



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, July 12, 2021

TIME: 6:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the July 12th Plan Commission meeting at 6 PM by following the link here:

<https://zoom.us/j/91070918785>

Meeting ID: 910 7091 8785

Call-in Information: [+1 \(312\) 626-6799 US \(Chicago\)](tel:+13126266799) Meeting ID: 910 7091 8785

1. Approval of Minutes from the Plan Commission Meeting of June 14, 2021
2. Discussion/Recommendation—Robs Imports Site Plan Review
3. Discussion/Recommendation—Outagamie County R&G Site Plan
4. Recommendation—Ordinance to Create Pine Street Pedestrian Mall
5. Recommendation—310 Allegiance Court Conditional Use
6. Unfinished Business
7. Items for Future Agenda
8. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 July 8, 2021



Information for the Plan Commission Meeting – July 12, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the July 12th Plan Commission Meeting at 6:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/91070918785>
Meeting ID: 910 7091 8785
2. Call-in Information: United States
One tap mobile:
+13126266799,,91070918785#, US (Chicago)
+13017158592,,91070918785#, US (Washington D.C)
3. Dial by your location:
+1 312 626 6799 US (Chicago) +1 929 436 2866 US (New York)
+1 301 715 8592 US (Washington D.C) +1 346 248 7799 US (Houston)
+1 253 215 8782 US (Tacoma)
+1 669 900 6833 US (San Jose)
Meeting ID: 976 1567 6559
Find your local number: <https://zoom.us/u/abGpaew1E>
4. If you are experiencing connectivity issues or have questions on the options above, please contact Dave Kittel at david.kittel@littlechutewi.org
5. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
6. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE PLAN COMMISSION MEETING JUNE 14, 2021

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
President Vanden Berg
Larry Van Lankvelt
Jim Moes
Kent Taylor
Richard Schevers
EXCUSED: Todd Verboomen
STAFF PRESENT: Community Development Director Kittel

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of May 3, 2021

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Approve the Minutes the Plan Commission Meeting of May 3, 2021

All Ayes—Motion Carried

Public Hearing 1215 Buchanan Street

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to enter public hearing

All Ayes— Motion Carried

Director Kittel went over the request for the Conditional Use for 1215 Buchanan Street to open Heirloom Kitchen. Director Kittel advised the business for the most part will not be open to the public. The applicant, Tracy Darling was present at the meeting and advised they will be doing cooking from this facility and was available for any questions from the Commission. Commissioner Moes asked for anticipated hours; Ms. Darling advised the plan is to be open Tuesday through Saturday and generally they would be closed from 10:00 p.m. to 5:00 a.m. but occasionally may have to be there for special events. Director Kittel advised there will be a fence installed and scheduling truck deliveries during regular business hours only. There have not been any comments received from neighbors.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to exit public hearing

All Ayes— Motion Carried

Discussion/Action—1215 Buchanan Conditional Use

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Approve the Conditional Use application for use as a catering kitchen with the stipulation they be closed between 10:00 p.m. to 5:00 a.m. for any deliveries or truck traffic. Also stated the maximum sign will be 20 square feet and will hire a plumbing company to install a grease trap to prevent any clogging. Also added the installation of a maintenance free fence along the lot line according to code.

All Ayes—Motion Carried

Recommendation—Land O’ Lakes Site Plan Review

Director Kittel advised the site plan is for a small addition to the existing building and staff is recommending approval. Joe the Civil Engineer from Mc Mahon advised there will be a transformer pad installed to help with utilities for some remodeling being done inside.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to recommend Approval of the Land O’ Lakes Site Plan to the Village Board and added that the Commission would like clean up the current area of gravel.

All Ayes—Motion Carried

Recommendation—Evers CSM

Director Kittel advised staff is recommending approval

Moved by Commissioner Moes, seconded by Commissioner Van Berkel to Recommend Approval to the Village Board of the Evers CSM subject to property owners planting a lawn within 60 days of recording the CSM

All Ayes—Motion Carried

Recommendation—310 Allegiance Court CSM

Director Kittel advised this CSM is to combine lot 10 & 11 to one lot.

Moved by Commissioner Moes, seconded by Commissioner Van Berkel to Recommend Approval to the Village Board to combine lots 10 and 11 into one lot as presented on the Evers CSM

All Ayes—Motion Carried

Recommendation—360 Property Management, LLC CSM

Director Kittel advised this request is to separate three separate lots and staff is recommending approval.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend Approval to the Village Board for the 360 Property Management CSM as presented.

All Ayes—Motion Carried

Recommendation—Silverleaf LLC CSM

Director Kittle went over the request from Silverleaf LLC and advised the board that a 2/3rds vote will be needed to approve this CSM, staff is recommending approval.

Moved by Commissioner Van Berkel, seconded by Commissioner Van Lankvelt to Recommend to the Village Board Approval of the CSM as presented

All Ayes—Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Schevers to Adjourn the Plan Commission Meeting at 6:35 p.m.

All Ayes— Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

NEW BUILDING FOR: LOT #10-11

ALLEGIANCE COURT LITTLE CHUTE, WISCONSIN

SPECIFICATION NOTES

A. GENERAL:

- All work and materials shall conform to the 2015 International Building Code as adopted by the State of Wisconsin and all other applicable state and local codes. All work shall be performed in a complete and workmanlike manner.
- Provide adequate clearances from power lines and other hazards. Notify all affected utility companies to locate existing lines. Provide at least three working days notice if any remarking of utility locations is required.
- Provide all necessary labor, materials, equipment, and services required to complete all work as specified or shown on these drawings.

B. SITE WORK:

- The following items shall be included with the earthwork contractor's work: All excavating and backfilling including foundation walls and footings, shaping ditches, grading, and granular base course. All backfill material inside building lines shall be granular in nature, placed in layers not to exceed 9 inches thickness, and compacted by means of vibratory equipment to at least 95% of maximum density, at optimum moisture content, in accordance with ASTM D 1557-91. Top 3" shall be crusher run gravel.
- The following items shall be covered under separate contracts: Bituminous pavement, concrete curbs and driveway aprons, sewer & water work, and landscaping.
- Earthwork Contractor's bid shall include excavating, trenching, and backfilling for all walls and footings. All backfill material within building lines shall be granular in nature, placed in layers not to exceed 9 inches thickness, and machine compacted to at least 95% of maximum density, at optimum content, in accordance with ASTM D 1557-91. Top 3" shall be crusher run gravel.
- Prevent surface water and subsurface or ground water from flowing into excavations and from flooding project site and surrounding area.

Do not allow water to accumulate in excavations. Remove water to prevent softening of foundation bottoms, undercutting footings, and soil changes detrimental to stability of subgrades and foundations. Provide and maintain pumps, well points, sumps, suction and discharge lines, and other dewatering system components necessary to convey water away from excavations.

Establish and maintain temporary drainage ditches and other diversions outside excavation limits to convey rain water and water removed from excavations to collecting or run-off areas. Do not use trench excavations as temporary drainage ditches.

C. PRE-ENGINEERED METAL BUILDING

- Building shall be designed, manufactured, and erected in conformance with MBMA standards.
- Pre-engineered metal building permit drawings shall be designed, and sealed by a Wisconsin-registered Professional Engineer.
- Pre-engineered metal building designer shall supply Utscig Inc. four (4) copies of stamped drawings and (2) sets of calculations for submittal to Dept. of Commerce.
- Metal building designer shall include adequate provisions to accommodate thermal expansion and contraction of roof system. Provisions may include longitudinal and/or transverse roof steps (joints), special ridge and eaves connection details, at the designer's discretion.

D. FINISH ITEMS:

- Insulation shall be as noted on drawings.
- Exterior service doors shall be hollow core metal doors, with polystyrene foam cores, in metal frames. Frames to be insulated with 4" insulation. All required exit doors shall have illuminated exit lights and exit hardware in conformance with Wisconsin Enrolled Commercial Building Code Chapter 10, section 1003.2.10.
- Exterior overhead doors, frames, and hardware shall be similar to Bay-Therm 11 insulating door.

E. HVAC WORK: Covered under separate contract.

F. ELECTRICAL WORK: Covered under separate contract.

G. PLUMBING WORK: Covered under separate contract.

ALLEGIANCE COURT
LITTLE CHUTE, WISCONSIN

GENERAL NOTES

ONE SET OF "STATE OF WISCONSIN - CONDITIONALLY APPROVED" PLANS MUST BE KEPT ON SITE DURING ALL WORKING PERIODS.

CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION AND NOTIFY ENGINEER AND OWNER OF ANY INTERFERENCES.

CONTRACTORS SHALL PROVIDE ALL BARRIERS, BARRICADES, FENCES AND SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY ALL CODES AND SAFE CONSTRUCTION PRACTICES.

ALL CONSTRUCTION SHALL CONFORM TO STATE AND LOCAL CODES AND ORDINANCES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.

CONSTRUCTION OF THIS BUILDING SHALL MEET OR EXCEED ALL APPLICABLE ORDINANCES, CODES AND STANDARDS. IN THE CASE OF CONFLICT, THE MOST STRINGENT SHALL APPLY.

THIS SET OF DRAWINGS SHOW AS CLEARLY AS POSSIBLE THE INTENT OF THIS PROJECT. IT IS IMPOSSIBLE TO SHOW EACH AND EVERY SPECIFIC DETAIL COMPONENT, ANCHOR, ETC. ON THE DOCUMENTS. THEREFORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROVIDE ALL LABOR AND MATERIAL, INCLUDING ITEMS NOT SPECIFICALLY SHOWN, AS NECESSARY TO ACCOMPLISH THE INTENT OF THESE DOCUMENTS AND A COMPLETE OPERATING SYSTEM OR ASSEMBLY.

VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION.

ALL PLAN DIMENSIONS ARE NOMINAL. SEE DETAILS FOR ACTUAL DIMENSIONS NEEDED AND COORDINATE ALL DIMENSIONS WITH SHOP DRAWINGS AND MATERIAL SUPPLIERS.

DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

REFER TO ALL DRAWINGS, INCLUDING ARCHITECTURAL, CIVIL, AND STRUCTURAL FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.

