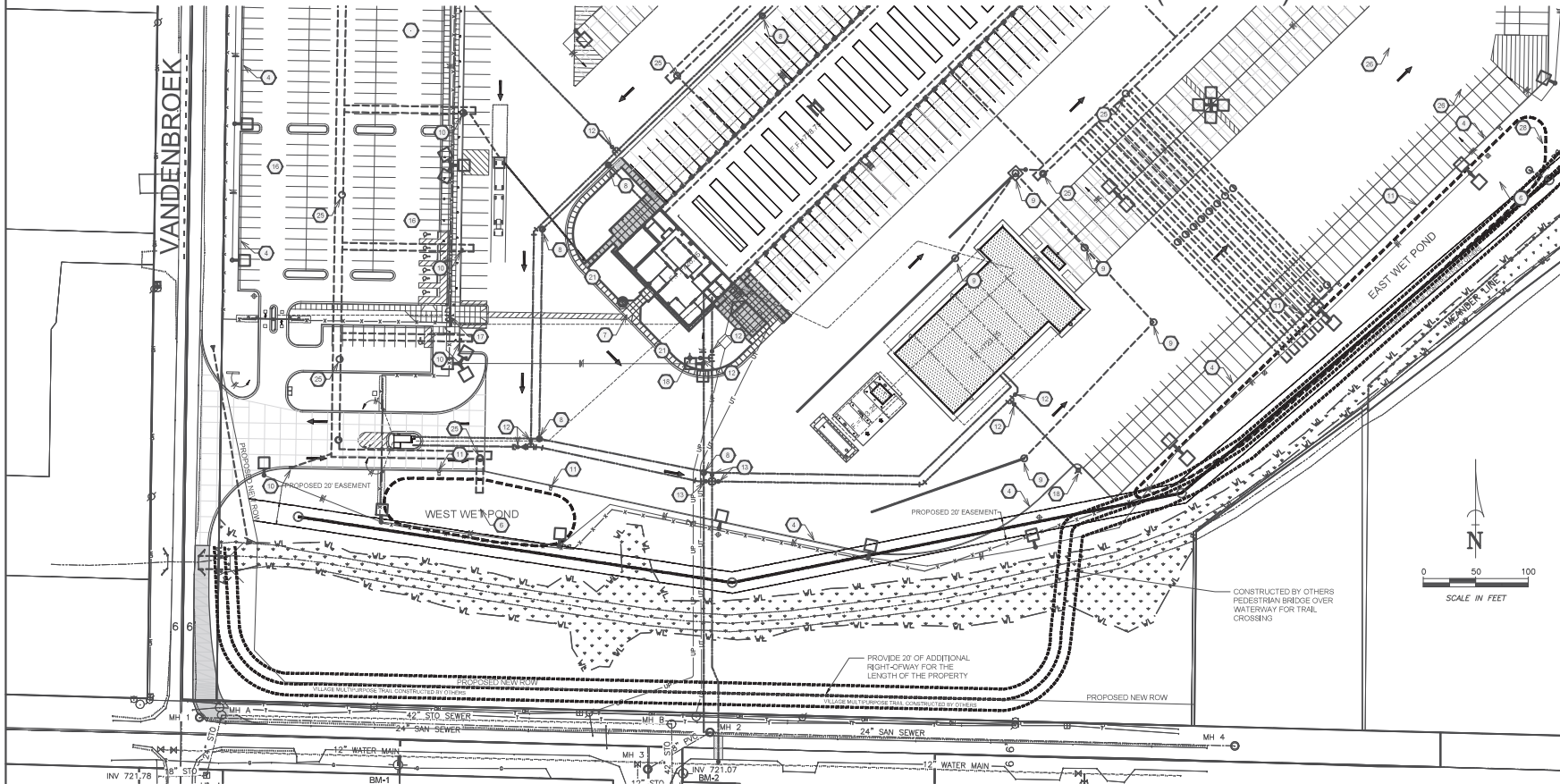
SITE PLAN KEY NOTES - NORTH FEDEX SETZER PROPERTIES VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	1-1342-002.de.dwg

DRAWING NO.
C14

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Professional Planning & Surveying
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920.731.0381 1.800.336.0381

SITE PLAN KEY NOTES: FEDEX SETZER PROPERTIES (SOUTH)



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 1377 Myers Road
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NO.	DATE	NO.	DATE
1	11/11/2020	9	11/19/2021
2	12/4/2020	10	12/29/2021
3	12/4/2020	11	12/29/2021
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5	12/4/2020	13	12/29/2021
6	12/4/2020	14	12/29/2021
7	12/4/2020	15	12/29/2021

SITE PLAN KEY NOTES - SOUTH
FEDEX SETZER PROPERTIES
 VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
	1-1342-002.de.dwg

DRAWING NO.
C1.5

PLAN KEY LEGEND

1 BLOCK HEATER, LIFT GATE, & EV. CHARGING STATION	1 C6.1
2 FEDEX SIGNAGE - TYPE 1	2 C6.1
3 FLAGPOLE INSTALLATION	3 C6.1
4 CURB & GUTTER DETAIL	4 C6.1
5 LIGHT POLE BASE	5 C6.1
6 SAFETY/TRASH GUARD FOR FLARED ENDS	6 C6.1
7 CONCRETE RESTORATION - WALKWAY RAMPS	7 C6.1
8 SANITARY SEWER PRE-CAST MANHOLE	1 C6.2

PLAN KEY LEGEND(CONT.)

9 STORM SEWER PRE-CAST MANHOLE	2 C6.2
10 24" X 36" INLET	3 C6.2
11 CONCRETE FLUME	4 C6.2
12 STANDARD VALVE & VALVE BOX SETTINGS	5 C6.2
13 BLOCKING FOR WATERMAIN BENDS	6 C6.2
14 DOLLY PAD'S	1 C6.3
15 BOLLARD SLEEVES	2 C6.3
16 PARKING LOT STRIPING	3 C6.3

PLAN KEY LEGEND(CONT.)

17 TURNSTILE AND HANDICAPPED SECURITY GATE	4 C6.3
18 HYDRANT	5 C6.3
19 YARD DRAIN DETAIL	1 C6.4
20 CLASS "B" BEDDING FOR PVC PIPE	2 C6.4
21 TYPICAL SIDEWALK SECTION	3 C6.4
22 EXTERIOR DOWNSPOUT	4 C6.4
23 SIDEWALK CONTROL JOINT	5 C6.4
24 SIDEWALK EXPANSION JOINT	6 C6.4

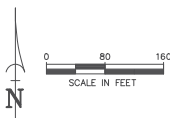
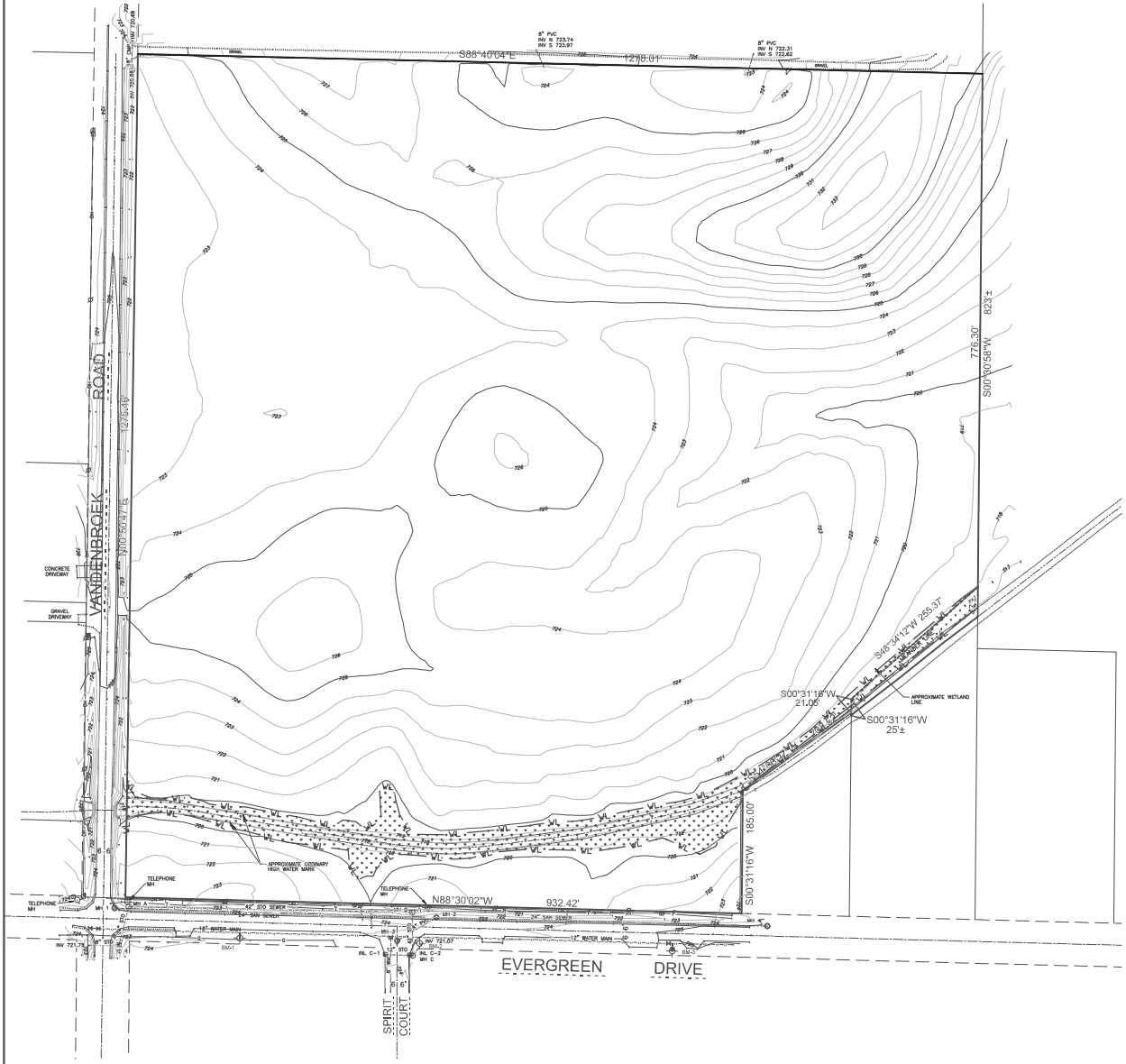
PLAN KEY LEGEND(CONT.)

25 UNDERGROUND STORAGE ACCESS RISER DETAIL	6 C6.4
26 PARKING STALL COUNT	

TOPOGRAPHIC LEGEND

1" = 16" HON PIPE SET	UNDERGROUND POWER LINES	00 GAS VALVE
1-1/2" = 30" REBAR SET	UNDERGROUND ELECTRIC	01 EXIST. STORM MANHOLE
CHAINED "X" SET	UNDERGROUND TELEPHONE	02 STORM INLET
3/4" REBAR FOUND	UNDERGROUND FIBER	03 YARD DRAIN
1" HON PIPE FOUND	UNDERGROUND GAS	04 EXIST. BATTERY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	05 EXIST. SAN. SEWER
2" HON PIPE FOUND	EXIST. FENCE LINE	06 EXIST. STG. SEWER
CHAINED "Y" FOUND	IRON	07 EXIST. WATER MAIN
CONCRETE CORNER RECORDED AS	POWER POLE	08 EXIST. SPOT ELEVATION
1	SPOT	09 CONTOUR W/ ELEVATION
2 CONIFEROUS TREE	LIGHT POLE	10 EXIST. TOP OF CURB ELEV.
3 DECIDUOUS TREE	TELEPHONE PEGBOARD	11 EXIST. FLOW LINE ELEV.
4 EXIST. WOOD LINE	ELECTRIC PEGBOARD	12 EXIST. FLOW LINE ELEV.
5 WETLAND	CABLE PEGBOARD	13 EXIST. FLOW LINE ELEV.
6 SOL. BORING	EXIST. HYDRANT	14 TYPICAL DEPTH
	WATER VALVE	15 INFILTRATION SOL. BORING
	WATER STOP BOX	

TOPOGRAPHIC SURVEY: FEDEX SETZER PROPERTIES



BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT	725.91
2	TAG BOLT ON HYDRANT	725.24
3	TAG BOLT ON HYDRANT	726.47

EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN 1	724.53	704.17	20.36
SAN 2	723.04	703.72	19.32
SAN 3	723.76		
SAN 4	725.28	703.23	22.05
STO A	722.81	715.46	7.35
STO B	720.77	714.27	6.50
STO C	723.77	714.24	9.53
INL C-1	723.25	718.45	4.80
INL C-2	722.99	717.74	5.25
YO 1	721.89	716.49	5.40



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- TOPOGRAPHIC SURVEY NOTES**
- UTILITY AND LATERAL LOCATIONS SHOWN ARE BASED ON FIELD MARKINGS BY LOCATING COMPANIES AND THE VILLAGE OF LITTLE CHUTE, AND/OR MAPPING FROM THE RESPECTIVE UTILITY. THEREFORE THE LOCATIONS SHOWN ON THIS DRAWING CANNOT BE GUARANTEED. CONTACT DIGGERS HOTLINE AND THE VILLAGE OF LITTLE CHUTE PRIOR TO CONSTRUCTION.
 - BASE SURVEY WAS PREPARED BY M&E, MARCH 2020. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND AVOID DAMAGE THERETO.
 - HORIZONTAL DATUM IS BASED OUTAGAMIE COUNTY, WISCONSIN COUNTY COORDINATE SYSTEM.
 - ACCURACY CAN BE IMPACTED BY WINTER CONDITIONS, I.E. FROST HEAVE, SNOW AND ICE COVER. MARTENSON & EISELE, INC. MAKES NO WARRANTY FOR INACCURACIES CAUSED BY THESE WINTER CONDITIONS.

TOPOGRAPHIC LEGEND			
1" x 16" RIB PIPE SET	OVERHEAD POWER LINES	OGS VALUE	
1-1/4" x 20" RIB PIPE SET	UNDERGROUND ELASTIC	OGS STORM MANHOLE	
CHISELED "X" SET	UNDERGROUND TELEPHONE	OGS STORM INLET	
2" RIB PIPE FOUND	UNDERGROUND FIBROPTIC	OGS SAND DRAIN	
1" RIB PIPE FOUND	UNDERGROUND GAS	OGS SANITARY MANHOLE	
1-1/4" RIB PIPE FOUND	OGS	OGS SAN. SINK	
2" RIB PIPE FOUND	EXIST. FENCE LINE	OGS STB. SINK	
CHISELED "X" FOUND	POWER POLE	OGS WATER MAIN	
GOVERNMENT CORNER	OGS	OGS SPOT ELEVATION	
RECORDED PL	OGS	OGS CONTOUR W/ ELEVATION	
CONTOUR TREE	OGS	OGS EXIST. TOP OF CURB ELEV.	
DECEASED TREE	TELEPHONE PESTERIAL	OGS EXIST. FLOW LINE ELEV.	
EXIST. WOODS LINE	OGS	OGS FIRST FLOOR = SOLID	
WETLANDS	OGS	OGS TYPICAL ELEV.	
SOL BORING	OGS	OGS INFILTRATION SOL BORING	

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Menasha, WI 54952
www.martenson-eisele.com
920.731.0381 1.800.338.0381

DATE	BY	CHECKED	APPROVED

TOPOGRAPHIC SURVEY
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	3/23/2020
COMPUTERFILE	
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DRAWING NO.
C1.6

The buried pipe retention system shall be installed in accordance with ASTM D2321, "Standard Practice for Underground Installation of Thermoplastic Pipe for Sewers and Other Gravity Flow Applications", latest edition and the manufacturers published installation guides.

The contractor shall strip the area free of topsoil and stockpile at locations as indicated on the Erosion Control Plan.

Unclassified excavation shall include the removal and disposal of all materials encountered in the excavation for the device other than specific materials which have been classified and bid upon as a separate bid item for this project. When excavating for the device, the excavation limits shall be the limits per the device construction plans.

Where the trench bottom consists of unsuitable soils to support the pipe structure, the contractor shall excavate to a depth specified by the Engineer and replace with suitable material specified by the engineer.

Suitable material shall be clear stone. The clear stone shall also be installed along the length of the outlet pipe. The contractor shall supply documentation for material specification to Engineer.

Once the pipe has been constructed and installed, before trench dewatering pumps are turned off, the pipe shall be pre-filled to outlet elevation to reduce risk of floatation.

Fine grading shall consist of shaping and compacting the total cross section and limits of the device according to the typical cross section illustrated on the plans. All costs associated shall be included in the unit price bid.

The geo-textile fabric for under the riprap shall consist of Type "R" porous non-woven fabric with multiple layers of randomly arranged fibers. The Engineer shall inspect fabric prior to placement of riprap and during placement of riprap. Damaged filter fabric shall be replaced at Contractor's expense.

