



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, June 14, 2021

TIME: 6:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the June 14th Plan Commission meeting at 6 PM by following the link here:

<https://zoom.us/j/94694393340>

Meeting ID: **946 9439 3340**

Call-in Information: +1 (312) 626-6799 US (Chicago)

Meeting ID: 946 9439 3340

1. Approval of Minutes from the Plan Commission Meeting of May 3, 2021
2. Public Hearing 1215 Buchanan Street
3. Discussion/Action—1215 Buchanan Conditional Use
4. Recommendation—Land O' Lakes Site Plan Review
5. Recommendation—Evers CSM
6. Recommendation—310 Allegiance Court CSM
7. Recommendation—360 Property Management, LLC CSM
8. Recommendation—Silverleaf LLC CSM
9. Unfinished Business
10. Items for Future Agenda
11. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 June 10, 2021



Information for the Plan Commission Meeting – June 14, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the June 14th 3rd Plan Commission Meeting at 6:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/94694393340>
Meeting ID: 946 9439 3340
2. Call-in Information: United States
One tap mobile:
+13126266799,,94694393340#,, US (Chicago)
+13017158592,,94694393340#,, US (Washington D.C)
3. Dial by your location:
+1 312 626 6799 US (Chicago)
+1 301 715 8592 US (Washington D.C) +1 929 436 2866 US (New York)
+1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston)
+1 669 900 6833 US (San Jose)
Meeting ID: 976 1567 6559
Find your local number: <https://zoom.us/u/abGpaew1E>
4. If you are experiencing connectivity issues or have questions on the options above, please contact James Fenlon at james@littlechutewi.org
5. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
6. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
7. If you have questions or comments regarding the agenda, you can also contact the Village Administrator, James Fenlon, at james@littlechutewi.org or 920-423-3850.
8. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE PLAN COMMISSION MEETING MAY 3, 2021

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
President Vanden Berg
Larry Van Lankvelt
Todd Verboomen
Jim Moes
Kent Taylor
Richard Schevers

STAFF PRESENT: Administrator Fenlon, Community Development Director Kittel,

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of April 12, 2021

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Approve the Minutes the Plan Commission Meeting of April 12, 2021

All Ayes– Motion Carried

Recommendation—Cvetan CSM

Director Kittel advised staff is recommending approval of the CSM for Joseph R. Cvetan.

Moved by Commissioner Moes, seconded by Commissioner Van Berkel to Recommend to the Village Board Approval of the Cvetan CSM

All Ayes– Motion Carried

Recommendation—Agropur Site Plan

Director Kittel advised that the site plan for Agropur is for a new plant. Staff is recommending approval with the condition that all comments from staff are addressed and all permits are cleared. Commissioner Moes asked if any odor issues have been addressed; Director Kittel advised that with this new treatment center it should eliminate the smell issues from the past. An Engineer from Excel hired by Agropur also advised that this has been addressed and should not be a problem. Commissioner Verboomen asked what the plans are for the existing plant and store, Director Kittel advised the store will remain the same and the plant will not be operational right now.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Approve the Agropur Site Plan with the stipulation that all comments are addressed and all permits are cleared.

All Ayes– Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to Adjourn the Plan Commission Meeting at 6:10 p.m.

All Ayes– Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

**VILLAGE OF LITTLE CHUTE
PLAN COMMISSION
NOTICE OF PUBLIC HEARING**

CONDITIONAL USE REQUEST

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on June 14, 2021 at 6:00 p.m. by Plan commission, for consideration of the granting of conditional use under authority provided in Section 44 Village Code of Ordinance. Owner requests a conditional use permit for a Catering service, more specifically to operate a catering business with commercial kitchen that is not open to the public and clients are by appointment only. The property is Zoned; RC-Residential Conventional in the Village of Little Chute, Outagamie County, Wisconsin.

Address: 1215 Buchanan St

Parcel #260105100

Legal Description: ASSRS PLAT N143FT OF S401FT OF E147.5FT LOT 13 BLK 61

Current Owner: Home Church

Applicant: Heirloom Kitchen Company

DATE OF HEARING: June 14, 2021

TIME OF HEARING: 6:00pm

PLACE OF HEARING: Village Hall
Board Room
108 West Main Street
Little Chute, WI 54140

If you have any questions, please contact the Zoning Administrator at (920) 423-3870

Publish: May 26, 2021

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

Letters mailed on 5/11/21

Chris Hartwig
P.O. Box 165
Little Chute, WI 54140

Bradley & Rita Hietpas
1007 Coolidge Avenue
Little Chute, WI 54140

Jennifer Gloudemans
Jonathan Hietpas
1214 Roosevelt Street
Little Chute, WI 54140

Anthony & Candee Zippi
1212 Roosevelt Street
Little Chute, WI 54140

Jeffery & Marie Smith
1200 Roosevelt Street
Little Chute, WI 54140

Jacob & Emily Joseph
1135 Buchanan Street
Little Chute, WI 54140

Carl & Margaret Vosters
1129 Buchanan Street
Little Chute, WI 54140

Chad Freund
1208 Buchanan Street
Little Chute, WI 54140

Kenneth J. Vosters
1210 Buchanan Street
Little Chute, WI 54140

James Jackson
Amber Skinkis
1212 Buchanan Street
Little Chute, WI 54140

Anthony Schumacher
Marylyn Bethe
1514 E Henry Street
Appleton, WI 54915

Colin Huolihan
1224 Buchanan Street
Little Chute, WI 54140

Home Church
P.O. Box 1273
Appleton, WI 54912

Heirloom Kitchen Company
150 E. 2nd Street
Kaukauna, WI 54130

STATE OF WISCONSIN AFFIDAVIT OF PUBLICATION

May 26, 2021
VILLAGE OF LITTLE CHUTE
PLAN COMMISSION
NOTICE OF PUBLIC HEARING

CONDITIONAL USE REQUEST

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WNAXLP

CHAD BREWER
Notary Public
State of Wisconsin

Laurie Hammen

being duly sworn doth depose and say that he/she is an authorized representative of the **TIMES-VILLAGER**, a weekly newspaper published by News Publishing Co., Inc. at **Kaukauna, Wisconsin, in Outagamie County**, and that an advertisement of which the annexed is a true copy, taken from said paper, was published therein on:

05/26/2021

SIGNED

DATED

Laurie A. Hammen

05/27/2021

[Signature]
Notary Public, State of Wisconsin

My Commission Expires

4/25/2023

of Lines

of Weeks Published

34

1

Publication Fee \$ 56.58

Proof of Publication \$ 1.00

Total \$ 57.58

NR-101-51440-227

Village of Little Chute Application for CONDITIONAL USE UNDER CHAPTER 44 ZONING CODE

Application fee \$125.00

Date filed 4-22-21

The undersigned owner(s) of the property herein described hereby petition for a Conditional Use under the Village of Little Chute Zoning Ordinance Chapter 44, in the Village of Little Chute, Outagamie County, Wisconsin

Property location: 1215 Buchanan Street Little Chute

Legal Description: _____

ASSRS PLAT N143FT OF S401FT OF E147.5FT LOT 13 BLK 61

Current Zoning Classification: SFR

Petitioner(s) request permission be granted for the following conditional use(s): _____

Catering business with commercial kitchen

Petitioner(s) reason(s) for requesting the above described conditional use are as follows: _____

We have been searching for three years for a building of the correct size in a safe and quiet environment in
a community where we can contribute positively and be a valued business. This property is the only one we
found in that time that truly meets our needs. Encouraged by the other uses allowed at the site, we are
hopeful that spirit would be extended for this use. We are a company that cooks from scratch and does our
work on a small scale . We are not open to the public and see clients by appointment.

Attach Surveys, building plans, drainage plans, site plans, statements of days & hours of operation, estimates of additional traffic generated, statements regarding effect on neighboring properties and any other additional information which may assist in determining that the proposed use is appropriate that such use is not hazardous, harmful, offensive or adverse to the environment or the value of the neighborhood or the community.

Owner(s) Name(s) Heirloom Kitchen Company

Owner(s) Address 150 East 2nd Street Kaukauna

Phone Numbers 920-202-8298

APPLICANT(S) Signature(s) Tracy Darling



Date Signed 4-22-21

1. Statement

Heirloom Kitchen Company is a local and thriving business with a private and corporate clientele. We are devoted to catering and specialize in meals served off site. We make our food from scratch and acquire much of our food supply locally. We are also artisans, fortunate enough to make our livings from this work. Our senior staff have a collective 53 years in the business.

Heirloom is not open to the public and our core employee group is under 8 people. We have an experienced staff, made up of two farmers, several parents, a pasta maker, a baker and a designer.

An important distinction is what we are *not*: a restaurant. We do not have scores of customers coming and going, we do not have a large staff, we do not have five different beer trucks delivering weekly.

We're professionals who are aware of our surroundings and want the same things most people do: good relationships with neighbors, quiet enjoyment of our property and cleanliness and order. Two of us are certified sanitation managers. These things are at the foundation of the good operations of a mature commercial kitchen. And they definitely have an impact on successful relationships with neighbors.

Our use of the lot itself involves only parking and at a considerably smaller amount than the current owner. Our current use at maximum full capacity by staff and or any clients is about 7 spaces. The subject site offers 12. We would want the building to fit in with the neighborhood and retain a more residential appearance. We are equipped to handle our own snow removal and lawn mowing.