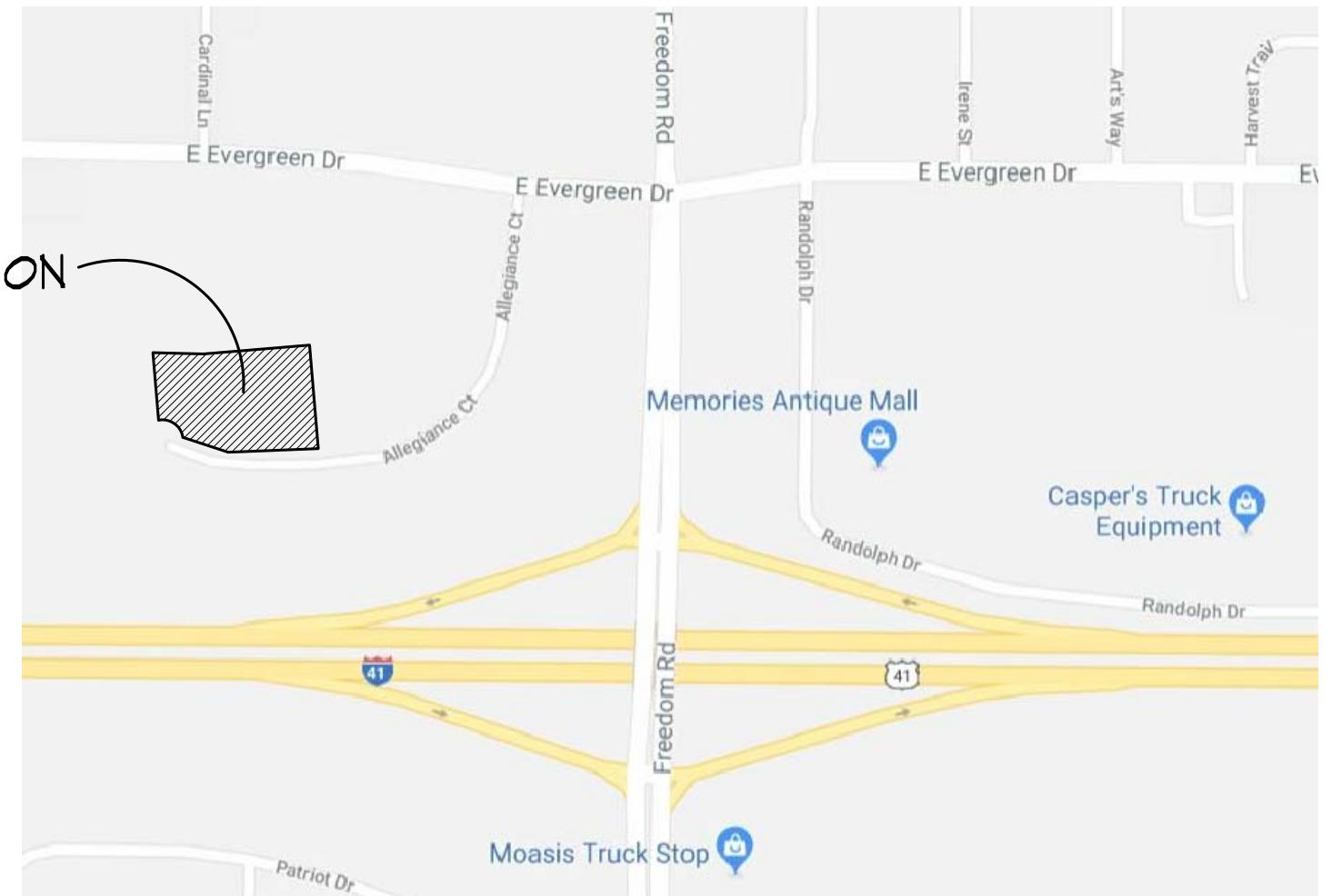
ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING WORK OF THIS CONTRACT. CONTRACTORS SHALL REVIEW ALL DRAWINGS PRIOR TO INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS, NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT ITS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT/ENGINEER.

DO NOT SCALE DRAWINGS. THE DRAWINGS MAY NOT NECESSARILY BE TO SCALE - USE GIVEN DIMENSIONS. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK.

GENERAL CONTRACTOR SHALL COORDINATE ALL FIRE PROTECTION, PLUMBING, HVAC AND ELECTRICAL FLOOR, ROOF, AND WALL SLEEVES AND ALL SHAFTS WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.

FIRE PROTECTION, PLUMBING, HVAC AND ELECTRICAL DESIGN/BUILD CONTRACTORS SHALL PROVIDE SLEEVED PENETRATIONS THROUGH FIRE-RATED CONSTRUCTION WITH FIRE-SAFING AND/OR FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.

PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL SUBMIT PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATING BUILDING COMPONENTS. UPON SATISFACTORY REVIEW OF ARCHITECT/ENGINEER, GENERAL CONTRACTOR TO PROVIDE 3 SETS OF ENGINEERED METAL BUILDING DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN TO THE ARCHITECT/ENGINEER AS A STRUCTURAL COMPONENT SUBMITTAL.



PROJECT LOCATION



ACTUAL AREA PER FLOOR

BUILDING AREA	16248 S.F.
GRADE LEVEL	2334 S.F.
MEZZ. LEVEL	
TOTALS	18582 S.F.

PROJECT AREA

18582 S.F.

ALLOWABLE AREA PER FLOOR

SI USE	10000 PER TABLE 506.2
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GRADE PLAN DETERMINATION

THE GREATEST HGT FROM GRADE TO TOP OF WALL IS 27'-0"

ALLOWABLE HEIGHT PER TABLE 503 IS 55'

NUMBER OF STORIES

(1)

THIS BUILDING HAS ONE FLOOR LEVEL

W/ ENCLOSED MEZZANINE

PROJECT INFORMATION

OWNER:
T.J. UTSCIG
11040 CRAFTSMEN DR.
GREENVILLE, WI 54442

CONTACT:
P.(420) 757-0499

DESIGNERS OF RECORD:
ARCHITECT: UTSCIG, INC.
11040 CRAFTSMEN DR.
GREENVILLE, WI 54442
P.(420) 757-0499

CONTRACTOR:
UTSCIG, INC.
11040 CRAFTSMEN DRIVE
GREENVILLE, WISCONSIN 54442
920-757-0499

INDEX OF DRAWINGS

T100	TITLE SHEET
C101	PROPOSED SITE PLAN
C102	FUTURE SITE PLAN
SHT. 1	UTILITIES PLAN
SHT. 2	EROSION CONTROL PLAN
A101	FIRST FLOOR PLAN
A102	MEZZANINE FLOOR PLAN
A201	BUILDING ELEVATIONS

No.	Date	Description
1	5-27-21	PLAN REVISIONS

Page Information

Drawn By
EAF
Project No.
21-2317

Approved By
JJW
Date
6/18/21

Sheet No.

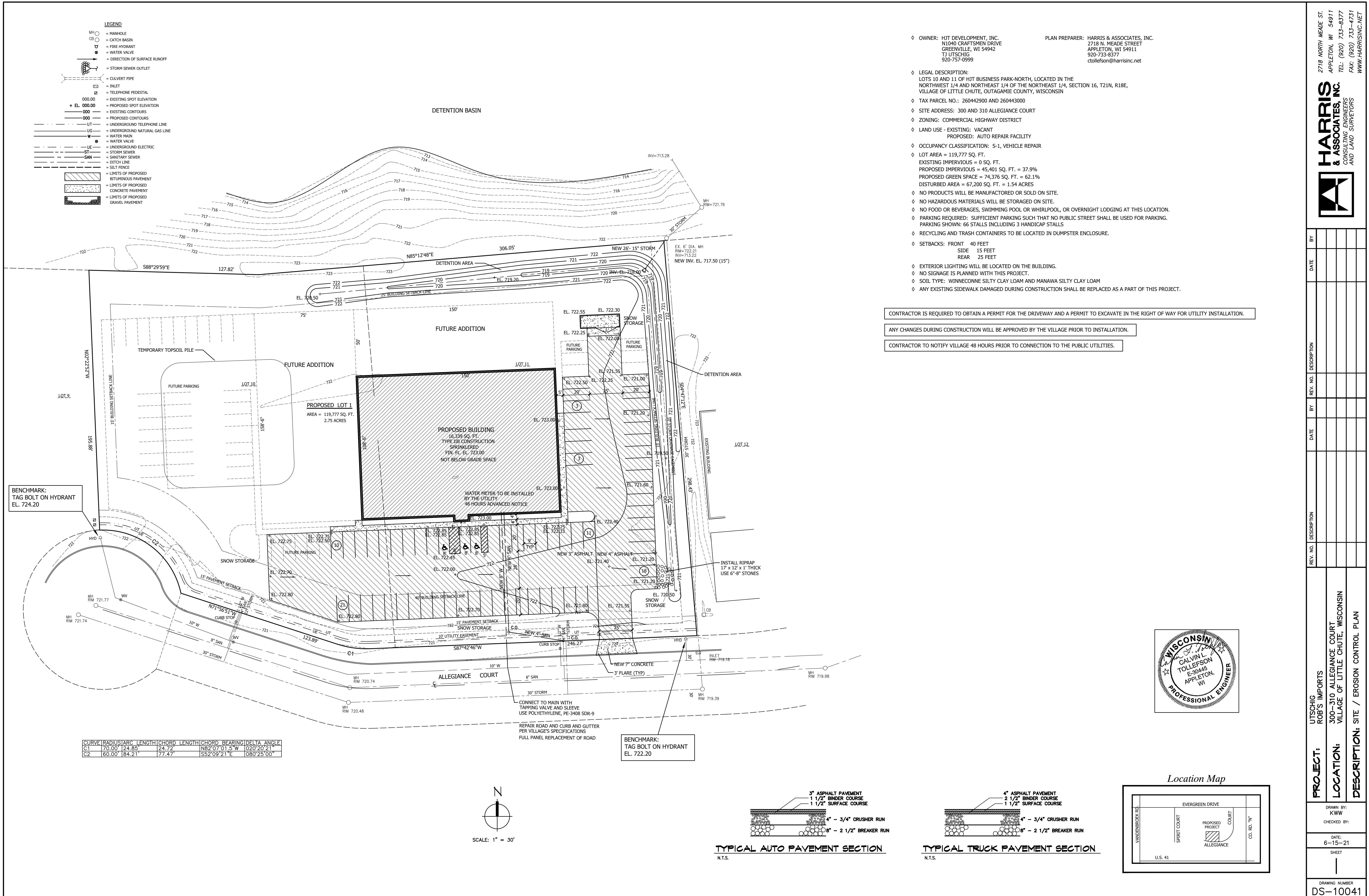
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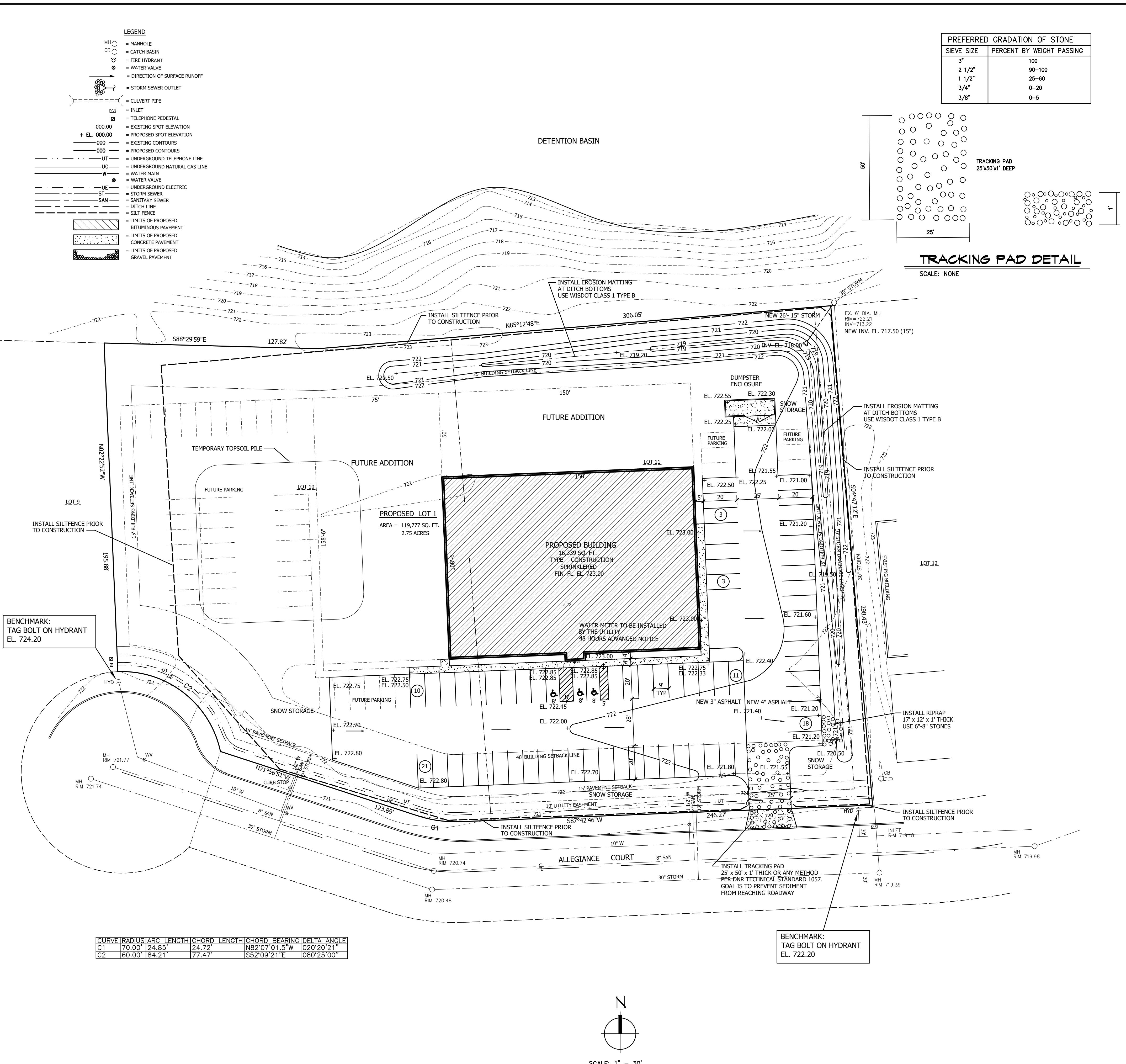
6/18/21

