



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room
DATE: Monday, March 8, 2021
TIME: 6:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the March 8th Plan Commission meeting at 6 PM by following the link here:
<https://zoom.us/j/97615676559>

Meeting ID: 976 1567 6559

Call-in Information: +1 (312) 626-6799 US (Chicago) Meeting ID: 976 1567 6559

1. Approval of Minutes from the Plan Commission Meeting of February 8, 2021
2. Recommendation—Griffin Company CSM
3. Recommendation—Drews CSM
4. Recommendation—CH Sign
5. Recommendation—Karen Drive Rezoning
6. Recommendation—Site Plan – Outagamie County Recycling and Solid Waste
7. Unfinished Business
8. Items for Future Agenda
9. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 March 4, 2021



Information for the Plan Commission Meeting – March 8, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the March 8th Plan Commission Meeting at 6:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/97615676559>
Meeting ID: 976 1567 6559
2. Call-in Information: United States
One tap mobile:
+13017158592,,97615676559#, US (Washington D.C)
+13126266799,,97615676559#, US (Chicago)
3. Dial by your location:
+1 312 626 6799 US (Chicago)
+1 301 715 8592 US (Washington D.C) +1 929 436 2866 US (New York)
+1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston)
+1 669 900 6833 US (San Jose)
Meeting ID: 976 1567 6559
Find your local number: <https://zoom.us/u/abGpaew1E>
4. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
5. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
6. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
7. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
8. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE PLAN COMMISSION MEETING FEBRUARY 8, 2021

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel

President Vanden Berg

Kent Taylor

Larry Van Lankvelt

Todd Verboomen (arrived at 6:30)

Richard Schevers

Jim Moes

STAFF PRESENT: Administrator Fenlon, Community Development Director Kittel,

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of January 11, 2021

*Moved by Commissioner Van Berkel, seconded by Commissioner Van Lankvelt to Approve the Minutes
the Plan Commission Meeting of January 11, 2021*

All Ayes— Motion Carried

Action—Appoint Jim Moes to the Little Chute Plan Commission

President Vanden Berg welcomed Mr. Jim Moes to the Plan Commission

Recommendation—CSM for Setzer properties GRM, LLC

*Moved by Commissioner Moes, seconded by Commissioner Van Berkel to Recommend to the Village Board
to Approve the CSM for Setzer Properties GRM, LLC as presented*

All Ayes— Motion Carried

Discussion—Commercial Highway Signage

Director Kittel went over the updates suggested for Commercial Highway District Signs. The Commission agrees with creating an ordinance and this will be brought back next month for action.

Discussion—Short Term Rental Ordinance

Director Kittel went over the draft of an ordinance for short term rentals. Commissioner Moes opposes local control or creating an ordinance and feels this should remain a State or County issue. It was agreed to table this item and if issues arise it will be addressed at that time.

Discussion—Village of Little Chute Development Packet

Director Kittel presented a development packet he created to provide future property developers with information and contacts for the Village of Little Chute. Commissioner Moes suggested adding clear verbiage to make sure that contractors know that the final say is between the Community Development Director and the Commission; Commissioner Verboomen requested that the Fox River Valley be referred to as the Lower Fox River Valley and Commissioner Van Lankvelt thanked Director Kittel for his work in developing this packet.

Unfinished Business

None

Items for Future Agenda

None

Mr. Bruce Jansen read a statement regarding the Outagamie County Landfill odors, noise and trash and also truck traffic. Mr. Jansen is requesting the Village take action when the Conditional Use Permit application is received.

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Adjourn the Plan Commission Meeting at 6:43 p.m.

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

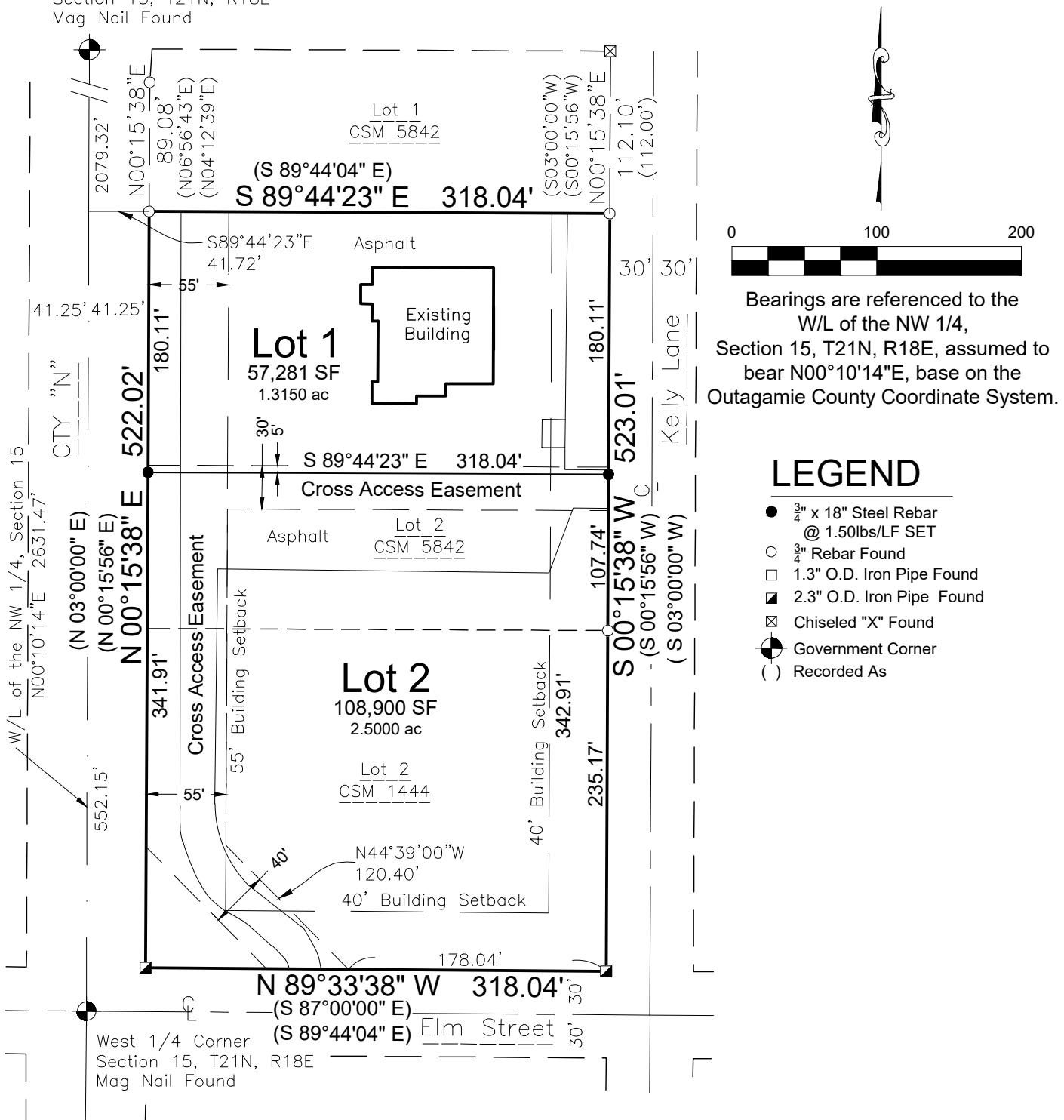
Attest: Laurie Decker, Village Clerk

Certified Survey Map No.

All of Lot 2, Certified Survey Map 1444, and all of Lot 2, Certified Survey Map 5842, located in the Southwest 1/4 of the Northwest 1/4 of Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Survey for:
The Griffin Company of Little Chute, Wisconsin, LLC,
PO Box 243
Little Chute, WI 54140

Northwest Corner
Section 15, T21N, R18E
Mag Nail Found



James R. Sehloff Professional Land Surveyor No. S-2692 Date

**DAVEL ENGINEERING &
ENVIRONMENTAL, INC.**
Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davelpro.com

File: 6515CSM.dwg
Date: 02/12/2021
Drafted By: jim
Sheet: 1 of 3

Certified Survey Map No. _____

All of Lot 2, Certified Survey Map 1444, and all of Lot 2, Certified Survey Map 5842, located in the Southwest 1/4 of the Northwest 1/4 of Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of The Griffin Company of Little Chute, Wisconsin, LLC, the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land all of Lot 2, Certified Survey Map 1444, Recorded as Document No. 1055647 and all of Lot 2, Certified Survey Map 5842, recorded as Document Number 1646464 in the Outagamie County Register of Deeds, being part of the Southwest 1/4 of the Northwest 1/4 of Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 166,181 Square Feet (3.8150 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this _____ day of _____, _____.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-26

Owner's Certificate of Dedication

Griffin Company of Little Chute, Wisconsin, LLC, a limited liability company duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owner, does hereby certify that we caused the land above described to be surveyed, divided and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

In the presence of: Griffin Company of Little Chute, Wisconsin, LLC

Managing Member

Date

Print Name

State of Wisconsin _____)
)SS

 County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

My Commission Expires _____
Notary Public, Wisconsin

File: 6515CSM.dwg
Date: 02/12/2021
Drafted By: jim
Sheet: 2 of 3

Certified Survey Map No. _____

All of Lot 2, Certified Survey Map 1444, and all of Lot 2, Certified Survey Map 5842, located in the Southwest 1/4 of the Northwest 1/4 of Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Village of Little Chute, the property owner, is hereby approved by the Village Board of the Village of Little Chute.

Village President

Date

Clerk

Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer

Date

County Treasurer

Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property owners of record:

The Griffin Company of Little Chute,
Wisconsin, LLC

Recording Information:

Doc. 1646464

Parcel Number(s):

26-0-2912-00

26-0-2912-01

James R. Sehloff Professional Land Surveyor No. S-2692 Date

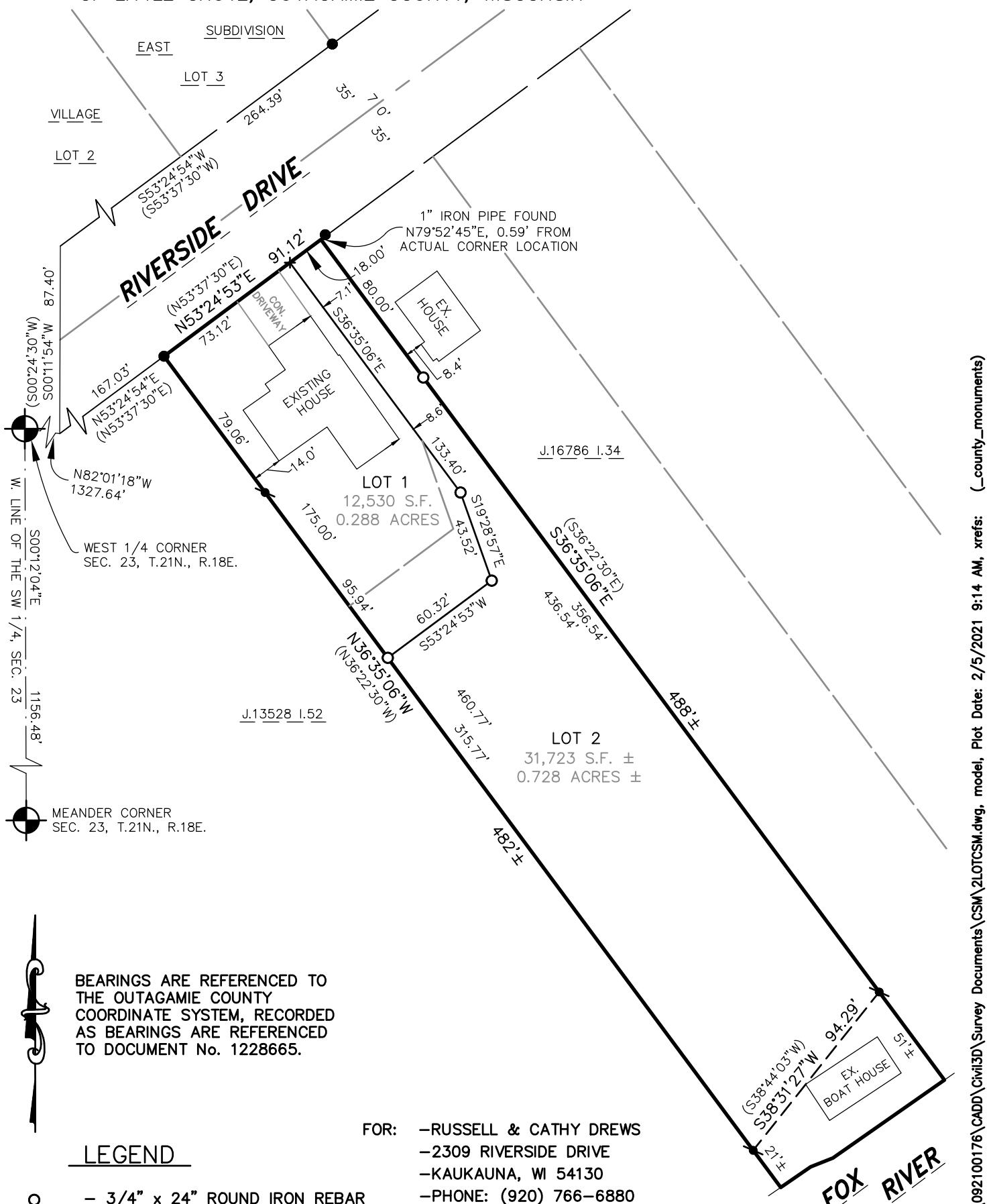
Feb 12, 2021 - 11:42 AM J:\Projects\6515hie\dwg\Civil 3D\6515CSM.dwg Printed by: jim

File: 6515CSM.dwg
Date: 02/12/2021
Drafted By: jim
Sheet: 3 of 3

CERTIFIED SURVEY MAP NO. _____

PAGE 1 OF 3

ALL OF CERTIFIED SURVEY MAP No. 5663 AS RECORDED IN
VOLUME 32 OF CERTIFIED SURVEY MAPS ON PAGE 5663 AS
RECORDED DOCUMENT No. 1765694, IN GOVERNMENT LOT 3,
SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE
OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN



I FGFND

- - 3/4" x 24" ROUND IRON REBAR -PHONE: (920) 766-6880
WEIGHING 1.5 lbs./lineal ft. SET
- - 3/4" ROUND STEEL REBAR FOUND
- × - CHISEL CROSS FOUND
- - 1" IRON PIPE FOUND
- - CERTIFIED LAND CORNER 60 30 0 60
OUTAGAMIE COUNTY
- S.F. - SQUARE FEET SCALE - FEET

A horizontal scale bar with tick marks at 60, 30, 0, and 60. The segment between 30 and 0 is shaded black, representing a distance of 30 feet.

SCALE - FEET

DRAFTED BY: Corey W. Kalkofen

McMAHON ASSOCIATES

ASSOCIATES
ENGINEERS | ARCHITECTS | SURVEYORS | PROJECT MANAGERS
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

djohnson, W:\PROJECTS\0092100176\2LOTCSM.dwg, model, Plot Date: 2/5/2021 9:14 AM, xrefs: (County - monuments)

CERTIFIED SURVEY MAP NO. _____

PAGE 2 OF 3

ALL OF CERTIFIED SURVEY MAP NO. 5663 AS RECORDED IN VOLUME 32 OF CERTIFIED SURVEY MAPS ON PAGE 5663 AS RECORDED DOCUMENT NO. 1765694, IN GOVERNMENT LOT 3, SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

I, David M. Schmalz, Wisconsin Registered Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of Certified Survey Map No. 5663 as Recorded in Volume 32 of Certified Survey Maps on Page 5663 as Recorded Document No. 1765694, a part of Government Lot 3, Section 23, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 44,253 Square Feet (1.016 Acres) of land more or less and more:

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes and Village of Little Chute Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 2021.

David M. Schmalz, Reg. WI Land Surveyor S-1284

VILLAGE BOARD APPROVAL

Approved by the Village of Little Chute, Outagamie County, Wisconsin, by the Village Board on the _____ day of _____ 20____.