2. Applicant, Owners, Neighbors

Applicant – Heirloom Kitchen Company 150 East 2nd Street Kaukauna

Owner: Hope Church , Bruce Dailey, Pres. 1215 Buchanan Street Little Chute

Neighbors:

Coolidge Street: 1007, 920, 922

Buchanan Street : 1212, 1216, 1217, 1219, 1210,1139. 1135, 1208, 1129,

Roosevelt Street : 1214, 1212

3. Description of site

Legal description: NE-NW Sect 22 T21N, R18E ASSRS PLAT N143ft of S140 ft of E147.5 ft Lot 13 Blk 61

-1215 Buchanan Street Little Chute

Structure: frame single story

Proposed use: commercial kitchen

Number of employees: 8

Zoning : SFR

4. Plat and Building permit

No construction to the building is planned. There is no previous survey data on record for this property at this time. Mechanical permits for installation of equipment would be applied for, but no changes are planned to the building itself. We would be installing a kitchen hood and its corresponding equipment, refrigeration and sinks.

Mechanical needs are currently being assessed. The company owns the equipment it would be installing inside and is familiar with its capacities and demands.

The property would be used in the current configuration with no changes required for operation to the ingress or egress of the lot or the building.

No landscaping other than adding some flowering plants to the existing beds is planned.

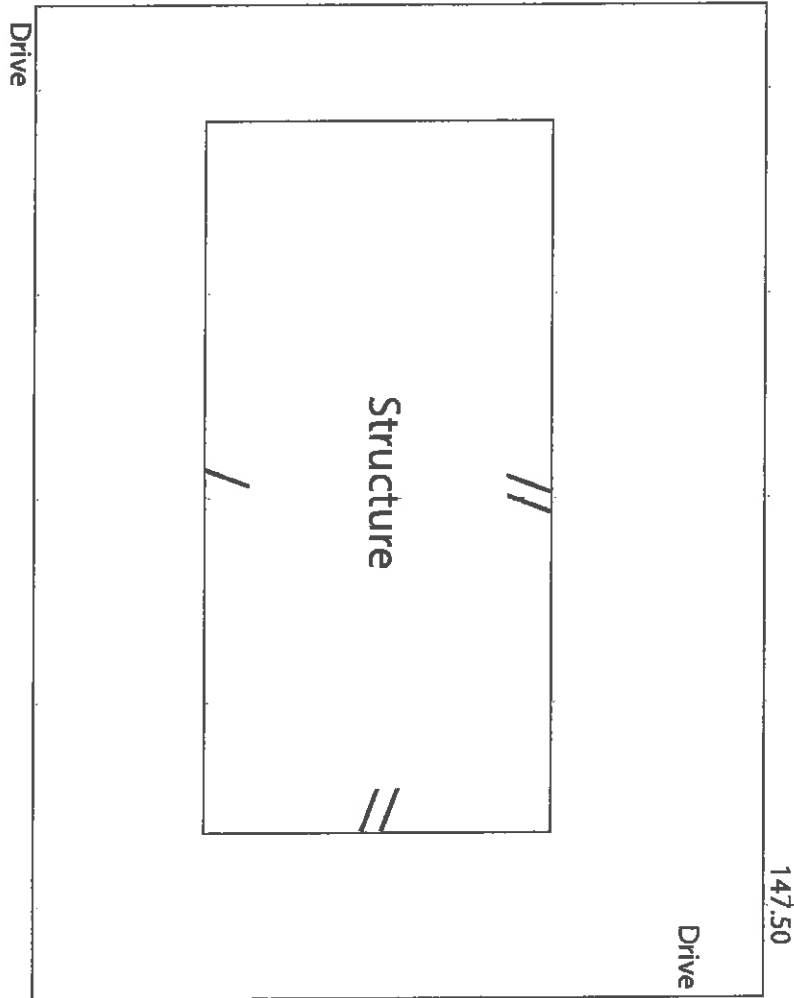
5. Additional Information

Should the permit be approved, a state review has been requested for the following day to ascertain mechanical or other requirements for its use and installation of kitchen equipment prior to the removal of contingencies on the purchase.

260105100

NE-NW SECT 22 T21NR18E

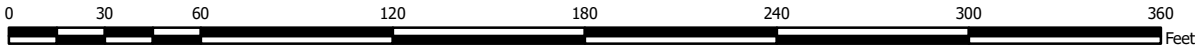
Coolidge St



Buchanan St

TAX DISTRICT 14G - VILLAGE LITTLE CHUTE

ASSRS PLAT N143FT of S140FT OF E147.5 LOT 13 BLK 61



1 inch = 60 feet



W:\PROJECTS\09715200\350\CADD\Civil3D\Plan Sheets\2020 Civil Plan Set\COVER NOTES, DETAILS.dwg C:\01 ABBREVIATIONS SYMBOLS & NOTES 5/21/2021 3:03:28 PM Jheehst, 1/1

W:\PROJECTS\09715200\350\CADD\Civil3D\Plan Sheets\2020 Civil Plan Set\COVER NOTES, DETAILS.dwg C:\01 ABBREVIATIONS SYMBOLS & NOTES 5/21/2021 3:03:28 PM Jheehst, 1/1

STANDARD ABBREVIATIONS

AC	ACRE	LT	LEFT
AGG	AGGREGATE	LVC	LENGTH OF VERTICAL CURVE
AH	HEAD	MAINT	MAINTENANCE
ASPH	ASPHALT PAVEMENT	MAT'L	MATERIAL
AVC	AVERAGE	MAX	MAXIMUM
B-B	BACK TO BACK	MIN	MINIMUM
BEG	BEGIN	MH	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB	NORTHBOUND
B/L	BASE LINE	NO	NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OBLT	OBLITERATE
BRG	BEARING	PAV'T	PAVEMENT
C-C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER	PE	PRIVATE ENTRANCE
CB	CATCH BASIN	PED	PEDESTAL
CE	COMMERCIAL ENTRANCE	PGL	PROFILE GRADE LINE
CHD	CHORD	PI	POINT OF INTERSECTION
C/L	CENTER LINE	P/L	PROPERTY LINE
CL	CLASS (FOR CONC PIPE)	PLE	PERMANENT LIMITED EASEMENT
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
CONC	CONCRETE	PROP	PROPOSED
CORR	CORRUGATED	PSD	PASSING SIGHT DISTANCE
CP	CONTROL POINT	PSI	POUNDS PER SQUARE INCH
CR	CRUSHED	PT	POINT OF TANGENCY
CS	CURB STOP	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
CSW	CONCRETE SIDEWALK		
CTH	COUNTY TRUNK HIGHWAY	PVI	POINT OF VERTICAL INTERSECTION
CULV	CULVERT	PVT	POINT OF VERTICAL TANGENCY
D	DEPTH OR DELTA	R	RADIUS
DI	DUCTILE IRON	RCP	REINFORCED CONCRETE PIPE
DIA	DIAMETER	RD	ROAD
DIS	DISCHARGE	REBAR	REINFORCEMENT ROD
EA	EACH	REM	REMOVE
EB	EASTBOUND	RECON	RECONSTRUCT
EBS	EXCAVATION BELOW SUBGRADE	REQ'D	REQUIRED
EG	EDGE OF GRAVEL	R/L	REFERENCE LINE
ELEV	ELEVATION	RP	RADIUS POINT
ELEC	ELECTRIC	RR	RAILROAD
EMB	EMBANKMENT	RT	RIGHT
EMAT	EROSION MAT	R/W	RIGHT-OF-WAY
ENT	ENTRANCE	SB	SOUTHBOUND
EOR	END OF RADIUS	SE	SUPERELEVATION
EP	EDGE OF PAVEMENT	SF	SQUARE FEET
EXC	EXCAVATION	SI	SLOPE INTERCEPT
EX	EXISTING	STH	STATE TRUNK HIGHWAY
EW	ENDWALL	SY	SQUARE YARD
F-F	FACE TO FACE	SALV	SALVAGED
FDN	FOUNDATION	SAN	SANITARY
FE	FIELD ENTRANCE	SEC	SECTION
FERT	FERTILIZER	SHLDR	SHOULDER
FG	FINISHED GRADE	S/L	SURVEY LINE
F/L	FLOW LINE	SQ	SQUARE
FT	FOOT	STA	STATION
FTG	FOOTING	STD	STANDARD
GRAV	GRAVEL	STO	STORM
GN	GRID NORTH	SW	SIDEWALK
GV	GAS VALVE	TC	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	TEL	TELEPHONE
HE	HIGHWAY EASEMENT	TEMP	TEMPORARY
HMA	HOT MIX ASPHALT	TLE	TEMPORARY LIMITED EASEMENT
HP	HIGH POINT	TV	TELEVISION
HT	HEIGHT	TYP	TYPICAL
HYD	HYDRANT	UG	UNDERGROUND
ID	INSIDE DIAMETER	USH	U.S. HIGHWAY
IN	INCH	VAR	VARIES
INL	INLET	VC	VERTICAL CURVE
INV	INVERT	VERT	VERTICAL
IP	IRON PIPE	WB	WESTBOUND
JCT	JUNCTION	WM	WATER MAIN
LB	POUND	WV	WATER VALVE
LF	LINEAR FOOT		
LP	LIGHT POLE		