NEW BUILDING FOR:
LOT #10-11
ALLEGIANCE COURT, LITTLE CHUTE, WI

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GREENVILLE, WI 54442
PHONE: 920.757.0999
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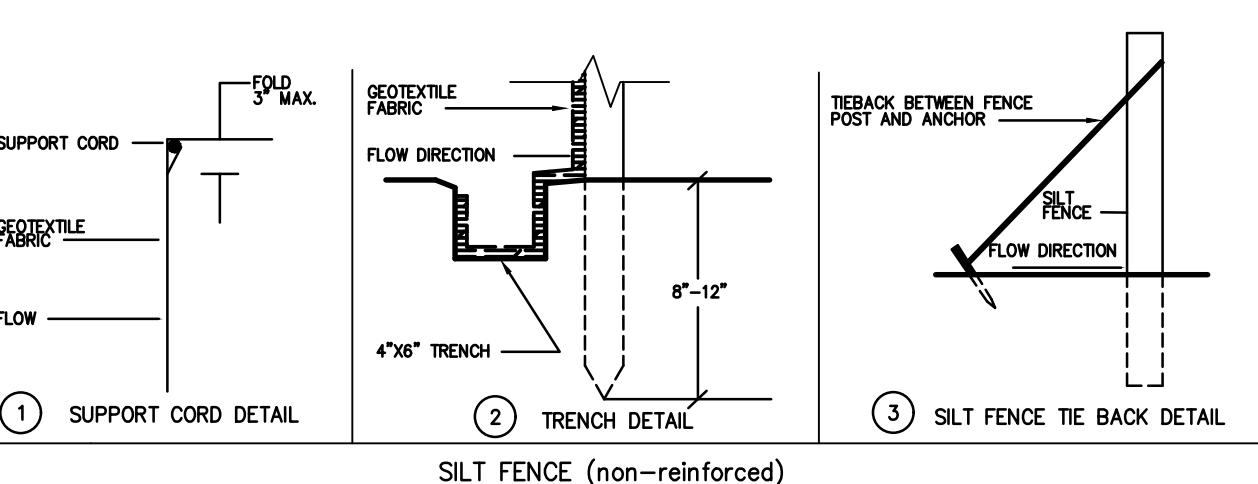
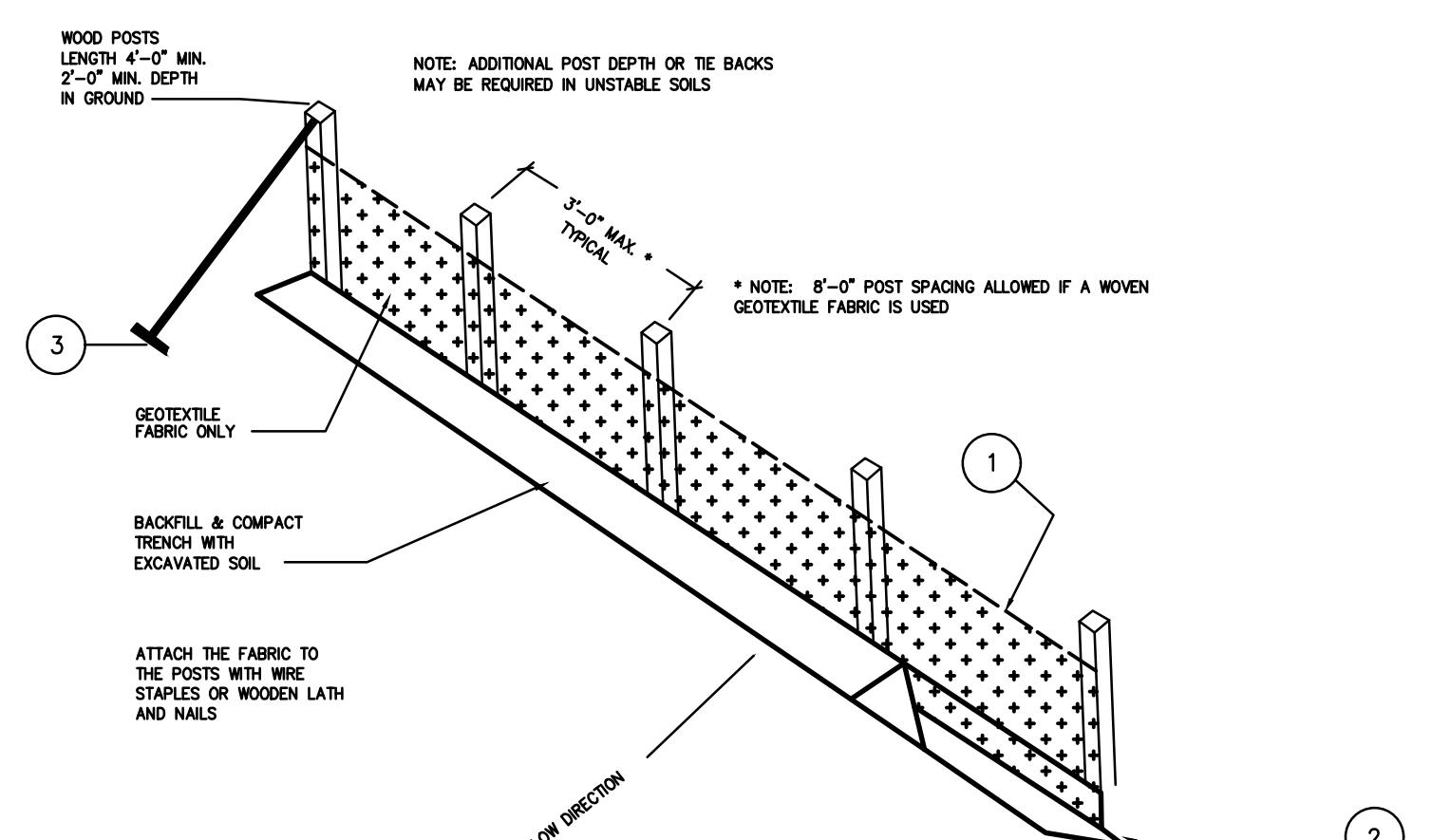




EROSION CONTROL NOTES

1. All site contractors should obtain the Wisconsin Department of Natural Resources Technical Standards.
2. All erosion and sediment control measures shall be constructed, inspected and maintained in accordance with the Erosion Control Plan, WDNR Technical Standards and the WPDES General Permit for the site. Inspection reports shall be maintained.
3. All sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface material. BMPS shall be installed around all soil stockpiles. Stockpiles left in place greater than 7 days shall be properly stabilized.
4. Weekly inspection and maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day.
5. Within 24 hours of a rainfall of 0.5 inches or more, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected immediately.
6. Sediment control measures shall not be removed until the areas served have established vegetative cover.
7. Gravel mats shall be installed at all construction site exits to prevent tracking of soil. The gravel mat shall consist of 3"-6" clear stone placed 12" deep, for a minimum of 50'.
8. Tracked soil shall be collected daily from paved roads located near the construction site.
9. Dewatering shall conform to DNR Technical Standard 1061.
10. Woven geotextile filter fabric shall be used to protect storm water catch basins per WDOT inlet protection types B or D. A minimum of 10 inches of fabric shall extend beyond the grating to provide a handhold when removing. Fabric shall be Type FF. Inlets shall remain protected until the entire drainage area of the inlet is restored. Alternative protection shall be utilized around the catch basin if flooding may cause damage to adjacent buildings or properties. The catch basin shall be inspected after each rainfall event and cleaned as needed to maintain flow. If fabric is ripped it shall be replaced by the end of the work day. Fabric shall not be ripped or cut to prevent ponding.
11. Overland flow shall be prevented from leaving the work site by installing straw bale or filter fabric fencing parallel to the contours located downhill from the work area.
12. Sediment control for pipeline construction:
 - a. Excavated trench material shall be placed on the uphill side of the trench.
 - b. Immediately following pipe installation, the trench shall be backfilled, compacted and stabilized at the end of each working day.
13. All disturbed ground outside of the everyday construction area at a minimum be temporarily seeded/mulched with oats or rye if the area is left inactive for more than 7 days.
14. The existing grass street terrace shall be maintained as a buffer during construction. It shall be restored with temporary seed and mulch at a minimum 7 days after the completion of all lateral installations and other construction activity. If the terrace is not to be restored during final landscaping, a permanent seed mix shall be utilized.
15. All erosion control practices damaged due to winter weather shall be repaired/replaced immediately.
16. The WPDES Permit, Erosion Control Plan and Stormwater Management Plan shall be kept on site at all times.
17. An Inspection Log shall be maintained and kept on-site.
18. Minimize offsite airborne dust by watering disturbed areas when overly dry.
19. All waste generated at the construction site will be properly disposed of and not be allowed to run into the storm sewer system.
20. No excess concrete washout will be deposited in or near the ditch areas. Once hardened the concrete shall be disposed of as construction waste.
21. Off-site deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. Off-site deposits occurring as a result of land disturbance shall be cleaned up by the end of the work day.
22. Erosion Control and Construction sequence:
 - a. Install silt fence at the toe of slopes of the disturbed areas. (July 12, 2021)
 - b. Remove and stockpile topsoil. (July 13–16, 2021)
 - c. Install tracking pad. (July 14–15, 2021)
 - d. Install detention area/ditch. (July 19–30, 2021)
 - e. Grade, fill and place gravel. (July 26–August 31, 2021)
 - f. Construct Building. (July 28, 2021–March, 2022)
 - g. Install asphalt pavement (May, 2022)
 - h. Seed and mulch all disturbed areas.
 - j. Remove erosion control measures, after stabilization of the disturbed areas.