Village President
Michael Vanden Berg

Village Finance Director
Lisa Remiker-Dewall

CERTIFICATE OF TREASURERS

I, being the duly elected, qualified and acting Treasurer, do hereby certify that in accordance with the records in my office there are no un-paid taxes or un-paid special assessments on any of the lands included in this Certified Survey Map as of:

Village Finance Director Date
Lisa Remiker-Dewall

County Treasurer Date
Trenten Woelfel

NOTE:

THIS CSM IS ALL OF TAX PARCEL Nos. 260143500 AND 260143501

THE PROPERTY OWNERS OF RECORD ARE: CATHY L. & RUSSELL G. DREWS

THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENT NO. 1228665

CERTIFIED SURVEY MAP NO. _____

PAGE 3 OF 3

ALL OF CERTIFIED SURVEY MAP NO. 5663 AS RECORDED IN VOLUME 32 OF CERTIFIED SURVEY MAPS ON PAGE 5663 AS RECORDED DOCUMENT NO. 1765694, IN GOVERNMENT LOT 3, SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

OWNER's CERTIFICATE

Russell G. Drews & Cathy L. Drews, as Owners, We hereby certify that we caused the land described on this map to be surveyed, divided and mapped as represented on this map.

Village of Little Chute

Dated this _____ day of _____, 20 ____.

Russell G. Drews

Witness

Cathy L. Drews

Witness

State of Wisconsin)
)ss

 County)

Personally appeared before me on the _____ day of _____, 20_____,
the above named person(s) to me known to be the person(s) who executed the
foregoing instrument, and acknowledged the same.

Notary Public

 County, _____
My commission expires _____

Village of Little Chute
REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Signage update for Commercial Highway District

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 2/12/2021

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

During a recent Variance for a sign in the Commercial Highway District it was noted that there are no limits to how many free-standing signs a property could have. This could be an issue with certain properties that have a large amount of frontage could possibly have 1 freestanding sign for every 10 feet of frontage. The minimal lot width in this district is 100ft, meaning a possibility of 10 freestanding signs of 30sqft each. Upon further review there was also nothing specific on signs in the vision triangle. In order to help ensure that we do not run into this possibility of a sign in the vision triangle and an unsightly amount of signage see the proposed amendment to the existing ordinance in red.

Section 44-51(f)

Permitted accessory signs. For each principal structure the permitted accessory sign for each ten lineal feet of frontage on a public street (frontage being determined by the principal entrance to the premises), a maximum of one sign and 30 square feet of sign area shall be permitted. The sign area may be used in a fewer number of signs than permitted, but the maximum number of signs shall not be exceeded even though the total area permitted is not used. No sign shall be located within five feet of any lot line. **The maximum allowable number of freestanding signs that will be permitted per property is two.** The maximum height of signs is 45 feet, except that signs located within 660 feet of a U.S. highway and more than 660 feet from a residential district have a maximum height of 65 feet. **Signs shall not be located in any vision triangle area of 15 feet at street intersections.** Temporary signs are permitted that comply with [section 44-50\(f\)\(4\)](#).

RECOMMENDATION: To recommend approval of this ordinance amendment to the Village Board.



Date Filed: _____
Fee Paid: (\$175) _____
Verified by _____

APPLICATION: ZONING CHANGE REQUEST FORM

To: Board of Trustees, Village of Little Chute, Outagamie County, WI

Applicant: Village of Little Chute

Applicant named above, files herewith this Request for a change in Zoning of the following described property:

To Rezone the properties on Karen Dr from RC to ID the parcels are listed Below:

Parcel # 260017612, 260430500, 260430600, 260430601, 260017613

Applicant herewith requests the Village Board to change zoning of the above-described property

from: RC- Residential Single Family District

to: ID- Industrial District

2014-01-15 14:44:11

Signed: John W. Miller Dated: 2/24/2021

Attach a Scale Map (1" = 100') showing the area requested to be rezoned including all areas within 300 feet of the area requested. Attach a list of owners' names and addresses of all properties lying within 100 feet of the area proposed to be rezoned. Attach any documents the applicant may wish to include which may be of guidance or interest to the Village Board and Plan Commission.

(See reverse)

Sec. 44-488. Procedures.

(a) Request for changes. Petitions for any change to the district boundaries and map or amendments to the text regulations shall be addressed to the village board and shall be filed with the zoning administrator, describe the premises to be rezoned or the portions of text of regulations to be amended, list the reasons justifying the petition, specify the proposed use, if applicable, and have attached the following, if petition be for change of district boundaries:

- (1) Plot plan, drawn to a scale of one inch equals 100 feet showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts and the location and existing use of all properties within 300 feet of the area proposed to be rezoned.
- (2) Owners' names and addresses of all properties lying within 100 feet of the area proposed to be rezoned.
- (3) Together with additional information as may be required by the plan commission or village board.

(b) Recommendations. The village board or the zoning administrator shall cause the petition to be forwarded to the plan commission for its consideration and recommendation. The plan commission shall review all proposed amendments to the text and zoning map within the corporate limits and shall recommend by majority vote that the petition be granted as requested, modified or denied. In arriving at its recommendation, the commission may on occasion, of its own volition, conduct its own public hearing on proposed amendment.

(c) Hearings.

- (1) The village board, following submittal to the plan commission, shall hold a public hearing upon each proposed change or amendment, giving notice of the time, place and the change or amendment proposed by publication of a Class 2 notice, under Wis. Stats. ch. 985. At least ten days' prior written notice shall also be given to the clerk of any municipality within 1,000 feet of any land to be affected by the proposed change or amendment. Failure to comply with this provision shall not, however, invalidate any previous or subsequent action on the application.
- (2) The village board shall hold public hearings as required under this section.

(d) Board's action. Following such hearing and after consideration of the plan commission's recommendations, the village board shall vote on the proposed ordinance effecting the proposed change or amendment.

(e) Fee. The fee for a Zoning Code change or amendment shall be \$175.00 and shall be paid upon filing.

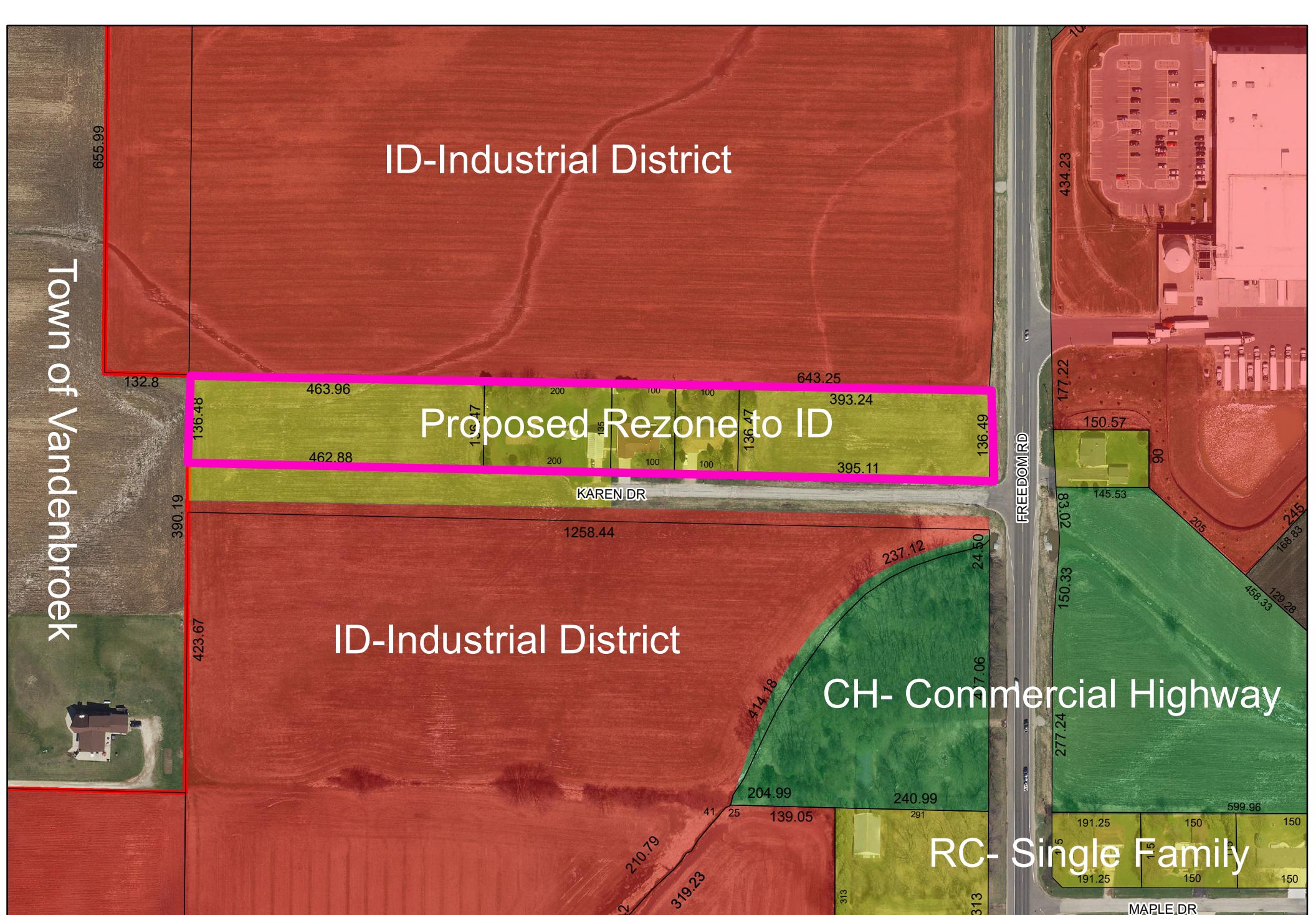
(Code 2006, § 13-1-262; Ord. No. 25(Ser. of 2005), 11-2-2005; Ord. No. 16(Ser. of 2006), 10-18-2006)

Sec. 44-489. Protest.

(a) In the event of a protest against amendment to the zoning map, duly signed and acknowledged by the owners of 20 percent or more, either of the areas of the land included in such proposed change, or by the owners of 20 percent or more of the land immediately adjacent extending 100 feet therefrom, or by the owners of 20 percent or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land, such changes or amendments shall not become effective except by the favorable vote of three-fourths of the village board membership voting on the proposed change.

(b) In the event of protest against amendment to the text of the regulations of this zoning chapter, duly signed and acknowledged by 20 percent of the number of persons casting ballots in the last general election, it shall cause a three-fourths vote of the village board membership voting to adopt such amendment.

(Code 2006, § 13-1-263)



Village of Little Chute
REQUEST FOR PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Site Plan Review MFR Expansion

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 3/3/2021

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

A Site Plan has been submitted to the Village for an addition onto the Outagamie County Recycling and solid waste existing Material Processing Facility. Due to this site being under a conditional use this is coming before the Plan Commission for approval. The proposed addition is 1 story and will be about 2,502 sqft. This new space will house the facilities maintenance shop and support the future installation of a new baler machine. See attached plans for details on the addition.

RECOMMENDATION: To approve site plan

Martenson & Eisele, Inc.

Plan It. Design It. Build It.®

Planning • Environmental • Surveying • Engineering • Architecture

1.k. Hazardous Materials

No hazardous materials will be stored on site

1.n. Parking

Municipal Zoning Code Sec.44-53(g)(1): For manufacturing and service uses the requirement is one space per employee on maximum shift.

No. Existing Employees (maximum): 50

No. Proposed Future Employees (maximum): 50

No. Proposed Parking Spaces (facility total): 82 (No work to parking)

No. Handicapped Accessible Spaces: 2 required, 2 provided
(Per IBC Table 1106.1)

1.z. Signage

No new signage is proposed as part of this development. An existing sign is located at the south driveway on the property. This existing sign is to remain unchanged.



1.aa. Fences and Retaining Walls

No new fencing or retaining walls are included in the proposed work. An existing fence is located near the office area, facing Holland Road. This fence is black, chain link. An existing concrete block retaining wall located east of the development will remain unmodified. This wall varies in height, up to approximately 5 feet, and conceals vehicles approaching the scales from a line of site to Holland Rd. Existing evergreen trees along the retaining wall further conceal the scale area. The building addition will be almost completely concealed from Holland Road.



Martenson & Eisele, Inc.

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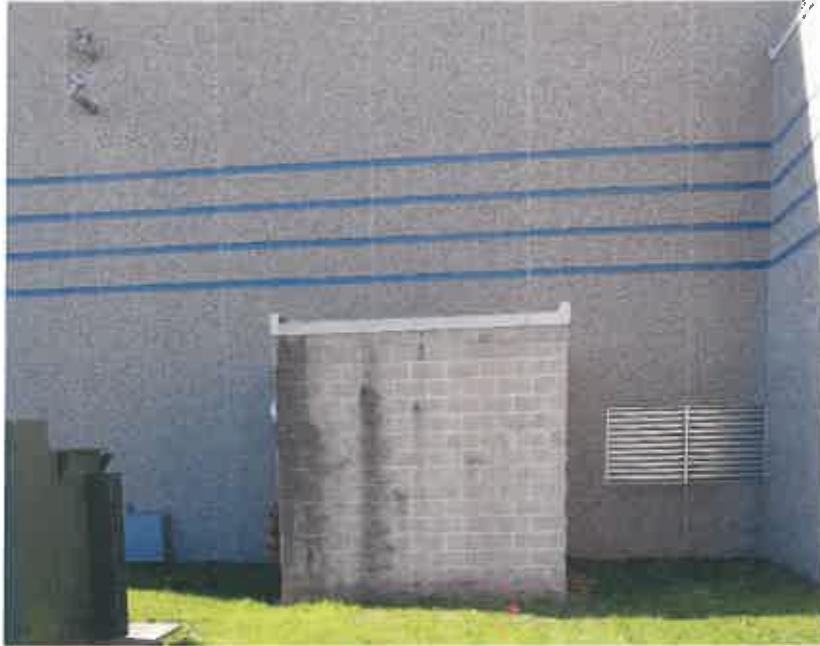
Planning - Environmental - Surveying - Engineering - Architecture



View from Holland Rd. Arrow indicates location of addition behind existing landscaping to remain.

5.c. Exterior Materials

The existing building is constructed of precast concrete wall panels with an exposed aggregate in a warm gray color range. The exterior walls of the proposed addition will be constructed of the same material, color to match.