GENERAL NOTES

- THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
- EXISTING STREET RIGHT-OF-WAY AND INTERSECTING PROPERTY LINES ARE ESTABLISHED FROM FIELD LOCATED SURVEY MONUMENTATION, PREVIOUS SURVEYS, PLATS AND CURRENT PROPERTY DEEDS.
- NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
- A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
- ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

THIS PLAN SET WAS CREATED WITH CIVIL3D 2018. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

STANDARD SYMBOLS (PLAN VIEW ONLY)

	2" IRON PIPE FOUND		TELEPHONE CABLE - BURIED
	1 1/4" REBAR FOUND		ELECTRIC CABLE - BURIED
	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET		UTILITIES - OVERHEAD
	1" (1.315 OD) IRON PIPE FOUND		FIBER OPTIC CABLE - BURIED
	1" IRON PIPE SET		GAS MAIN
	3/4" IRON REBAR FOUND		CABLE TELEVISION - BURIED
	3/4" IRON PIPE FOUND		DITCH LINE
	3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET		STREET C/L OR R/L
	MAG NAIL FOUND		PROPERTY LINE
	MAG NAIL SET		RIGHT-OF-WAY LINE
	MAG SPIKE FOUND		SECTION LINE
	MAG SPIKE SET		EXISTING CONTOURS
	CHISEL CROSS FOUND		PROPOSED CONTOURS
	CHISEL CROSS SET		EXISTING FORCEMAIN SEWER
	COUNTY MONUMENT		EXISTING SANITARY SEWER
	CONCRETE MONUMENT FOUND		PROPOSED SANITARY SEWER
	CONTROL POINT HORIZONTAL		EXISTING WATER MAIN
	VERTICAL BENCHMARK		PROPOSED WATER MAIN
	SOIL BORING or MONITORING WELL		EXISTING STORM SEWER
	POWER POLE		PROPOSED STORM SEWER
	POWER POLE W/GUY WIRE		EXISTING CURB & GUTTER
	TELEPHONE OR TELEVISION PEDESTAL		PROPOSED CURB & GUTTER
	MAILBOX		PROPOSED REJECT CURB & GUTTER
	SIGN		EXISTING CULVERT WITH END SECTIONS
	RAILROAD CROSS BUCK		PROPOSED CULVERT WITH END SECTIONS
	RAILROAD GATE ARM		BUILDING OUTLINE
	RAILROAD TRACKS		FENCE LINE
	LIGHT POLE		SAW CUT REQ'D
	WOOD POLE		SILT FENCE
	TRAFFIC SIGNAL		GUARD RAIL
	TRAFFIC SIGNAL MAST ARM		DITCH CHECK
	CONIFEROUS TREE		INLET PROTECTION
	DECIDUOUS TREE		TRACKING PAD
	TREE OR BRUSH LINE		TURBIDITY BARRIER OR SHEET PILING
	BED ROCK (IN PROFILE VIEW)		SANDBAG COFFERDAM
	HANDICAPPED PARKING STALL		SLOPE INTERCEPT
	EXISTING SPOT ELEVATION		LIMITS OF DISTURBANCE
	PROPOSED SPOT ELEVATION		ASPHALT PAVEMENT
	DRAINAGE HIGH POINT		CONCRETE SIDEWALK/DRIVEWAY
	DRAINAGE DIRECTION		GRAVEL
	EXISTING MANHOLE		
	PROPOSED MANHOLE		
	EXISTING INLET		
	PROPOSED INLET		
	EXISTING YARD DRAIN		
	PROPOSED YARD DRAIN		
	EXISTING CLEAN OUT		
	PROPOSED CLEAN OUT		
	EXISTING DOWNSPOUT		
	PROPOSED DOWNSPOUT		
	EXISTING WATER VALVE		
	PROPOSED WATER VALVE		
	EXISTING CURB STOP		
	PROPOSED CURB STOP		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	PROPOSED WATER FITTING		
	PROPOSED WATER REDUCER		
	PROPOSED ENDCAP		
	GAS VALVE		

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wi.gov/runoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

[] LAND APPLICATION OF POLYACRYLAMIDE (1050)	[X] DE-WATERING (1061)
[] WATER APPLICATION OF POLYMERS (1051)	[X] DITCH CHECK (1062)
[] NON-CHANNEL EROSION MAT (1052)	[] SEDIMENT TRAP (1063)
[] CHANNEL EROSION MAT (1053)	[] SEDIMENT BASIN (1064)
[] VEGETATIVE BUFFER (1054)	[] RIP-RAP (1065)
[] SEDIMENT BALE BARRIER (1055)	[] CONSTRUCTION DIVERSION (1066)
[X] SILT FENCE (1056)	[] GRADING PRACTICES (1067)
[X] TRACKING PAD & TIRE WASHING (1057)	[X] DUST CONTROL (1068)
[X] MULCHING (1058)	[] TURBIDITY BARRIER (1069)
[X] SEEDING (1059)	[] SILT CURTAIN (1070)
[X] STORM DRAIN INLET PROTECTION (1060)	[X] MANUFACTURED PERIMETER PRODUCTS (1071)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

- DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.
- TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

MCC UPGRADE PROJECT - LOL PURINA FOODS
VILLAGE OF LITTLE CHUTE, WI
ABBREVIATIONS, SYMBOLS & NOTES

DESIGNED JDH	DRAWN JDH
PROJECT NO. L0971-6-20-00135	
DATE MAY 21, 2021	
SHEET NO. C101	

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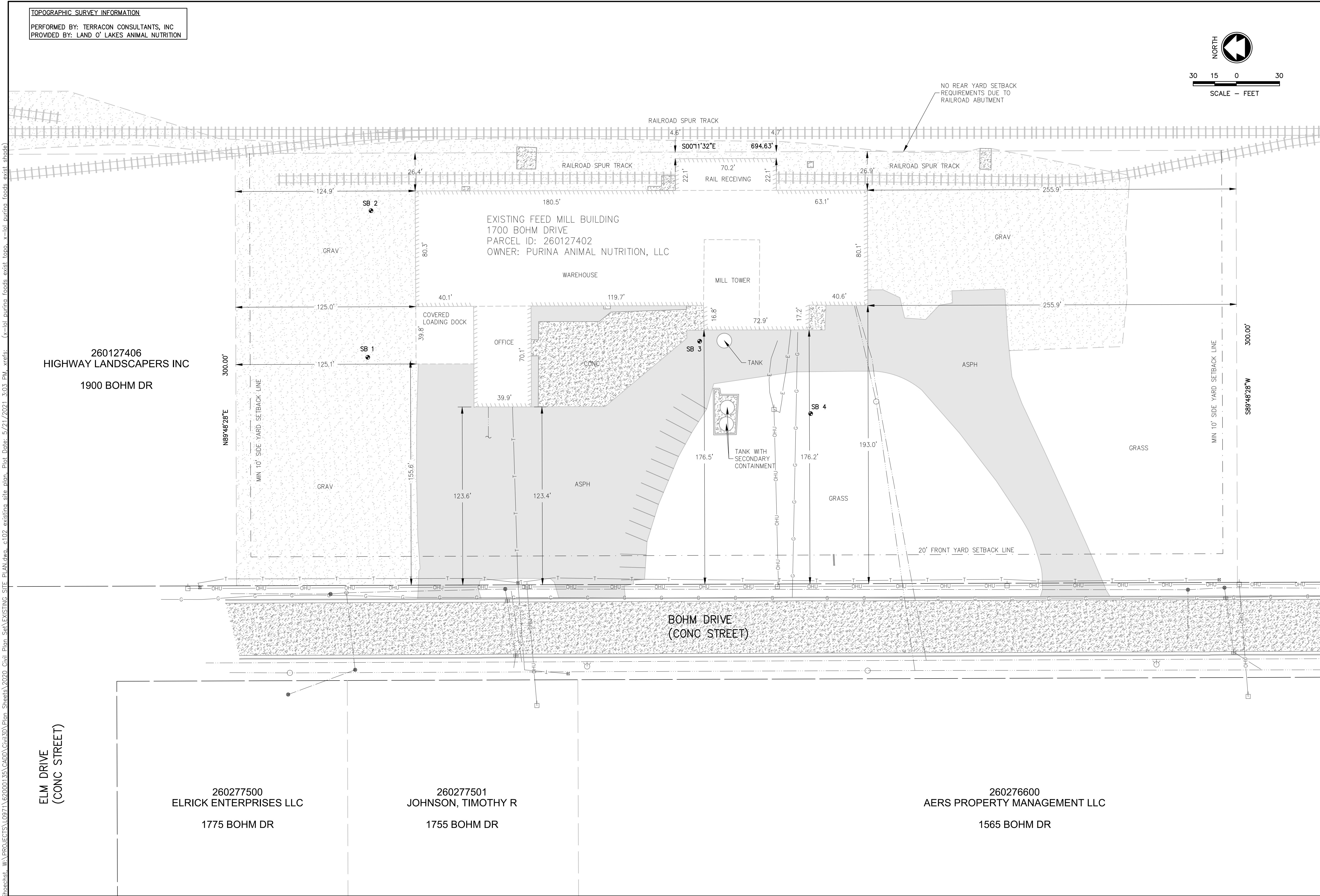
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McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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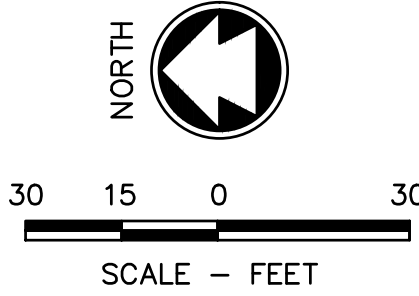
DATE

NO.