SOIL TYPES: WINNECONNE, WnB, SILTY CLAY LOAM
MANAWA, McA, SILTY CLAY LOAM



WALL FENCE DETAIL

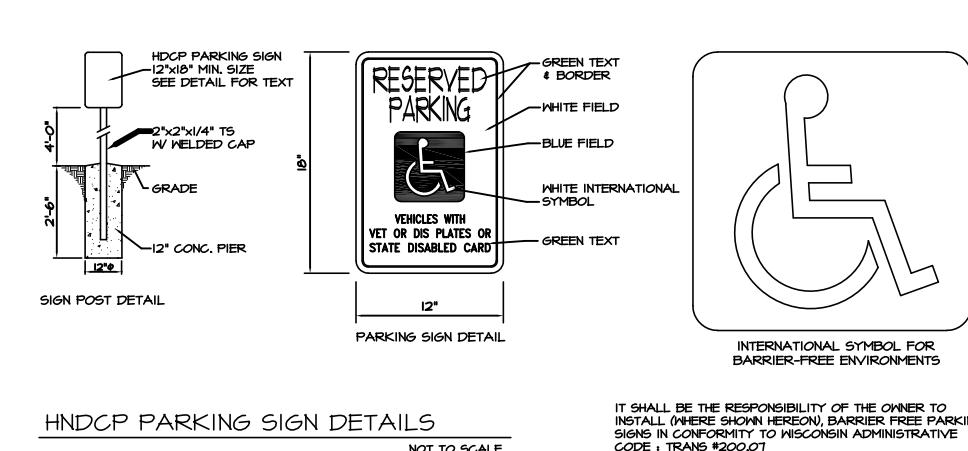
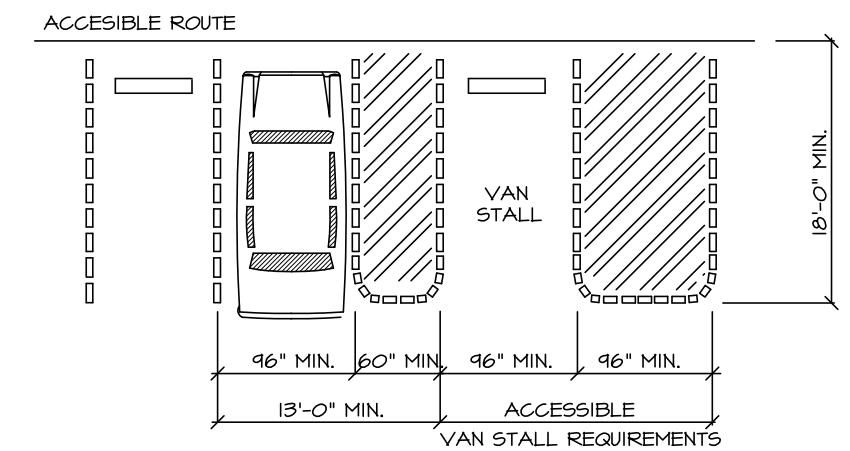
SCALE: NONE

HARRIS
& ASSOCIATES, INC.

CONSULTING ENGINEERS
AND LAND SURVEYORS

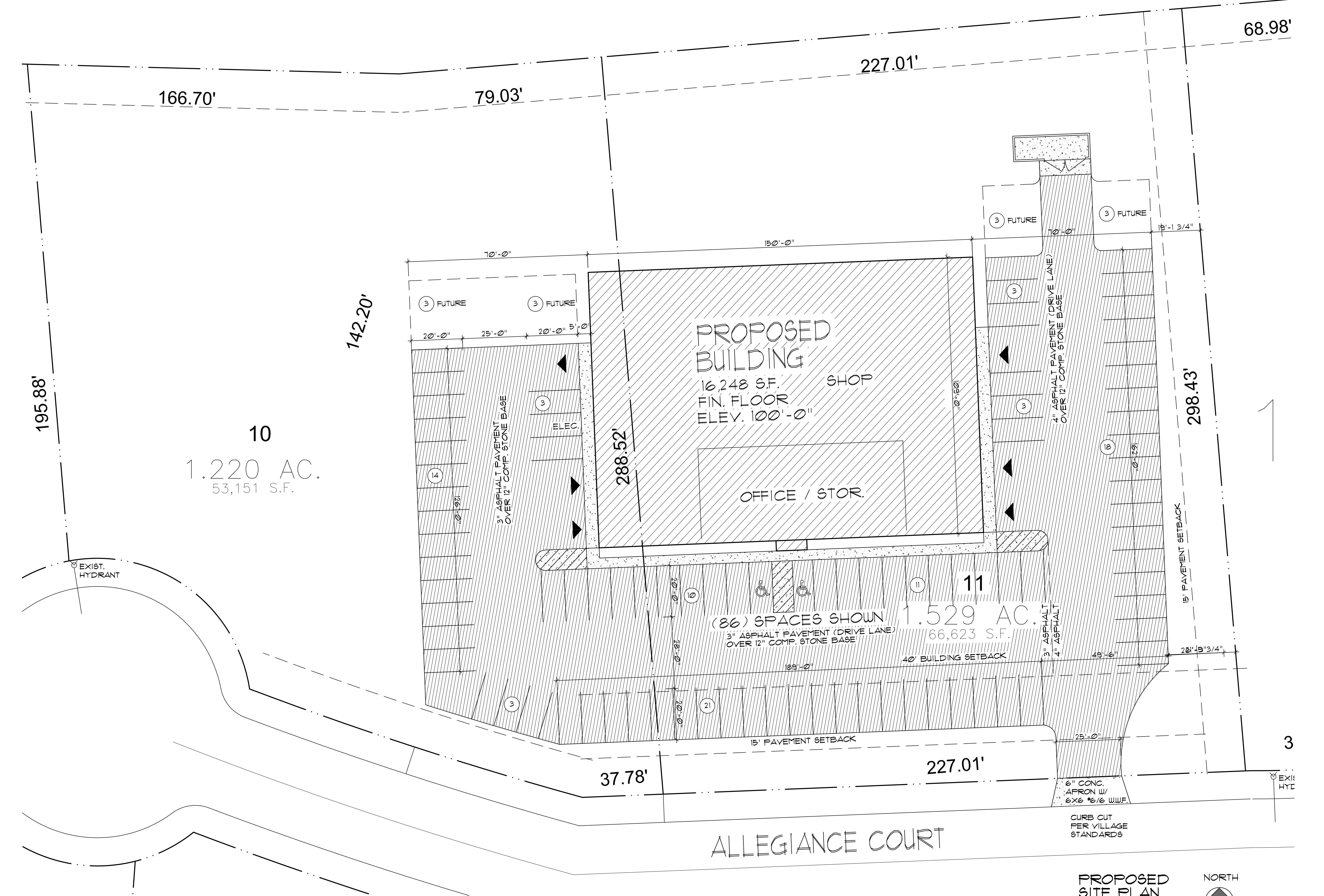
2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731
WWW.HARRISINC.NET

PROJECT:	UTSCHIG ROB'S IMPORTS	DATE BY
LOCATION:	300-310 ALLEGIANCE COURT VILLAGE OF LITTLE CHUTE, WISCONSIN	DATE BY
DESCRIPTION:	EROSION CONTROL PLAN	DATE BY
DRAWN BY: KWW		
CHECKED BY:		
DATE: 6-15-21		
SHEET		
DRAFTING NUMBER DS-10041		



PARKING SPACE DIMENSIONS ADA

NOTE: IF ONLY ONE ACCESSIBLE STALL IS REQUIRED
THAT STALL MUST BE VAN ACCESSIBLE



NOTE: LOCATIONS OF EXISTING PROPERTY LINES, BUILDINGS,
VEGETATION, EASEMENTS, UTILITIES, ETC., HAVE BEEN
DETERMINED BY THE OWNER OR OWNER'S AGENT OR OTHERS.
UTSCHIG, INC. DOES NOT ASSUME RESPONSIBILITY FOR THEIR
ACCURACY. FIELD VERIFY ALL EXISTING CONDITIONS AND
DIMENSIONS INDICATED ON THESE DRAWINGS PRIOR TO
STARTING WORK.

PRELIMINARY - NOT FOR CONSTRUCTION

NEW BUILDING FOR:

LOT #10-11

ALLEGIANCE COURT, LITTLE CHUTE, WI

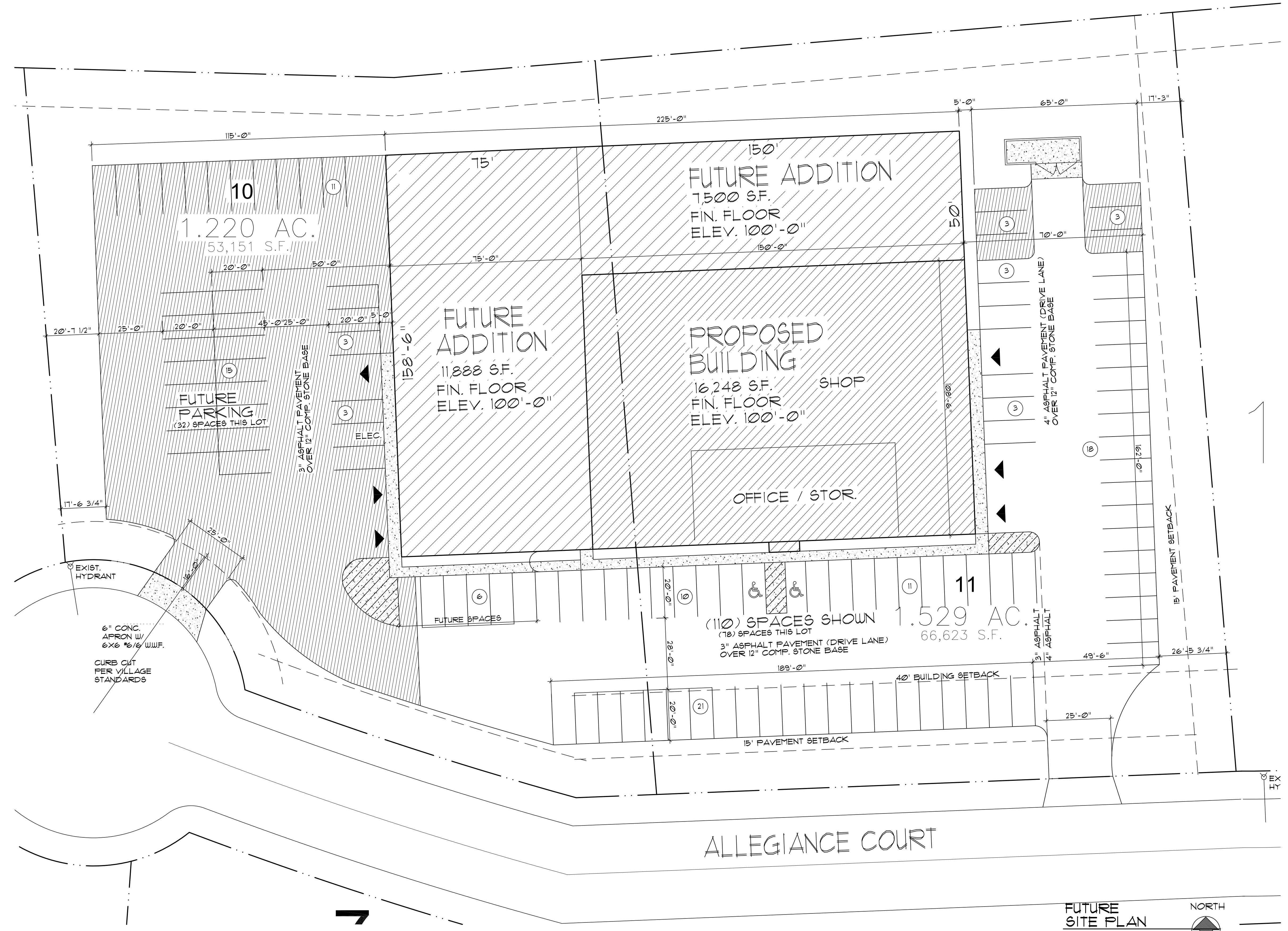
PROPOSED SITE PLAN

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GREENVILLE, WI 54942
PHONE: 920.757.0999
FAX: 920.757.1015

Drawn By Approved By
EAF JJW
Project No. Date
21-2317 5/19/21
Sheet No.