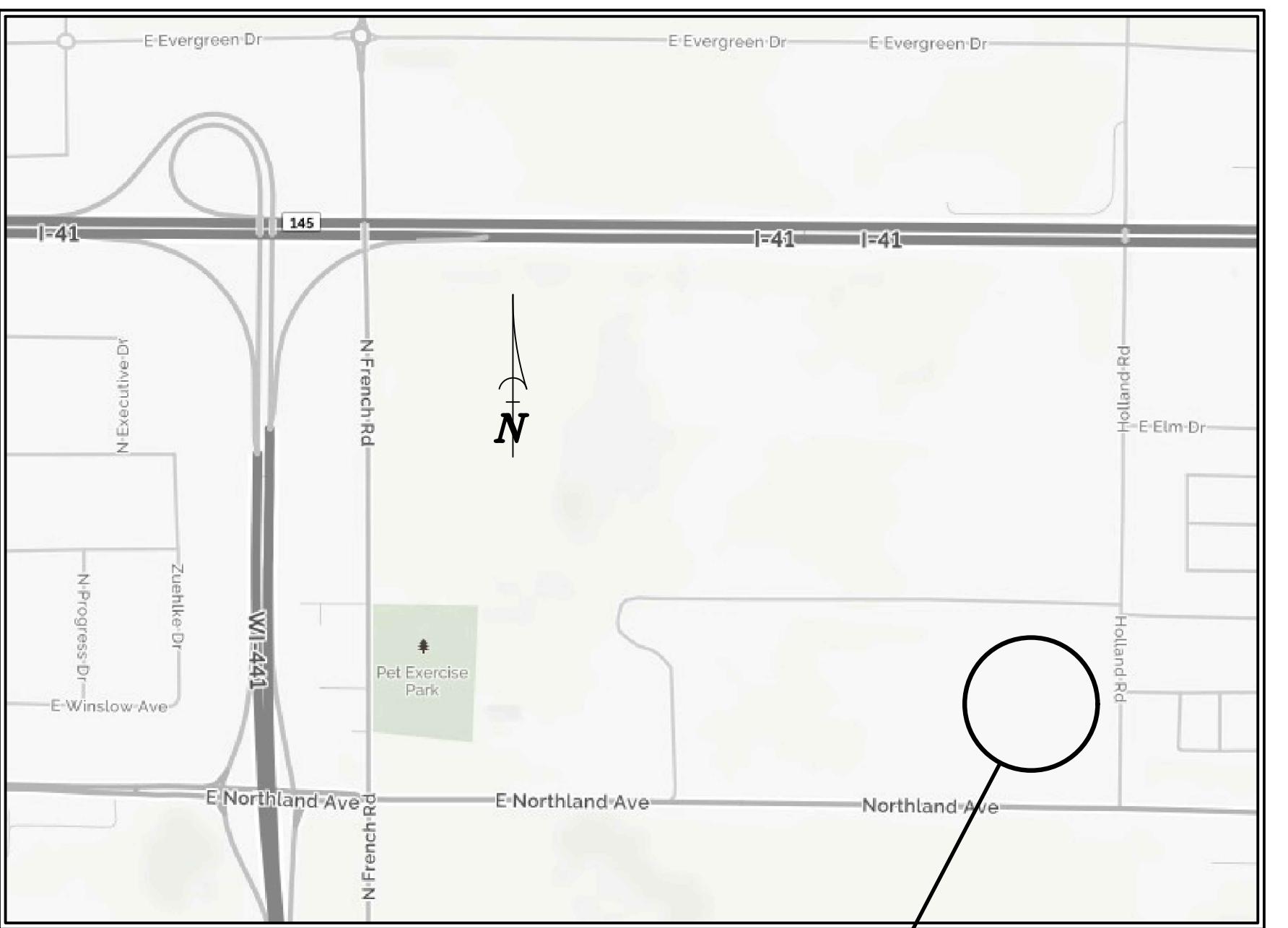


OUTAGAMIE COUNTY MRF EXPANSION

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

LOCATION MAP

INDEX OF SHEETS	
DRAWING NO.	DESCRIPTION:
C1.1	COVER SHEET
C2.1	SITE / DRAINAGE PLAN
C3.1	DEMOLITION PLAN
C4.1	STANDARD DETAIL DRAWINGS



SITE
LOCATION

PERTINENT CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY		
VILLAGE OF LITTLE CHUTE	DAVE KITTEL	920-423-3870
OWNER		
OUTAGAMIE COUNTY		920-832-5277
ENGINEER / SURVEYOR		
MARTENSON & EISELE, INC.	JACK RICHESON	920-731-0381
MARTENSON & EISELE, INC.	CHRIS CLEARY	920-731-0381
MARTENSON & EISELE, INC.	GARY ZAHRINGER	920-731-0381
MARTENSON & EISELE, INC.	MIKE ROBAL	920-731-0381
UTILITY COMPANIES		
WE-ENERGIES	TOM BORCHART	920-380-3449
WE-ENERGIES	HEATHER DWORAK	920-242-5633
CHARTER COMMUNICATIONS	JASON ORR	920-378-0352
AT&T	GARY LAABS	920-860-6588



REVISION TRACKERS

DESIGN DEVELOPMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION
1	2/23/2021	BID SET

CONSTRUCTION DOCUMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION

RECORD DRAWING REVISION TRACKER		
NO.	DATE	DESCRIPTION

COVER SHEET

OUTAGAMIE COUNTY MRF EXPANSION

VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

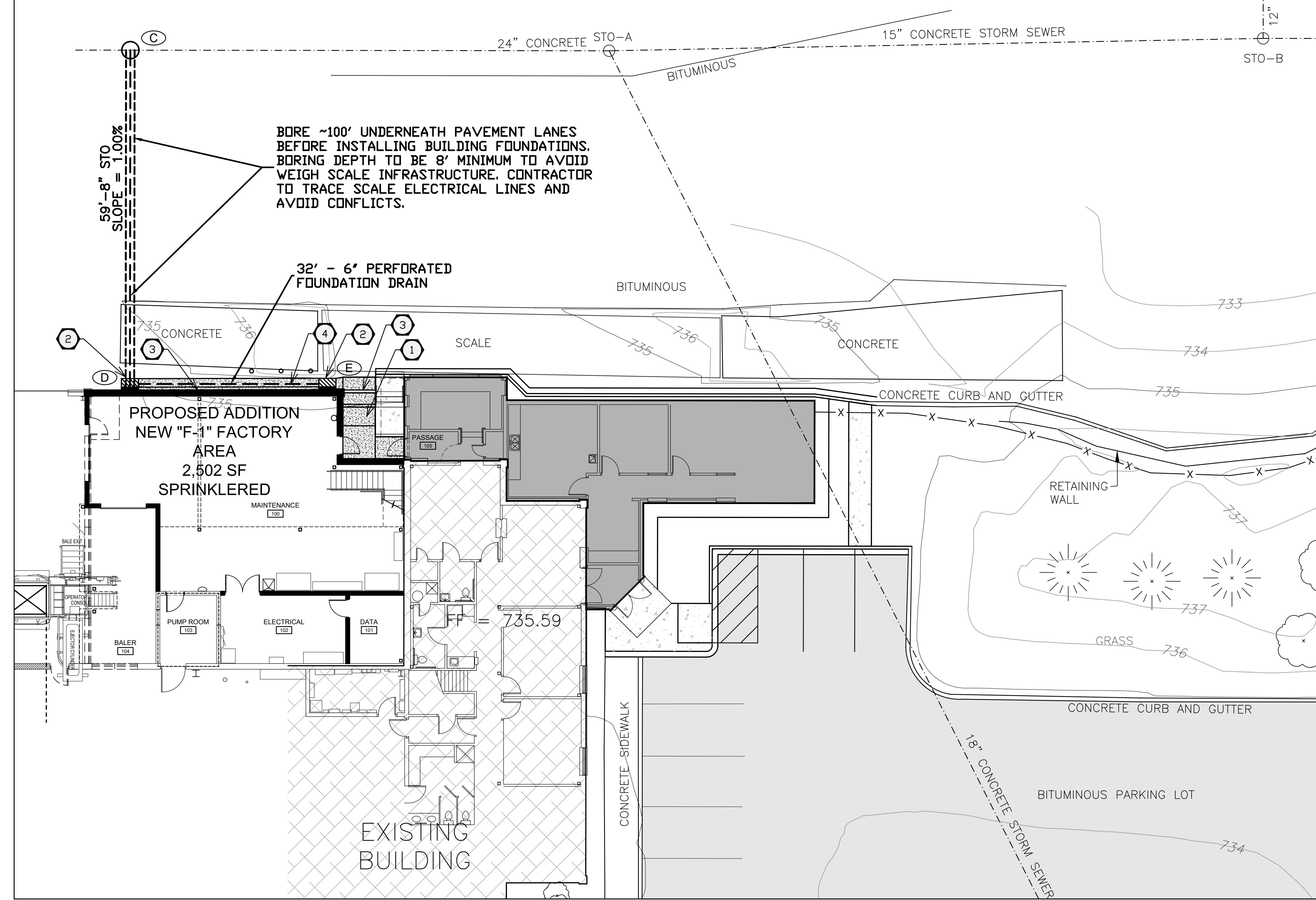
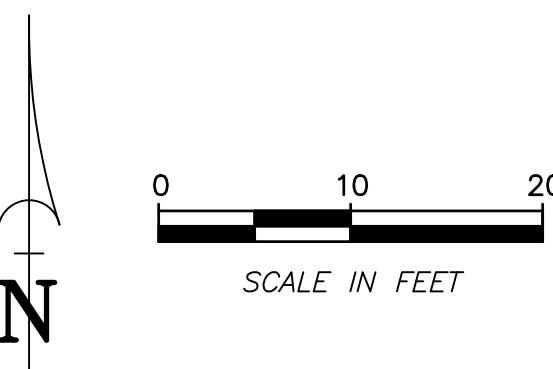
Martenson & Eisele, Inc.
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1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

SCALE
BAR SCALE 01-28-2021

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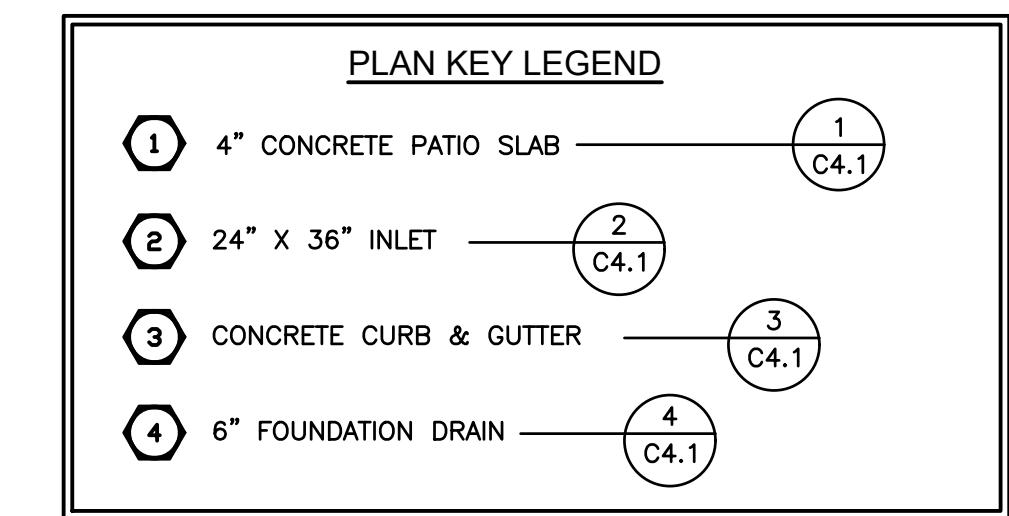
DRAWING NO.
C1.1

SITE / DRAINAGE PLAN



EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
STO-A	734.64	722.14 SE-W	12.50 SE-W
	734.64	723.64 E	11.00 E
STO-B	731.73	726.88 W	4.85 W
	732.73	728.43 +/- N-E	4.30 +/- N-E
INL-A	733.17	726.32 NE-S	6.85 NE-S
INL-B	731.00		
SAN-1	735.49		

PROPOSED UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
INL-C	734.65	~722.00 Existing 727.70 S (OUTSIDE DROP)	12.65
INL-D	734.85	728.30 W 726.85 NE	8.00
INL-E	734.60	728.60 E	6.00



SITE/PROJECT INFORMATION

PROPERTY ADDRESS:
OUTAGAMIE COUNTY RECYCLING OFFICE
1313 & 1419 HOLLAND ROAD,
LITTLE CHUTE, WI 54956
PARCEL NUMBER: 260400700

OWNER/APPLICANT:

OUTAGAMIE COUNTY
1410 S. WALNUT STREET
APPLETON, WI 54911
PHONE: (920) 832-5277

LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 LESS N200FT OF S744FT OF E259FT, SEC17 T21N R18E 38.81 ACRES, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

ENGINEER:

MARTENSON & EISELE, INC.
ATTN: MICHAEL SIEWERT, P.E.
1377 MIDWAY ROAD
MENASHA, WI 54952
mikes@martenson-eisele.com
PHONE: 920-731-0381

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM-1	TAG BOLT ON HYDRANT	736.25
BM-2	TAG BOLT ON HYDRANT	736.45

DRAINAGE PLAN LEGEND		
000	EXISTING CONTOUR	X 000.00 PROPOSED ELEVATION
000	PROPOSED CONTOUR	X (000.00) PERTINENT DITCH OR SWALE ELEVATION
- - -	STORM SEWER MAIN	+ 89.73 EXISTING ELEVATION
○	STORM MANHOLE	000.00 FIRST FLOOR ELEVATION
■	2' x 3' PRECAST STORM INLET	← DIRECTION OF DRAINAGE

SITE PLAN NOTES		
1.	ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE OF LITTLE CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.	
2.	ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.	
3.	ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.	
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.	
5.	NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.	
6.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.	
7.	NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.	

TOPOGRAPHIC LEGEND		
— OH —	OVERHEAD POWER LINES	○ GAS VALVE
▲ — E —	1-1/4" x 30' REBAR SET	○ EXIST. STORM MANHOLE
— T —	CHISELED "X" SET	— STORM INLET
○ — F —	3/4" REBAR FOUND	— YARD DRAIN
— FIBER —	1" IRON PIPE FOUND	○ EXIST. SAN. SEWER
— G — G —	1-1/4" REBAR FOUND	— EXIST. STO. SEWER
— CATV —	CHISELED "X" FOUND	— EXIST. WATER MAIN
— X — X —	GOVERNMENT CORNER	— EXIST. SPOT ELEVATION
— C —	RECORDED AS	— 000.00 CONTOUR W/ ELEVATION
— C —		000.0000 EXIST. TOP OF CURB ELEV.
— C —		000.0000 EXIST. FLOW LINE ELEV.
— C —		FT = 000.00 FIRST FLOOR = 000.00
— C —		TOPSOIL DEPTH
— C —		INfiltration SOIL BORING

SCALE	DATE
BAR SCALE	01-28-2021
COMPUTER FILE	1-0915-005de.dwg
DRAWING NO.	C2.1

Martenson & Eisele, Inc.
1377 Midway Road
Menasha, WI 54952
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info@martenson-eisele.com
920.731.0381

SITE / DRAINAGE PLAN
OUTAGAMIE COUNTY
MRF EXPANSION
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

DEMOLITION PLAN

SCALE IN FEET

This architectural site plan illustrates the construction details for a building foundation and driveway. The plan shows an 'EXISTING BUILDING' with a hatched pattern. To the right, a 'COURTYARD' is being cleared, with a note indicating 'CLEAR OUT 2,581 S.F. COURTYARD INCLUDING CONCRETE UTILITY PAD, SHED BASES, ETC. TOPSOIL AND SUBSOIL TO BE REMOVED TO PREP FOR BUILDING FOUNDATION STONE BASE.' The elevation 'FF = 735.59' is marked for the building's foundation. A 'CONCRETE SIDEWALK' is shown adjacent to the building. To the left, a 'SCALE' is indicated. A 'BITUMINOUS' surface is shown with a '24" CONCRETE STO-A' and a '15" CONCRETE STORM SEWER'. A note 'REMOVE 50 L.F. CURB AND GUTTER' is present. To the right, a 'BITUMINOUS PARKING LOT' is shown with a '18" CONCRETE CURB AND GUTTER' and a 'RETAINING WALL'. A 'RAMP' is also indicated. The plan includes elevation markers such as 735, 736, and 735.59, and labels for 'AC', 'CLOUDS', and 'RAMP'.