W:\PROJECTS\02718200135CADD\CH010\Plan Sheets\2021 Civil Plan Set\EXISTING SITE PLAN.dwg, C102 EXISTING SITE PLAN, 5/21/2021 3:03:34 PM, JHeard, 1:1



TOPOGRAPHIC SURVEY INFORMATION
PERFORMED BY: TERRACON CONSULTANTS, INC
PROVIDED BY: LAND O' LAKES ANIMAL NUTRITION



McMAHON

ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
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PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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NO.	DATE	REVISION

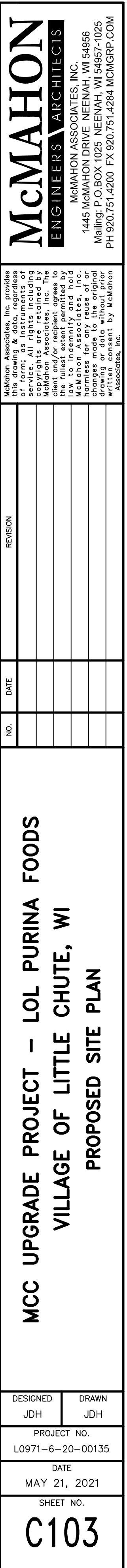
MCC UPGRADE PROJECT – LOL PURINA FOODS
VILLAGE OF LITTLE CHUTE, WI
EXISTING SITE PLAN

DESIGNED	DRAWN
JDH	JDH

PROJECT NO.
L0971-6-20-00135

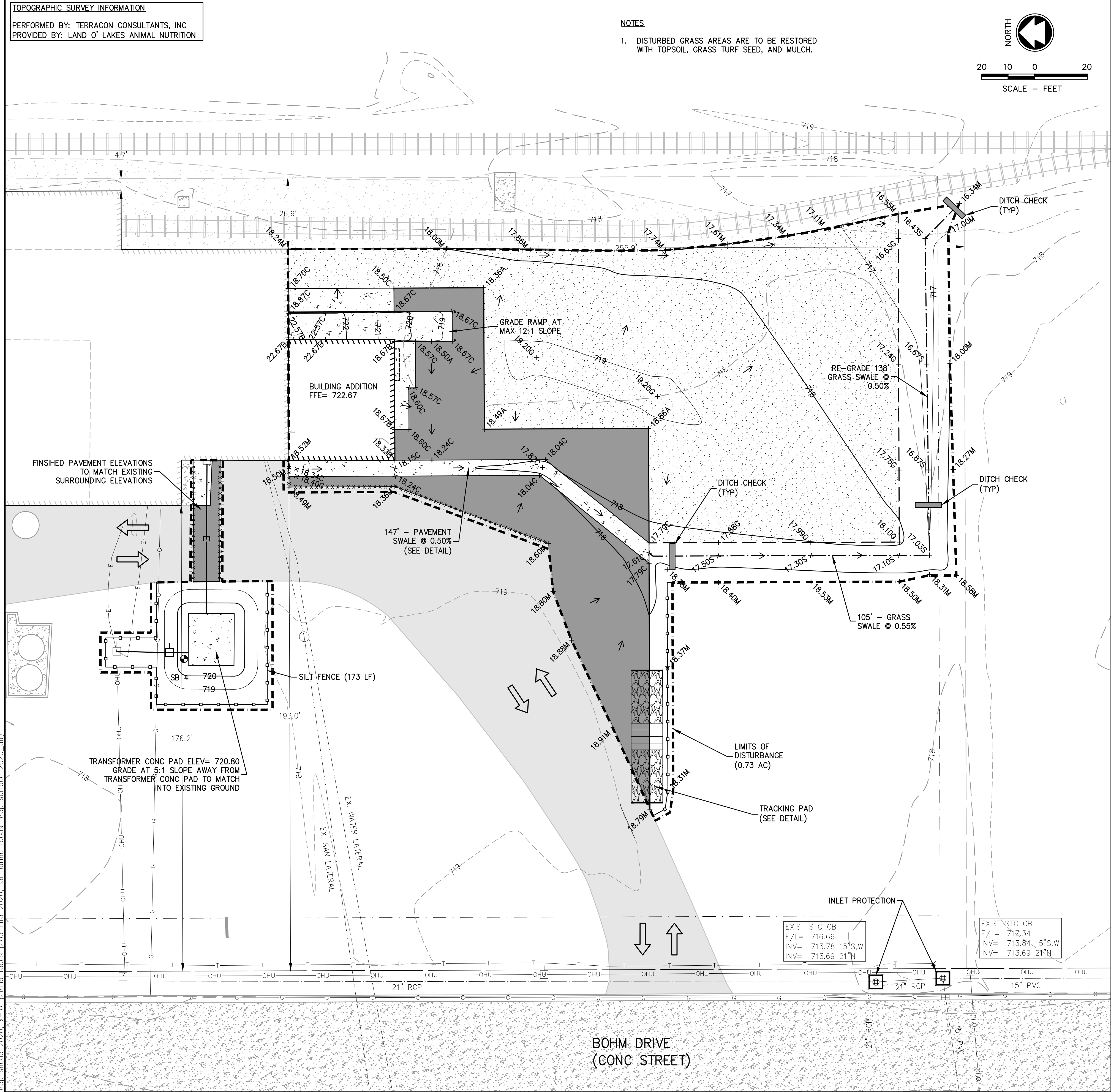
DATE
MAY 21, 2021

SHEET NO.
C102



NOTES

1. DISTURBED GRASS AREAS ARE TO BE RESTORED WITH TOPSOIL, GRASS TURF SEED, AND MULCH.



GRAVEL DETAIL

**MCC UPGRADE PROJECT – LOL PURINA FOODS
VILLAGE OF LITTLE CHUTE, WI
PROPOSED GRADING & EROSION CONTROL PLAN**

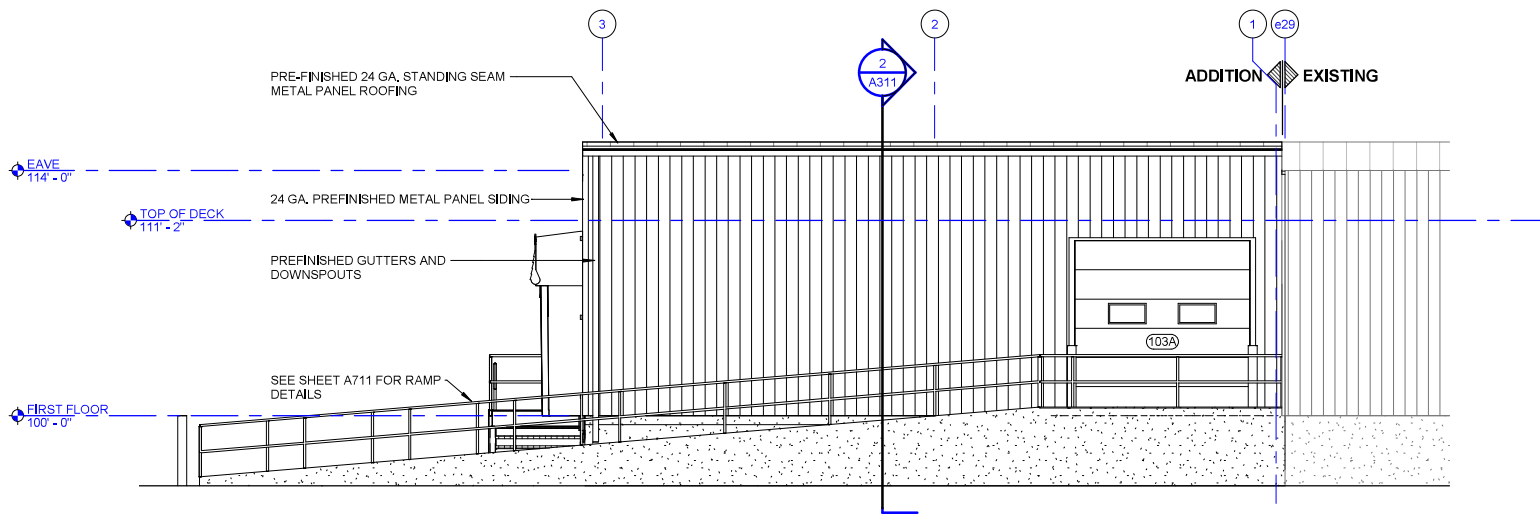
DESIGNED JDH	DRAWN JDH
PROJECT NO. L0971-6-20-0013	
DATE MAY 21, 2021	
SHEET NO.	