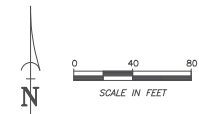
- Mirati 140N by Miraf, Inc.
- Typar 3401 by Dupont
- Supac 5P by Phillips Fibers Corporation
- Propex 4545 by Amoco Fabrics Company

The Contractor shall trim and shape the bed for the fabric prior to the placement of the riprap as indicated on the plan. The riprap shall be clean washed riprap measuring 12" thick measured perpendicular to the slope. (24" total depth)

Outlet Structure/Piping/Etc.
Construction of the Outlet Structures with trash guards, pipe, apron endwalls with trash guard, and spillways shall be in accordance with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structures, pipe, concrete apron endwalls, and spillways shall be included in the price bid.

The Contractor shall seed, fertilize and mulch or otherwise restore the disturbed area in accordance with the project erosion control and landscaping plan.

Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2003 Edition, Section 625.



TOPOGRAPHIC LEGEND

1" = 1" horizontal PACE SET	—	UNDERGROUND POWER LINE	OO	GAGE VALUE
1" = 1" vertical PACE SET	—	UNDERGROUND TELEPHONE	—	EXIST. STORM DRAINAGE
CHIEFLY 7" SET	—	UNDERGROUND FLEETING	—	STORM INLET
CHIEFLY 1" SET	—	UNDERGROUND GAS	—	WATER
1" RIVER PACE	—	UNDERGROUND GAS	—	EXIST. SANITARY MANHOLE
1" RIVER PACE	—	EXIST. FENCE LINE	—	EXIST. SAND TRAP
1" RIVER PACE	—	SIGN	—	EXIST. STORM SEWER
CHIEFLY 7" FOUND	—	EXIST. SPILT	—	EXIST. WATER MAIN
CHIEFLY 1" FOUND	—	EXIST. SPILT	—	CONTOUR / ELEVATION
CONTOUR TREE	—	EXIST. SPILT	—	INLAND
EXIST. WOOD LINE	—	EXIST. SPILT	—	EXIST. FLOW LINE OF DRAIN
WETLANDS	—	EXIST. SPILT	—	WATER FLOW LINE = DRAINAGE
SOL. BORING	—	EXIST. SPILT	—	TOPOGRAPHIC DEPTH
	—	EXIST. SPILT	—	WETLANDS SOL. BORING

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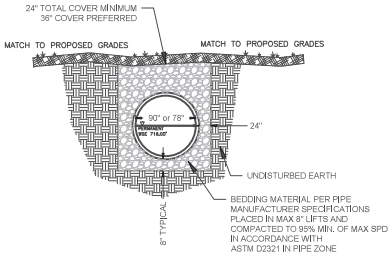
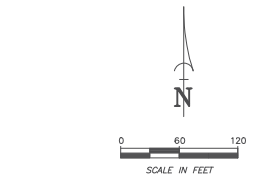
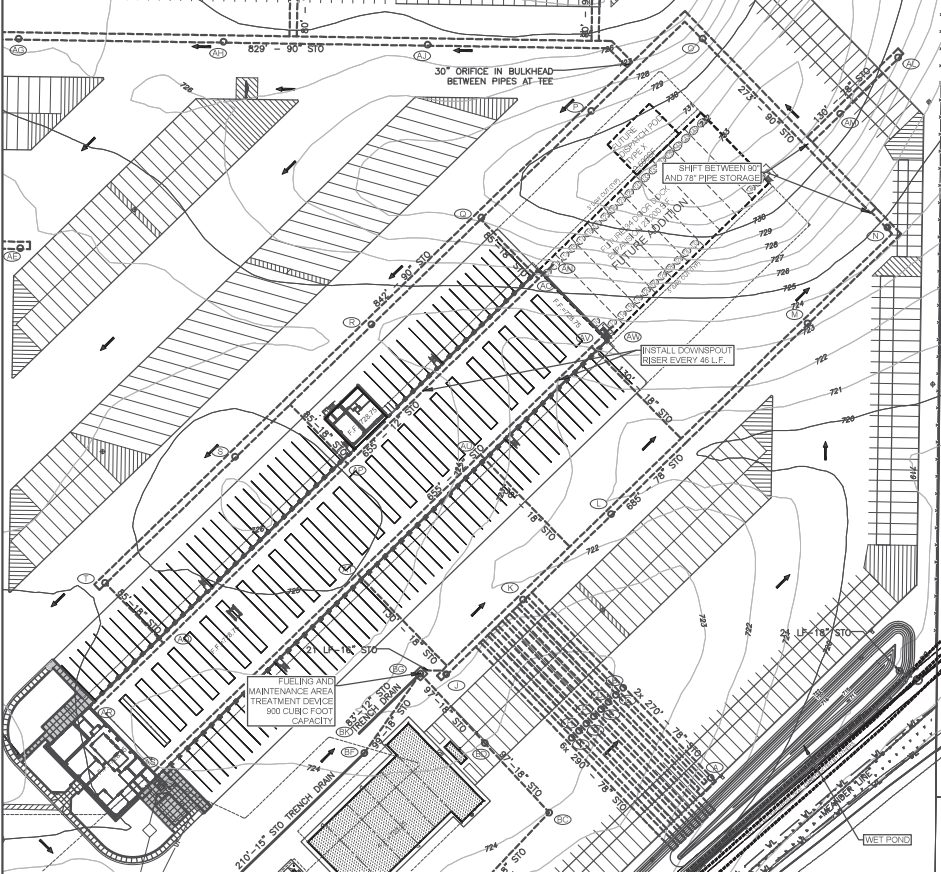
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4	12/8/2020	11	12/8/2021
5	12/16/2020	5	12/16/2020
6	12/18/2020	6	12/18/2020
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STORMWATER DETENTION
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

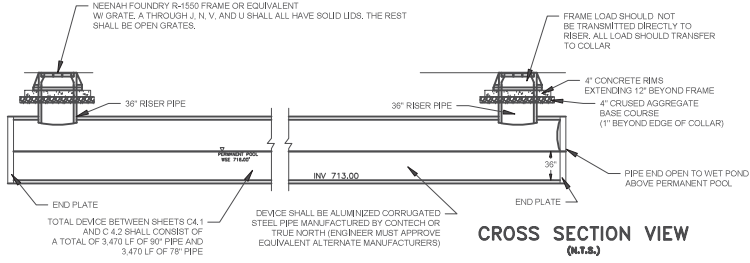
SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
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DRAWING NO.
C4.1

STORMWATER DETENTION: FEDEX SETZER PROPERTIES (EAST)



CROSS SECTION VIEW (N.T.S.)



CROSS SECTION VIEW (N.T.S.)

BURIED PIPE DETENTION SPECIFICATIONS

The buried pipe retention system shall be installed in accordance with ASTM D2321 "Standard Practice for Underground Installation of Thermoplastic Pipe for Sewers and Other Gravity Flow Applications", latest edition and the manufacturers published installation guides.

Topsoil Stripping

The contractor shall strip the area free of topsoil and stockpile at locations as indicated on the Erosion Control Plan.

Unclassified Excavation

Unclassified excavation shall include the removal and disposal of all materials encountered in the excavation for the device other than specific materials which have been classified and bid upon as a separate bid item for this project. When excavating for the device, the excavation limits shall be the limits per the device construction plans.

Foundation

Where the trench bottom consists of unsuitable soils to support the pipe structure, the contractor shall excavate to a depth specified by the Engineer and replace with suitable material specified by the engineer.

Bedding

Suitable material shall be clear stone. The clear stone shall also be installed along the length of the outlet pipe. The contractor shall supply documentation for material specification to Engineer.

Pipe Installation

Once the pipe has been constructed and installed, before trench dewatering pumps are turned off, the pipe shall be pre-filled to outlet elevation to reduce risk of flotation.

Final Grading

Final grading shall consist of shaping and compacting the total cross section and limits of the device according to the typical cross section illustrated on the plans. All costs associated shall be included in the unit price bid.

Geotextile Fabric

The geotextile fabric for under the riprap shall consist of Type "R" porous non-woven fabric with multiple layers of randomly arranged fibers. The Engineer shall inspect fabric prior to placement of riprap and during placement of riprap. Damaged filter fabric shall be replaced at Contractor's expense.

Manufacturers

- Matri 140N by Matri, Inc.
- Typac 3401 by Dupont
- Syrac 3P by Rialys Fibres Corporation
- Preplex 4545 by Amoco Fabrics Company

Riprap

The Contractor shall trim and shape the bed for the fabric prior to the placement of the riprap as indicated on the plan. The riprap shall be clean washed riprap measuring 12" thick measured perpendicular to the slope. (24" total depth)

All equipment, labor, and materials used to install and maintain the riprap shall be included in the unit price bid for Medium Rip Rap & Type R Filter Fabric, square yards.

Outlet Structures/Piping Etc.

Construction of the Outlet Structures with trash guards, pipe, apron endwalls with trash guard, and spillways shall be in accordance with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structures, pipe, concrete apron endwalls, and spillways shall be included in the price bid.

Revegetation

The Contractor shall seed, fertilize and mulch or otherwise restore the disturbed area in accordance with the project erosion control and landscaping plan.

Topsoil

Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2003 Edition, Section 625.

TOPOGRAPHIC LEGEND			
1" x 1/4" 16" HIGH PIPE SET	--- OVERHEAD POWER LINES	00 GAS VALVE	
1-1/4" x 30" REBAR SET	- - - UNDERGROUND ELECTRIC	01 EXIST. STORM MANHOLE	
CHIEFED 1" SET	- - - UNDERGROUND TELEPHONE	02 STORM MANHOLE	
3/4" REBAR FOUND	- - - UNDERGROUND FIBEROPTIC	03 YARD DRAIN	
1" HIGH PIPE FOUND	- - - UNDERGROUND GAS	04 EXIST. BATTERY MANHOLE	
1-1/4" REBAR FOUND	- - - CITY UNDERGROUND CABLE TV	05 EXIST. SAN SEWER	
2" HIGH PIPE FOUND	- - - EXIST. FENCE LINE	06 EXIST. STS. SEWER	
CHIEFED 1" FOUND	07 SIGN	07 EXIST. WATER MAIN	
CONCRETE CORNER	08 POWER POLE	08 EXIST. SPOT ELEVATION	
RECORDED AS	09 LIGHT POLE	09 CONTOUR W/ ELEVATION	
CONCRETE TREE	10 TELEPHONE PEGMALL	09 EXIST. TOP OF CURB ELEV.	
01 DECIDUOUS TREE	11 ELECTRIC PEGMALL	09 EXIST. FLOW LINE ELEV.	
02 EXIST. WOOD LINE	12 CABLE PEGMALL	09 EXIST. FLOW LINE ELEV.	
03 WETLAND	13 EXIST. HYDRAUL	09 EXIST. FLOW LINE ELEV.	
04 SOL. BORING	14 WATER VALVE	09 TOPSOIL DEPTH	
	15 WATER STOP BOX	09 INFILTRATION SOL. BORING	

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1	11/14/2020	9	11/20/2021
2	11/11/2020	10	11/20/2021
3	12/24/2020	11	12/26/2021
4	12/16/2020	12	12/16/2021
5	12/16/2020	13	12/16/2021
6	12/16/2020	14	12/16/2021
7	12/16/2021		

STORMWATER DETENTION
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

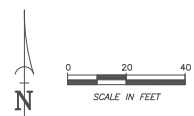
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DRAWING NO.	C4.2

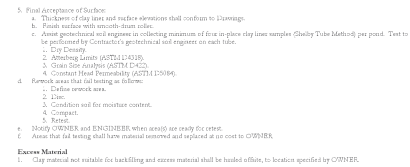
WEST DETENTION POND: FEDERAL PROJECT

Technical drawing showing the layout of the West Detention Pond, Federal Project. The drawing includes the pond's perimeter, spillways, and easement. Key features and labels include:

- WEST DETENTION POND: FEDERAL PROJECT** (Title)
- SPILLWAYS & E-MATING** (Label for the lower section of the pond)
- GATE** (Label for the structure at the bottom right)
- RIPRAP** (Label for the structure at the top right)
- PROPOSED 20' EASEMENT** (Label for the area on the left)
- BH** (Label for a structure on the left)
- U** (Label for a structure on the right)
- V** (Label for a structure on the left)
- 721**, **720**, **716**, **715**, **714** (Elevation markers)
- WL** (Water Level markers)
- X** (Markers along the bottom edge of the pond)
- 723** (Elevation marker at the top left)
- 722** (Elevation marker at the top left)
- 721** (Elevation marker at the bottom left)
- 718** (Elevation marker at the bottom right)

DRAWING NO.
C4.3

[illegible]



Excess Materials

The Contractor shall estimate the backfilling and excess material needed to be hauled off-site, to be used prior to 12/31/2017.

General Method

The contractor shall follow the design that consist of "Type B" post-tensioned concrete beams with multiple layers of randomly arranged steel reinforcement. The design shall require three (3) layers to placement of grout and show placement of grout. Changeout time shall be required at Contractor's expense.

Manufacturers

- Material: AR60 by AR&I, Inc.
- Type: Type AR60 by Dupont
- Supplied by: Phillips Plastics Corporation
- Project: QAS by Amcor Fibers Company

Notes:

1. The Contractor shall cut and shape the bed for the fabric prior to the placement of the grout as indicated on the plan. The grout shall be clear, well-mixed medium grout.

2. All cement, sand, and materials used to install and maintain the grout shall be installed in the same place for the Uniform Report B & Type B Fabric, prior to the placement of the grout.

Outlet Structures/Pipes/Box. Construction of the Outlet Structures with trash guards, pipe, concrete apron **ends** with trash guard, and spillways shall be in accordance with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structure, pipe, concrete apron **ends**, and spillways shall be included in the price bid.

Restoration
The Contractor shall seed, fertilize and mulch the pond only above the normal water surface. Restoration of the pond shall be in accordance with Section 2.5.C.2.C (Temporary Seed).

The signs above the normal water surface shall be marked with Class I, Type A Cocks, or equal, erosion control vegetative mats as listed in the Product Acceptability List (PAL) for Multi-Model Applications published by the Wisconsin Department of Transportation, current edition.

¹Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2003 Edition, Section 625.


TOPOGRAPHIC LEGEND					
■	1" x 18" IRON PIPE SET	—OH—	OVERHEAD POWER LINES	◇◇	GAS VALVE
▲	1-1/4" x 30" REBAR SET	-E-E-	UNDERGROUND ELECTRIC	⊙	EXIST STORM MANHOLE

[illegible]

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1377 Midway Road
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www.martenson-eisele.com
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 920.731.0381 1.800.236.0381