DEMOLITION PLAN NOTES

1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE OF LITTLE CHUTE AND O.S.H.A. STANDARDS AND CODES.
3. THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
4. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
7. CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

TOPOGRAPHIC LEGEND

■	1" x 18" IRON PIPE SET	—OH—	OVERHEAD POWER LINES
▲	1-1/4" x 30" REBAR SET	—E—E—	UNDERGROUND ELECTRIC
X	CHISELED "X" SET	—T—T—	UNDERGROUND TELEPHONE
○	3/4" REBAR FOUND	—FIBER—	UNDERGROUND FIBEROPTIC
□	1" IRON PIPE FOUND	—G—G—	UNDERGROUND GAS
△	1-1/4" REBAR FOUND	—CATV—	UNDERGROUND CABLE TV
■	2" IRON PIPE FOUND	—X—X—	EXIST. FENCE LINE
⊗	CHISELED 'X' FOUND	◆	SIGN
⊕	GOVERNMENT CORNER	○	POWER POLE
()	RECORDED AS	○	GUY
☀	CONIFEROUS TREE	○	LIGHT POLE
Ѡ	DECIDUOUS TREE	■	TELEPHONE PEDESTAL
~~~~~	EXIST. WOODS LINE	□	ELECTRIC PEDESTAL
↓	WETLANDS	□	CABLE PEDESTAL
⊕	SOIL BORING	○	EXIST. HYDRANT
		×	WATER VALVE
		☒	WATER STOP BOX
		90.00	EXIST. SPOT ELEVATION
		~000	CONTOUR W/ ELEVATION
		000.00tc	EXIST. TOP OF CURB ELEV.
		000.00fl	EXIST. FLOW LINE ELEV.
		FF = 000.00	FIRST FLOOR = 000.00
		TD	TOPSOIL DEPTH
		◆	INFILTRATION SOIL BORING

DRAWING NO.  
C3.1

# DEMOLITION PLAN

# OUTAGAMIE COUNTY

# MRF EXPANSION

# WILDFAWN

**Marten森 & Eisele, Inc.**

1377 Midway Road  
Menasha, WI 54952

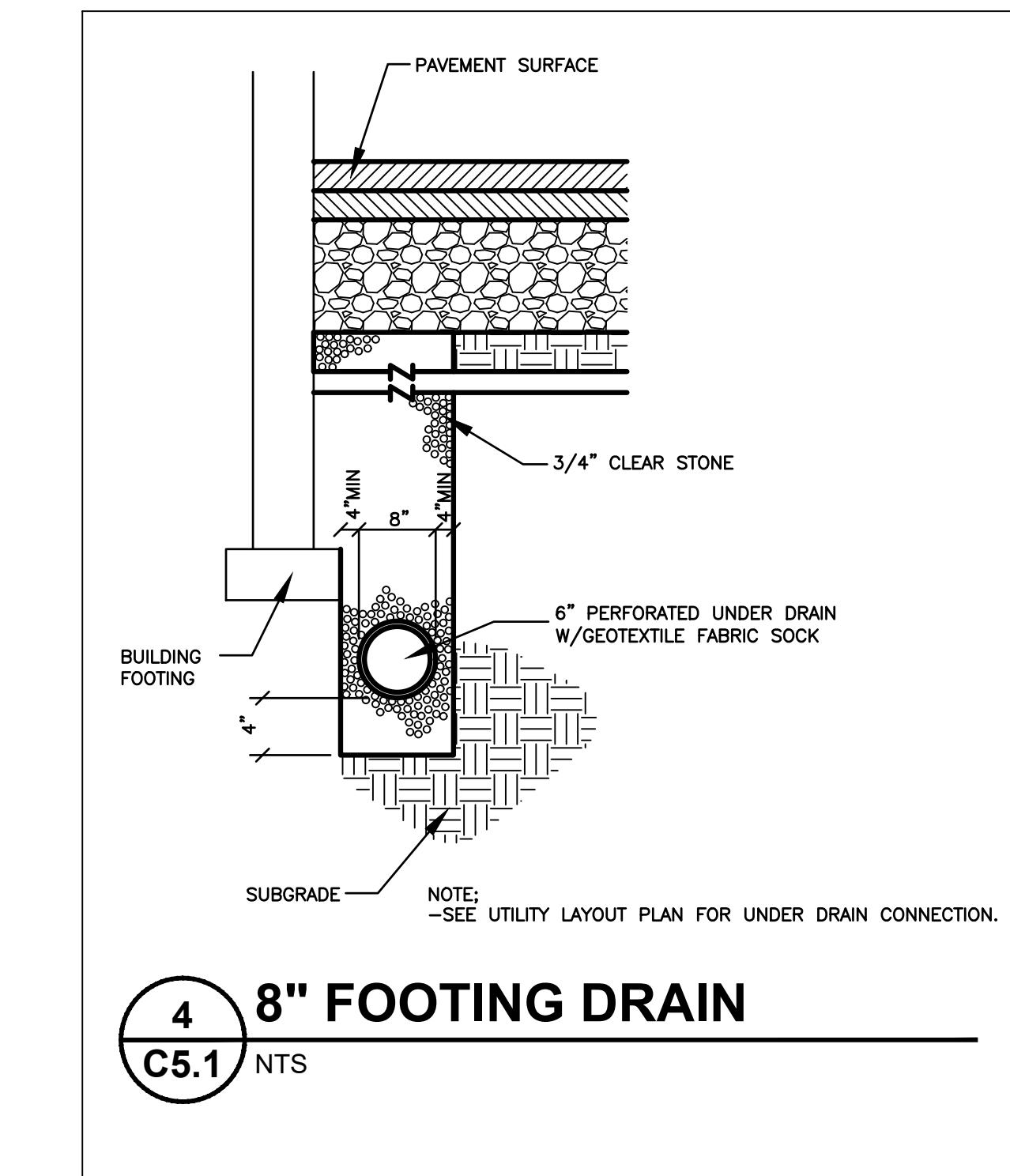
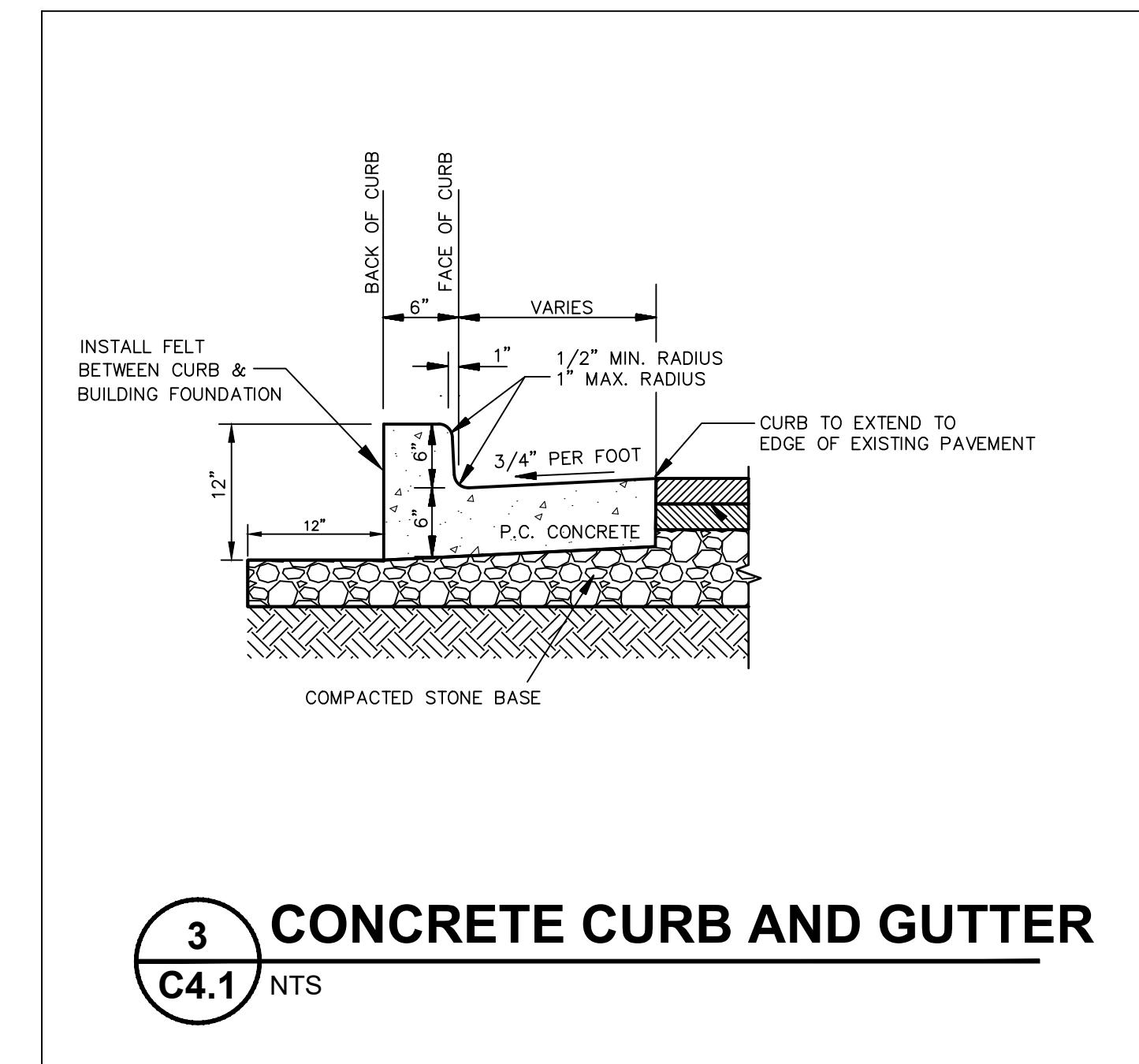
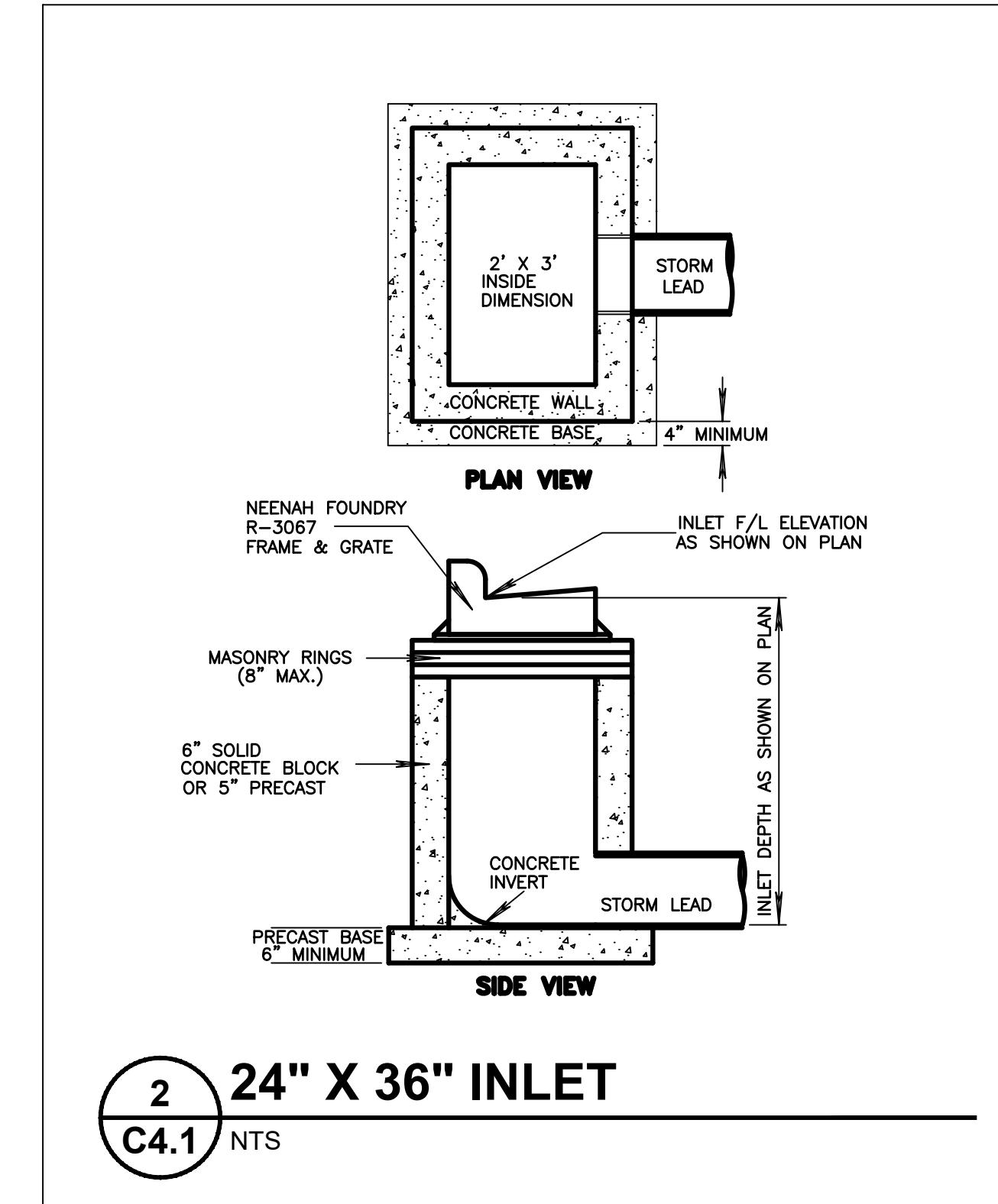
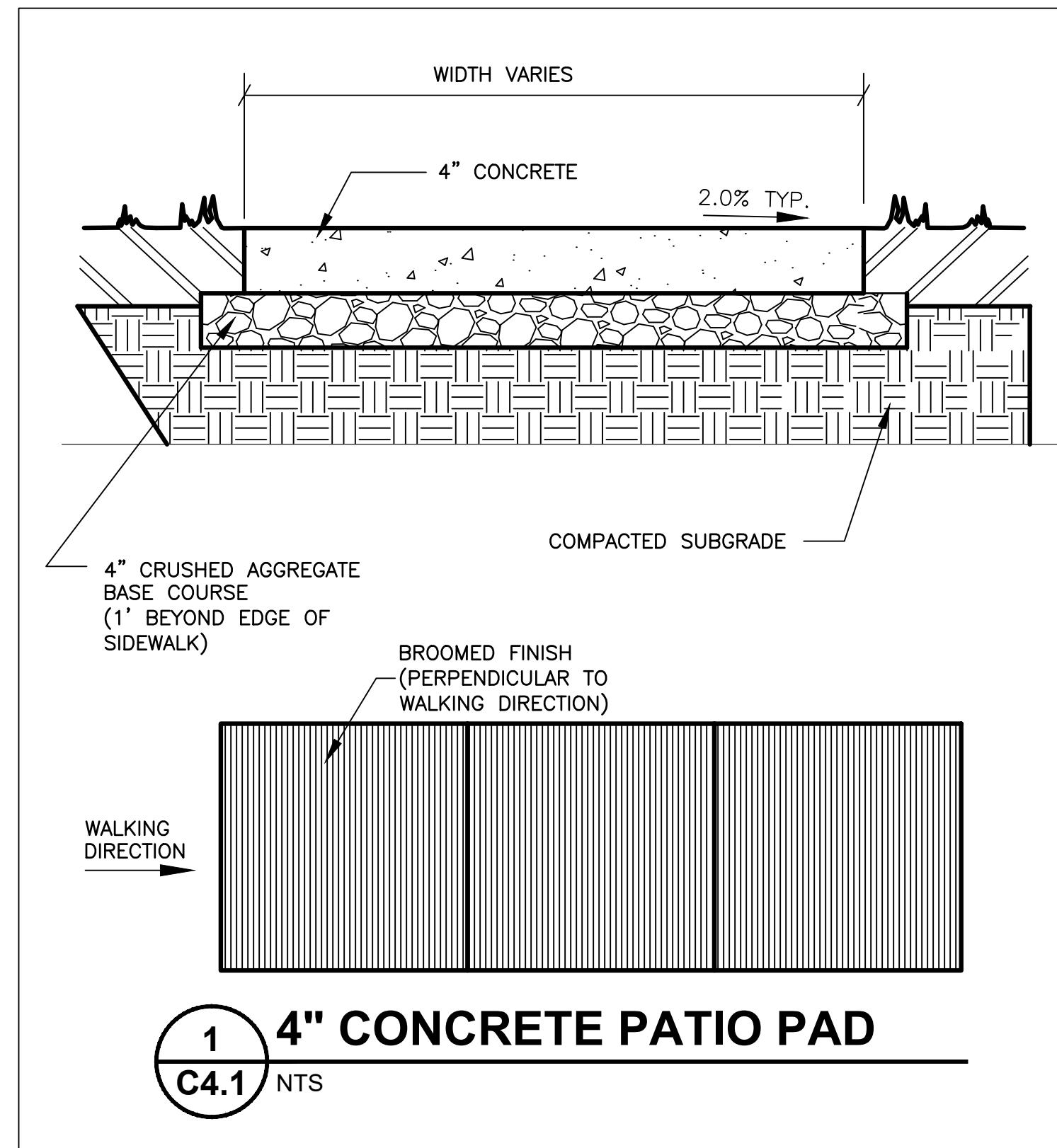
[www.martenson-eisele.com](http://www.martenson-eisele.com)  
[info@martenson-eisele.com](mailto:info@martenson-eisele.com)  
920.731.0381 1.800.236.0381

Planning  
Environmental  
Surveying  
Engineering  
Architecture

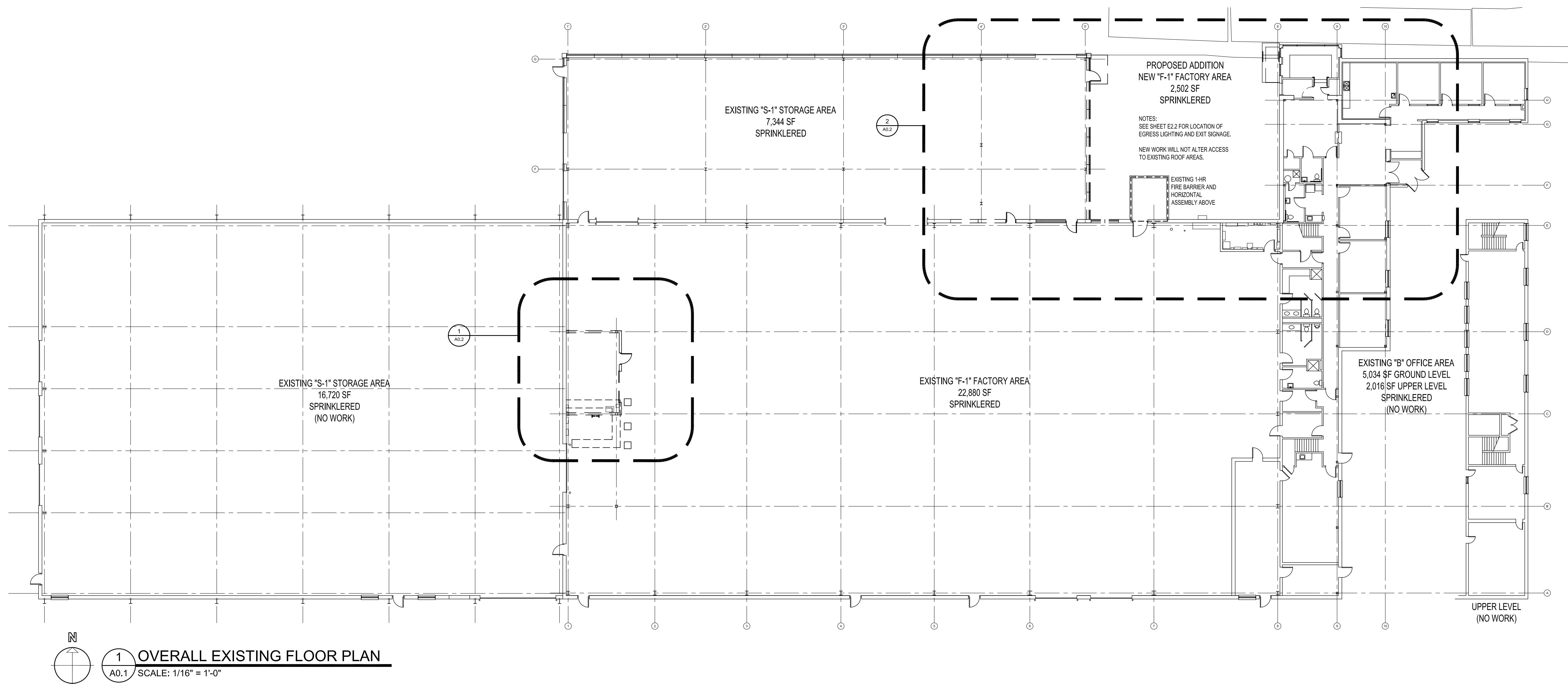
SCALE	DATE
BAR SCALE	01-28-2021
COMPUTER FILE	

DRAWING NO.  
C3.1

# STANDARD DETAIL DRAWINGS



<b>STANDARD DETAIL DRAWINGS</b> <b>OUTAGAMIE COUNTY</b> <b>MRF EXPANSION</b> <small>VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN</small>					
<b>Martenson &amp; Eisele, Inc.</b> <small>Planning Environmental Surveying Engineering Architecture</small>					
<b>1</b> <b>4" CONCRETE PATIO PAD</b> <b>C4.1 NTS</b>	<b>2</b> <b>24" X 36" INLET</b> <b>C4.1 NTS</b>	<b>3</b> <b>CONCRETE CURB AND GUTTER</b> <b>C4.1 NTS</b>	<b>4</b> <b>8" FOOTING DRAIN</b> <b>C5.1 NTS</b>	<b>5</b> <b>STORM DRAINS</b> <b>C5.1 NTS</b>	<b>6</b> <b>STORM DRAINS</b> <b>C5.1 NTS</b>