C104

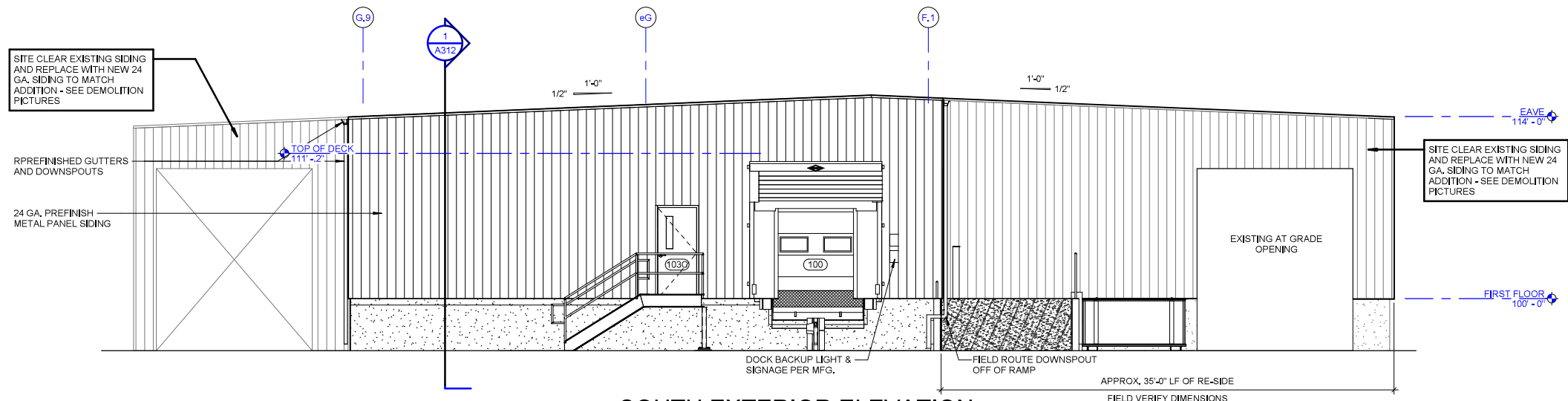
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PHONE 920.751.4200 FAX 920.751.4284 MCMGRP.COM

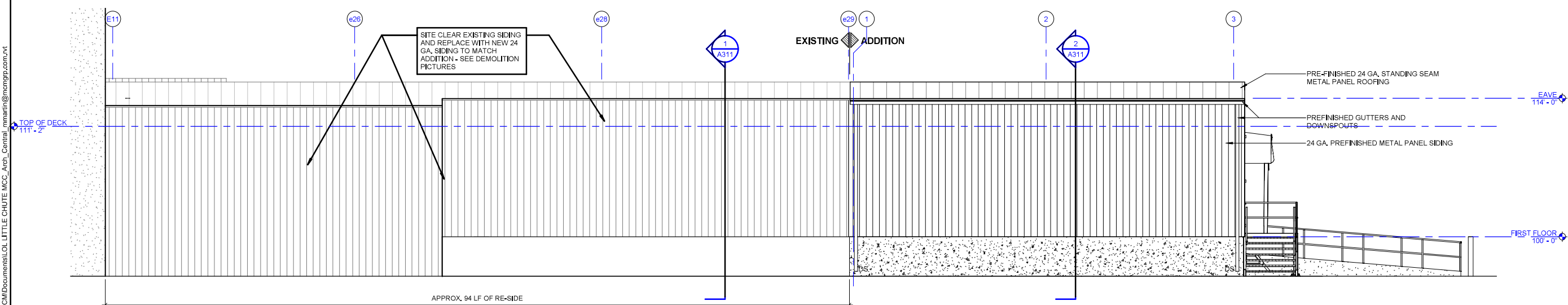
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1 EAST EXTERIOR ELEVATION
A391 3/16" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
A391 3/16" = 1'-0"



3 WEST EXTERIOR ELEVATION
A391 3/16" = 1'-0"

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
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www.mcmaongp.com

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NO.	DATE	DESCRIPTION
1	05/03/21	DESIGNED
2	05/14/21	REVISED CONFORMED SET

MCC UPGRADE PROJECT
LAND O' LAKES INC. / PURINA ANIMAL NUTRITION
LITTLE CHUTE, WI
EXTERIOR ELEVATIONS

DESIGNED MAM	DRAWN MAM
PROJECT NO. L0971-S-20-00135	
DATE MAY 21, 2021	
SHEET NO. A391	



Little Chute

ESTABLISHED 1848

APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: 1300 & 1302 Daytona Lane Little Chute

Parent Parcel # _____

Number of Lots: 2

☐ Preliminary Plat

☐ Final Plat

☒ CSM

Will deed restrictions be recorded? ☐ Yes ☐ No

Property Owner Information:

Name: Evers Construction & Realty Telephone Number: office 920.687.9441

Mailing Address: 715 S. Railroad St. Kimberly, WI 54136

Surveyor Information:

Name: Carow Land Surveying Co. Telephone Number: 920.731.4168 email _____

Engineer Information:

Name: _____ Telephone Number: _____ email _____

Required for plat review:

☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies

☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies

☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies

☐ Pavement Design Catalog (3 copies)

☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☐ Proposed CSM (24) copies

☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☐ Preliminary Plat \$100.00 plus \$5.00 per lot.

☐ Final Plat \$50.00 plus \$2.00 per lot.

☒ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50

Signature of Applicant Tracy Evers Date 4.12.2021

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

CERTIFIED SURVEY MAP NO.

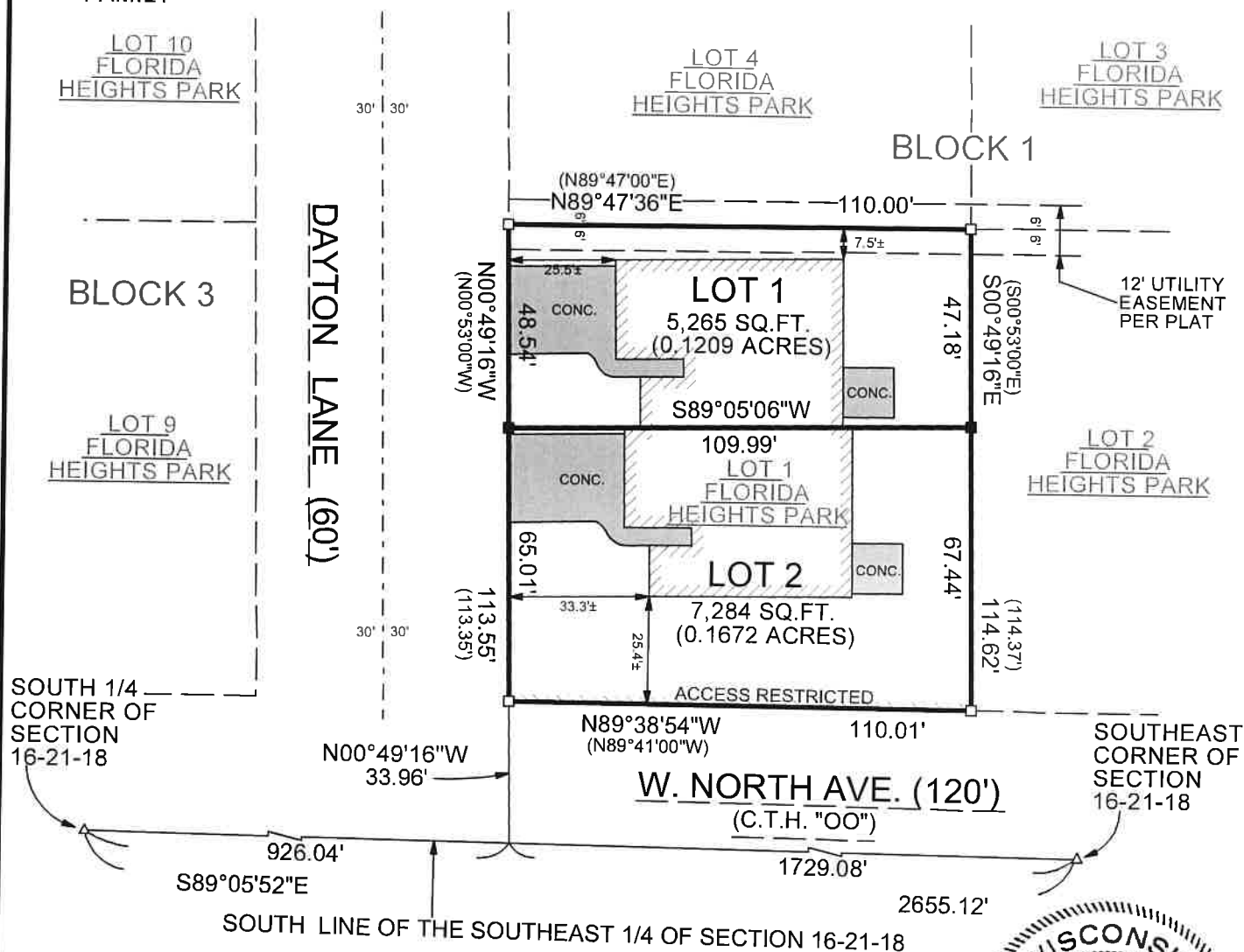
BEING ALL OF LOT 1, BLOCK 1, FLORIDA HEIGHTS PLAT,
LOCATED IN THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF
SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE
OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

LEGEND

- = 1" X 18" I.D. IRON PIPE SET,
WEIGHING 1.13 LBS PER
LIN. FT. SET WITH CAROW LAND
SURVEYING CAP
Δ = MAG NAIL/DISK
□ = EXISTING 1" I.D. IRON PIPE
() = RECORDED AS BEARING/
DIMENSION