C101



PRELIMINARY = NOT FOR CONSTRUCTION

**NEW BUILDING FOR:
LOT #10-11
ALLEGIANCE COURT | ITTIE CHUTE W**

ELITE SITE DI AN

-FAILURE SINE PLAN

PRELIMINARY

Drawn By Approved By
CAF JJW
Project No. Date
21-2317 5/19/21

NOTE: LOCATIONS OF EXISTING PROPERTY LINES, BUILDINGS,
VEGETATION, EASEMENTS, UTILITIES, ETC. HAVE BEEN
DETERMINED USING INFORMATION SUPPLIED BY OTHERS.
TSCHIG, INC. DOES NOT ASSUME RESPONSIBILITY FOR THEIR
ACCURACY. FIELD VERIFY ALL EXISTING CONDITIONS AND
DIMENSIONS INDICATED ON THESE DRAWINGS PRIOR TO
STARTING WORK.

ALLEGIANCE COURT

FUTURE SITE PLAN

NORTH



SCALE: 1" = 20'-0"

C102

NEW BUILDING FOR:
LOT #10-11
ALLEGIANCE COURT | ITTIE CHI JIE WI

LOT #10-11

COURT, LITTLE CHUTE, WI

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Page 1
Drawn by AF
Project 11-231
Sheet 1

AN REVISIONS

111

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100

Drawn By Approved By
AF JJW
Project No. Date
11-2317 3/17/21

A101

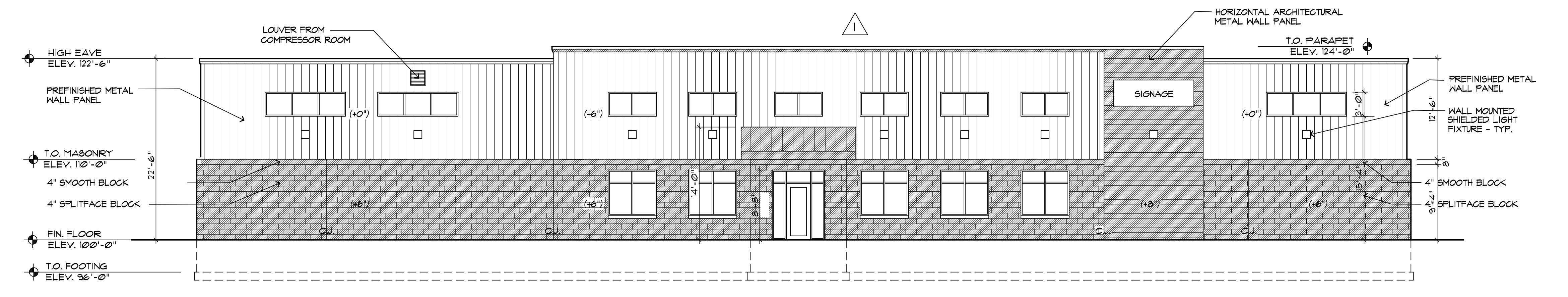
5/13/21

FIRST FLOOR PLAN

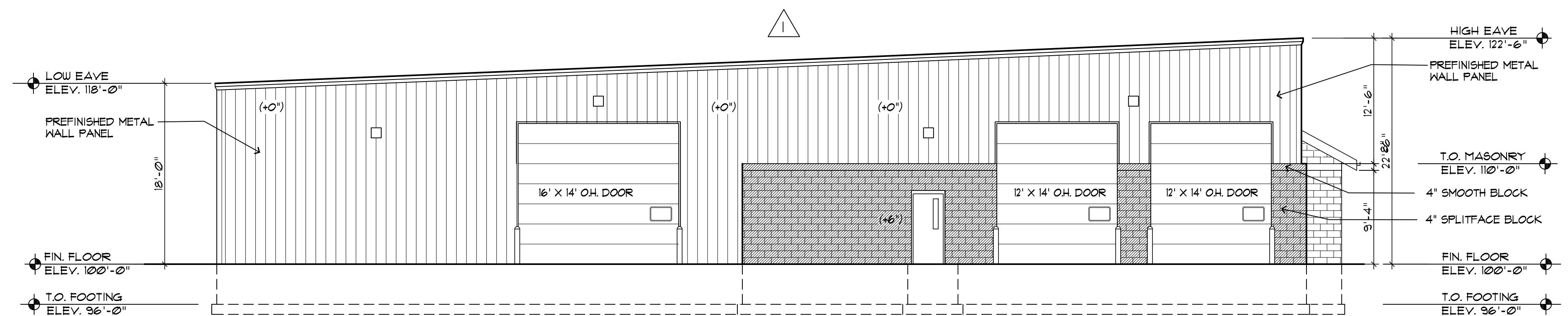
8" = 1'-0"

NORTH

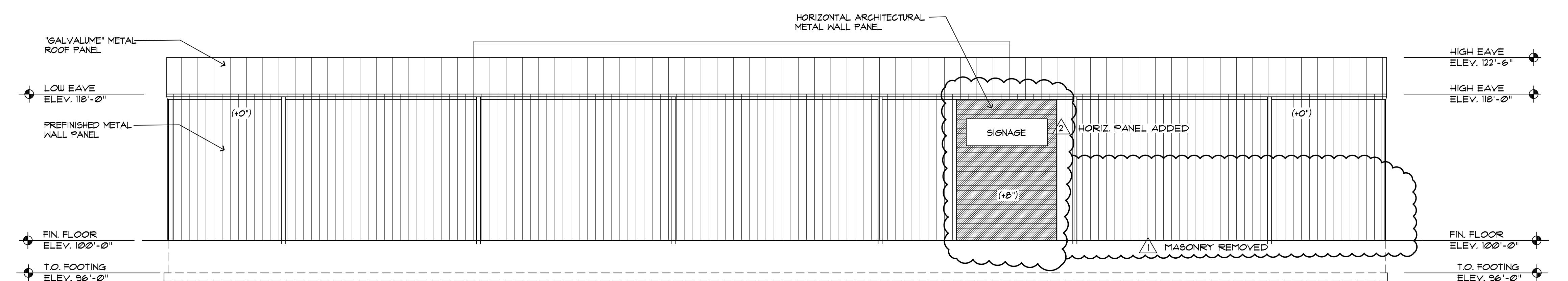
PLAN FLIPPED
MIRROR IMAGE



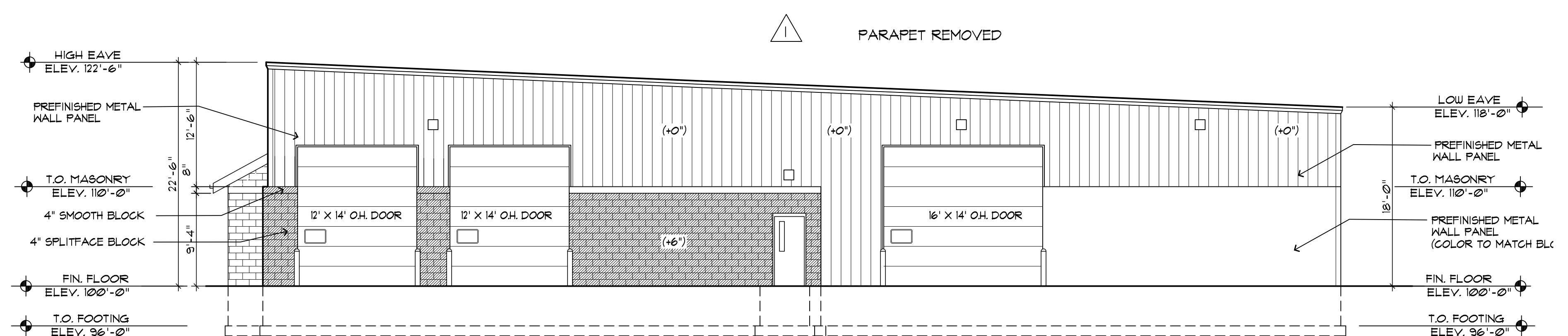
SOUTH ELEVATION
1/8" = 1'-0"



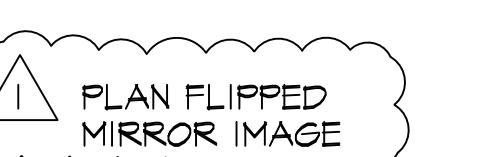
WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