DRAWN BY CRC NO. 2/23/2021	CHECKED BY J.R. NO. 2/23/2021	APPROVED BY M.S. NO. 2/23/2021	FIELDWORK M.L.R. NO. 2/23/2021	REVISION NO. 2/23/2021	REVISION NO. 2/23/2021
SCALE BAR SCALE COMPUTER FILE	DATE 01-28-2021 1-0915-005de.dwg	DATE 01-28-2021	DATE 01-28-2021	DATE 01-28-2021	DATE 01-28-2021
<small>DRAWING NO. C4.1</small>					



PROPOSED ADDITION  
 NEW 'F-1' FACTORY AREA  
 2,502 SF  
 SPRINKLERED

NOTES:  
 SEE SHEET E2.2 FOR LOCATION OF  
 EGRESS LIGHTING AND EXIT SIGNAGE.

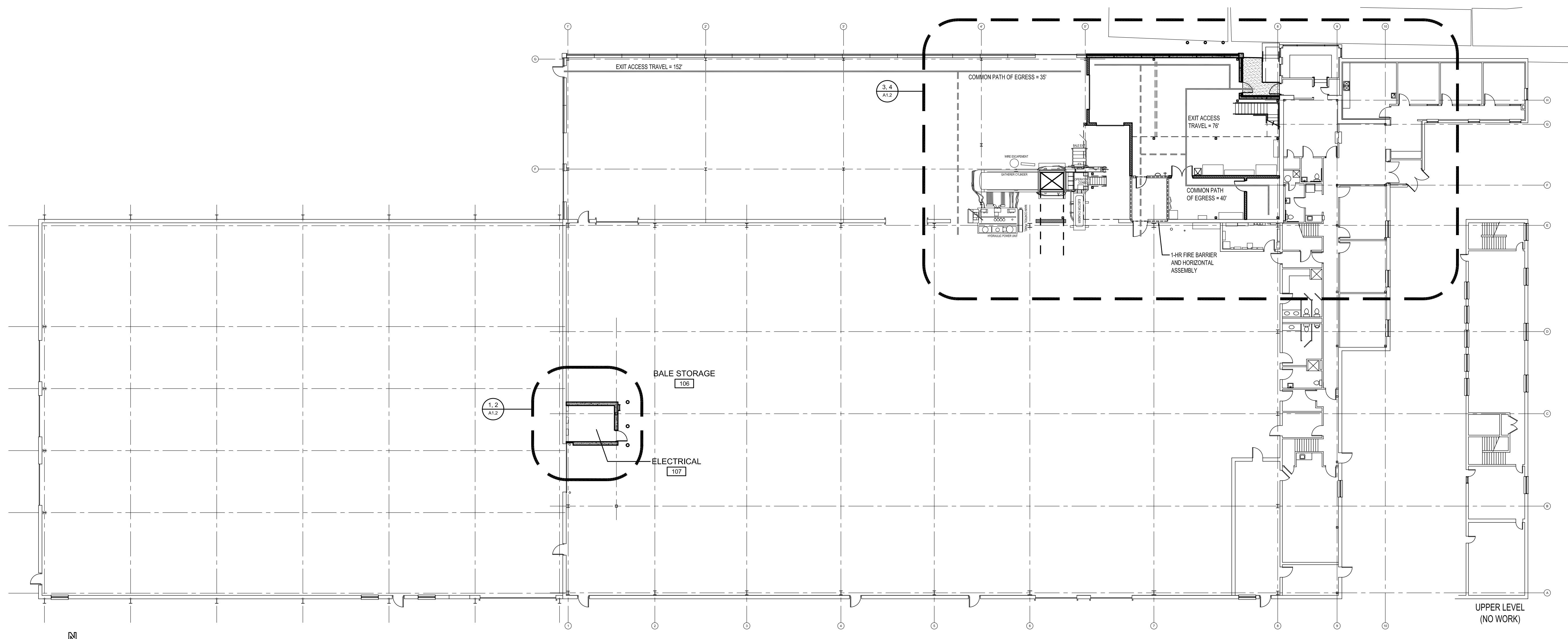
NEW WORK WILL NOT ALTER ACCESS  
 TO EXISTING ROOF AREAS.

EXISTING 1-HR FIRE BARRIER AND HORIZONTAL ASSEMBLY ABOVE

EXISTING 'B' OFFICE AREA  
 5,034 SF GROUND LEVEL  
 2,016 SF UPPER LEVEL  
 SPRINKLERED (NO WORK)

UPPER LEVEL  
 (NO WORK)

NO.	DRAWN BY	CHECKED	APPROVED	REVISION
1				



OUTAGAMIE COUNTY  
DEPARTMENT OF RECYCLING AND SOLID WASTE  
MATERIAL RECOVERY FACILITY EXPANSION  
1419 HOLLAND ROAD | LITTLE CHUTE, WISCONSIN 54911

SCALE	DATE
1/16" = 1'-0"	02-11-2021
PROJECT NUMBER	
1-0915-005	

OVERALL  
NEW  
FLOOR PLAN

DRAWING NO.  
A1.1

**Martenson & Eisele, Inc.**  
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Engineering  
Architecture  
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#### NEW CONSTRUCTION GENERAL NOTES

INTERIOR WALLS ARE DIMENSIONED STUD TO STUD OR TO NOMINAL FACE OF BLOCK UNLESS NOTED OTHERWISE.  
DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS OR NOTES SHALL DETERMINE. IF THERE ARE MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ARCHITECT PRIOR TO FABRICATION OR CONSTRUCTION.  
PROVIDE BACKING/BLOCKING AS REQUIRED FOR OWNER'S EQUIPMENT AS REQUIRED. COORDINATE LOCATION WITH OWNER.  
COORDINATE LOCATION OF NEW FLOOR DRAINS WITH PLUMBING CONTRACTOR.  
LOCATIONS OF EQUIPMENT ARE APPROXIMATE ON THIS DRAWING. VERIFY EXACT PLACEMENT WITH OWNER AND/OR EQUIPMENT SUPPLIER.

#### NEW CONSTRUCTION PLAN NOTES

- ① THIS SECTION OF GUARDRAIL TO BE REMOVABLE. SEE 1/A3.3. COORDINATE TO ALIGN OPENING WITH MONORAIL CRANE SYSTEM.
- ② FUTURE NEW BALER BY OWNER.
- ③ MONORAIL CRANE SYSTEM.
- ④ EYEWASH STATION. SEE PLUMBING DRAWINGS AND SPECIFICATIONS.
- ⑤ NEW PRECAST WALL PANEL, MATCH EXISTING COLOR AND TEXTURE.
- ⑥ EXISTING PRECAST WALL PANEL RELOCATED.
- ⑦ EXISTING PRECAST WALL PANEL WITH DOOR, RELOCATED.
- ⑧ NEW CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAIL 2/A1.4.
- ⑨ NEW CONCRETE FILLED STEEL PIPE BOLLARD. CENTER BOLLARDS AT RELOCATED FIRE DEPARTMENT TEST CONNECTION. SEE DETAIL 1/A4.1.
- ⑩ EXISTING BALER FEED OVERHEAD.