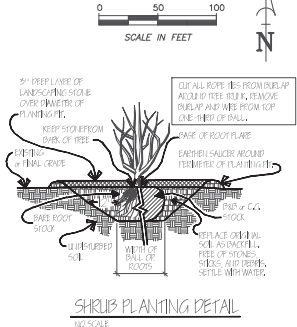
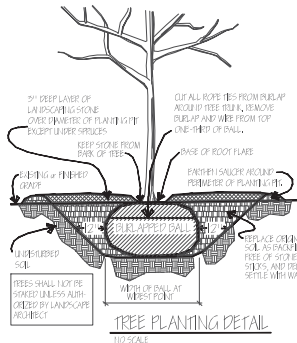
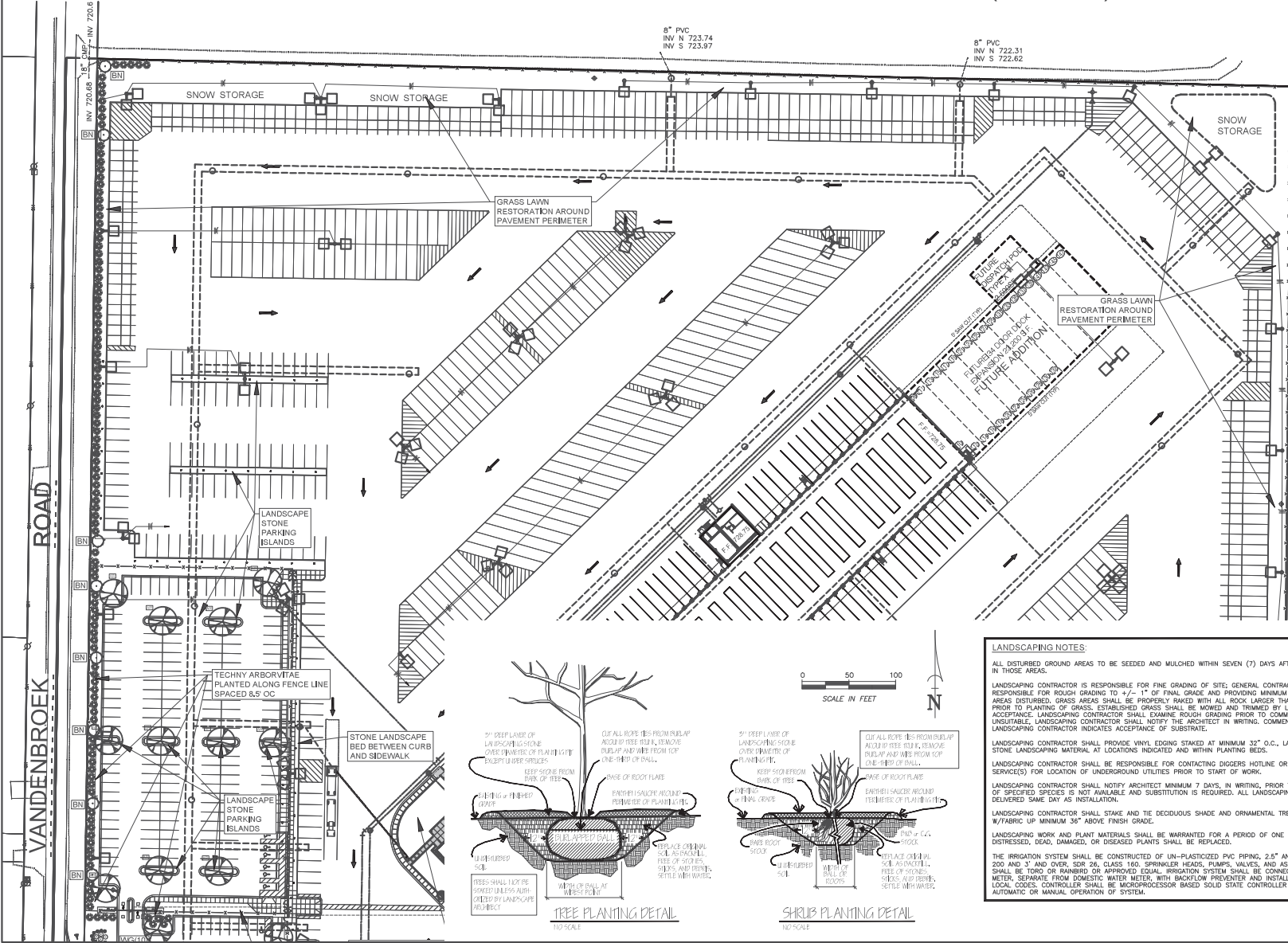
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			2		9	1/19/2021	
	3		12/4/2020	10		1/20/2021	
	4		1/28/2021	11		1/26/2021	
	5		12/16/2020				
	6		12/18/2020				
	7		1/17/2021				

EAST DETENTION POND
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020
COMPUTER FILE	
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DRAWING NO.	
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LANDSCAPE PLAN: FEDEX SETZER PROPERTIES (NORTH)



LANDSCAPING NOTES:

ALL DISTURBED GROUND AREAS TO BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF WORK IN THOSE AREAS.

LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SITE; GENERAL CONTRACTOR / EXCAVATOR IS RESPONSIBLE FOR ROUGH GRADING TO +/- 1\"/>

Martenson & Eisele, Inc.
1377 Myers Road
Menasha, WI 54952
www.martenson-eisele.com
608.731.0381 1.800.336.0381

NO.	DATE	NO.	DATE
1	11/14/2020	9	11/19/2021
2	11/11/2020	10	12/09/2021
3	12/04/2020	11	12/09/2021
4	12/16/2020	12	12/16/2021
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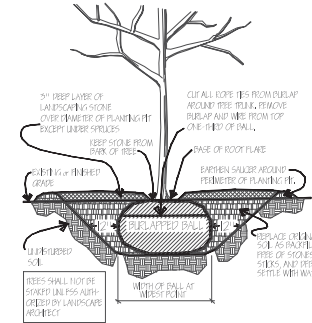
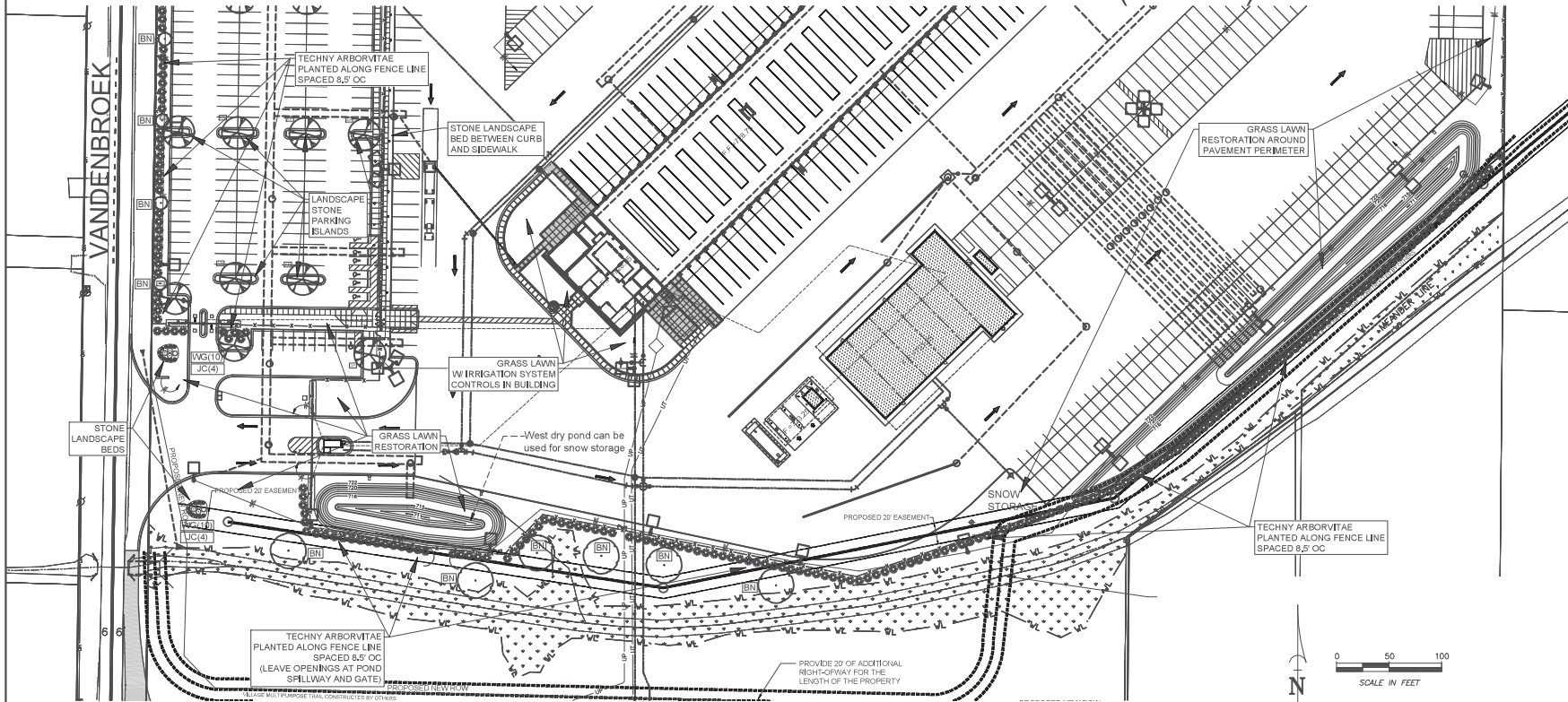
LANDSCAPE PLAN - NORTH
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020

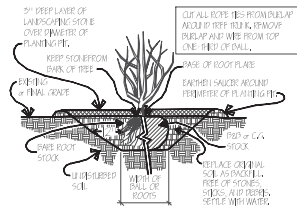
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DRAWING NO.
C7.1

LANDSCAPE PLAN: FEDEX SETZER PROPERTIES (SOUTH)



TREE PLANTING DETAIL
NOT SCALE



SHRUB PLANTING DETAIL
NOT SCALE

LANDSCAPE SCHEDULE						
	MARK	COMMON NAME botanical name	SIZE		QTY	
			INITIAL	MATURE		
TREES	BS	BLACK HILLS SPRUCE <i>picea glauca densata</i>	2"	25'	8	
	BN	RIVER BIRCH <i>betula nigra</i>	2"	35'	6	
	AR	RED SUNSET MAPLE <i>acer rubrum 'red sunset'</i>	2"	50'	13	
	WG	SPILED VINE WEGELA <i>weigela florida 'Sonnentanz'</i>	5 gal	3'	20	
SHRUBS	JC	KALLAY'S COMPACT PRITZER JUNIPER <i>juniper chinensis 'Kallay's Compact'</i>	5 gal	2-3'	8	
	TO	TECHNY ARBORVITAE <i>thuja occidentalis 'techny'</i>	5 gal	3-5'	268	

LANDSCAPING NOTES:

ALL DISTURBED GROUND AREAS TO BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF WORK IN THOSE AREAS.

LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SITE; GENERAL CONTRACTOR / EXCAVATOR IS RESPONSIBLE FOR ROUGH GRADING TO +/- 1" OF FINAL GRADE AND PROVIDING MINIMUM 4" OF TOPSOIL AT ALL AREAS DISTURBED. GRASS AREAS SHALL BE PROPERLY RAKED WITH ALL ROCK LARGER THAN 1.5" DIAMETER REMOVED PRIOR TO PLANTING OF GRASS. ESTABLISHED GRASS SHALL BE MOWED AND TRIMMED BY LANDSCAPER UNTIL FINAL ACCEPTANCE. LANDSCAPING CONTRACTOR SHALL EXAMINE ROUGH GRADING PRIOR TO COMMENCEMENT OF WORK. IF UNSUITABLE, LANDSCAPING CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING. COMMENCEMENT OF WORK BY LANDSCAPING CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATE.

LANDSCAPING CONTRACTOR SHALL PROVIDE VINYL EDGING STAKED AT MINIMUM 32" O.C., LANDSCAPING FABRIC AND STONE LANDSCAPING MATERIAL AT LOCATIONS INDICATED AND WITHIN PLANTING BEDS.

LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE OR OTHER LOCATOR SERVICE(S) FOR LOCATION OF UNDERGROUND UTILITIES PRIOR TO START OF WORK.

LANDSCAPING CONTRACTOR SHALL NOTIFY ARCHITECT MINIMUM 7 DAYS, IN WRITING, PRIOR TO START OF INSTALLATION OF SPECIFIED SPECIES IS NOT AVAILABLE AND SUBSTITUTION IS REQUIRED. ALL LANDSCAPING MATERIAL SHALL BE DELIVERED SAME DAY AS INSTALLATION.

LANDSCAPING CONTRACTOR SHALL STAKE AND THE DECIDUOUS SHADE AND ORNAMENTAL TREES AND WRAP TRUNK W/FABRIC UP MINIMUM 36" ABOVE FINISH GRADE.

LANDSCAPING WORK AND PLANT MATERIALS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR. DURING WARRANTY, DISTRESSED, DEAD, DAMAGED, OR DISEASED PLANTS SHALL BE REPLACED.

THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED OF UN-PLASTICIZED PVC PIPING, 2.5" AND UNDER SDR 26, CLASS 200 AND 3" AND OVER, SDR 26, CLASS 160, SPRINKLER HEADS, PUMPS, VALVES, AND ASSOCIATED EQUIPMENT SHALL BE TOND OR RAINBIRD OR APPROVED EQUAL. IRRIGATION SYSTEM SHALL BE CONNECTED TO LANDSCAPE WATER METER, SEPARATE FROM DOMESTIC WATER METER, WITH BACKFLOW PREVENTER AND INSTALLED AS REQUIRED TO MEET LOCAL CODES. CONTROLLER SHALL BE MICROPROCESSOR BASED SOLID STATE CONTROLLER CAPABLE OF FULLY AUTOMATIC OR MANUAL OPERATION OF SYSTEM.

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NO.	DATE	CHECKED	APPROVED	FIELDWORK
1	11/14/2020	MSB		
2	11/11/2020	9	11/20/2021	
3	12/4/2020	10	11/20/2021	
4	12/4/2020	11	12/6/2021	
5	12/16/2020	6	12/16/2020	
6	12/16/2020	7	12/20/2021	

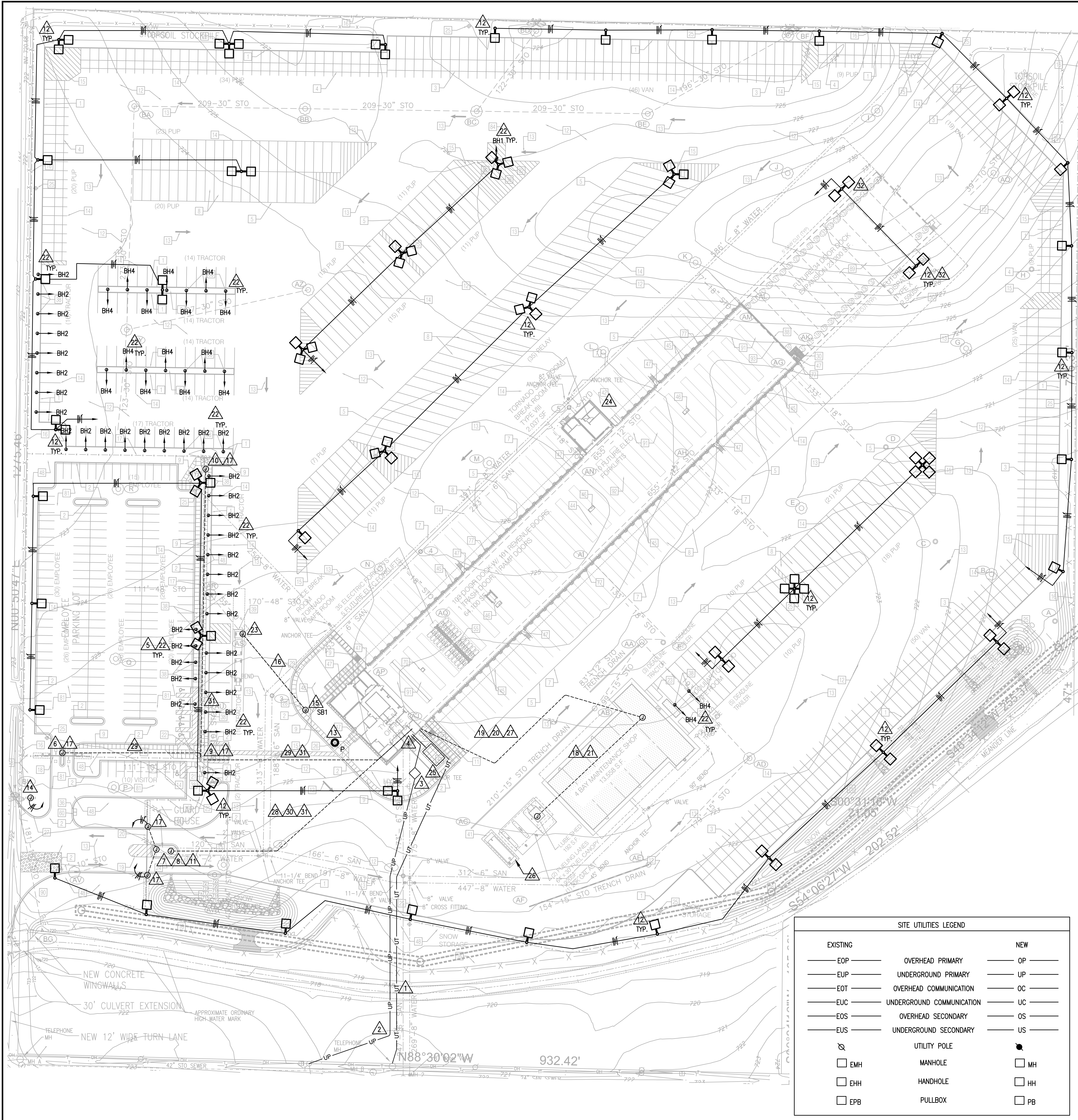
LANDSCAPE PLAN - SOUTH
FEDEX SETZER PROPERTIES
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-30-2020

COMPUTER FILE
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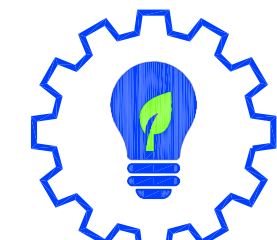
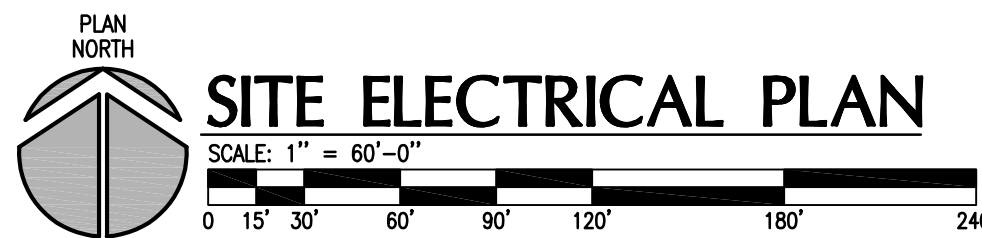
TAGGED NOTES:

- TELECOMMUNICATION SERVICE ENTRANCE PER CIVIL PLANS FOR EXACT QUANTITY AND PLACEMENT OF SERVICE CONDUITS. COORDINATE EXACT LOCATIONS WITH TELEPHONE COMPANY IN FIELD. CAP CONDUITS 24" AFF AT TELEPHONE BOARD IN MAIN OFFICE TELCO ROOM. REFER TO FXF SPECIFICATION SECTION 16.6 FOR ADDITIONAL INFORMATION. COORDINATE WITH UTILITY AND CIVIL PLANS FOR EXACT REQUIREMENTS.
- PRIMARY ELECTRICAL SERVICE PER CIVIL PLANS. COORDINATE WITH UTILITY AND CIVIL PLANS FOR EXACT REQUIREMENTS.
- PROVIDE CONCRETE PAD (PER UTILITY SPECIFICATIONS). PRIMARY CONDUITS WITH PULL STRINGS. (1) 3" CONDUIT FOR TEMPORARY POWER AND SECONDARY CONDUITS TO AUTOMATIC TRANSFER SWITCH, UTILITY TRANSFORMER FURNISHED AND INSTALLED BY UTILITY COMPANY. COORDINATE EXACT LOCATION, REQUIREMENTS, AND ROUTING WITH UTILITY COMPANY AND CIVIL ENGINEER PRIOR TO ANY WORK.
- SECONDARY ELECTRICAL SERVICE ENTRANCE. REFER TO RISER FOR DETAILS. MIN. BURY 30".
- PROVIDE ELECTRIC FOR EV CHARGING STATIONS. REFER TO CIVIL DRAWINGS AND DETAILS FOR COORDINATION.
- PROVIDE ELECTRICAL CONNECTIONS AS REQUIRED FOR MOTORIZED CANTILEVERED SLIDE GATES @ EMPLOYEE VEHICLE ENTRANCE W/ CARD ACCESS IN/CARD ACCESS OUT & VIDEO INTERCOM EACH SIDE. SEE SITE CIVIL DETAILS AND FXF SD DETAILS FOR COORDINATION.
- PROVIDE YARD CARD ACCESS. SEE SITE CIVIL DETAILS AND FXF SD DETAILS FOR COORDINATION.
- PROVIDE ELECTRICAL CONNECTIONS AS REQUIRED FOR MOTORIZED CANTILEVERED SLIDE GATES @ TRUCK ENTRANCE W/ CARD ACCESS IN/CARD ACCESS OUT & VIDEO INTERCOM EACH SIDE. SEE SITE CIVIL DETAILS AND FXF SD DETAILS FOR COORDINATION.
- HANDICAP GATE W/CBM & CARD READER, PROVIDE ALL REQUIRED CONDUITS AND CONNECTIONS. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- HANDICAP GATE & TURNSTILE W/CBM & CARD READER, PROVIDE ALL REQUIRED CONDUITS AND CONNECTIONS SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE UTILITY AND TELECOM CONNECTIONS AS REQUIRED FOR MODULAR GUARD HOUSE. SEE ARCHITECTURAL DRAWINGS/DETAILS AND FXF DETAILS FOR COORDINATION.
- 35' SECURITY LIGHT W/BASE SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION. TYP. LIGHT BASE TO BE LOCATED (8FT FOR PUPS & 13FT FOR VANS) FROM BACK OF CURB TO CENTER LINE OF POLE AND CENTERED ON PARKING STALL STRIPE.
- FLAGPOLE LOCATION. PROVIDE 3/4" CONDUIT WITH POWER TO BASELIGHT, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- FEDEX FREIGHT MONUMENT SIGN. PROVIDE 3/4" CONDUIT AND POWER W/20 AMP CIRCUIT, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- SCOREBOARD/INDICATOR. PROVIDE 1 1/4" CONDUIT AND ALL REQUIRED CONNECTIONS TO SCALE. POLE MOUNTED PER DETAIL ON AXLE SCALE DRAWINGS UNLESS INDICATED TO BE MOUNTED ON DOCK, SHOP, OR FUEL CANOPY
- PROVIDE 3/4" POWER CONDUIT AND ALL REQUIRED CONNECTIONS TO SCOREBOARD PER DETAIL ON AXLE SCALE DRAWINGS.
- PROVIDE 16"x16"x12" MIN. WATER-TIGHT JUNCTION BOX OR WATER-TIGHT YARD ELECTRICAL PULL BOX AT FINISH GRADE WITH CONDUITS AS REQUIRED CONNECTIONS FOR TURNSTILE & H.C. SECURITY GATES. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE ALL REQUIRED CONNECTIONS, FROM OFFICE/SHOP ELECTRICAL ROOM TO PANEL IN LUBE SHED & (1)-4" CONDUIT W/ PULL TAPE FROM OFFICE/SHOP TELCO TO LUBE SHED. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE ELECTRICAL FEEDER AS REQUIRED (MIN 1-4" C.) FROM SHOP ELECTRICAL ROOM TO YARD ELECTRICAL PULL BOX. REFER TO RISER DIAGRAM FOR FEEDER SIZING.
- PROVIDE 1" CONDUIT AND ALL REQUIRED CONNECTIONS FROM OFFICE FIRE ALARM CONTROL PANEL TO SHOP FIRE ALARM CONTROL PANEL.
- PROVIDE ALL REQUIRED CONNECTIONS FROM PULL BOX TO OFFICE/SHOP TELCO ROOM LOCATION. REFER TO FUELING SHEETS FOR CABLING REQUIREMENTS.
- BLOCKHEATER, PROVIDE ELECTRICAL CONNECTION AS REQUIRED. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- AST, PROVIDE ALL REQUIRED CONNECTIONS AS DENOTED ON FUEL SHEETS & FXF SPECIFICATIONS.
- TRASH COMPACTOR LOCATION, PROVIDE ELECTRICAL CONNECTION AS REQUIRED. SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS TO AUTOMATIC TRANSFER SWITCH FROM GENERATOR AND ASSOCIATED CIRCUITS FOR GENERATOR SUPPORT POWER (JACKET HEATER, BATTERY CHARGER, ETC.) COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH GENERATOR MANUFACTURER. REFER TO SINGLE-LINE DIAGRAM FOR MORE INFORMATION. REFER TO CIVIL AND ARCHITECTURAL PLANS FOR GENERATOR PAD REQUIREMENTS. PROVIDE METAL CAT WALK ON TWO SIDES W/ METAL SHIP STAIR & GUARDRAILS. SEE FXF SPECIFICATIONS, SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- REFER TO AST(FUEL ISLAND) SHEETS FOR CONDUIT LOCATIONS AND CONNECTION REQUIREMENTS. PROVIDE ALL REQUIRED.
- PROVIDE (1)-4" CONDUIT W/POWER (REFER TO RISER DIAGRAM), FROM OFFICE ELECTRICAL ROOM TO PANEL IN SHOP ELECTRICAL ROOM & (1)-4" CONDUIT FROM OFFICE TELCO TO SHOP TELCO. PROVIDE ALL CABLING AS REQUIRED.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FROM JUNCTION BOX TO ISLAND PULL BOX AT YARD ENTRY ISLAND, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FROM JUNCTION BOX TO ISLAND PULL BOX AT EMPLOYEE PARKING ISLAND, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FROM JUNCTION BOX TO GUARD HOUSE ISLAND PULLBOX AT YARD ENTRY, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- PROVIDE CONDUITS AND ALL CONNECTIONS REQUIRED FOR SECURITY TURNSTILE FOR YARD ACCESS, SEE SITE CIVIL DETAILS, FXF SD DETAILS, AND ELECTRICAL DETAILS FOR COORDINATION.
- LIGHT POLES ARE TO BE AT END OF CIRCUITING FOR REMOVAL DURING FUTURE EXPANSION.

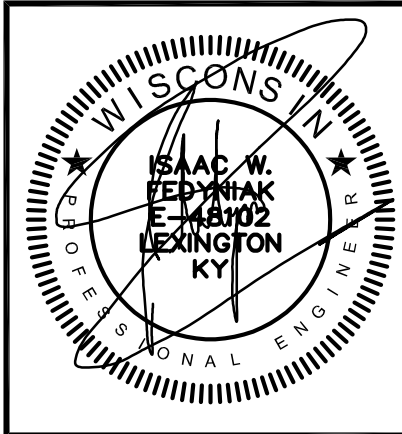
GENERAL NOTES:

- DO NOT SCALE FROM MECHANICAL AND ELECTRICAL DRAWINGS. FIELD VERIFY REQUIRED DIMENSIONS.
- CONTRACTOR SHALL CUT AND PATCH ALL PAVEMENT, CURBING, ETC. AS REQUIRED. FOR WORK. CONTRACTOR SHALL REPAIR ALL LANDSCAPING THAT IS DAMAGED FOR WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY EXCAVATION WORK REQUIRED TO LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY ANY OTHER AFFECTED UTILITY OWNERS PRIOR TO DIGGING. IN THE EVENT OF ACCIDENTAL INTERRUPTION OF SERVICE, CONTRACTOR WILL IMMEDIATELY NOTIFY THE OTHER UTILITY OWNERS.
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD OTHER EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE OTHER UTILITIES, THE UTILITY WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT.
- FEDERAL, STATE, LOCAL, MUNICIPALITY AND UTILITY COMPANY CODES, RULES, REGULATIONS AND REQUIREMENTS APPLY UNLESS EXCEEDED BY THIS DESIGN.
- WHEN INTERRUPTION OF AN EXISTING UTILITY OR SERVICES IS PLANNED OR OCCURS ACCIDENTALLY, THE CONTRACTOR(S) SHALL WORK CONTINUOUSLY AS NEEDED TO RESTORE SAME PROVIDING PREMIUM TIME AS NEEDED AT NO INCREASE IN THE CONTRACT PRICE.
- PLANNED INTERRUPTION OF ANY SERVICE SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPALITY OR UTILITY COMPANY, THE ARCHITECT AND THE BUILDING OPERATIONS AT LEAST ONE WEEK IN ADVANCE OR ANTICIPATED INTERRUPTION. A SCHEDULE FOR THESE OUTAGES SHALL BE DEVELOPED AND AGREED UPON BETWEEN THE PARTIES MENTIONED TO AVOID UNNECESSARY INCONVENIENCE TO THE OWNER OR ANY AFFECTED PARTY. NOTIFY THE UTILITY COMPANY OF ANY ANTICIPATED SERVICES REQUIRED FROM THEM AT LEAST TWO WEEKS IN ADVANCE IN WRITING AND INSURE THAT THEY DO NOT DELAY WORK.
- LOCATIONS, DEPTHS, MATERIAL TYPES, ELEVATIONS, ETC. OF ALL APPURTENANCES, LINES, BUILDINGS, ETC. INDICATED ON THESE DRAWINGS WERE TAKEN FROM VARIOUS SOURCES, ARE DIAGRAMMATIC ONLY AND ARE SUBJECT TO SUBSTANTIAL VARIATION FROM EXISTING CONDITIONS. EXISTING UTILITIES LOCATIONS MAY VARY. (CONSEQUENTLY ALL CONTRACTORS SHALL EXERCISE EXTREME CARE IN THE COURSE OF THEIR WORK SO AS INSURE THAT THEY DO NOT INTERRUPT ANY EXISTING SERVICE. FOR SAFETY PURPOSES, PAY PARTICULAR ATTENTION TO THIS PRECAUTION RELATIVE TO NATURAL GAS AND ELECTRICAL LINES. ALL WORK SHALL BE PERFORMED IN ACCORD WITH ALL FEDERAL, STATE AND/OR LOCAL RULES, REGULATIONS, STANDARDS AND SAFETY REQUIREMENTS. UTILITIES SHALL ALSO BE INSTALLED IN ACCORD WITH THE APPLICABLE MUNICIPALITY OR UTILITY COMPANY STANDARDS. IN ALL CASES, THE MOST STRINGENT SHALL APPLY. IF ANY VARIATION OCCURS, CONSULT THE BUILDING ENGINEER AND THE MECHANICAL ENGINEER'S REPRESENTATIVE). CONTRACTOR SHALL VISIT SITE AND FIELD VERIFY THE ROUTING OF ALL UTILITIES NEW AND EXISTING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID PROPOSAL INDICATES THAT THE CONTRACTOR IS FULLY AWARE OF ALL OBSTRUCTIONS AND WILL INSTALL ALL OF THE NEW UTILITIES WITHOUT REQUESTS FOR ANY ADDITIONAL CHANGES.
- EXTERIOR LIGHTING TO BE ROUTED THROUGH SITE LIGHTING RELAY PANEL PRIOR TO CONNECTION TO ELECTRICAL PANEL.
- SITE LIGHTING HEADS ARE TO BE MOUNTED 39'-0" AFG, 4' CONCRETE BASE PER DETAIL, AND 35' POLE.
- ALL PARKING LOT LIGHTING POLES ARE TO BE LOCATED A MINIMUM OF 8' FOR PUPS & 13' FOR VANS BEHIND CURB.
- REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- PROVIDE ALL REQUIRED POWER, CONTROL WIRING, MAGNETIC LOCKS, ENTRAPMENT PROTECTION AND IN-GROUND CONTROL LOOPS AS REQUIRED FOR A COMPLETE FUNCTIONAL SYSTEM.
- REFER TO FXF SPECIFICATION SECTION 2.8(C) FOR ADDITIONAL GATE REQUIREMENTS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ALL REQUIREMENTS OF THE GATE OPERATOR (LIFTMASTER CSW 200-UL-1HP).
- REFER TO FXF SPECIFICATION SECTION 16.7 FOR ADDITIONAL SECURITY CARD ACCESS CONTROL REQUIREMENTS.
- ALL EXTERIOR PANELS AND TRANSFORMERS TO BE RATED NEMA 3R.
- REFER TO SITE PHOTOMETRIC DRAWINGS FOR EXTERIOR SITE LIGHTING FIXTURE SCHEDULE, DETAILS AND SPECIFICATIONS

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CONTACT "BUD (BEFORE YOU DIG)" AT 1-800-752-6007 TO OBTAIN UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY CONTRACTOR OR SUBCONTRACTOR PERFORMING ANY TYPE OF EXCAVATION ON THIS PROJECT SHALL CALL "BUD" TO OBTAIN AN AUTHORIZATION NUMBER.