OWNER(S): EVERS CONSTRUCTION
AND REALTY, INC.
TAX PARCEL: 260 210800
PARCEL ZONING: RT - RESIDENTIAL TWO
FAMILY

NORTH IS REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN, WHICH BEARS S89°05'52"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (OUTAGAMIE COUNTY)



NOTE:

- EASEMENTS SHALL BE PROVIDED UPON EACH LOT AS MAY BE NECESSARY FOR WATER, SEWER AND ALL OTHER UTILITY SERVICES. SAID EASEMENTS SHALL BE APPROVED BY EACH OF THE UTILITY PROVIDERS.
- RESTRICTIVE COVENANTS SHALL BE RECORDED AT THE COUNTY REGISTER OF DEEDS, PROVIDING DECLARATIONS AND/OR BYLAWS SIMILAR TO THOSE TYPICALLY RECORDED ON A DECLARATION OF CONDOMINIUM. SAID COVENANTS SHALL PROVIDE FOR MEDIATION OF ANY AND ALL DISPUTES BETWEEN OWNERS OF EACH UNIT AND ANY THIRD PARTY WITH REGARD TO CONSTRUCTION, USE, AND MAINTENANCE OF THE REAL PROPERTY. FURTHERMORE, SAID COVENANTS SHALL SPECIFICALLY STATE THAT THE VILLAGE AND ALL APPROVING AUTHORITIES SHALL NOT BE HELD RESPONSIBLE FOR SAME, AND THAT SAID COVENANTS SHALL INURE TO ALL HEIRS AND ASSIGNS.



CHRISTOPHER E. PERREAU, PLS-2249 DATED
CAROW LAND SURVEYING CO., INC.
615 N LYNNDAL DR., P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920) 731 4168
A2006.27-21 CEP ajd trb 5/13/2021

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 1, BLOCK 1, FLORIDA HEIGHTS PLAT, LOCATED IN THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:


I, CHRISTOPHER E. PERREAULT, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED ALL OF LOT 1, BLOCK 1, FLORIDA HEIGHTS PLAT, LOCATED IN THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF EVERS CONSTRUCTION, 715 S. RAILROAD STREET, KIMBERLY, WISCONSIN 54136.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF THE VILLAGE OF LITTLE CHUTE.



 9/14/21
CHRISTOPHER E. PERREAULT, PLS-2249 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A2006.27-21 (RFR) 5-12-2021

VILLAGE BOARD APPROVAL:

WE HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP WAS APPROVED BY THE VILLAGE OF LITTLE CHUTE ON THIS _____ DAY OF _____, 20____.

PRESIDENT DATED CLERK DATED

TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LAND INCLUDED ON THIS CERTIFIED SURVEY MAP.

VILLAGE TREASURER DATED COUNTY TREASURER DATED

NOTES:

- 1) THE PROPERTY OWNERS OF RECORD IS (ARE): EVERS CONSTRUCTION AND REALTY, INC.
- 2) THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NO.S: 260 210800
- 3) THIS CSM IS WHOLLY CONTAINED WITHIN LANDS DESCRIBED IN: DOCUMENT NO. 2176510.

CERTIFIED SURVEY MAP NO.

BEING ALL OF LOT 1, BLOCK 1, FLORIDA HEIGHTS PLAT, LOCATED IN THE SOUTHWEST ¼
OF THE SOUTHEAST ¼ OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF
LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF LITTLE CHUTE.

WITNESS THE HAND AND SEAL OF SAID OWNER(S) THIS _____ DAY OF _____, 20____.

BY: EVERS CONSTRUCTION AND REALTY, INC.

TRACY EVERS

STATE OF WISCONSIN)

)SS

COUNTY OF OUTAGAMIE)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE NAMED PERSON(S) TO ME KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES



CHRISTOPHER E. PERREAULT, PLS-2249 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A2006.27-21 (RFR) 5-12-2021

SHEET 3 OF 3 SHEETS



APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: HJT Business Park - North

Parent Parcel # 260442900 & 260443000

Number of Lots: 2 into 1

☐ Preliminary Plat

☐ Final Plat

☒ CSM

Will deed restrictions be recorded? ☐ Yes ☒ No

Property Owner Information:

Name: HJT Development, Inc.

Telephone Number: 757-0999

Mailing Address: N1040 Craftsmen Drive Greenville, WI 54942

Surveyor Information:

Name: Rob Harris

Telephone Number: 733-8377

email rharris@harrisinc.net

Engineer Information:

Name: _____

Telephone Number: _____

email _____

Required for plat review:

☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies

☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies

☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies

☐ Pavement Design Catalog (3 copies)

☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☒ Proposed CSM (24) copies

☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☒ Preliminary Plat \$100.00 plus \$5.00 per lot.

☐ Final Plat \$50.00 plus \$2.00 per lot.

☐ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50.00

Signature of Applicant

Robert J. Harris

Date

6-9-21

Submit to:

Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

OUTAGAMIE COUNTY CERTIFIED SURVEY MAP NO. _____

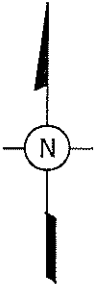
A Combination Certified Survey Map

Lots 10 and 11, HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

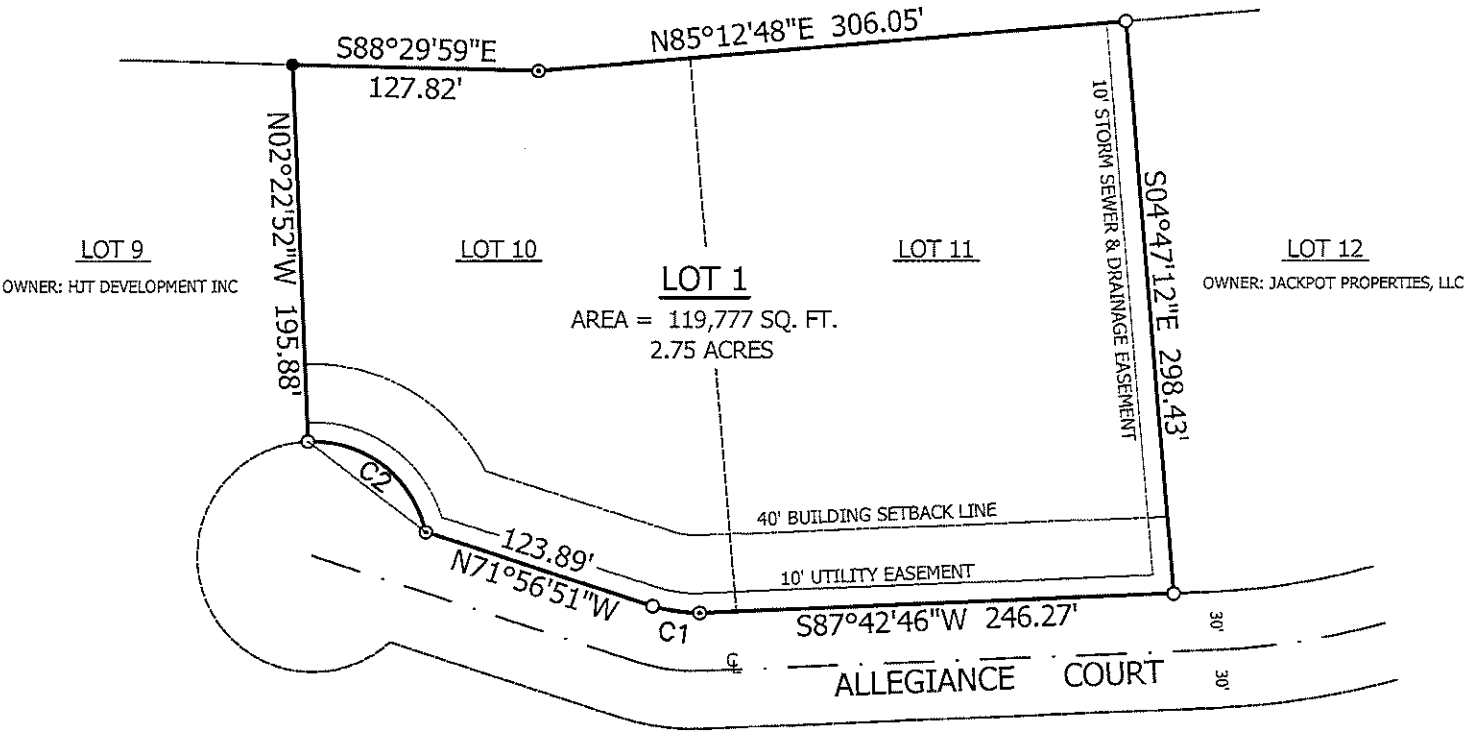
LEGEND

- = 3/4" x 24" REBAR SET
WEIGHING 1.502 LBS./LIN. FT.
- ⊙ = 1 1/4" REBAR FOUND
- = 3/4" REBAR FOUND

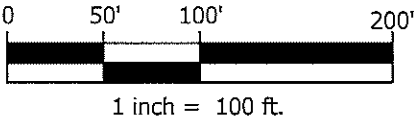
Bearings are referenced to
the recorded plat of HJT
Business Park - North.