- ⑪ NEW LADDER TO ROOF ACCESS HATCH, SEE DETAIL 1/A3.1.
- ⑫ NEW LADDER TO PLATFORM ABOVE. SEE 4/A3.4.
- ⑬ FURNISHINGS AND EQUIPMENT BY OWNER.
- ⑭ UTILITY SINK. SEE PLUMBING DRAWINGS AND SPECIFICATIONS.
- ⑮ WALL HUNG FIRE EXTINGUISHER.
- ⑯ SEE M1.1 FOR COMPRESSORS.
- ⑰ WHERE NEW STEEL BEAMS PENETRATE EXISTING RATED MASONRY WALL ASSEMBLY AT ROOM 103, GROUT VOIDS FILL WITH SILICICUS CONCRETE TO FULL DEPTH OF WALL.
- ⑱ AT UNDERSIDE OF CELLULAR STEEL DECK AND STEEL BEAMS EXPOSED IN ROOM 103, PROVIDE  $\frac{1}{2}$ " THICKNESS SPRAY-APPLIED FIRE RESISTIVE MATERIAL PER UL DESIGN NO. D978 TO ACHIEVE 1-HR RATED HORIZONTAL ASSEMBLY.

#### FIRE RATED CONSTRUCTION

UL DESIGN NO. D978  
1-HR FIRE RATED HORIZONTAL ASSEMBLY

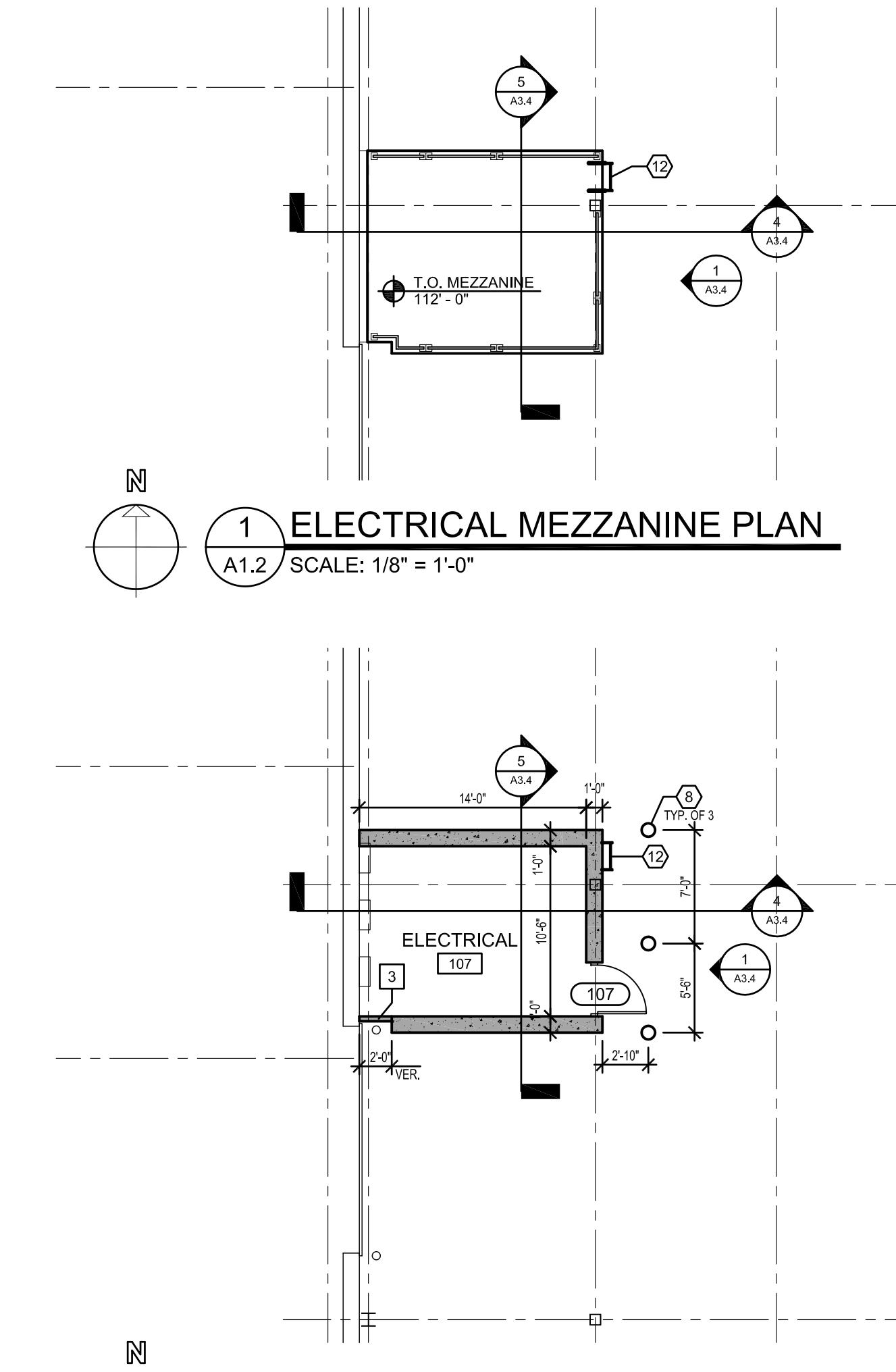
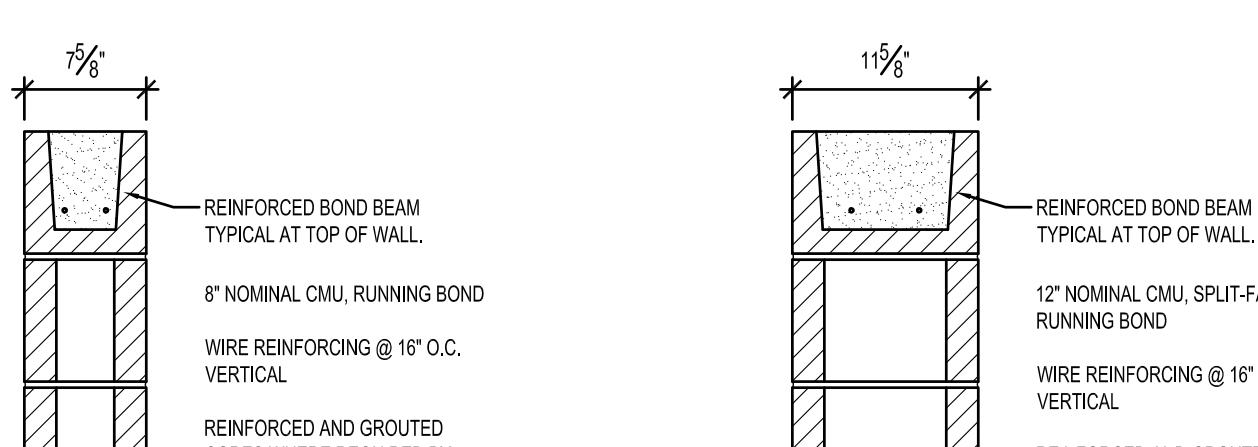
Beam - W8X20, min size.

Light-Weight Concrete - Expanded shale, clay, or slate aggregate by rotary-kiln method, or expanded by clay, shale or flyash aggregate by the sintered grate process, 111+ or 3pcf unit weight, 3000 psi compressive strength, vibrated, 4 to 7 per cent entrained air.

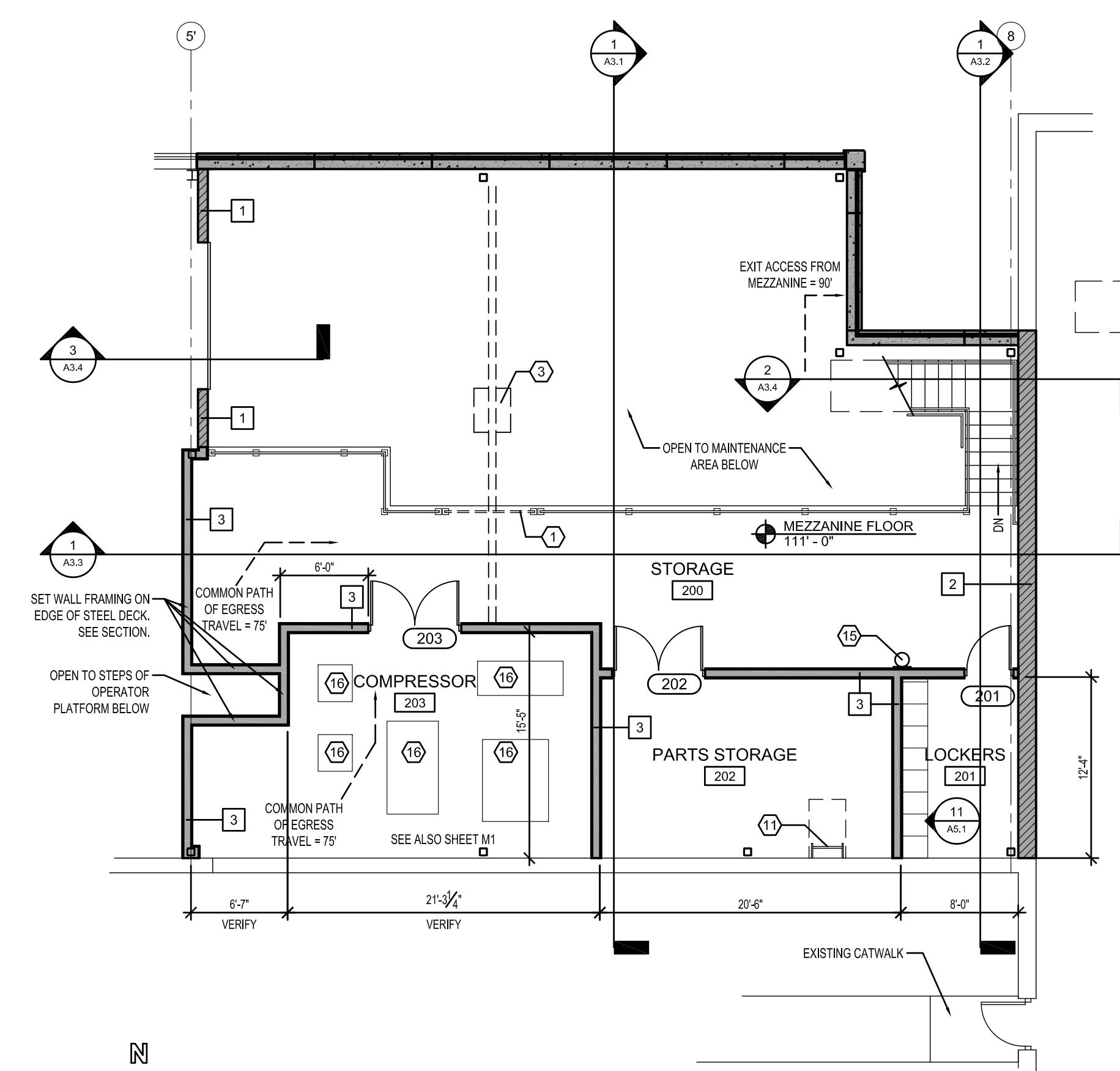
Steel Floor and Form Units - Composite 1-1/2, 2, or 3 in. deep galv units. Fluted units may be phosphated/painted. Min gauges are 20 MSG for fluted and 20/20 MSG for cellular and partial cellular units.

Spray-Applied Fire Resistant Materials - Applied by spraying with water in one or more coats to final unthinned thickness (.34") to achieve 1-HR rating) to steel surfaces which are free of dirt, loose scale and oil. Tamping is optional. Min avg density of 13 pcf with min ind density of 11 pcf.

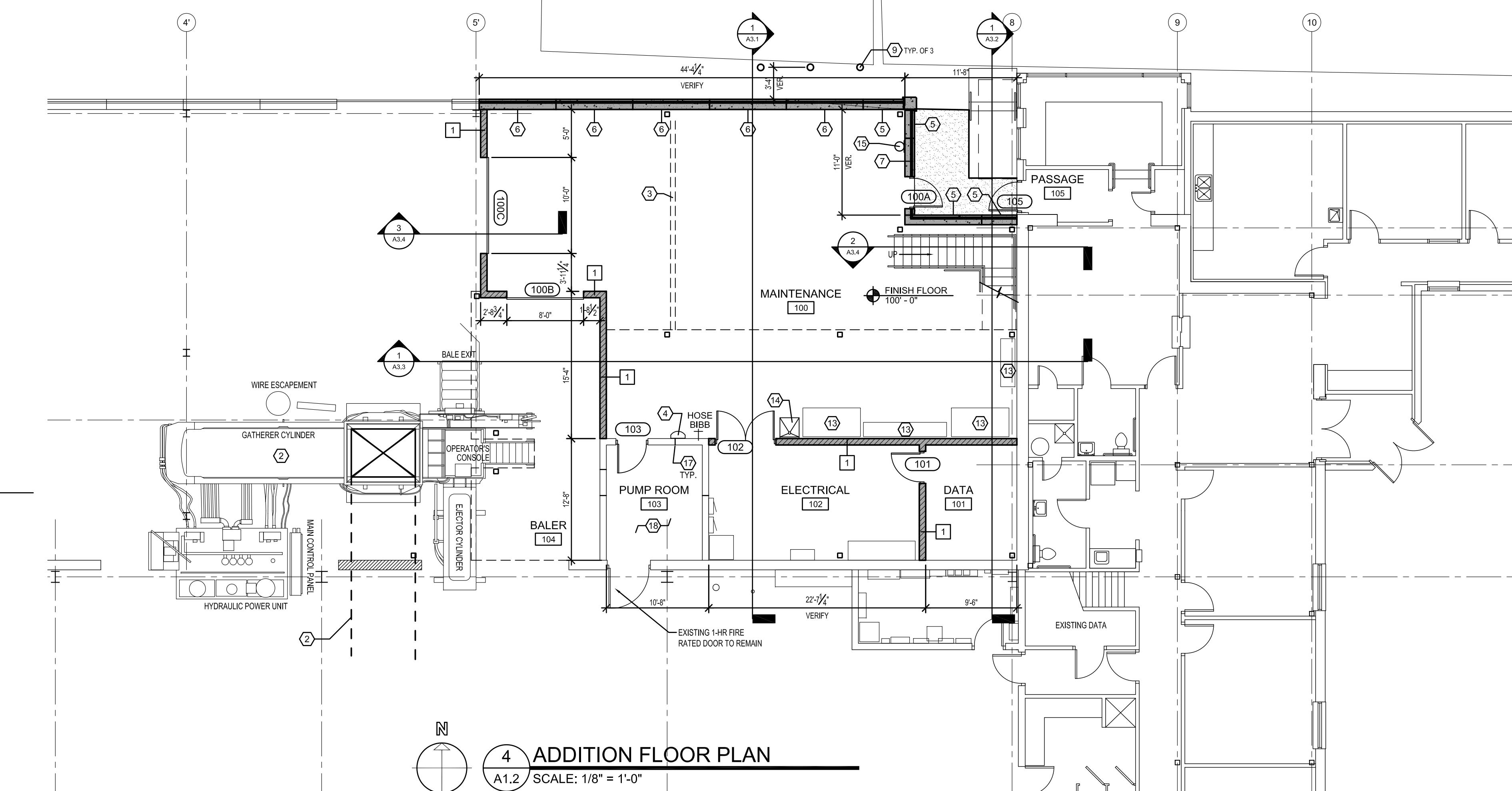
#### WALL TYPES



1 ELECTRICAL MEZZANINE PLAN  
A1.2 SCALE: 1/8" = 1'-0"



3 MEZZANINE PLAN  
A1.2 SCALE: 1/8" = 1'-0"

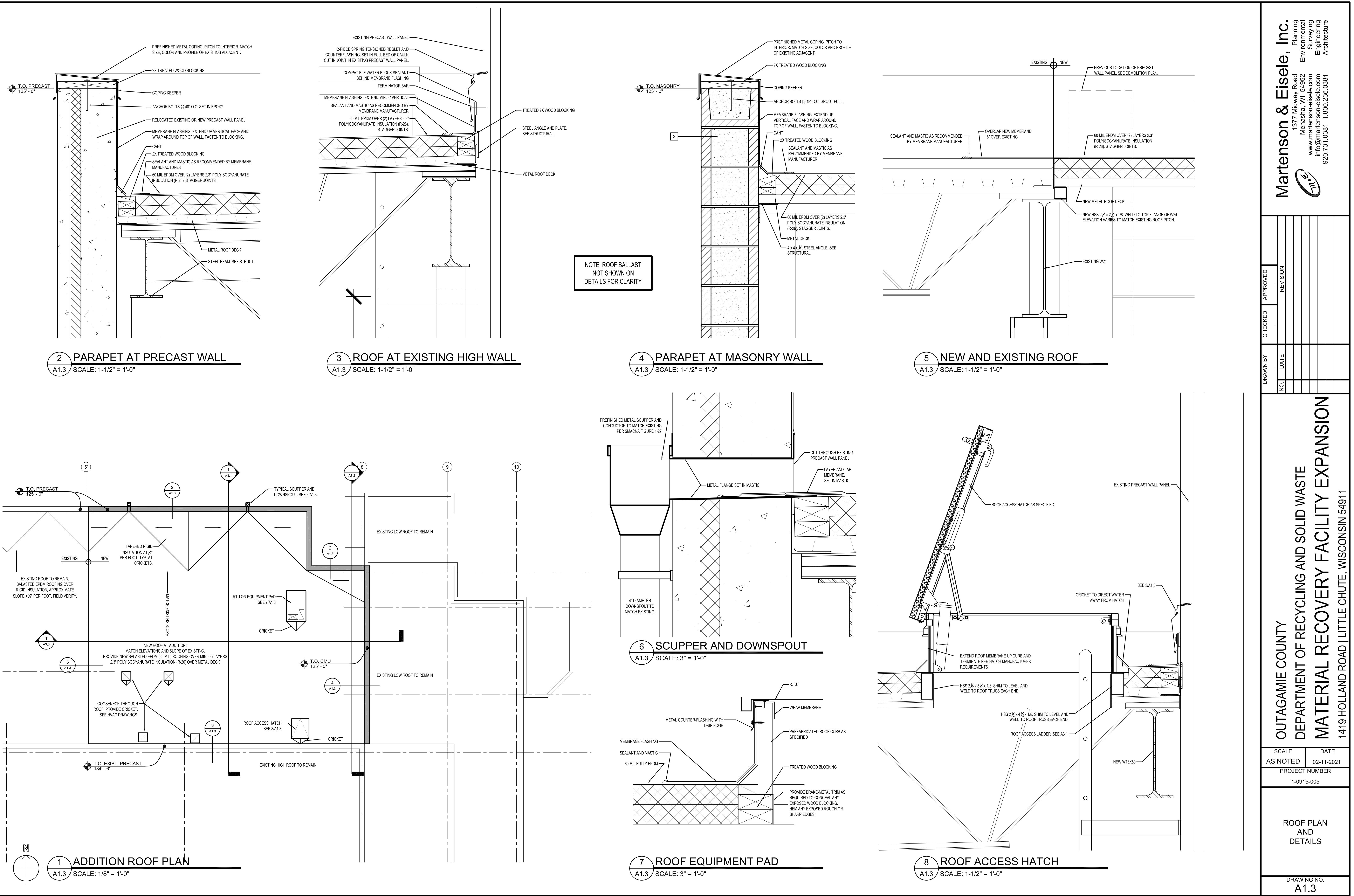


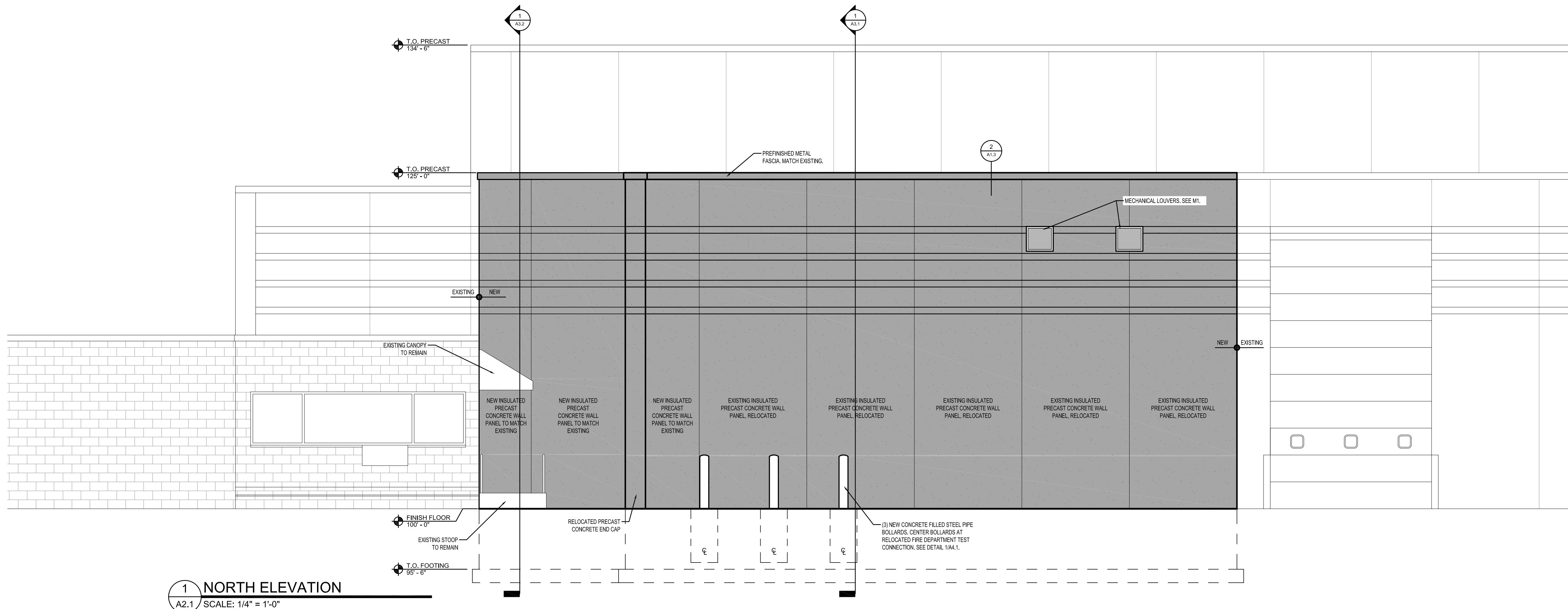
4 ADDITION FLOOR PLAN  
A1.2 SCALE: 1/8" = 1'-0"

OUTAGAMIE COUNTY  
DEPARTMENT OF RECYCLING AND SOLID WASTE  
MATERIAL RECOVERY FACILITY EXPANSION  
1419 HOLLAND ROAD | LITTLE CHUTE, WISCONSIN 54911

SCALE	DATE
AS NOTED	02-11-2021
PROJECT NUMBER	1-0915-005
ENLARGED FLOOR PLANS	
DRAWING NO. A1.2	

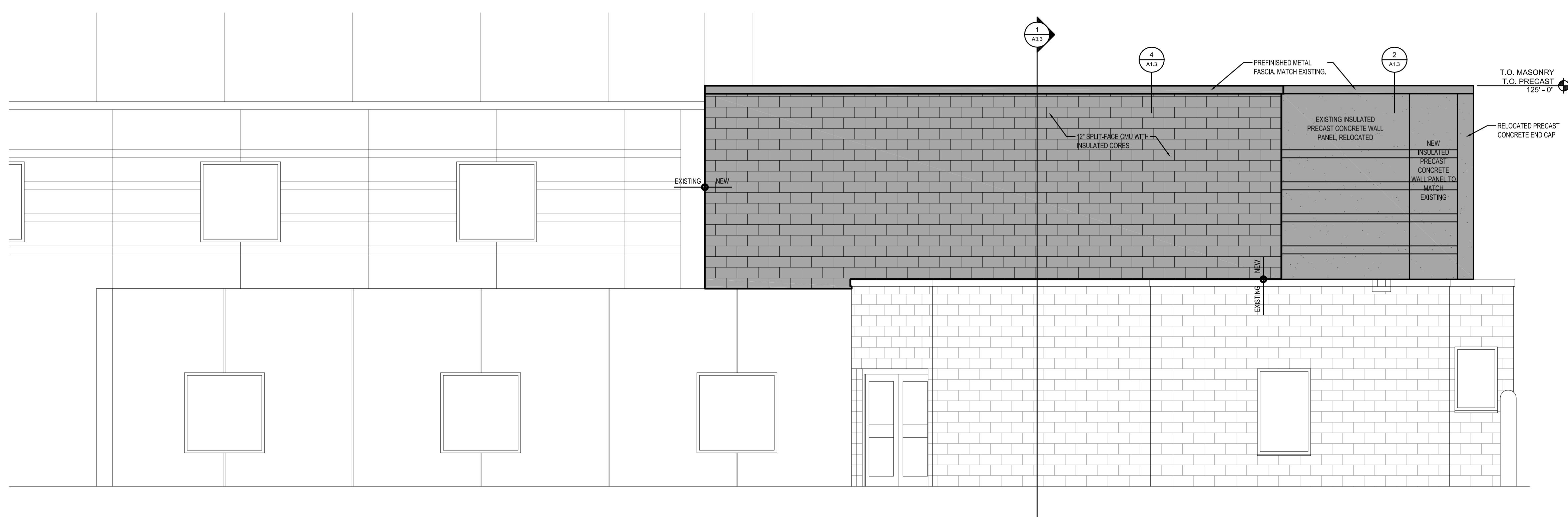
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1 NORTH ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"

A2.1 SCALE: 1/4" = 1'



2 EAST ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"

A2.1 SCALE: 1/4" = 1'