JIA CONSULTING LLC
509 BLUE SKY PARKWAY
LEXINGTON, KY 40509
PH 606.806.3207



BILL THOMAS
ARCHITECT
PO BOX 23755 STANLEY, KANSAS 66285
PH 913.742.4081

A NEW CROSS DOCK BUILDING FOR:
FEDEX FREIGHT
VANDENBROEK ROAD & EVERGREEN DRIVE
VILLAGE OF LITTLE CHUTE, WISCONSIN 54165

GRB

SETZER
PROPERTIES

DESIGNER:
DRAWN BY: IWV
JOB NO.: GRB20
DATE: 12/09/20

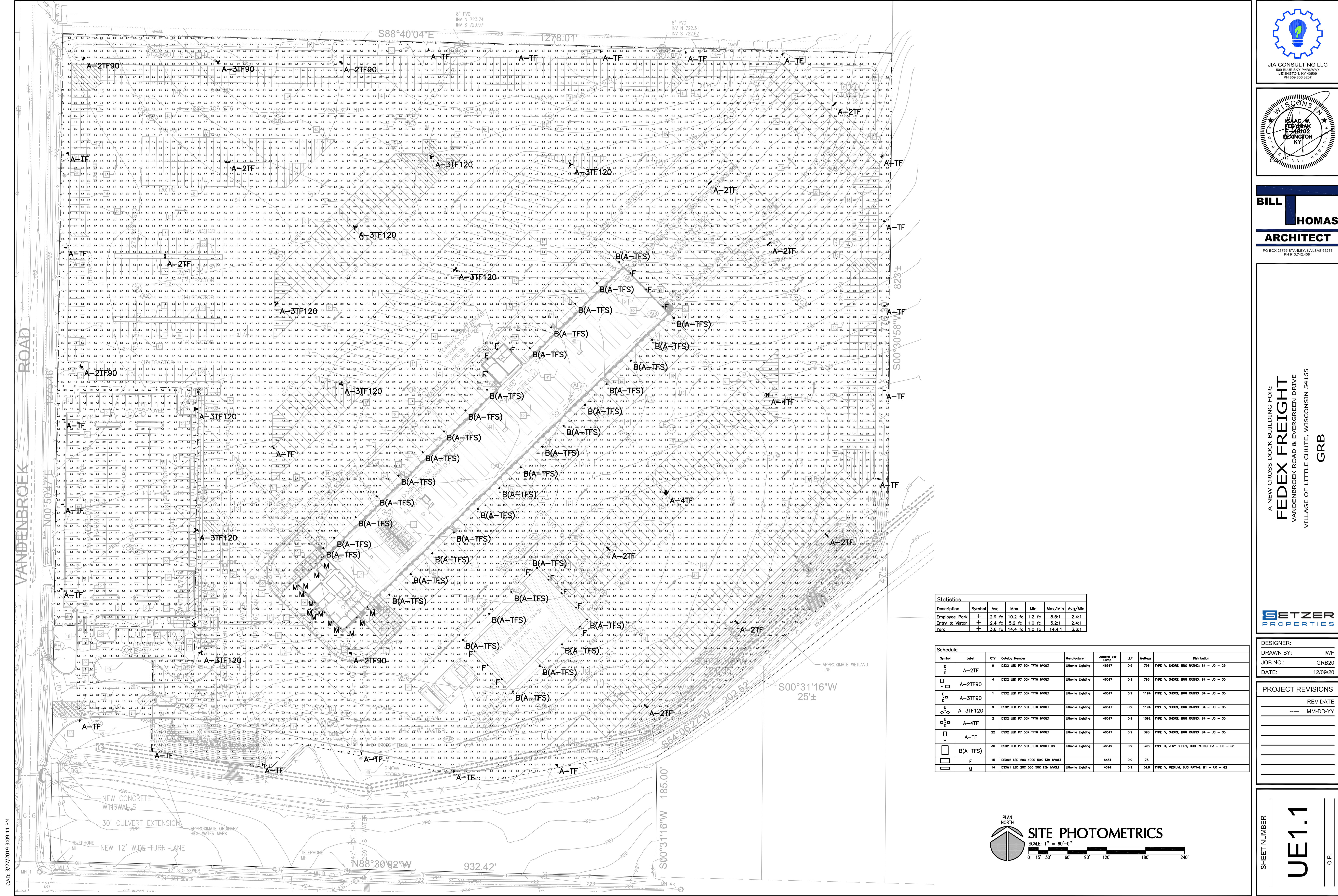
PROJECT REVISIONS

REV	DATE
MM-DD-YY	

SHEET NUMBER

UE1.0

OF



JIA CONSULTING LLC
509 BLUE SKY PARKWAY
LEXINGTON KY 40509
PH 606.806.3207

WISCONSIN
STATE OF WISCONSIN
JIA CONSULTING LLC
509 BLUE SKY PARKWAY
LEXINGTON KY 40509
PH 606.806.3207

BILL THOMAS ARCHITECT
PO BOX 23765 STANLEY KANSAS 66285
PH 913.742.4081

GRB
A NEW CROSS DOCK BUILDING FOR:
FEDEX FREIGHT
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SETZER PROPERTIES

DESIGNER:
DRAWN BY: IWF
JOB NO.: GRB20
DATE: 12/09/20

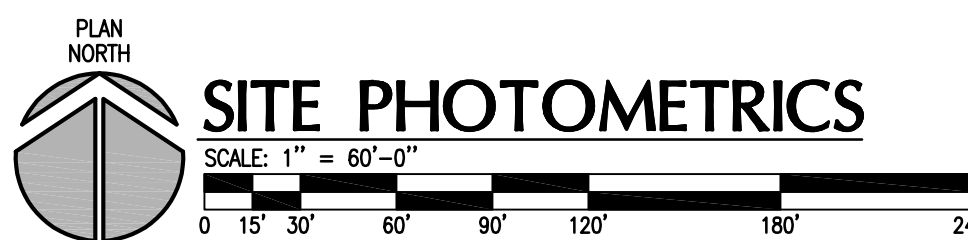
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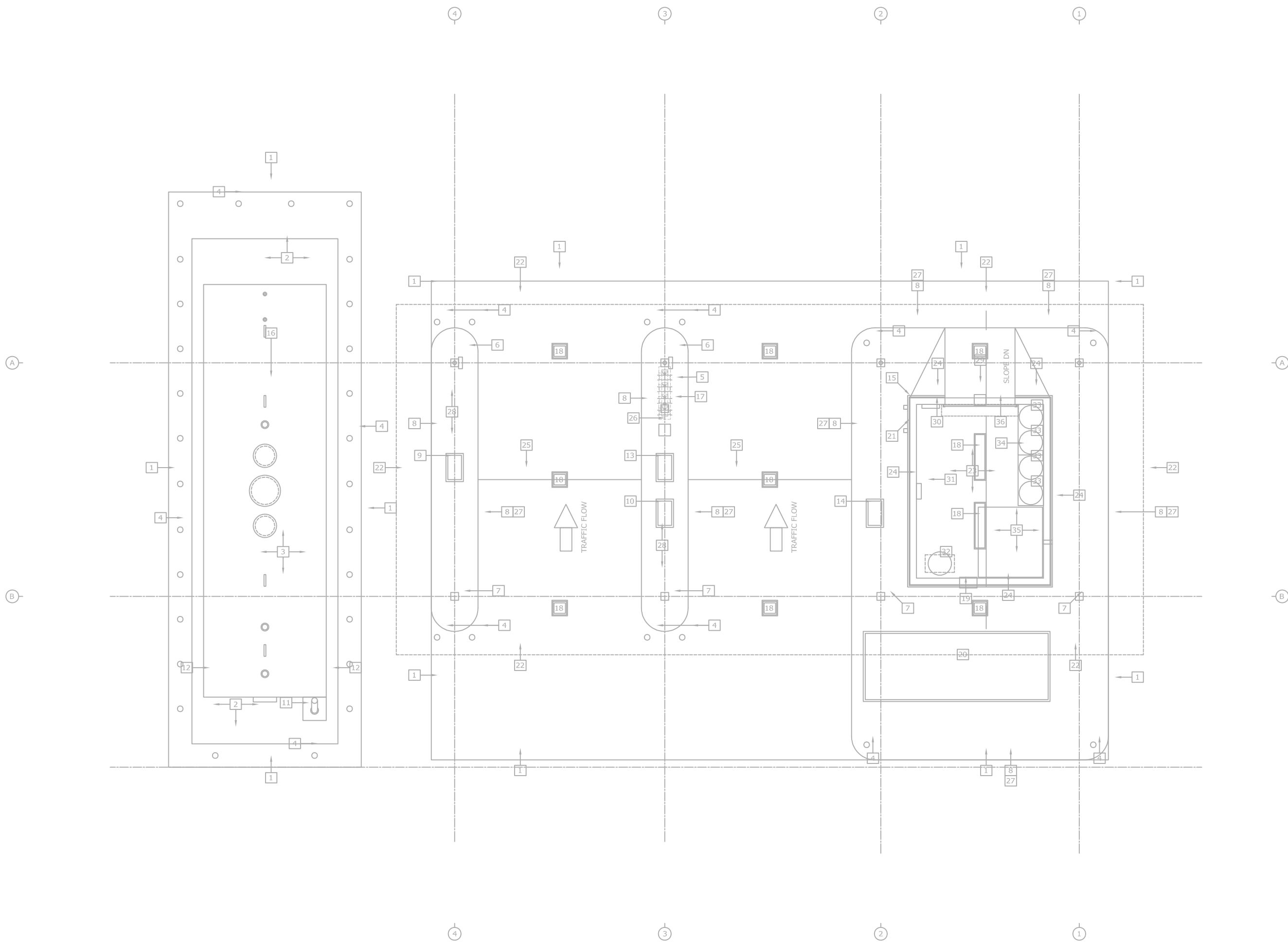
REV	DATE	DESCRIPTION
1	MM-DD-YY	

UE1.1
SHEET NUMBER
DATE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Employees Park	+	2.9 fc	10.2 fc	1.2 fc	8.5:1	2.4:1
Entry & Visitor	+	2.4 fc	5.2 fc	1.0 fc	5.2:1	2.4:1
Yard	+	3.6 fc	14.4 fc	1.0 fc	14.4:1	3.6:1

Schedule						
Symbol	Label	QTY	Catalog Number	Manufacturer	Lumens per Lamp	LLF
A-2TF	A-2TF	9	DS02 LED P7 50K T1M MVL	Ultronic Lighting	46517	0.9
A-2TF90	A-2TF90	4	DS02 LED P7 50K T1M MVL	Ultronic Lighting	46517	0.9
A-3TF90	A-3TF90	1	DS02 LED P7 50K T1M MVL	Ultronic Lighting	46517	0.9
A-3TF120	A-3TF120	9	DS02 LED P7 50K T1M MVL	Ultronic Lighting	46517	0.9
A-4TF	A-4TF	2	DS02 LED P7 50K T1M MVL	Ultronic Lighting	46517	0.9
A-TF	A-TF	22	DS02 LED P7 50K T1M MVL	Ultronic Lighting	46517	0.9
B(A-TFS)	B(A-TFS)	36	DS02 LED P7 50K T1M MVL HS	Ultronic Lighting	36319	0.9
F	F	15	DS02 LED 200 1000 50K TSM MVL	Ultronic Lighting	6484	0.9
M	M	14	DS01 LED 200 500 50K TSM MVL	Ultronic Lighting	4314	0.9





FUEL CANOPY PLAN NOTES

THESE NOTES ONLY APPLY ONLY TO THE FUEL ISLAND PLAN AS SHOWN ON THIS SHEET.

1. KEY NOTE SYMBOL
1. EDGE OF FUEL ISLAND & FUEL TANK CONCRETE.
2. RAISED CONCRETE TANK PAD PER FOUNDATION DRAWINGS - SLOPE 1% PER TANK MANUFACTURER RECOMMENDATIONS & P&T SPECIFICATIONS - COORDINATE W/ P&T PROJECT MANAGER.
3. 25,000 GALLON HOT OILSIL FUEL TANK - CONCRETE WALLED & 200 PSI HOUR FIRE RATED PER SPECIFICATIONS. VERIFY DIMENSIONAL SIZE OF TANK W/ TANK MANUFACTURER PRIOR TO INSTALLATION OF CONCRETE TANK PAD (NOTE 2 ABOVE).
4. 6" DIA. SCH. 40 STEEL PIPE ROLLARIES FILLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLEEVE W/ STANDARD DUTY INTERNAL BELLON CORE CAP - RE: DETAIL D OR D SHEET A1-2.
5. SUSPENDED HOSE KEEL PER DETAIL & A1-1.
6. FIRE EXTINGUISHER PER SPECIFICATIONS FURNISHED & INSTALLED BY GENERAL CONTRACTOR.
7. PROPOSED LOCATION OF INTERNAL DOWNSPOUTS HAND PIPED UNDERGROUND. COORDINATE ALL LOCATIONS W/ FUEL CANNOPY MANUFACTURER & CIVIL DRAWINGS.
8. PAINTED STEEL ISLAND CURB FORM - TYPICAL AROUND ALL CURBS.
9. MASTER #1 FUEL DISPENSER - GASBOY 9550XX DZ ON TOP OF BRAVO A6670-3 CONTAINMENT SUMP.
10. MASTER #2 FUEL DISPENSER - GASBOY 9550XX DZ ON TOP OF BRAVO A6670-3 CONTAINMENT SUMP.
11. TANK FILL BOX PER TANK MANUFACTURER.
12. CONTRACTOR TO PROVIDE 10'-6" LONG TANK GROUND RODS INSTALLED ON EACH SIDE OF REAR SADDLE - GROUND WIRE BY CONTRACTOR & ELECTRICAL DRAWINGS.
13. SATELLITE #1 FUEL DISPENSER - GASBOY 9216K-2 ON TOP OF BRAVO A6670-3 CONTAINMENT SUMP.
14. SATELLITE #2 FUEL DISPENSER - GASBOY 9216K-2 ON TOP OF BRAVO A6670-3 CONTAINMENT SUMP.
15. SUPPLY & INSTALL VESSEL ROOT OVERFILL ALARM ON EXTERIOR OF STORAGE SHED. DEVELOPER TO PROVIDE 3/4" CONDUIT FROM VESSEL ROOT CONSOLE OUT TO ALARM LOCATION ON SHED. CONTRACTOR IS RESPONSIBLE FOR PULLING WIRES, TIGHTEN TERMINATIONS, TESTING & START-UP.
16. SLOPE PAD DOWN 1%.
17. OIL TIMER CONTROL BOX BY RELIABLE SYSTEMS PER SPECIFICATIONS.
18. CANOPY LIGHT FIXTURE PER ELECTRICAL DRAWINGS.
19. INTAKE AIR LOUVER PER MECHANICAL DRAWINGS.
20. OIL DRAIN EXHAUST FUEL STORAGE TANK PROVIDED BY P&T & INSTALLED BY CONTRACTOR - COORDINATE EXACT LOCATION W/ P&T PROJECT MANAGER. PROVIDE ELECTRICAL CIRCUITS PER ELECTRICAL DRAWINGS.
21. PROVIDE EMERGENCY SHUT OFF BUTTON TO BE LOCATED IN COMPLIANCE W/ NFPA, FIRE MARSHAL & LOCAL CODES. BUTTON TO BE CONFIGURED TO SHUT OFF POWER FEED CIRCUIT. COORDINATE LOCATION W/ P&T PROJECT MANAGER. PROVIDE SIGNAGE READING "EMERGENCY FUEL SHUT OFF" - EXACT LOCATION & SIZE TO BE IN COMPLIANCE WITH STATE & LOCAL CODES.
22. LINE OF FUEL CANOPY ABOVE.
23. FINISHED FLOOR ELEVATION OF LUBE SHED = 100.45'
24. FINISHED CONCRETE ELEVATION AROUND LUBE SHED = 100.16'
25. FINISHED CONCRETE PAVING ELEVATION @ START OF SLOPE = 99.50'
26. ICU CARD READER #1.
27. TOP OF STEEL ISLAND CURB FORM = 100.00' - CURB FORM SHALL BE A MINIMUM OF 6" ABOVE ANY ADJACENT PAVED SURFACE.
28. FINISHED CONCRETE ELEVATION @ ISLAND = 100.00' - CURB FORM SHALL BE A MINIMUM OF 6" ABOVE ANY ADJACENT PAVED SURFACE.
29. EXHAUST FAN PER MECHANICAL DRAWINGS.
30. ELECTRICAL PANEL PER ELECTRICAL DRAWINGS.
31. ELECTRIC HEATER PER ELECTRICAL/MECHANICAL DRAWINGS.
32. AIR COMPRESSOR PER MECHANICAL DRAWINGS.
33. PRODUCT STORAGE DRUMS.
34. SPILL CONTAINMENT PLATFORMS - MFR - ULTRA SPILL PALLET MODEL NUMBER 2361. 4-ORUM MODEL - 184" X 25 7/8" X 5 3/4". LOAD UP TO 6K LBS. CONTAINMENT 80 GALLONS.
35. NEW OIL PRODUCT STORAGE TANK - 100 GALLONS, DOUBLE WALLED AST, PRIMARY 10 GALS SECONDARY 12 GALS FACTORY FINISH & SIGHT GAUGE, LABEL PRODUCT TANKS.
36. 6'-0" W. X 8'-0" H. OVERHEAD INSULATED ROLLING DOOR WINDOW OPERATOR PER P&T SPECIFICATIONS. LOCK MODEL NUMBER 500 AS MANUFACTURED BY ACT, INC. DOOR TO BE INSULATED STEEL & TYPICAL FACTORY FINISH. PROVIDE 1/2" TYPICAL. PROVIDE UP PINTERED HULL100-1/2 HP 115/230 V MOTOR OPERATOR WITH 5A 40 KEY SWITCH & TAMPER PROOF STOP BUTTON & ROLLER EDGE WIRELESS BOTTOM SENSING EDGE & MANUAL RELEASE.

*** PROVIDE ALL REQUIRED ELECTRICAL, PLUMBING, AND HVAC CONNECTIONS, EQUIPMENT BY FUEL SYSTEM VENDOR. ***

CODE ANALYSIS

CONSTRUCTION TYPE: IIB

OCCUPANCY GROUP: S-1

FIRE SUPPRESSION: NO

FIRE RESISTANCE RATINGS REQUIRED:

TYPE II BUILDING CONSTRUCTION
STRUCTURAL FRAME: 0 HRS.
BEARING WALLS: 0 HRS.
EXTERIOR: 0 HRS.
NON-BEARING WALLS & PARTITIONS: 0 HRS.
INTERIOR: 0 HRS.
FLOOR CONSTRUCTION: 0 HRS.
ROOF CONSTRUCTION: 0 HRS.