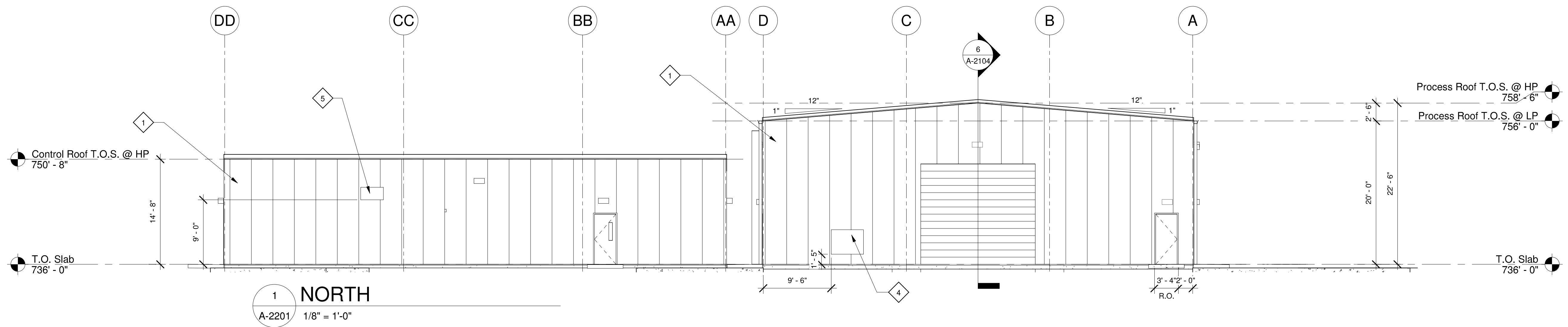


PRELIMINARY - NOT FOR CONSTRUCTION

No.	Date	Description
1	5-13-21	PLAN REVISIONS
2	6-18-21	PLAN REVISIONS

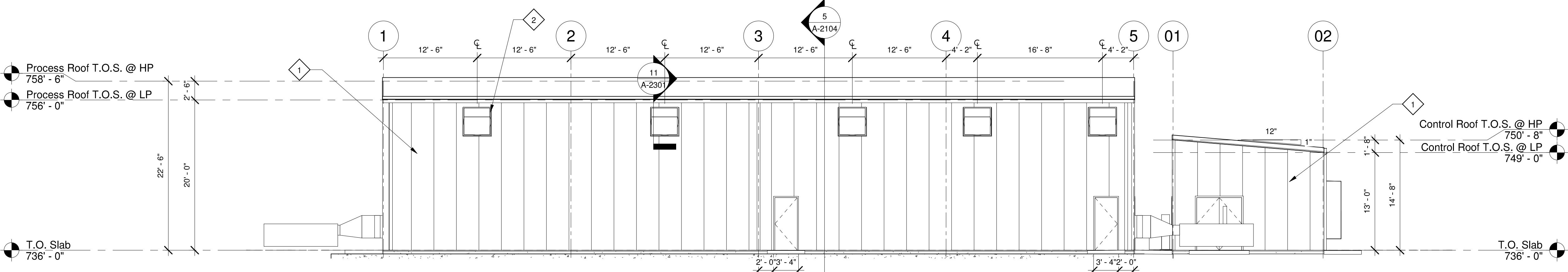
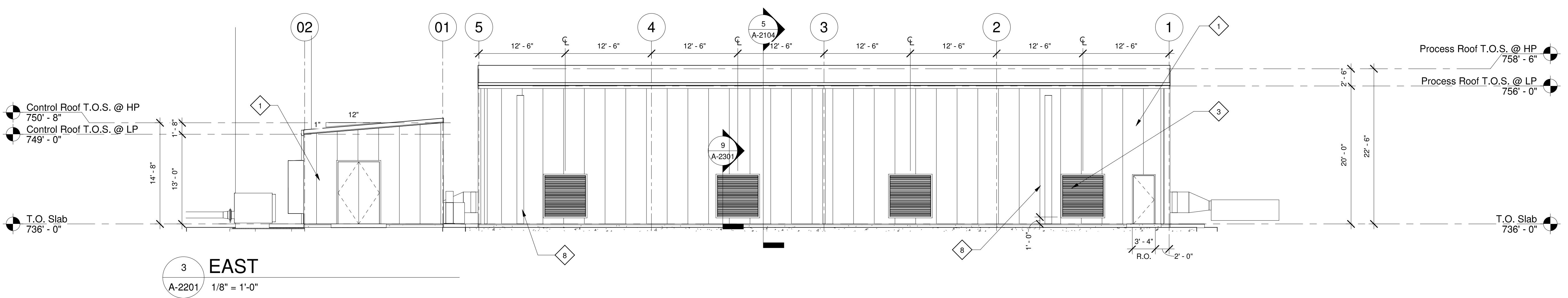
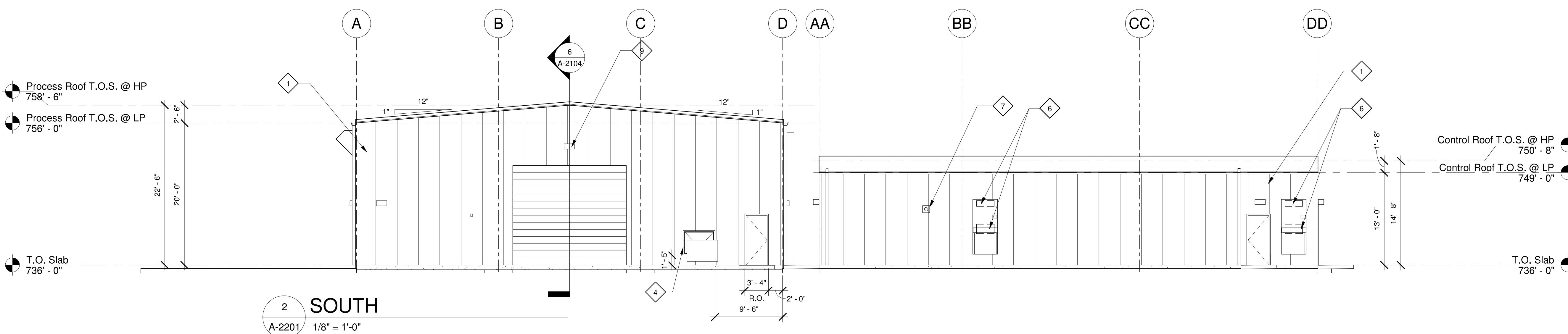
Page Information

Drawn By **EAF** Approved By **JJW**
Project No. **21-2317** Date **3/17/21**
Sheet No. **6/18/21**



ELEVATION KEYNOTES:

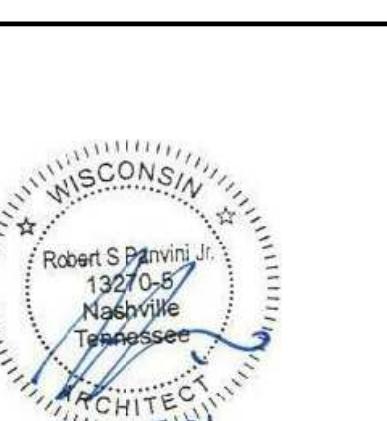
- 1 WALL SHEETING BY METAL BUILDING MANUFACTURER - SEE SHOP DRAWINGS.
- 2 45.75" x 45.75" FAN OPENING, TOP OF OPENING 1'-0" BELOW STEEL, TYP. - SEE MECH. DRAWINGS.
- 3 73" x 73" LOUVER OPENING, 1'-0" MIN. A.F.F., TYP. - SEE MECH. DRAWINGS.
- 4 54" x 41" HVAC OPENING, 1'-5" A.F.F. - SEE MECH. DRAWINGS.
- 5 1'-9"W x 3'-2"H CABLE TRAY OPENING.
- 6 MECH. UNIT OPENINGS. - SEE MECH. DRAWINGS.
- 7 EXHAUST VENT WALL CAP.
- 8 VENT TO ATMOSPHERE - SEE PLUMBING DRAWINGS.
- 9 EXTERIOR LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS.