UNPLATTED LANDS
OWNER: VILLAGE OF LITTLE CHUTE



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	70.00'	24.85'	24.72'	N82°07'01.5"W	20°20'21"
C2	60.00'	84.21'	77.47'	N52°09'21"W	80°25'00"



**HARRIS
& ASSOCIATES, INC.**
CONSULTING ENGINEERS
AND LAND SURVEYORS

2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731
www.harrisinc.net

Robert J. Harris PLS 1943

Date

CERTIFIED SURVEY MAP

Lots 10 and 11 in HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Robert J. Harris, Professional Land Surveyor, certify that I have surveyed, combined, and mapped all of Lots 10 and 11 in HJT Business Park - North, being part of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 16, T21N, R18E, Village of Little Chute, Outagamie County, Wisconsin.

That I have made such survey, map and land division as shown hereon, under the direction of HJT Development, Inc.

That this map is a correct representation of the exterior boundary lines of land surveyed and the division of that land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Ordinances of the Village of Little Chute in surveying, combining and mapping the same.

Robert J. Harris PLS-1943 Date

Date _____

OWNER'S CERTIFICATE

As owner, I hereby certify that I caused the land described to be surveyed, divided and mapped as shown and represented on this map. I also certify that this plat is required by 2.36.10 or 2.36.12 to be submitted to the following for approval or objection: Outagamie County

Authorized Representative _____ Date _____
HJT Development, Inc.

Date[illegible]

Personally came before me this ____ day of _____, 2021, the above-named person to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public	Date
---------------	------

Date _____

My commission expires

CERTIFIED SURVEY MAP

Lots 10 and 11 in HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

TREASURER’S CERTIFICATE

As duly elected Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

_____	_____	_____	_____
Lisa Remiker - De Wall	Date	Trenton Woolfel	Date
Village Finance Director		County Treasurer	

VILLAGE BOARD CERTIFICATE

This Certified Survey Map has been approved by the Village Board of the Village of Little Chute, on the _____ day of _____, 2021.

_____	_____
Michael Vanden Berg	Laurie Decker
Village President	Village Clerk

GENERAL NOTES:

- 1. This Certified Survey Map is all of Tax Parcel Nos. 260442900 & 260443000.
- 2. This Certified Survey Map is wholly contained within the lands described in Document No. 1598538.
- 3. The property owner of record is HJT Development, Inc.

Robert J. Harris PLS-1943	Date
---------------------------	------



APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Lot 2 of CSM 7230

Parent Parcel # 26-0-1300-10

Number of Lots: 3

☐ Preliminary Plat ☐ Final Plat ☒ CSM

Will deed restrictions be recorded? ☐ Yes ☒ No

Property Owner Information:

Name: 360 Property Management, LLC C/O Todd Schuh Telephone Number: 920-585-1895

Mailing Address: N4327 Serenity Ridge Court

Surveyor Information:

Name: James R Sehloff Telephone Number: 920-560-6562 email jim@davel.pro

Engineer Information:

Name: NA Telephone Number: email

Required for plat review:

- ☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies
- ☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies
- ☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies
- ☐ Pavement Design Catalog (3 copies)
- ☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)
- ☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☒ Proposed CSM (24) copies

- ☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☐ Preliminary Plat \$100.00 plus \$5.00 per lot. ☐ Final Plat \$50.00 plus \$2.00 per lot. ☒ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50

Signature of Applicant _____ Date _____

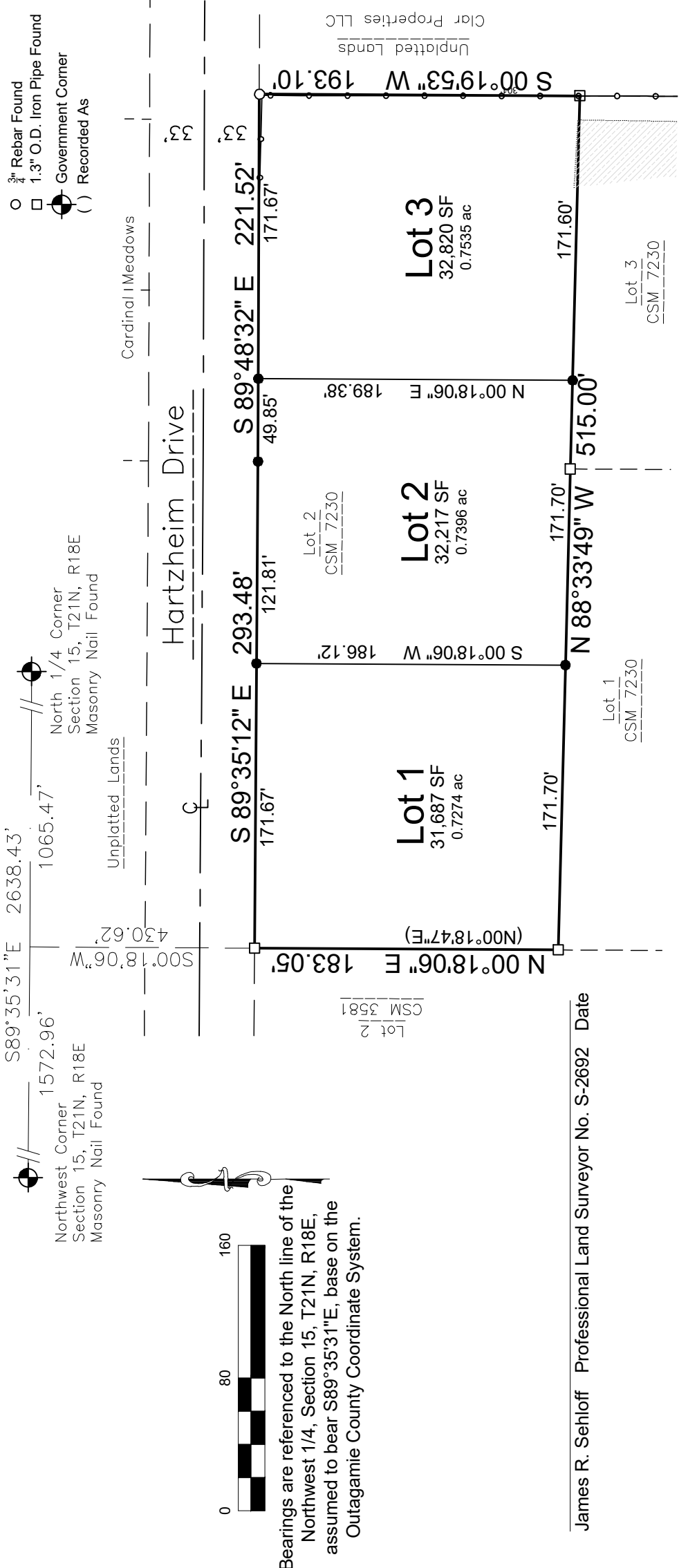
Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

Certified Survey Map No. _____

All of Lot 2, Certified Survey Map 7230, recorded as Document Number2080590, located in part of the Northeast 1/4 of the Northwest 1/4, Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- 3/4" Rebar Found
- 1.3" O.D. Iron Pipe Found
- ⊙ Government Corner
- () Recorded As



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

Survey for:
360 Property Management, LLC
N4327 Serenity Ridge Ct
Freedom, WI 54130

File: 6682CSM.dwg
Date: 05/26/2021
Drafted By: jim
Sheet: 1 of 3

Certified Survey Map No. _____

All of Lot 2, Certified Survey Map 7230, recorded as Document Number 2080590, located in part of the Northeast 1/4 of the Northwest 1/4, Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute, and under the direction of 360 Property Management, LLC, the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land All of Lot 2, Certified Survey Map 7230, recorded as Document Number 2080590, located in part of the Northeast 1/4 of the Northwest 1/4, Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 96,724 Square Feet (2.2205 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this _____ day of _____, _____.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

Owner's Certificate

360 Property Management, LLC, a limited liability company duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owner, does hereby certify that we caused the land above described to be surveyed, divided and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

In the presence of: 360 Property Management, LLC

Managing Member

Date

Print Name

State of Wisconsin)
)SS
 _____ County)

Personally came before me on the _____ day of _____, 20____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Certified Survey Map No. _____

All of Lot 2, Certified Survey Map 7230, recorded as Document Number 2080590, located in part of the Northeast 1/4 of the Northwest 1/4, Section 15, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Little Chute, Outagamie County, Village of Little Chute, the property owner, is hereby approved by the Village Board of the Village of Little Chute.

Village President

Date _____

Clerk

Date _____

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer

Date _____

County Treasurer

Date _____

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property owners of record:
360 Property Management, LLC

Recording Information:
Doc. 2234785

Parcel Number(s):
26-0-1300-10

James R. Sehloff Professional Land Surveyor No. S-2692 Date



APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Silverleaf LLC CSM

Parent Parcel # 260440500 & 260440504 Number of Lots: 3

☐ Preliminary Plat ☐ Final Plat ☒ CSM Will deed restrictions be recorded? ☐ Yes ☒ No

Property Owner Information:

Name: Silverleaf LLC Telephone Number: 920-733-3214

Mailing Address: 3305 CN Ballard Rd, Appleton, WI 54911

Surveyor Information:

Name: Bob Reeder Telephone Number: 920-734-168 email bob.r@cedarlandsurveying.com

Engineer Information:

Name: N/A Telephone Number: _____ email _____

Required for plat review:

- ☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies
- ☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies
- ☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies
- ☐ Pavement Design Catalog (3 copies)
- ☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)
- ☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☒ **Proposed CSM (24) copies**

☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☐ Preliminary Plat \$100.00 plus \$5.00 per lot. ☐ Final Plat \$50.00 plus \$2.00 per lot. ☒ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50.00

Signature of Applicant Bob Reeder Date 6-8-21

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

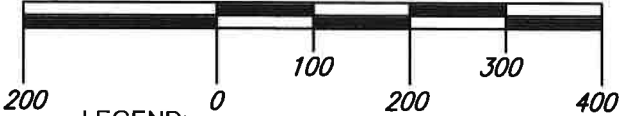
A025.17-21

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 1 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 5888
AS RECORDED IN DOCUMENT NUMBER 1812593, LOCATED IN THE
NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 21
NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY,

WISCONSIN.