BUILDING AREA

192 SQ. FT. (LUBE SHED)
1920 SQ. FT. (FUEL ISLAND CANOPY)

APPLICABLE CODES

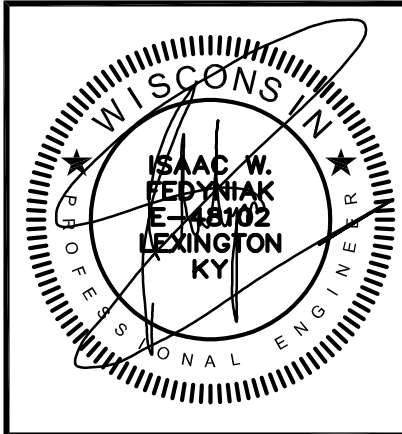
ICC/ANSI A117.1 - 2009
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FIRE CODE
NFPA 54 FUEL GAS CODE - 2015

GENERAL NOTES

- THESE GENERAL NOTES APPLY TO ALL ARCHITECTURAL SHEETS IN THE PROJECT SHEET SET.
- DRAWINGS ARE CREATED FOR USE BY GENERAL CONTRACTOR. ARCHITECT ASSUMES NO RESPONSIBILITY FOR TRADES AND SUB CONTRACTOR DRAWINGS COVERED UNDER CONTRACTOR SUPPLIED DRAWINGS INCLUDING BUT NOT LIMITED TO CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL & CONCRETE WALL DRAWINGS.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK INVOLVED. SUBMISSION OF A BID SHALL CONSTITUTE ACCEPTANCE, BY THE BIDDER, OF CONDITIONS AS A PART OF THE REQUIREMENTS FOR THIS WORK. REFER TO BIDDING DOCUMENTS, INSTRUCTIONS TO BIDDERS, EXAMINATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY EXISTING ELEMENTS DAMAGED DURING THE CONSTRUCTION PROCESS. FAILURE TO DO SO SHALL DEEM CONSTRUCTION TO BE INCOMPLETE.
- TYPICAL NOTES OR KEYNOTES - REFERRING TO ITEMS OF PLANS APPLY TO THE SAME TYPE OF ITEMS WHETHER OR NOT EVERY SUCH ITEM IS SO IDENTIFIED THAT IS NOTE DESCRIBING ONE ITEM WOULD BE TYPICAL AND APPLY TO ALL SUCH ITEMS. NOTES AND KEYNOTES MAY NOT ALWAYS APPLY TO EVERY PROJECT. VERIFY WITH PROJECT MANAGER.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. THE MORE STRINGENT TO GOVERN DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND CODES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
- STRUCTURAL AND HISC. STEEL SUPPLIER SHALL BE RESPONSIBLE FOR REVIEW OF TOTAL CONTRACT DOCUMENTS AND ALL STEEL ITEMS CONTAINED THEREIN.
- STRUCTURAL STEEL FABRICATION, CONNECTIONS, DETAILING, AND ERECTION SHALL BE IN ACCORDANCE WITH A.I.S.C. MANUAL OF STEEL CONSTRUCTION EIGHTH EDITION.
- THIS FACILITY WAS DESIGNED TO MEET ALL FIRE PROTECTION CODES AND ORDINANCES - SEE SPECIFICATIONS FOR ADDITIONAL FIRE PROTECTION INFORMATION.
- ALL EXPOSED SURFACES TO HAVE EITHER FACTORY FINISH OR PAINT. ALL COLORS WILL BE SELECTED BY P&T.
- ALWAYS LOCATE MASTER DISPENSER ON DRIVERS SIDE OF TRACTOR & SATELLITE DISPENSER ON PASSENGERS SIDE OF TRACTOR. TRAFFIC FLOW THROUGH FUELING CANOPY SHALL BE AS SHOWN ON FLOOR PLAN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK W/ SUB-CONTRACTORS TO PROVIDE A COMPLETE & SEPARATE FUEL SYSTEM & FUEL ISLAND.
- FUELING CANOPY VENDOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS RELATING TO CANOPY & ALL FOUNDATIONS TO SUPPORT ENTIRE CANOPY.
- ALL FUELING PIPING SHALL BE ROUTED ABOVE GROUND.
- THE FUEL CANOPY DRAWINGS ARE CREATED FOR GENERAL INTENT OF FUELING. FUELING VENDOR SHALL BE RESPONSIBLE FOR INSTALLING FULLY OPERATIONAL FUELING SYSTEM.



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LEXINGTON, KY 40509
PH 859.896.3207



BILL THOMAS
ARCHITECT

PO BOX 23755 STANLEY, KANSAS 66283
PH 913.742.4081

A NEW CROSS DOCK BUILDING FOR:
FEDEX FREIGHT
VANDENBROEK ROAD & EVERGREEN DRIVE
VILLAGE OF LITTLE CHUTE, WISCONSIN 54165

GRB



DESIGNER:
DRAWN BY: IMF
JOB NO.: GRB20
DATE: 12/09/20

PROJECT REVISIONS

REV	DATE
MM-DD-YY	

SHEET NUMBER

UME2.0

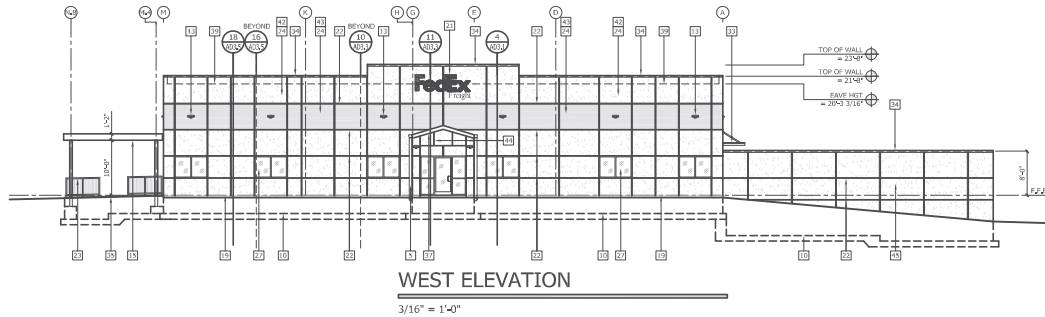
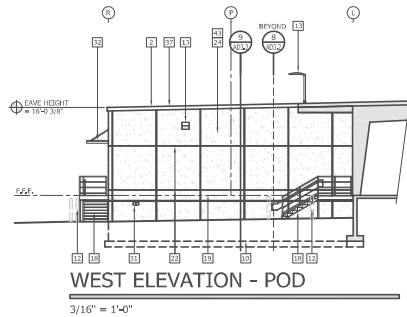
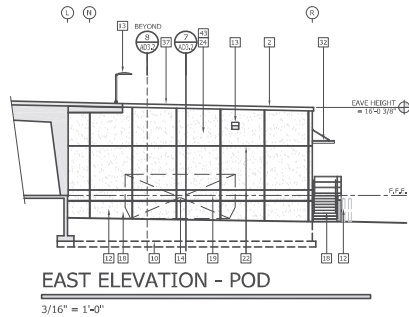
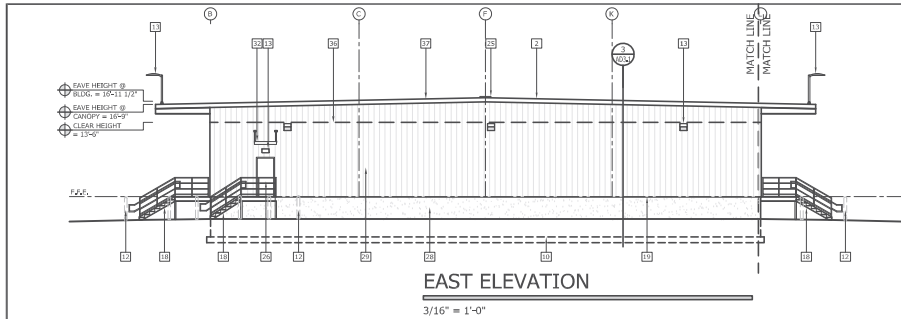
O.F.



MEP FUEL ISLAND

SCALE: 1/8" = 1'-0"



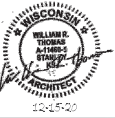


ELEVATION KEYED NOTES

THESE NOTES ONLY APPLY TO THIS SHEET ONLY BUT SOME NOTES MAY NOT APPLY

KEY NOTE SYMBOL

- OVERHEAD COILING SHEET DOORS PER FPF SPECIFICATIONS & DOOR SCHEDULE - COLOR WHITE.
- STANDING SEAM STEEL ROOF OVER PURLINS PER PEMB MANUFACTURER.
- CONTINUOUS "T" TRIM AT BOTTOM OF METAL WALL PANELS - COLOR TO MATCH WALL PANEL COLOR.
- 3/4" X 1/2" X 1/4" (3/4" X 1/2" X 1/4") (3/4" X 1/2" X 1/4") STEEL PLATE BETWEEN OVERHEAD COILING DOORS WELDED TO RIB L2 GA DOOR POST WITH 1/4" FLAT HEADS @ 24" CENTERS PER PEMB MANUFACTURER. BOTTOM OF PLATE TO BE FLUSH W/DOCK CHANNEL.
- PRE-FINISHED METAL DOWNSPUTS W/REINFORCED METAL STRAP ANCHORS PER PEMB MANUFACTURER W/NO PIPED UNDERGROUND.
- EDGE OF DOCK LEVELERS & BUMPERS WELDED TO CONTINUOUS STEEL CHANNEL. PAINT ALL WELDS. REFER TO DETAIL A SHEET ADQL & FPF SPECIFICATIONS.
- CONCRETE FORKLIFT RAMP PER FLOOR PLANS.
- EXTERIOR OVERHEAD DOCK DOOR NUMBER - REFER TO DETAIL J SHEET ADQL COORDINATE NUMBER SYSTEM (A) WITH FPF PROJECT MANAGER.
- GENERATOR & CATWALK ON CONCRETE PAD PER FLOOR PLANS.
- CONCRETE FOOTINGS PER FOUNDATION DRAWINGS.
- PRE-FINISHED METAL BUTTER PER PEMB MANUFACTURER.
- EXTERIOR @ DIA. 60X 40 STEEL PIPE BOLARS FULLED SOLID W/ CONCRETE. PROVIDE PROTECTIVE PVC SLEEVE W/ STANDARD DUTY INTEGRAL YELLOW DOME CAP - SEE DETAIL G SHEET ADQL.
- LIGHT FEATURE PER ELECTRICAL DRAWINGS.
- TRASH CONTAINER W/ ELECTRICAL DISCONNECT PER ELECTRICAL DRAWINGS - NO DOCK LEVELER OR DOCK SHALTER REQUIRED.
- PRE-MANUFACTURED CANOPY PER SPECIFICATIONS. HOLD CANOPY ROOF BACK 2" FROM FACE OF CONCRETE WALL PANELS - PROVIDE FLASHING & TERMINATION BAR ATTACHED TO CONCRETE WALL PANELS. FLASH PANELS TO RISE TO FACE OF CONCRETE WALL PANELS. SET CANOPY COLUMNS 2'-0" BELOW FINISHED FLOOR. PROVIDE INTERNALLY SUPP. JOIST SYSTEM W/ V. INTERNAL COLUMN BEAMS HANG PIPED UNDERGROUND.
- CONCRETE STAIR W/ PRE-FINISHED NON WELDED ALUMINUM PIPE RAILING SYSTEM TO INCLUDE ALL RAILS, POSTS, CONNECTORS, ANCHORS, ETC. - COLOR TO BE SELECTED BY FPF. RAILING POSTS TO BE SPACED @ 4'-0" O.C. MAX. - REFER TO FLOOR PLANS FOR MORE INFORMATION.
- PIT LEVELERS PER FPF SPECIFICATIONS & FLOOR PLANS. DOCK EDGE CHANNEL SHALL FORM ALL SIDES OF PIT LEVELER.
- METAL STAIR, HANDRAIL & GUARDRAIL PER FLOOR PLANS.
- NO EDGE OF DOCK CHANNEL REQUIRED AT OFFICE, POD OR END WALLS.
- ARCHITECTURAL STANDING SEAM ROOF PER FPF SPECIFICATIONS OVER STEEL PURLINS PER PEMB MANUFACTURER.
- BACK LIT SIGN TYPE 2 PER FPF SPECIFICATIONS - SIGNAGE WILL BE ON A FUTURE SHEET.
- HORIZONTAL RUSTICATION JOINT PER WALL PANEL DRAWINGS.
- PRE-FINISHED NON WELDED ALUMINUM PIPE RAILING SYSTEM TO INCLUDE ALL RAILS, POSTS, CONNECTORS, ANCHORS, ETC. - COLOR TO BE SELECTED BY FPF. RAILING POSTS TO BE SPACED @ 4'-0" O.C. MAX.
- CONCRETE WALL PANELS PER WALL PANEL DRAWINGS. REFER TO SECTION J SHEET ADQL FOR PANEL JOINT DETAILS.
- CONTINUOUS NON VENTED RIDGE CAP BY PEMB MANUFACTURER.
- PASSAGE DOOR & FRAME PER FLOOR PLANS & DOOR SCHEDULE.
- WINDOW & FRAME PER FLOOR PLANS & WINDOW SCHEDULE.
- CONCRETE STEEL WALL PER FOUNDATION DRAWINGS - RUBBED CONCRETE FINISH.
- METAL WALL PANEL ATTACHED TO HORIZONTAL WALL GIRTS PER PEMB MANUFACTURER.
- DOCK SHALTERS @ ALL COILING DOCK DOOR LOCATIONS PER FPF SPECIFICATIONS.
- PROPOSED LOCATION OF FDC - EXACT LOCATION TO BE DETERMINED BY FIRE SUPPRESSION CONTRACTOR & VERIFIED W/ FPF PROJECT MANAGER.
- 48" X 48" METAL CANOPY PER PEMB MANUFACTURER - MAINTAIN 3'-0" CLEAR UNDER CANOPY.
- 48" X 48" METAL CANOPY PER DETAIL B SHEET ADQL.
- PRE-FINISHED METAL PARAPET CAP - COLOR TO MATCH EAVE/RIDGE TRIM.
- CONCRETE SIDEWALK.
- LINE REPRESENTS CLEAR HEIGHT OF BUILDING SHALL BE 12'-0" MINIMUM - NOTHING TO BE IN CLEAR HEIGHT AREA INCLUDING PLUMB FRAME HURCH, FIRE SUPPRESSION PIPING, CONDENS. LIGHTS, FUME EXHAUSTS, ETC. NO EXCEPTS. LOCAL FIRE SPROCKLER & OTHER FIRE SUPPRESSION DEVICES AT SIZE & SPACING AS REQUIRED BY CODE. INSTALLED FIRE SUPPRESSION DEVICES SHALL NOT INTERFERE WITH OPERATION OF CEILING FANS, LIGHTS, DOOR LOAD LIGHTS, DOCK STANDS, ETC.
- PRE-FINISHED METAL RAMP TRIM PER PEMB MANUFACTURER.
- METAL HIGHWAY RAIL @ RAMP - REFER TO FORKLIFT RAMP PLANS FOR MORE INFORMATION.
- ROOF LINE BEYOND.
- PEMB MANUFACTURER DOCK JAMB POSTS SHALL BE CONTINUOUS TO EAVE STRUT BOTH SIDES OF ALL DOORS.
- CONCRETE RETAINING WALL PER FOUNDATION DRAWINGS - RUBBED CONCRETE FINISH.
- ACCENT COLOR AS SELECTED BY FPF.
- FIELD COLOR AS SELECTED BY FPF.
- VERTICAL RUSTICATION JOINTS PER WALL PANEL DRAWINGS.
- CONCRETE SCREEN WALL - HEIGHT AS NOTED.
- FRESH AIR INTAKE LOUVER INTER-DOCK W/ROOF EXHAUST FANS PER MECHANICAL DRAWINGS - SET SILL OF LOUVER @ 12'-0" +/- A.D.P.
- PROVIDE 7'-0" X 7'-0" PERIM. @ 18" HPM TORNSIDE WIND & IMPACT RATED LOUVER PER MECHANICAL DRAWINGS - SET TOP OF LOUVER @ ELEVATION 7'-0" ABOVE FINISHED FLOOR.
- RETURN AIR GRILL PER MECHANICAL DRAWINGS - SET BOTTOM OF GRILL @ 15'-0" A.D.P.