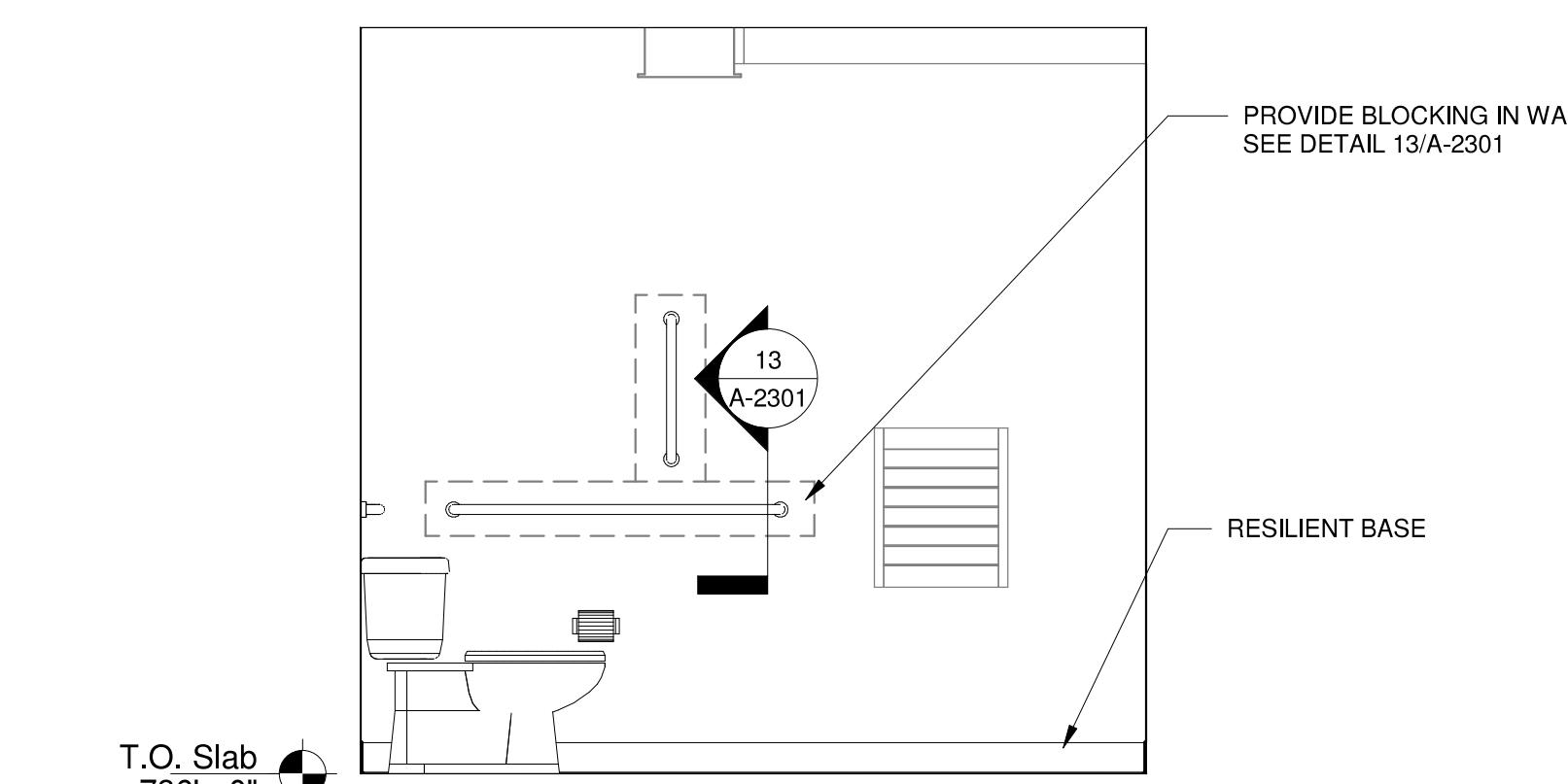
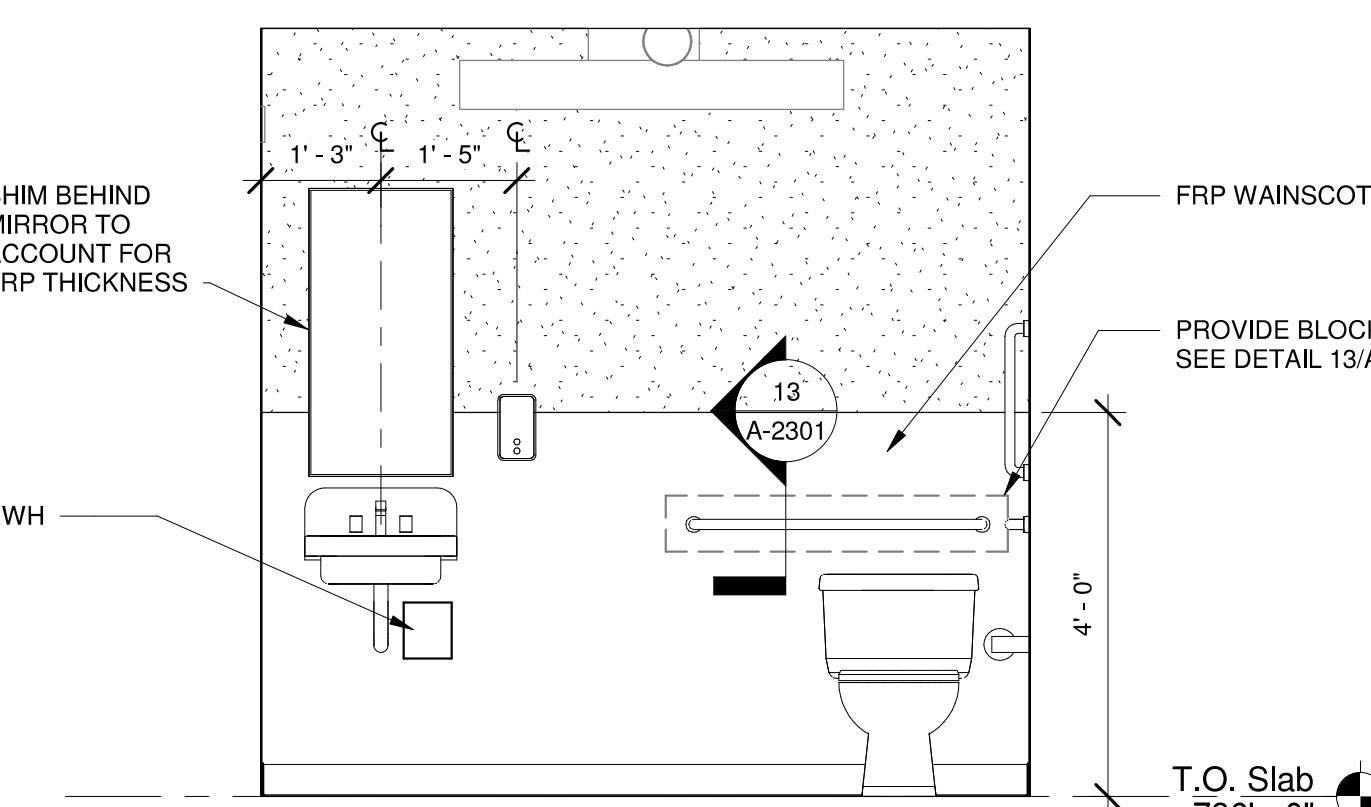
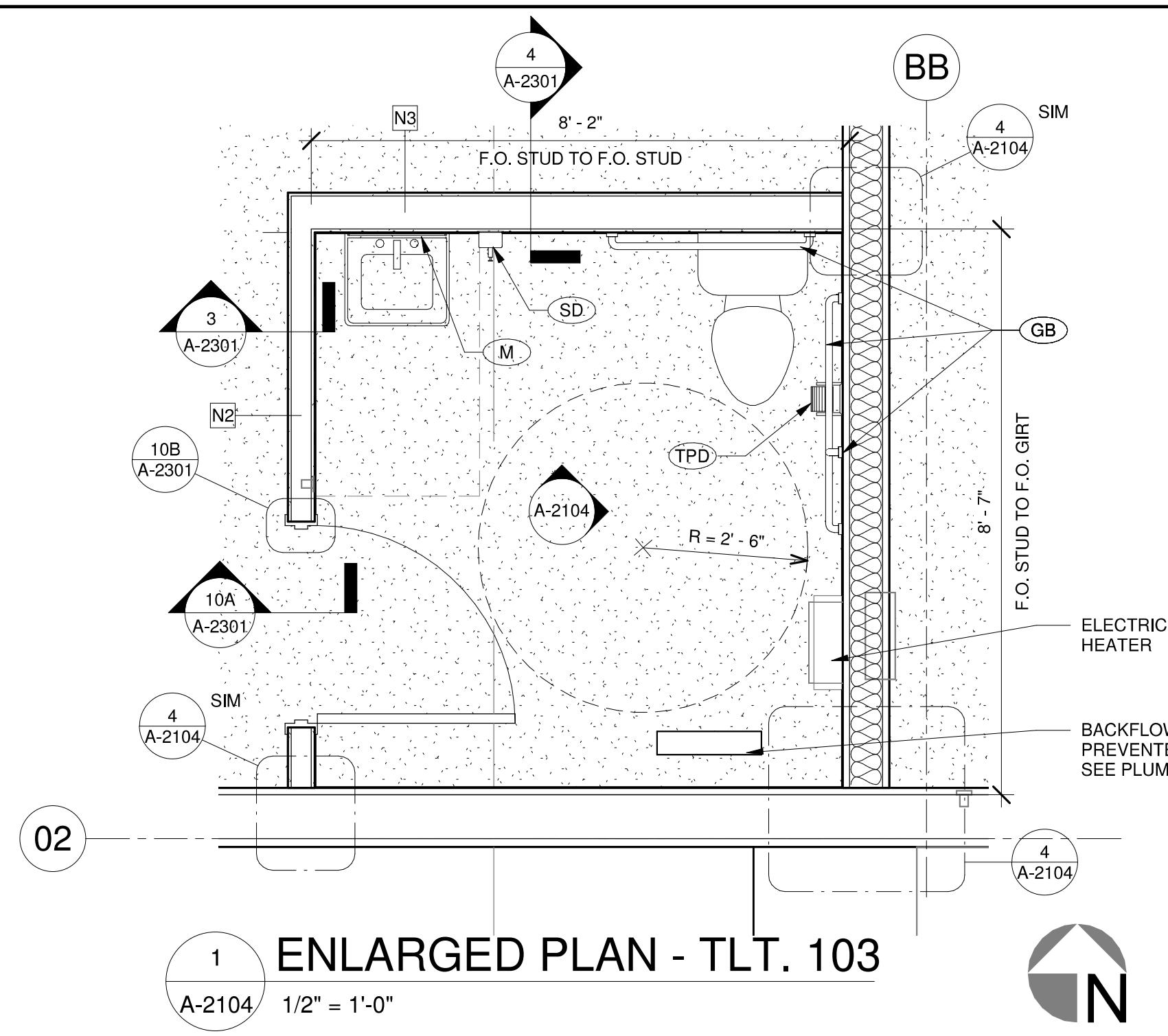
BUILDING ELEVATIONS



SEAL



OUTAGAMIE LANDFILL
RENEWABLE NATURAL GAS FACILITY
APPLETON
I.C. THOMASSON ASSOCIATES, INC.
CONSULTING ENGINEERS
NASHVILLE, TN. (615) 346-3400
DRAWN BY ALVH JOB NO. 200479
CHECKED BY RSP ISSUE DATE 06/18/21
FILENAME PLOT DATE
SCALE 1/8" = 1'-0"



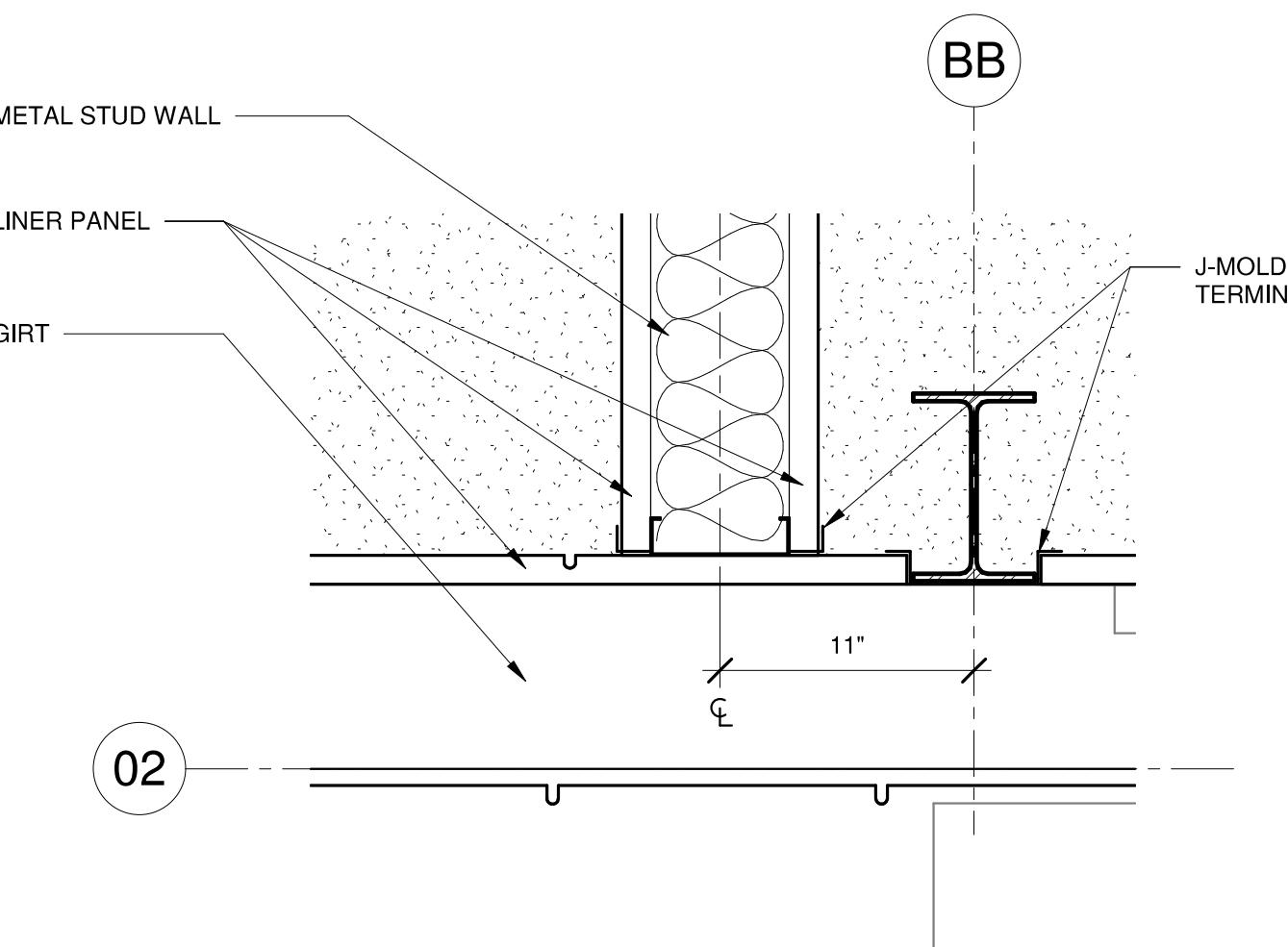
RESTROOM ACCESSORY LEGEND:

GB	GRAB BAR: 1-1/2" DIA. GRAB BARS - 18" LONG, 36" LONG, 42" LONG
M	18"x36" MIRROR
TPD	TOILET PAPER DISPENSER
SD	WALL MTD. SOAP DISPENSER