# MATERIAL RECOVERY FACILITY EXPANSION DEPARTMENT OF RECYCLING AND SOLID WASTE OUTAGAMIE COUNTY

## EXTERIOR

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DRAWING NO.  
**A2.1**



**OUTAGAMIE COUNTY DEPARTMENT OF RECYCLING AND SOLID WASTE MATERIAL RECOVERY FACILITY EXPANSION**

1419 HOLLAND ROAD LITTLE CHUTE, WISCONSIN 54911

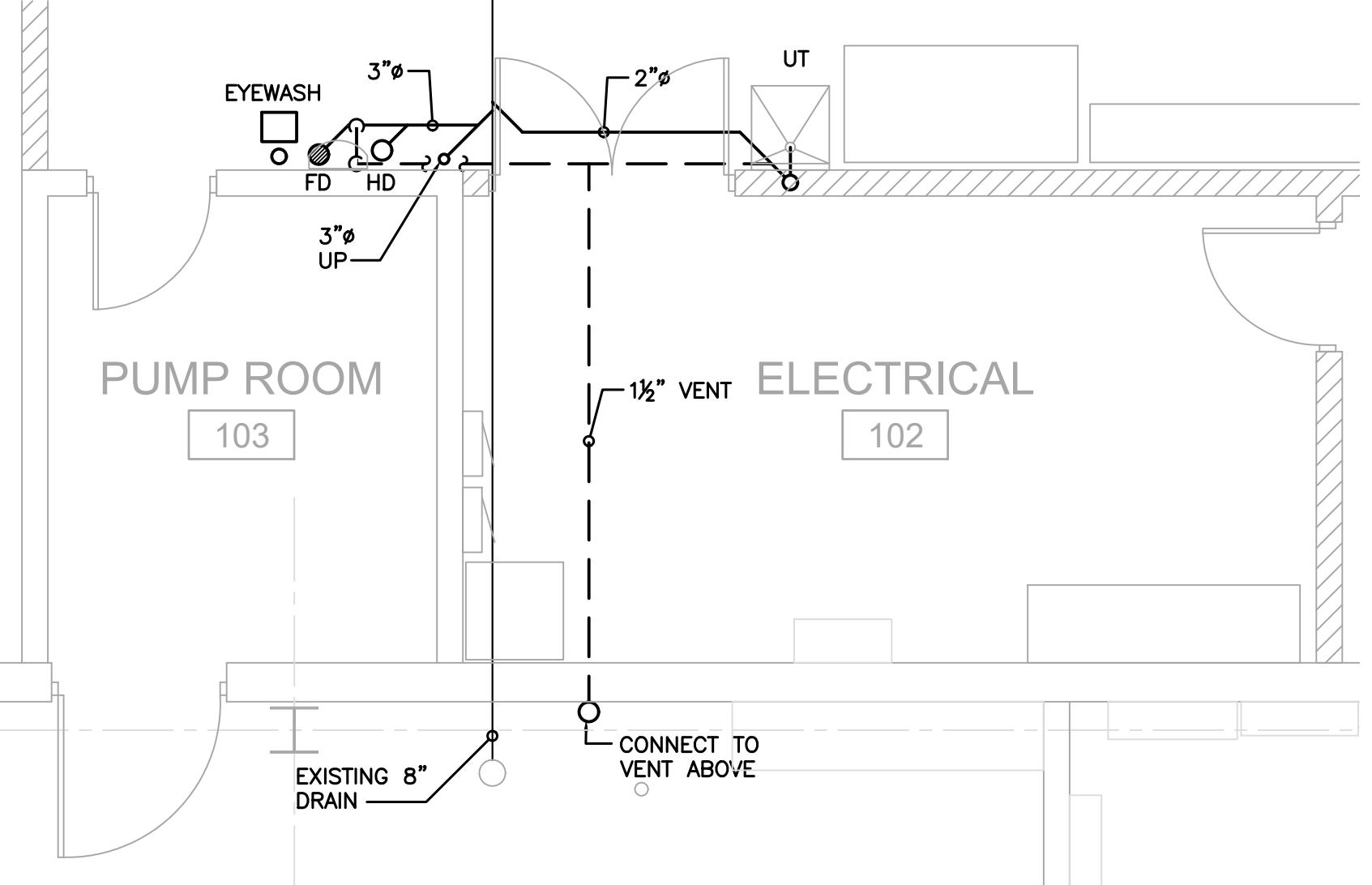
FLOOR PLANS  
 PLUMBING  
 FIRE PROTECTION

DRAWING NO.  
 P1

SCALE: 1/8"=1'-0"

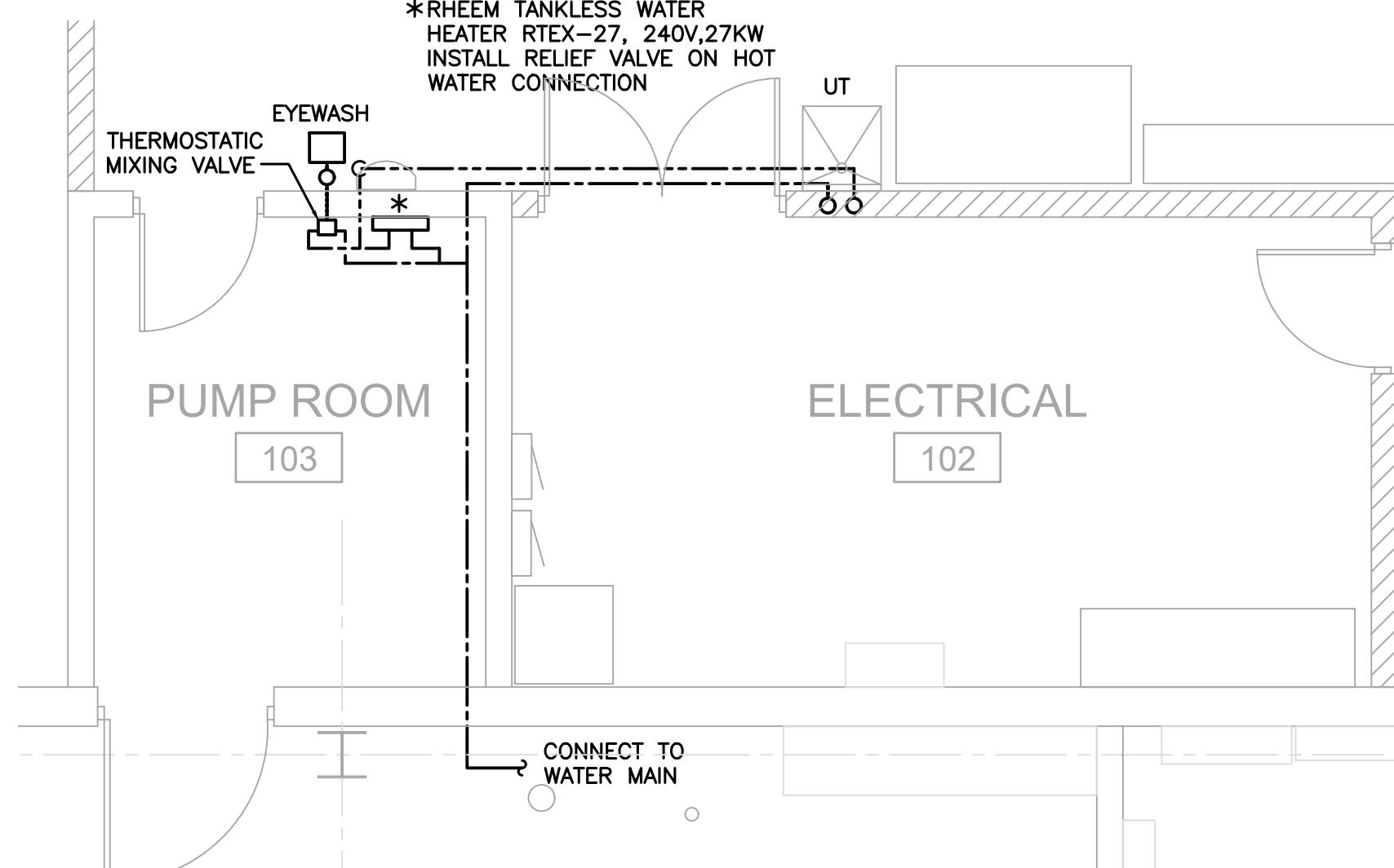
SCALE: AS NOTED DATE 12/28/2020  
 PROJECT NUMBER 1-0915-005

Plumbing Fixture Schedule						
Tag	Description	Manufacturer	Model	Trim	Color	Remarks
EW	Eyewash	Bradley	S19214EW	S19-2000 Thermostatic Mixing Valve		
UT	Utility Tub	Mustee	18F UTILATUB	Chicago Faucet 1100-ABCP with E27JKCP VacUum Breaker outlet		
HD	Hub Drain			Open Top Pipe 1 1/2" above floor, Opening 1 pipe size larger than connection		
FD	Floor Drain	Zurn	Z-415-9N	Type N Strainer		Dura-Coated Top
FCO	Floor Clean Out	Zurn	Z-1400			Dura-Coated Top

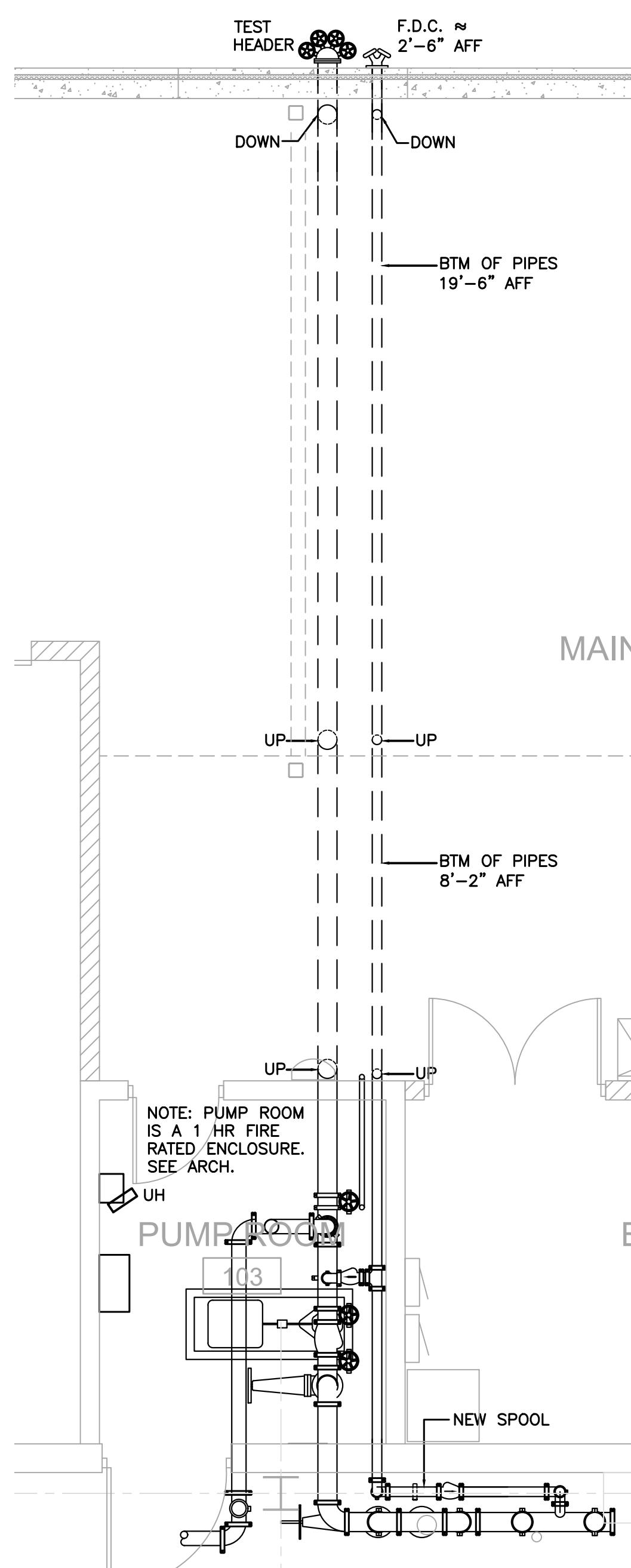
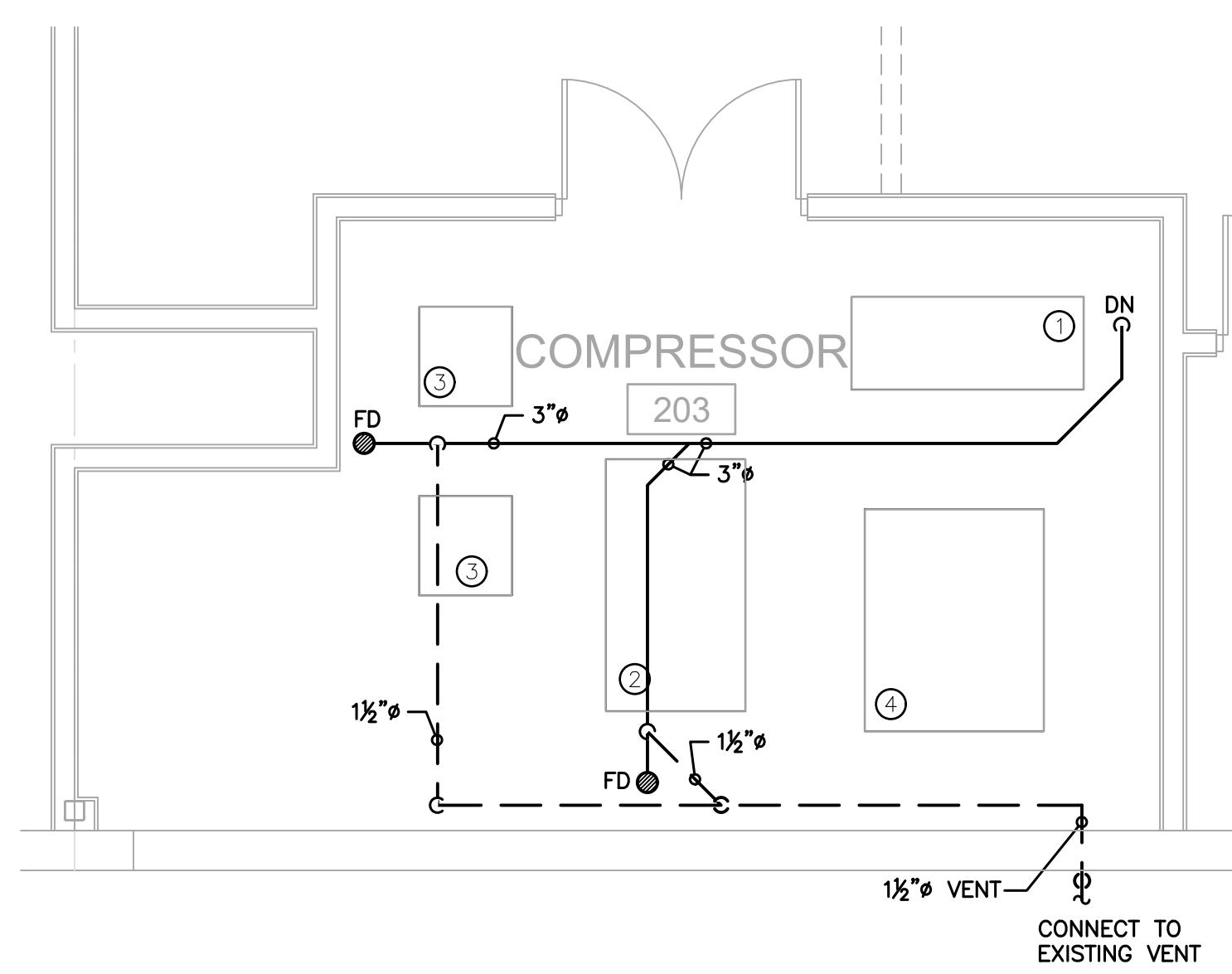


**4 PARTIAL FLOOR PLAN - SANITARY**  
 P1

*RHEEM TANKLESS WATER HEATER RTEX-27, 240V, 27KW  
 INSTALL RELIEF VALVE ON HOT WATER CONNECTION



**5 PARTIAL FLOOR PLAN - WATER**  
 P1



**3 DETAIL PLAN - PUMP ROOM**  
 P1

SCALE: 1/4"=1'-0"

Tag	Description	Manufacturer	Model	Trim	Color	Remarks
EW	Eyewash	Bradley	S19214EW	S19-2000 Thermostatic Mixing Valve		
UT	Utility Tub	Mustee	18F UTILATUB	Chicago Faucet 1100-ABCP with E27JKCP VacUum Breaker outlet		
HD	Hub Drain			Open Top Pipe 1 1/2" above floor, Opening 1 pipe size larger than connection		
FD	Floor Drain	Zurn	Z-415-9N	Type N Strainer		Dura-Coated Top
FCO	Floor Clean Out	Zurn	Z-1400			Dura-Coated Top

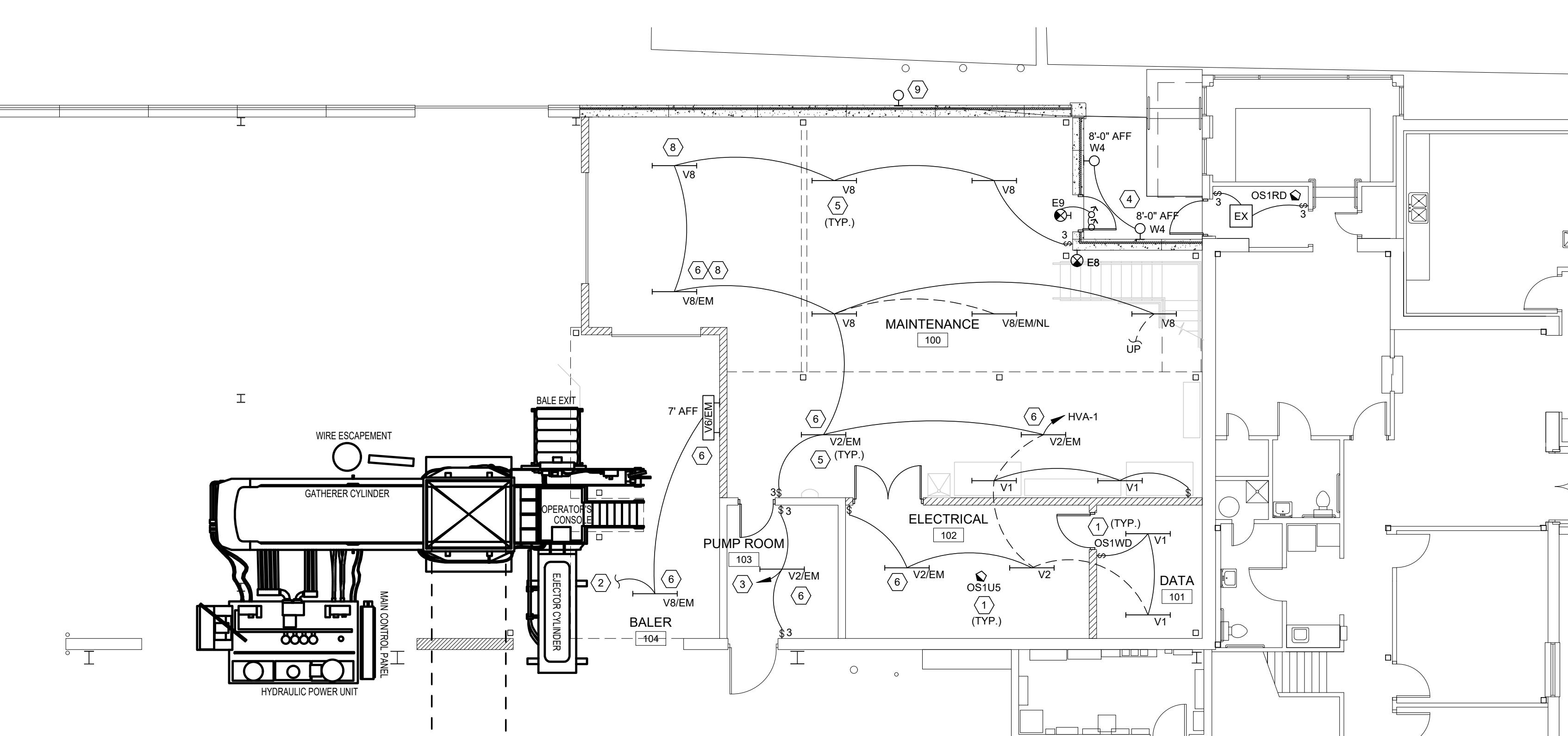
BTM OF PIPES 19'-6" AFF

DOWN DOWN

TEST HEADER F.D.C. ≈ 2'-6" AFF

UP

BTM OF PIPES 19'-6" AFF



NO.	DESCRIPTION	LOC.	HP	MCA	MAX. FUSE	WATTS	VOLTAGE	CIRCUIT	BREAKER	STARTER	DISC.	FEEDER	NOTES
1	OVERHEAD DOOR	104	1.5				208/3	HVA-13,15,17	15/3		NFSSW	4#12 - 3/4"C	1
2	OVERHEAD DOOR	104	1.5				208/3	HVA-14,16,18	15/3		NFSSW	4#12 - 3/4"C	1
3	10HP AIR COMPRESSOR	203	10				480/3	HVA-7,9,11	50/3		EXIS	3#8 1#10 - 3/4"C	
4	AIR DRYER	203					480/3	HVA-37,39,41	30/3		EXIS	4#10 - 3/4"C	
5	AIR COMPRESSOR	203	50				480/3	HVA-31,33,35	100/3		EXIS	4#3 1#8 - 1 1/4"C	
6	AIR DRYER	203					480/3	HVA-38,40,42	30/3		EXIS	4#10 - 3/4"C	
7	AIR COMPRESSOR	203	50				480/3	HVA-32,34,36	100/3		EXIS	4#3 1#8 - 1 1/4"C	