WILLIAM R. THOMAS, JR.
71587

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A NEW CROSS DOCK BUILDING FOR:
FEDEX FREIGHT
VANDERBEEK ROAD & EVERGREEN DRIVE
VILLAGE OF LITTLE CHUTE, WISCONSIN 54165

GRB

SETZER
PROPERTIES


DESIGNER:
DRAWN BY: WRT
JOB NO.: 20200812
DATE: 12x15x20

PROJECT REVISIONS
FOR CONSTRUCTION

SHEET NUMBER
AD2.0C
OF:

Village of Little Chute
INFORMATION FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Outagamie County Landfill Odor – Resident Requested Discussion

PREPARED BY: James P. Fenlon, Administrator 

REPORT DATE: January 29, 2021

EXPLANATION: This memo is meant as a follow-up to the November meeting where Mr. Bruce Jansen (950 W. Florida Ave) brought forward his complaint regarding the odor of the Outagamie County Landfill. Since that time, staff have researched various issues pertaining to this matter. To assist the board in guiding the discussion, I am including the following resources:

1. See the legal analysis provided below from Village of Little Chute Legal Counsel.
2. An article from Waste Today, a publication that covers North America regarding the waste related topics including landfill management subjects, published an article in September of 2017 related to the management of odors. This article provides an overview of the challenges of this topic, namely that enforcement at times is subjective. Most importantly, the case study analysis provides resources to implement and address odor issues. You can find the full article here: <https://www.scsengineers.com/wp-content/uploads/2017/09/WasteToday-Odor-Management-PartI-Sept-Oct.pdf>
3. Previous correspondence provided by Mr. Jansen: <http://www.littlechutewi.org/DocumentCenter/View/5867/20201117-Bruce-Jansen-Overview-of-Odor>
4. DNR Report from summer of 2020 that was provided by Mr. Jansen with attention to pages 5, 6, and 7 which note exceedances of standards and discussion from DNR officials regarding how the Outagamie County Landfill must correct the methane exceedances that had been observed: <http://www.littlechutewi.org/DocumentCenter/View/5868/DNR-Landfill-Report---Summer-of-2020>
5. Village of Little Chute Code of Ordinances Zoning Code – Chapter 28 Nuisances, Article I In General, Sec. 28-5 Unlawful Acts and Offensive Places or Conditions: https://library.municode.com/wi/little_chute/codes/code_of_ordinances?nodeId=COOR_CH28NU_ARTIIN_GE_S28-5SANLACOFLOTCE
6. Village of Little Chute Code of Ordinances Zoning Code – Chapter 44, Article VIII Performance Standards, Sec. 44-248 Odor: https://library.municode.com/wi/little_chute/codes/code_of_ordinances?nodeId=COOR_CH44ZO_ARTVIII_PESTINCODE_S44-248OD

Village Legal Counsel Overview:

In the process of analyzing the strengths and weaknesses of potential nuisance claims under both Village ordinances and Wisconsin state statutes and common law, it turns out that the state legislature has already addressed this issue as a matter of public policy under **Wis. Stat. s. 823.085**, which provides as follows.

This statute now supersedes the common law of nuisance liability, and standard remedies, for landfills (“solid waste facilities”), if the requirements for liability limitations are met by the landfill described in the statute. Note there are exclusions from this definition, but I suspect they may not apply to this situation.

- (1) In this section, “solid waste facility” has the meaning given in s. 289.01(35).
- (2) In any action finding a solid waste facility or the operation of a solid waste facility to be a public or private nuisance, if the solid waste facility was licensed under s. 289.31(1) and was operated in substantial compliance with the license, the plan of operation for the solid waste facility approved by the department of natural resources and the rules promulgated under s. 289.05(1) that apply to the facility, then all of the following apply:
 - (a) Notwithstanding s. 823.03, **the court may not order closure of the solid waste facility or substantial restriction in the operation of the solid waste facility unless the court determines that the continued operation of the solid waste facility is a threat to public health and safety.**
 - (b) The department of natural resources shall comply with a request by the court to provide suggestions for practices to reduce the offensive aspects of the nuisance.
 - (c) The amount recovered by any person for damage to real property may not exceed the value of the real property as of the date that the solid waste facility began operation increased by 8 percent per year.

(d) Punitive damages may not be awarded.

Note: s. 289.01(35) defines “solid waste facility” as “a facility for solid waste treatment, solid waste storage, or solid waste disposal, and includes commercial, industrial, municipal, state, and federal establishments or operations such as, without limitation because of enumeration, sanitary landfills, dumps, land disposal sites, incinerators, transfer stations, storage facilities, collection and transportation services, and processing, treatment, and recovery facilities. “Solid waste facility” includes the land where the facility is located. “Solid waste facility” does not include a facility for the processing of scrap iron, steel, or nonferrous metal using large machines to produce a principal product of scrap metal for sale or use for remelting purposes. “Solid waste facility” does not include a facility which uses large machines to sort, grade, compact, or bale clean wastepaper, fibers, or plastics, not mixed with other solid waste, for sale or use for recycling purposes. “Solid waste facility” does not include an auto junk yard or scrap metal salvage yard. “Solid waste facility” does not include a pyrolysis facility or a gasification facility.”

This statute appears to leave open the following alternatives.

- A. An action could be commenced in Court seeking a declaration that the landfill constitutes a nuisance to the neighboring property owners and if successful in obtaining a Court declaration of that sort, the following remedies appear to be authorized.
 - i. The Court could order the WDNR to come up with recommendations to reduce the extent of the nuisance, but the Court cannot close the landfill.
 - ii. The private property owners could make a claim for monetary damages associated with the reduction in value of their properties but the monetary damages they can be awarded will be limited to the formula above, which may be a challenge to compute. Whether or not this computation would justify the cost of litigation should be determined in advance.
- B. Given the above alternative remedies, another approach would be for the property owners to approach the County and request the same form of remedies through voluntary negotiations and settlement to avoid the cost of litigation as a first effort, since the maximum form of remedy is already governed by this statute itself.

Note that the individual landowners claim for reduction in value of their land as monetary damages and/or for the general loss of the use and enjoyment of their properties, would be a private claim that in our opinion would have to be brought by the landowners themselves either individually or as a group of Plaintiffs in mass as a single lawsuit naming the County as the Defendant.

In terms of actions to take and remedies, we generally look for guidance from Appeals Court, or Wisconsin Supreme Court, case law precedent dealing with these issues under a specific statute such as the one above. Interestingly there is not a single reported Court decision at either level, so we can only use our best judgment as to what may happen if legal action is filed and that is how we have expressed our opinions above.

Administrator Observations: Given the information from Attorney Koehler, I believe enforcing or applying Chapters 28 and 44 of the municipal code in this instance are difficult. Per several resources and efforts to identify what other communities have done, appropriately identifying violations of these codes is problematic.

As part of the Outagamie County’s Plan of Operations for the Northeast Landfill, their own odor control plan does include proactive monitoring efforts that are to be completed on a weekly basis. According to the plan, these weekly monitoring activities are to be documented. I have formally requested the monitoring forms from the Director of the Outagamie County Landfill. Upon receipt, I will review and file for future reference.

I also would reference the article linked above from Waste Today. If you review that closely, it appears that the case studies outline a more proactive approach to dealing with odors from solid waste facilities. It appears that working with the Outagamie County Landfill to be proactive, whether on the Northeast cell or the future Northwest cell will be worth our collective effort.

RECOMMENDATION: Provided for information for the Board of Trustees.

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Nelson Crossing Site Amenities

PREPARED BY: Adam Breest, Parks, Recreation, & Forestry Director

REPORT DATE: January 28, 2021

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: JPF

See additional comments attached: _____

EXPLANATION: Since 2018, the Village of Little Chute and City of Kaukauna began requesting donations for the David and Rita Nelson Family Heritage Crossing. The city and village created a donation flyer that included site amenities that you could donate towards. In total, we received 6 bench donations and 1 bike repair station donation. The donor needed to donate \$5,000 for a bench and \$5,000 for a bike a repair station.

Due to the lead time of these products, we now need to order these items so we can have them by April. Michels Corporation will be installing the site amenities located within the project site when the frost is out of the ground. These items were not included in previous year's expense budgets so will not be part of the carryover request presented at the next meeting.

Site Amenities to Purchase

- Benches – \$8,884.00
- Bike Repair Station - \$1,803.00
- Trash Receptacles - \$1,140.00

TOTAL - \$11,827.00

The village and city will be splitting this cost just as we have done with other project costs. The city has approved the amount below for the site amenities. Village staff is asking for approval to proceed with the purchase of our portion of the site amenities and applicable budget amendment.

Village of Little Chute Share - \$5,913.50

City of Kaukauna Share - \$5,913.50

2021 Budget Amendment:

Park Improvement Fund

Nelson Crossing expenditures	+ 5,914
Fund balance	- 5,914

NOTE: A final true up of overall 2021 budget for the Nelson Crossing Budget will be brought forward when all invoices are received for 2020. This project budget became complicated by previous actions taken where Kaukauna held the construction contract and Little Chute the DNR Grant agreement. To comply with DNR grant requirements, Little Chute had to have full expenditures on our books to claim the funding. Additional entries between the two communities were required to rectify this so 2020 Budget adjustments will be brought forward accordingly.

RECOMMENDATION: Approve purchase of site amenities and applicable 2021 budget adjustment for Nelson Crossing in the amount of \$5,914

VILLAGE OF LITTLE CHUTE
ORDINANCE NO, 1, SERIES 2021

**AN ORDINANCE AMENDING CHAPTER 2 ADMINISTRATION, ARTICLE V BOARD,
COMMISSIONS AND COMMITTEES SECTION 2-157 OF THE VILLAGE OF LITTLE CHUTE
MUNICIPAL CODE**

WHEREAS, the Village of Little Chute has had an informal park planning committee since the early 2000s and wishes to now formally recognize the park planning committee as an official committee of the Village of Little Chute.

WHEREAS, the Village of Little Chute Board of Trustees, Village of Little Chute, finds the following ordinance amendments to be in the public interest;

NOW, THEREFORE, The Village Board of Trustees, Village of Little Chute, do ordain as follows:

That the Chapter 2, Article V, section 2-157 of the Municipal Code of the Village of Little Chute is hereby amended to read as follows:

Sec. 2-157 Park Planning Committee

(a) *Creation*. The “Park Planning Committee” is hereby created as an official Committee of the Village.

(b) *Composition*. The Park Planning Committee members shall be appointed by the village board and shall include seven members. Membership shall include one citizen member as chairperson, one village board trustee or his/her designee, and five citizen members. The members shall serve with such compensation as determined by ordinance of the village board and shall be removable by the village board with or without cause. Preference shall be given to those persons having knowledge or experience in the village parks, recreational opportunities, natural resources, club sports, construction, landscaping, or forestry. Citizen members shall either reside within, or own a business within, the village. The village parks, recreation, & forestry director is the village staff member responsible to oversee operations of the Park Planning Committee and will preside as secretary of the Committee in a non-voting role, but will not be one of the seven members on the Committee.

(c) *Term of office*. All citizen members shall be appointed to three-year staggered terms by the village board. Citizen members can serve multiple terms, if approved by the Village Board. The Committee shall elect a chairperson annually at the first meeting of the new year to schedule, conduct, and preside over meetings of the Committee members.

(d) *Duties*. The duties of the Park Planning Committee shall be as follows.

(1) Park Development – The Park Planning Committee shall review designs and plans for new park infrastructure, land acquisition for new parks, improvements to existing facilities, and planning initiatives such as the comprehensive outdoor recreation plan.

(2) Recreational Programs – The Park Planning Committee shall review program fees and expenses on a yearly basis and make a recommendation to the village board for the budget process.

(3) Forestry – The Park Planning Committee shall review and recommend changes or updates for the village forestry manual.

(4) Doyle Pool and Slide – The Park Planning Committee shall assist the village board in long range planning for the Doyle Pool and Slide.

(5) Bicycle and Pedestrian Accommodations – The Park Planning Committee shall assist in the planning and review of the village's bicycle and pedestrian plan. The Committee will recommend changes and additions to the plan as needed.

(6) Special Assignments – The Park Planning Committee shall undertake special assignments regarding park related matters as may be requested by the Village Board from time to time.

Introduced, Approved and Adopted: February 3, 2021

VILLAGE OF LITTLE CHUTE

By: _____
Michael R. Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: 2021 Personnel Manual Changes

PREPARED BY: James P. Fenlon, Administrator *JPF*

REPORT DATE: January 15, 2021

EXPLANATION: There several amendments that we are proposing to the personnel manual. These are largely administrative changes to policy versus policy changes themselves. Upon approval, the 2021 wage table will also be updated in the manual per the 2021 budget. The policies recommended for change are as follows:

1. Policy 425 Vacation and Sick Leave
 - a) Policy 425.2 - Eligibility. Regular employees working at least ~~(2030)~~ or more hours per week are eligible for ~~vacation and sick leave all the benefits documented herein.~~ Regular Part-time employees will accrue vacation and sick leave based on a pro-rated basis as determined by the hourly standard authorized classification of the position (30 hours per week will accrue at 0.75 and 20 hours per week will accrue at 0.5).
2. Policy 503 Overtime and Compensatory Time
 - a) Policy 503.5.3 - ~~Department Heads have the authority to authorize the carryover of a maximum of 40 hours of earned compensatory time per employee from one calendar year to the next or to payout the employee on the second payroll of December.~~ Compensatory time is paid out on the first payroll in December. Any compensatory time earned from this payout through December 31st shall also be paid out on subsequent payrolls. Compensatory time can not be banked until January 1st for the new year.
3. Policy 601 Benefits – Health Insurance, Dental Insurance, & Cobra
 - a) Policy 601.3.1 Full-time employees who qualify for coverage may participate in the Health Insurance Plan(s). Eligible employees will contribute, and the Village will contribute, to the costs for the Health Insurance Plan. ~~Ineligible Regular~~ part-time employees ~~who work 30 hours or more may participate in the health insurance plan by paying 25% of the cost of the premium~~ will be eligible for the Health Insurance Plan as determined by the policies of the Wisconsin Department of Employee Trust Funds.
 - b) Policy 601.9 Group Dental Plan. The Village will make available a group dental plan to all regular full and regular part-time employees who work 30 hours or more per week.
4. Policy 603 Benefits – Other
 - a) Policy 603.1.4 Life Insurance. The Village provides Life Insurance to regular ~~full-time~~ employees ~~who work 30 hours a week or more~~ at no cost to the employee. The insurance provides for \$25,000 of coverage in the event of a death of an employee.
 - b) Policy 603.1.5 Long-term Disability. The Village provides long-term disability insurance to regular ~~full-time~~ employees ~~who work 30 hours a week or more~~ at no cost to the employee.

RECOMMENDATION: Staff recommends the board approve the changes as presented.

Village of Little Chute
INFORMATION FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Plan Commission and Park Planning Appointment
PREPARED BY: James P. Fenlon, Administrator <i>JPF</i>
REPORT DATE: January 29, 2021
<p>EXPLANATION: On behalf of the Village President, he would like to appoint Mr. Jim Moes to the Plan Commission. The appointment is made to a currently vacant seat on the commission. Plan Commission appointments are subject to a majority vote of the Village Board and are for a three-year term.</p> <p>In addition, assuming successful passage of the ordinance creating the Park Planning Committee, the Village President would recommend Trustee Peerenboom as the Village Board appointee to the committee. This appointment is for a three year term.</p>
RECOMMENDATION: Appoint Jim Moes to the Little Chute Plan Commission.

Village of Little Chute
REQUEST FOR VILLAGE BOARD CONSIDERATION

ITEM DESCRIPTION: Little Chute Kayak Launch Easement

PREPARED BY: Adam Breest, Parks, Recreation, & Forestry Director

REPORT DATE: February 2, 2021

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report: JPF
See additional comments attached: _____

EXPLANATION: In 2017, the State of Wisconsin Department of Administration approved a temporary easement for the proposed ADA Canoe/Kayak Launch that is to be located at Heesakker Park. Due to permitting not being approved at the time, the village and Fox River Navigational System Authority never finalized the easement documents. As of 2020, the chapter 30 permit was approved, and the village now plans to construct the kayak launch in the summer of 2021.

The village and Fox River Navigational System Authority are now prepared to sign and record the temporary easement for this project. The easement allows for the construction and maintenance of a bridge to cross the spillway, crushed stone trail, and kayak launch located on State of Wisconsin property.

Heesakker ADA Canoe Kayak Launch Schedule

Specifications and Plans to Village for Review – Wednesday, February 3, 2021
Bid Advertisement sent to Times Villager – Wednesday, February 10, 2021
Bid Advertisement 1 – Wednesday, February 17, 2021
Bid Advertisement 2 – Wednesday, February 24, 2021
Bid Opening – Tuesday, March 9, 2021 (2:00PM)
Village Board Award – Wednesday, March 17, 2021

We anticipate construction starting after May 15, 2021 due to Wisconsin DNR Chapter 30 permitting conditions.