GRAPHIC SCALE: 1" = 200'



LEGEND:

- = 3/4" X 18" SOLID ROUND IRON REBAR SET, WEIGHING 1.502 LBS. PER LIN. FT.
- Ⓡ = 3/4" SOLID ROUND IRON REBAR FOUND
- Ⓟ = 1" I.D. ROUND IRON PIPE FOUND
- △ = RAILROAD SPIKE FOUND
- ⦿ = BERNTSEN MONUMENT FOUND
- () = RECORDED AS BEARING OR DISTANCE
- x- = EXISTING FENCE

SEE SHEET 4 OF 4 SHEETS
FOR NOTES:

**DEDICATED TO
THE PUBLIC**

25,090 SQ.FT. ±
[0.5760 ACRES ±]

CSM #929

NORTHWEST CORNER
SECTION 17-21-18

EVERGREEN DR. (66')

S89°29'33"E (S89°29'44"E)

2676.94'

NORTH 1/4 CORNER
SECTION 17-21-18

FRENCH RD. (WIDTH VARIES)

LOT 2
CSM# 5706

SANITARY SEWER &
WATER MAIN EASEMENT
AS PER DOCUMENT NO.
1742028

LOT 1
CSM# 6096

LOT 2
CSM# 6096

LOT 1
CSM# 5888

LOT 1
488,967 SQ.FT.±
[11.2251 ACRES±]

METAL BLDG.
ASPHALT
PARKING
AREA

CSM #5706

LOT 2
426,881 SQ.FT.±
[9.7998 ACRES±]

METAL
BLDG.

REPLACED EXISTING
IRON ROD BENT &
SPUN

NO ACCESS PERMITTED
PER CSM NO.5888

50' HIGHWAY SETBACK

APPROXIMATE LOCATION OF
INTERMITTENT NAVIGABLE WATERWAY PER QUAD MAP

I.H. "41" (220')

Robert F. Reider

ROBERT F. REIDER, PLS-1251 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DR., P.O. BOX 3297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A025.17-21 DATED: 6-7-2021
DRAFTED BY: adj-cwm MRH



NORTH IS REFERENCED TO THE NORTH LINE OF
THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 21
NORTH, RANGE 18 EAST, VILLAGE OF LITTLE
CHUTE, OUTAGAMIE COUNTY, WISCONSIN, WHICH
BEARS S89°29'33"E PER THE WISCONSIN COUNTY
COORDINATE SYSTEM (OUTAGAMIE COUNTY)

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 1 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 5888 AS RECORDED IN DOCUMENT NUMBER 1812593, LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 17, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR’S CERTIFICATE:

I, ROBERT F. REIDER, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED ALL OF LOT 1 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 5888 AS RECORDED IN DOCUMENT NUMBER 1812593, LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 17, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SECTION 17; THENCE S89°29’33”E, 578.43 FEET ALONG THE NORTH LINE OF THE NORTHWEST ¼ OF SECTION 17 TO A WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5888 AND THE POINT OF BEGINNING; THENCE CONTINUING S89°29’33”E, 759.99 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 17; THENCE S00°36’21”E, 33.01 FEET ALONG SAID EAST LINE TO THE SOUTH RIGHT-OF-WAY LINE OF EVERGREEN DRIVE; THENCE N89°29’33”W, 155.92 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE TO A WEST LINE OF CERTIFIED SURVEY MAP NO. 6442; THENCE S10°06’39”E, 40.64 FEET ALONG SAID WEST LINE; THENCE S00°30’25”W, 959.64 FEET ALONG SAID WEST LINE TO A SOUTH LINE OF CERTIFIED SURVEY MAP NO. 6442; THENCE S89°29’35”E, 91.79 FEET ALONG SAID SOUTH LINE; THENCE S44°29’35”E, 58.47 FEET ALONG SAID SOUTH LINE TO A WEST LINE OF CERTIFIED SURVEY MAP NO. 6442; THENCE S00°21’05”E, 160.31 FEET ALONG SAID WEST LINE TO THE NORTH RIGHT-OF-WAY LINE OF I.H. “41”; THENCE N89°41’03”W, 1055.62 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE; THENCE N46°56’29”W, 144.44 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE EAST RIGHT-OF-WAY LINE OF FRENCH ROAD; THENCE N06°15’58”W, 340.59 FEET ALONG SAID EAST RIGHT-OF-WAY LINE TO A NORTH LINE OF CERTIFIED SURVEY MAP NO. 5888; THENCE S89°29’41”E, 176.46 FEET ALONG SAID NORTH LINE TO A WEST LINE OF CERTIFIED SURVEY MAP NO. 5888; THENCE N01°05’48”W, 440.05 FEET ALONG SAID WEST LINE TO A NORTH LINE OF CERTIFIED SURVEY MAP NO. 5888; THENCE S89°29’31”E, 290.30 FEET ALONG SAID NORTH LINE TO A WEST LINE OF CERTIFIED SURVEY MAP NO. 5888; THENCE N00°30’19”E, 361.98 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF AMERICAN MANAGEMENT GROUP, 3305C BALLARD ROAD, APPLETON, WISCONSIN 54911.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF THE VILLAGE OF LITTLE CHUTE.



Robert F. Reider 6-10-21
ROBERT F. REIDER, PLS-1251 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A025.17-21 (RFR) 6-8-2021

VILLAGE BOARD APPROVAL:

WE HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP WAS APPROVED AND ACCEPTED BY THE VILLAGE OF LITTLE CHUTE ON THIS _____ DAY OF _____, 20____.

PRESIDENT DATED CLERK DATED

CERTIFIED SURVEY MAP NO.

BEING ALL OF LOT 1 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 5888 AS
RECORDED IN DOCUMENT NUMBER 1812593, LOCATED IN THE NORTHWEST ¼ OF THE
NORTHWEST ¼ OF SECTION 17, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE
CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LAND INCLUDED ON THIS CERTIFIED SURVEY MAP.

VILLAGE TREASURER	DATED	COUNTY TREASURER	DATED
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LIMITED LIABILITY COMPANY OWNER'S CERTIFICATE:

SILVERLEAF, LLC, A WISCONSIN LIMITED LIABILITY COMPANY, DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP.

SILVERLEAF, LLC, DOES FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:
VILLAGE OF LITTLE CHUTE.

BY _____

STATE OF WISCONSIN)
)SS
COUNTY OF OUTAGAMIE)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE NAMED _____, _____ OF SILVERLEAF, LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES: _____



Robert F. Reider 6-10-21
ROBERT F. REIDER, PLS-1251 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A025.17-21 (RFR) 6-8-2021

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 1 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 5888 AS RECORDED IN DOCUMENT NUMBER 1812593, LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 17, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

NOTES:

- 1) THE PROPERTY OWNERS OF RECORD IS (ARE): SILVERLEAF, LLC.
- 2) THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NO.S: 260 440500 & 260 440504
- 3) THIS CSM IS WHOLLY CONTAINED WITHIN LANDS DESCRIBED IN: DOCUMENT NO. 2142599 AND 1982327.

ADDITIONAL NOTES:

- THE ORDINARY HIGH WATER MARK SETBACK IS NOT BASED ON AN OFFICIAL DETERMINATION AND PRIOR TO ANY BUILDING, AN OFFICIAL DETERMINATION OF THE ORDINARY HIGH WATER MUST BE MADE BY THE VILLAGE OF LITTLE CHUTE OR OTHER AUTHORIZED PERSON. ALSO ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS SHOULD BE VERIFIED BY THE VILLAGE OF LITTLE CHUTE PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY.
- PRIOR TO ANY CONSTRUCTION CONTACT WISCONSIN DEPARTMENT OF NATURAL RESOURCES TO DETERMINE NAVIGABILITY OF WATERWAY AND LOCATION OF ORDINARY HIGH WATER.
- NAVIGABLE WATERWAY SHOWN IS BASED ON AERIAL PHOTOGRAPHY NOT FIELD LOCATED.
- ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1 OF THE STATE CONSTITUTION.
- THE LOCATION OF THE APPROXIMATE ORDINARY HIGH WATER MARK SHALL BE THE POINT ON THE BANK OF A NAVIGABLE STREAM OR ON THE SHORE OF A LAKE UP TO WHICH THE PRESENCE AND ACTION OF SURFACE WATER IS SO CONTINUOUS AS TO LEAVE A DISTINCTIVE MARK BY EROSION, DESTRUCTION OF TERRESTRIAL VEGETATION, OR OTHER EASILY RECOGNIZED CHARACTERISTICS.



Robert F. Reider 6-10-21
ROBERT F. REIDER, PLS-1251 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DRIVE, P.O. BOX 1297
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SHEET 4 OF 4 SHEETS