8	RTU	ROOF		13A	15A		480/3	HVA-43,45,47	15/3		FSSW	4#12 - 3/4"C	
9	OVERHEAD CRANE	200	2				480/3	HVA-8,10,12	15/3		FSSW	4#12 - 3/4"C	2
10	EF-1	100	1/4				120/1	LVA-40	20/1		MAN	3#12 - 3/4"C	
11	EF-2	201				19	120/1	LVA-42	20/1		MAN	3#12 - 3/4"C	
12	CU	106		11A	15A		208/1	F-21,23	15/2		FSSW	3#12 - 3/4"C	3,4
13	FC	106		1A			208/1						3
14	HVAC DAMPERS	203					120/1	LVA-31	20/1		MAN	3#12 - 3/4"C	5

NOTES:

1. PROVIDE CONDUIT ALONG SIDE DOOR OPENING FOR SENSOR WIRING. COORDINATE WITH DOOR INSTALLER.
2. VERIFY CONNECTION POINT AND PROVIDE POWER AT LOCATION REQUIRED. COORDINATE WITH CRANE INSTALLER.
3. NOTED FANCOIL UNIT IS POWERED FROM THE CONDENSING UNIT. WIRE ACCORDING TO MANUFACTURERS INSTRUCTIONS.
4. REPLACE EXISTING 30/2 BREAKER IN PANEL WITH NEW 15/2 BREAKER.
5. VERIFY LOCATION OF POWER WITH HVAC CONTRACTOR PRIOR TO ROUGH-IN.

GENERAL NOTES:

- A. WHEN STARTERS AND DISCONNECTS ARE PROVIDED BY HVAC, INSTALL STARTERS AND MAKE ALL RELATED LINE VOLTAGE ELECTRICAL CONNECTIONS.
- B. ALL MAG/COMB STARTERS ARE TO BE PROVIDED WITH HAND-OFF-AUTO SELECTOR SWITCHES. ALL MAN STARTERS ARE TO HAVE A PILOT LIGHT.
- C. PROVIDE DUCT SMOKE DETECTORS FOR AIR HANDLING TYPE UNITS. PROVIDE ONE DETECTOR AT THE RETURN AND ONE AT THE SUPPLY, FOR EACH UNIT.
- D. VERIFY IN-RUSH CURRENTS OF ALL MOTORS PRIOR TO ELECTRICAL ROUGH-IN/PURCHASE.
- E. VERIFY LOCATION OF MOTORS WITH THE TRADE SUPPLYING THEM. LOCATIONS SHOWN ON ELECTRICAL PLANS ARE ONLY APPROXIMATE.

ABBREVIATIONS:

FSSW: FUSED SAFETY SWITCH	COMB: COMBINATION STARTER	HP: HORSEPOWER
NFSSW: NON-FUSED SAFETY SWITCH	MAG: MAGNETIC STARTER	TS: 20A TOGGLE SWITCH
HVAC: HVAC CONTRACTOR	MAN: MANUAL STARTER WITH OVERLOAD	(R): ROOF
EC: ELECTRICAL CONTRACTOR	C/P: CORD AND PLUG	EQUIP: INTEGRAL WITH EQUIPMENT
C.PANEL: CONTROL PANEL PROVIDED BY CONTRACTOR SUPPLYING EQUIPMENT SERVED.		

Transformer Schedule						
No.	Part Number	Pri. Voltage	Sec. Voltage	Phase	Size (kVA)	Notes
LVA	EE45T3H	480	120/208	3	45	

# DUAGMIE COUNTY DEPARTMENT OF RECYCLING AND SOLID WASTE MATERIAL RECOVERY FACILITY EXPANSION

# ELECTRICAL SCHERMS

PRELIMINARY  
NOT FOR CONSTRUCTION

Planning Environmental Surveying Engineering Architecture  
1377 Midway Road Menasha, WI 54952 [www.martenson-eisele.com](http://www.martenson-eisele.com) [info@martenson-eisele.com](mailto:info@martenson-eisele.com) 920.731.0381 1.800.236.0381

# MATERIAL RECOVERY FACILITY

419 HOLLAND ROAD | LITTLE CHUTE, WISCONSIN 54911

## CRITICAL SILENCE

DRAWING NO.  
E3.3