RECOMMENDATION: Discussion/Action

Signed By DOA

FRNSA-1- 2017

Village of Little Chute

TEMPORARY EASEMENT

THIS EASEMENT is by and between the **Fox River Navigational System Authority (FRNSA)**, hereinafter referred to as the Grantor, and/to the **Village of Little Chute**, herein after referred to as the Grantee, for purposes of a **Kayak Launch and Pedestrian Path** within the described easement **Exhibit A**; and

WHEREAS, it is the policy of the Grantor to cooperate with local units of government and private businesses and individuals to provide reasonable and necessary use of lands of the State of Wisconsin; and

WHEREAS, the Fox River Navigational System was formerly owned by the United States Army Corps of Engineers and is now owned by the State of Wisconsin/Grantor; and

WHEREAS, on the 16th of September, 2004, the United States of America transferred the Fox River Navigational System to the State of Wisconsin ("State") subject to easements and restrictions contained in a Quit Claim Deed dated September 2, 2004; and

WHEREAS, on September 17, 2004 the State acting through the Department of Administration entered into a Lease Agreement with the Fox River Navigational Authority pursuant to Chapter 237 of the Wisconsin Statutes; and

WHEREAS, the Grantor is providing new easements and renewing easements that have been canceled by the United States Army Corps of Engineers; and

WHEREAS, the Grantee has requested traversal and use of lands belonging to the GRANTOR in the Village of Little Chute, Outagamie County, and

WHEREAS, under the Wisconsin Statutes and the Lease Agreement, the State must approve the grant of any easement; and

WHEREAS, the State of Wisconsin approved this Easement as indicated in this Easement, now therefore

BE IT RESOLVED, in consideration of an administrative fee, compensation and the covenants herein set forth, the Grantor hereby grants to the Grantee a temporary easement for right-of-way for the right to install, replace, relocate, operate, maintain and repair a pedestrian path, pedestrian bridge and Kayak dock/launch hereinafter referred to as the facilities, across, in, and upon lands of the Grantor (FRNSA/State of Wisconsin) as identified in **Exhibit A** herein after referred to as the premises, and which are attached hereto and made a part hereto.

This easement is granted subject to the following conditions:

Record and return to:

Fox River Navigational System Authority
1008 Augustine Street
Kaukauna, WI 54130

Tax Key No.

PREMISES

The property identified in **Exhibit A**

COMPENSATION

That the Grantee shall pay in advance to the Grantor, compensation in the amount of one dollar for the temporary easement. Compensation shall be made payable to Fox River Navigational System Authority, 1008 Augustine Street, Kaukauna, Wisconsin 54130.

NOTICES

All correspondence and notices to be given pursuant to this easement shall be addressed, if to the Grantee, to the Village of Little Chute, Village Administrator's Office, 108 West Main Street, Little Chute, WI 54140 and if to the Grantor, to Fox River Navigational System Authority, 1008 Augustine Street, Kaukauna, Wisconsin 54130, or as may from time to time otherwise be directed by the parties. Notice shall be deemed to have been duly given if and when enclosed in a properly sealed envelope or wrapper addressed as aforesaid, and deposited postage prepaid in a post office regularly maintained by the United States Postal Service.

TERM AND TERMINATION

This Easement shall commence on the date it is recorded with the register of deeds for Outagamie County, Wisconsin and shall terminate on September 15, 2034.

This Easement may be terminated upon 90 days notice to the Grantee for failure, neglect, or refusal by the Grantee to fully and promptly comply with any and all of the conditions of this grant, or for nonuse for a period of two years, or for abandonment.

That upon the expiration, termination, or forfeiture and annulment of this grant, the Grantee shall, and without expense to the Grantor, and within a reasonable time as the Grantor may indicate, remove said facilities from said land and restore the premises to the satisfaction of the Grantor. In the event the Grantee shall fail, neglect, or refuse to remove the said facilities and so restore the premises, the Grantor shall have the option either to take over the facilities as the property of the Grantor without compensation therefore, or to remove said facilities and perform the restoration work as aforesaid at the expense of the Grantee, and in no event shall the Grantee have any claim for damages against the Grantor, or its officers or agents, on account of taking over said facilities or on account of their removal.

GRANTEE'S USAGE

That the right-of-way hereby granted shall not occupy more land than is reasonably necessary for such purpose, as determined by the Grantor, and Grantor hereby approves the location and legal description of the easements set forth and described on **Exhibit A**. The Grantee shall comply with all applicable Federal, state, county and municipal laws, ordinances and regulations wherein the premises are located.

The Grantee shall inspect the facilities at reasonable intervals and immediately repair any defects found by such inspection.

The Grantee shall obtain prior written approval from the Grantor for any development and construction of any structure prior to any alteration of the landscape. Such review is required to insure that the Grantee's construction is consistent the purpose and integrity of the Fox River Heritage State Parkway Concept Plan and is not intended as a detailed engineering review. The

Grantor (FRNSA/State of Wisconsin) assumes no responsibility or liability for the technical sufficiency of the Grantee's construction. The Grantee is responsible for the clean up of any debris or litter placed on the premises incident to the exercise of the privilege herein.

The Grantee shall maintain the area in a neat, safe, sanitary, and usable condition. The area shall be operated in a manner to achieve safety, and preserve and protect property, public health and welfare. Any property of the Grantor (FRNSA/State of Wisconsin) damaged or destroyed by the Grantee incident to the exercise of the privileges herein granted shall be promptly repaired or replaced by the Grantee to a condition satisfactory to the Grantor, or reimbursements made by the Grantee in an amount necessary to restore or replace the property to a condition satisfactory to the Grantor.

The Grantee shall comply with all State of Wisconsin Historical Society guidelines for development of or improvements to the described area.

The Grantee will use all reasonable means to protect the environment and natural resources, and where damage nonetheless occurs from activities of the Grantee, the Grantee shall be liable to restore the damaged resources.

The Grantee shall be responsible for repair, clean up, remediation or detoxification arising out of any hazardous materials brought onto or introduced into the easement or surrounding areas by Grantee or its employees or agents.

The Grantee shall maintain all soil and water conservation structures that may be in existence upon said premises at the beginning of or that may be constructed during the term of this easement, and the Grantee shall take appropriate measures to prevent or control soil erosion within the premises. Any soil erosion occurring outside the premises resulting from the activities of the Grantee shall be corrected by the Grantee.

INDEMNITY AND INSURANCE

The Grantee shall be responsible for obtaining insurance for any and all improvements or structures located on subject property.

The Grantee shall maintain during the life of this easement and shall require all subcontractors to maintain worker's compensation insurance as required by State of Wisconsin Statutes, and any applicable Federal Act coverage such as Longshoremen's and Harbor Workers Act, Jones Act or Admiralty Act for all employees engaged in the work.

The Grantee shall maintain Commercial General Liability, bodily injury and property damage insurance against any claim(s) which might occur during the course of this agreement. Minimum coverage shall be two million dollars (\$2,000,000) liability for bodily injury and property damage. General aggregate limits must be considered primary.

The Grantee shall maintain motor vehicle insurance for all owned, non-owned and hired vehicles that are used in carrying out this contract. Minimum coverage shall be one million dollars (\$1,000,000) per occurrence combined single limit for automobile liability and property damage.

The Grantee agrees to save, keep harmless, defend, and indemnify the Grantor and all of its officers, employees, and agents against any liability, claims, and costs of whatever kind and nature, for injury to or death of any person or persons, and for loss or damage to any property (state or other) occurring in connection with or in any way incident to or arising out of the Grantee's occupancy, use, service, operation, or performance of work in connection with this easement.

GRANTOR'S USAGE

The right is reserved to the Grantor, its officers, agents, and employees to enter upon the premises at any time and for any purpose necessary or convenient in connection with government purposes; to make inspections, to remove timber or other material, except property of the Grantee, to flood the premises, to manipulate the level of the river or channel in any manner whatsoever and/or to make any other use of the lands as may be necessary in connection with government purposes, and the Grantee shall have no claim for damages on account thereof against the State or any officer, agent, or employee thereof.

The Grantor reserves the right to construct, use, and maintain across, over, and/or under the right of way hereby granted, electric transmission, telephone, telegraph, water, gas, gasoline, oil and sewer lines, and other facilities, in such a manner as not to create any unreasonable interference with the use of the right-of-way herein granted.

The Grantor shall notify and consult with the Grantee on navigation system renovation projects undertaken by the Grantor that may impact or interfere with the Grantee's use of the property.

GENERAL

This easement is subject to all other existing easements, or those subsequently granted as well as established access routes for roadways and utilities located, or to be located, on the premises, provided that the proposed grant of any new easement or route will be coordinated with the Grantee.

Neither this easement nor any right or duty of the Grantee herein shall be assigned, transferred, conveyed, delegated, or contracted without prior written permission of the Grantor.

The provisions and conditions of this instrument shall extend to and be binding upon and shall inure to the benefit of the heirs, representatives, successors, and assigns of the Grantee.

Within the limits of their respective legal powers, the parties to this easement shall protect the premises against pollution of its air, ground, and water. The Grantee shall comply with any laws, regulations, conditions, or instructions affecting the activity hereby authorized if and when issued by the Environmental Protection Agency, or any Federal, state, interstate or local governmental agency having jurisdiction to abate or prevent pollution. The disposal of any toxic or hazardous materials within the premises is specifically prohibited. Such regulations, conditions, or instructions in effect or prescribed by said Environmental Protection Agency, or any Federal, state, interstate or local governmental agency are hereby made a condition of this easement. The Grantee shall not discharge waste or otherwise become a public nuisance.

Any and all improvements to the site shall be reasonably accessible to persons with physical disabilities.

NONDISCRIMINATION/AFFIRMATIVE ACTION

In connection with the performance of this Easement and pursuant to s. 16.765, Stats., the Grantee agrees not to discriminate against any employee or applicant for employment because of age, race, religion, sex, physical condition, developmental disability as defined in section 51.01(5), Stats., sexual orientation as defined in section 111.32 (13m), Stats., or national origin. This provision shall include, but not be limited to, the following: employment, upgrading, demotion, transfer, recruitment, recruitment advertising, layoff, termination, rates of pay, other forms of compensation, and selection of training, including apprenticeship. Except with respect to sexual orientation, the Grantee agrees to take affirmative action to ensure equal employment opportunities.

GOVERNING LAW

This Easement shall be governed and constructed in accordance with the laws of the State of Wisconsin.

WAIVER

No delay or omission by any of the parties hereto to exercise any right or power occurring upon any non-compliance or failed performance by another party under the provisions of this Easement shall impair any such right or power or be construed to be a waiver thereof. A waiver by any of the parties hereto of any of the covenants, conditions, or agreements hereof to be performed by another, shall not be considered to be a waiver of any succeeding breach thereof or of any other covenant, condition or agreement contained herein.

AMENDMENTS

No agreement or amendment shall be effective to add to, change, modify, waive or discharge this Easement in whole or in part, unless such agreement is in writing and signed by all parties bound hereby.

PARTIAL INVALIDITY

If any provisions, or portions thereof, of this Easement or of the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of the Easement, or the application of such provision, or portion thereof, to any other persons or circumstances shall not be affected thereby and each provision of the Easement shall be valid and enforceable to the fullest extent permitted by law.

[SIGNATURES BEGIN ON THE NEXT PAGE]

IN WITNESS WHEREOF, the said Grantor
has caused these presents to be signed this
_____ day of _____, 2017.

IN WITNESS WHEREOF, the said Grantor
has caused these presents to be signed this
_____ day of _____, 2017.

**FOX RIVER NAVIGATIONAL
SYSTEM AUTHORITY**

VILLAGE OF LITTLE CHUTE

By Jeremy Cordts 1-25-21 By _____

Printed Name Jeremy Cordts Printed Name _____

Title Chief Executive Officer Title _____

STATE OF WISCONSIN)
OUTAGAMIE COUNTY)ss

STATE OF WISCONSIN)
_____ COUNTY)ss

Personally came before me this 25th
day of January, 2017, 2021
the above-named person(s), to me
known to be the persons who executed
the foregoing instrument and
acknowledged the same.

Personally came before me this
day of _____, 2017,
the above-named person(s), to me
known to be the persons who executed
the foregoing instrument and
acknowledged the same.

Molly Derricks
Notary Public, State of Wisconsin

Notary Public, State of Wisconsin

My commission expires 1/28/2021

My commission expires _____



DRAFTED By
Fox River Navigational System Authority

APPROVED BY
State of Wisconsin
Department of Administration

By: Cate Zeuske

Cate Zeuske

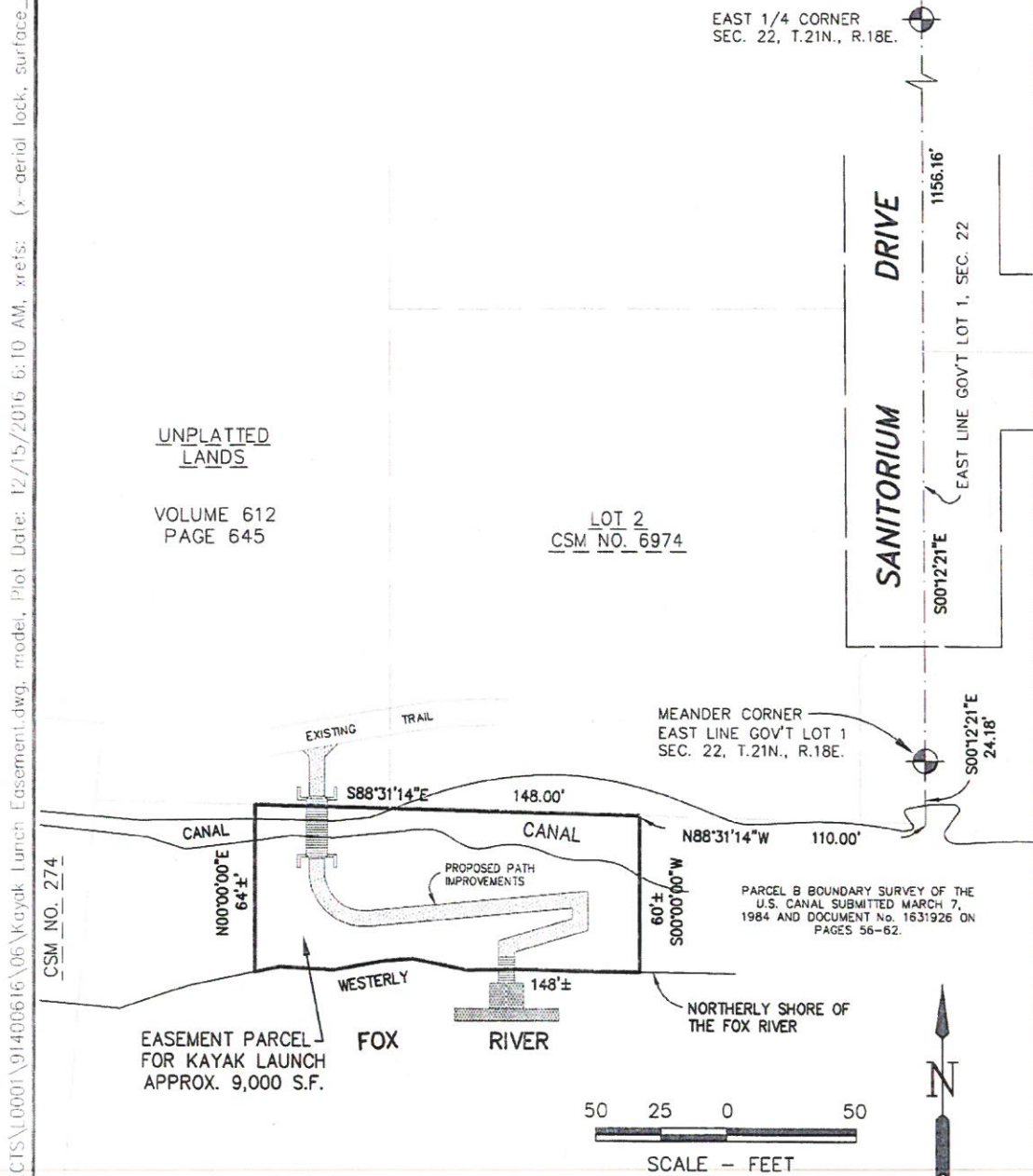
Deputy Secretary

Date: March 3, 2017

EXHIBIT A

A PART OF GOVERNMENT LOT 1 OF SECTION 22, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY WISCONSIN, BEING MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 22; THENCE S00°12'21"E, 1156.16 FEET ALONG THE EAST LINE OF SAID GOVERNMENT LOT 1 TO AN OUTAGAMIE COUNTY MONUMENT SET AS A MEANDER CORNER ALONG THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE CONTINUING S00°12'21"E, 24.18 FEET ALONG SAID EAST LINE TO THE NORTH LINE OF THE U.S. GOVERNMENT CANAL PROPERTY; THENCE N88°31'14"W, 110.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING; THENCE S00°00'00"W, 60 FEET MORE OF LESS TO THE NORTHERLY SHORE OF THE FOX RIVER; THENCE WESTERLY 148 FEET MORE OR LESS ALONG SAID NORTHERLY SHORE; THENCE N00°00'00"E, 64 FEET MORE OR LESS TO THE NORTH LINE OF SAID U.S. GOVERNMENT CANAL PROPERTY; THENCE S88°31'14"E, 148.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.



McMAHON
ENGINEERS ARCHITECTS

Project No. L0001 9140616.06 Date DEC., 2016 Scale 1"=50'

Drawn By DEW Field Book Page

1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

File No.