1 ENLARGED PLAN - TLT. 103

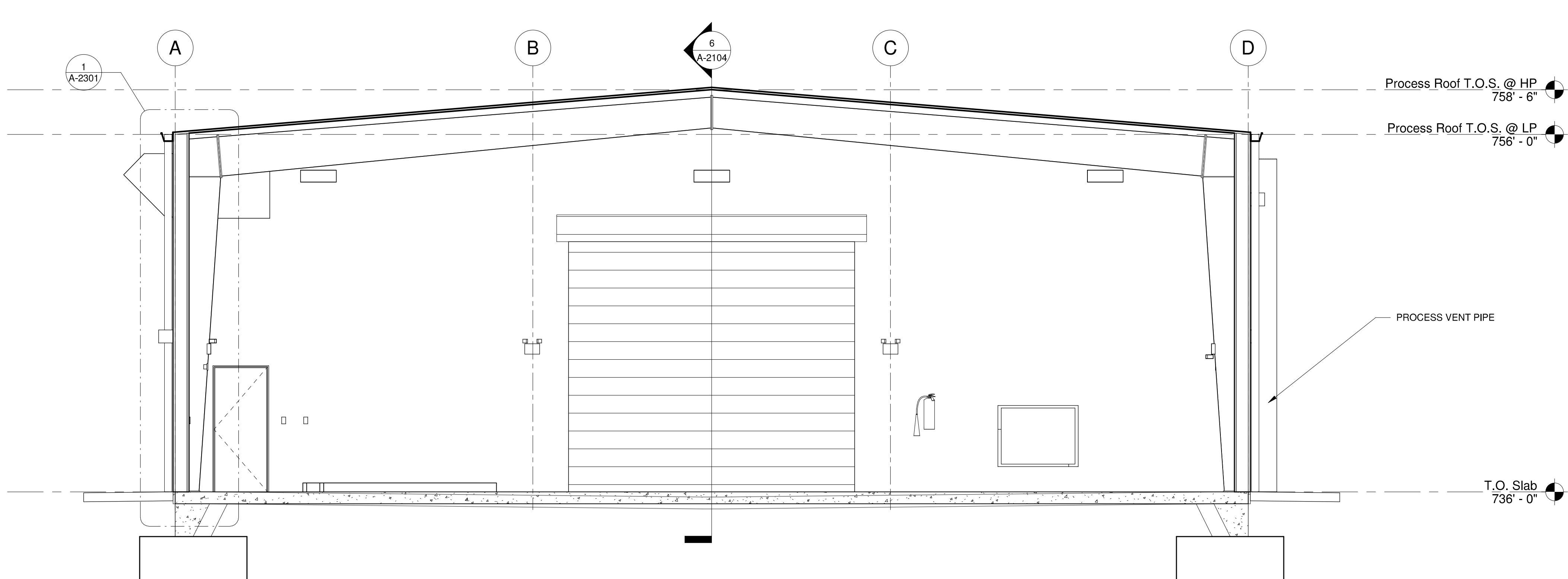
A-2104 1/2" = 1'-0"

TRUE NORTH



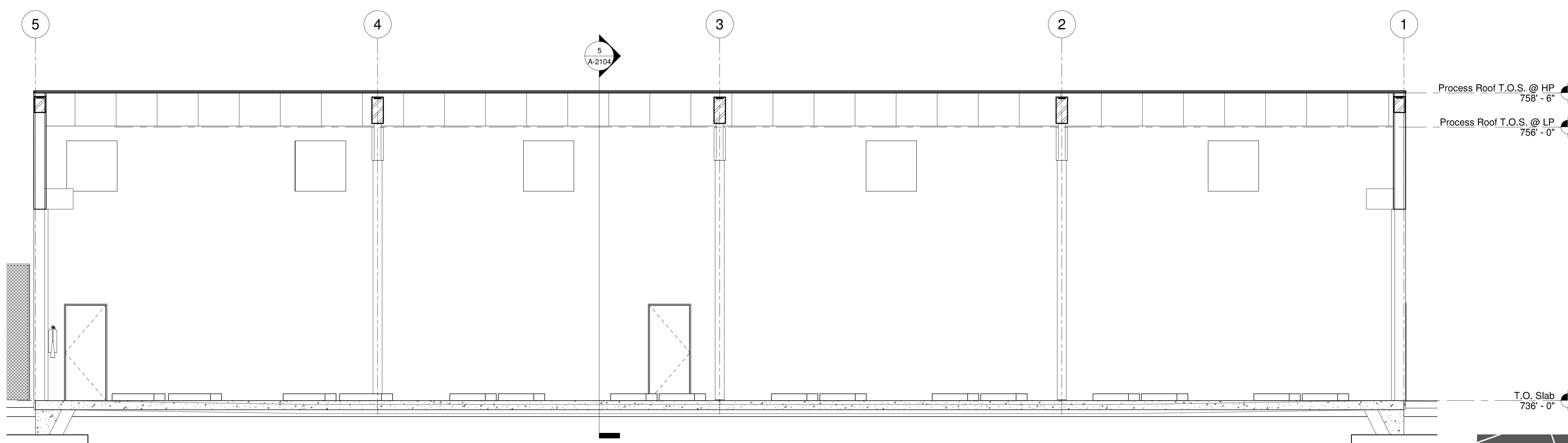
4 DETAIL

A-2104 1 1/2" = 1'-0"



5 SECTION

A-2104 1/4" = 1'-0"



6 SECTION

A-2104 1/4" = 1'-0"

ENLARGED PLANS & INT. ELEVATIONS



OUTAGAMIE LANDFILL
RENEWABLE NATURAL GAS FACILITY



APPLETON
I.C. THOMASSON ASSOCIATES, INC.
CONSULTING ENGINEERS
NASHVILLE, TN. (615) 346-3400

DRAWN BY ALVH JOB NO. 200479
CHECKED BY RSP ISSUE DATE 06/18/21
FILENAME PLOT DATE

SCALE As indicated
A-2104

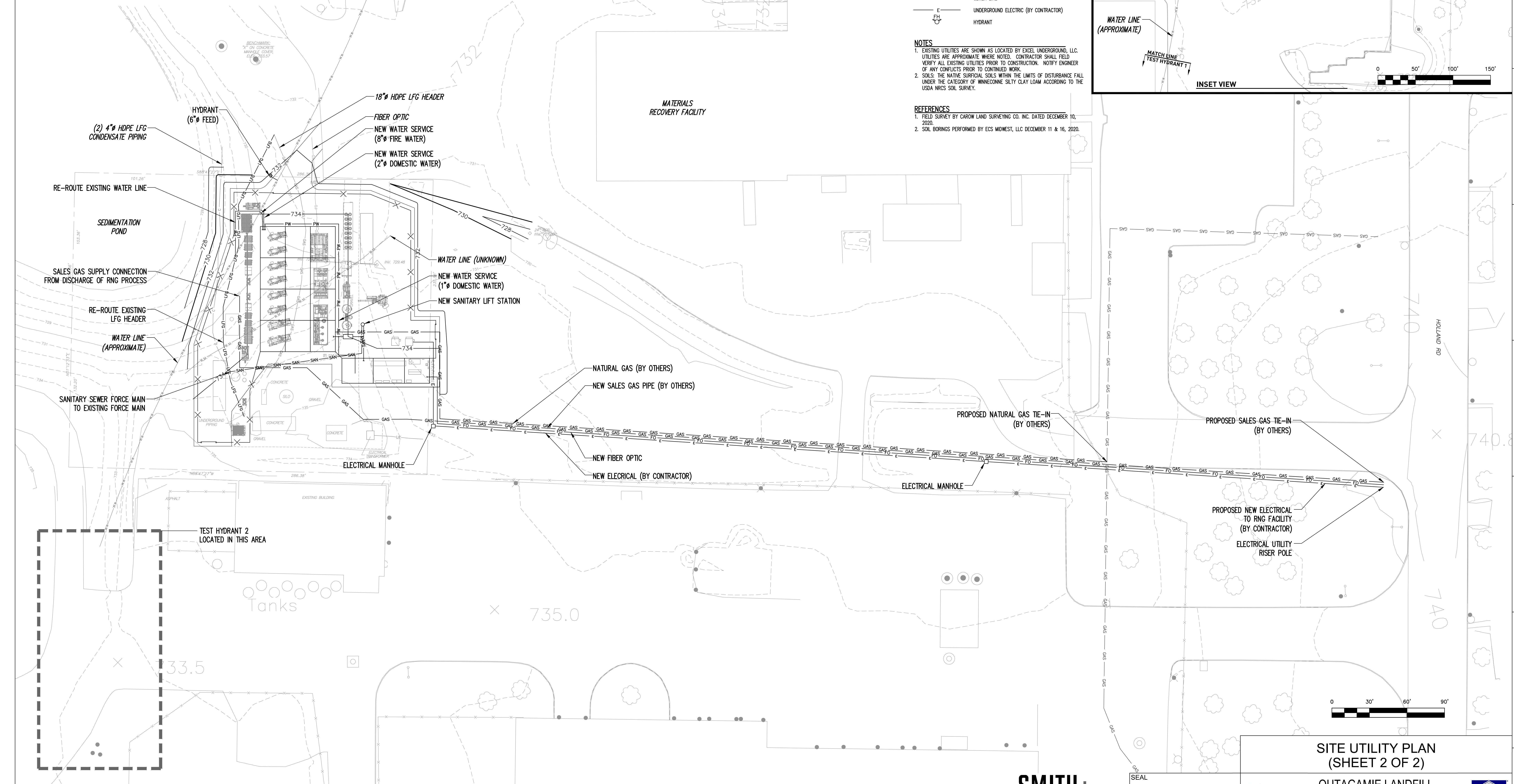
SEQUENCE OF CONSTRUCTION

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING ACTIVITIES:

- A. POST PERMITS AT SITE, NOTIFY VILLAGE OF LITTLE CHUTE AND ENGINEER AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
- B. INSTALL INLET PROTECTION AND SILT FENCE BEFORE BEGINNING ANY LAND DISTURBING CONSTRUCTION ACTIVITIES. INSTALL TRACK-CUT CONTROL PRACTICE, IF NEEDED. IF TRACK-CUT CONTROL PRACTICE DOES NOT REMOVE SEDIMENT FROM VEHICLE TIRES, THEN TIRES SHALL BE WASHED. STREET SWEEPING SHALL BE PERFORMED ON A DAILY BASIS OR AS NEEDED.
- C. SAW CUT AND REMOVE PAVEMENT AS NEEDED FOR UTILITY REPLACEMENT. INSTALL PROPOSED UTILITIES (SANITARY SEWER, STORM SEWER, AND WATER LINE). INSTALL INLET PROTECTION FOR NEW STORM INLETS IMMEDIATELY AFTER THE STORM INLET IS INSTALLED. DE-WATER TRENCHES AS NEEDED. EXCESS EXCAVATED MATERIAL SHALL BE LOADED ON TRUCKS AND HAULED TO AN OFFSITE LOCATION SELECTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERMITS AND BEST MANAGEMENT PRACTICES AT THE OFFSITE LOCATION. TEMPORARILY STABILIZE DISTURBED AREAS LOCATED IN EXISTING PAVEMENT AREAS WITH A GRAVEL/PAVEMENT SURFACE, SUCH THAT NO MORE THAN 200 LINEAR FEET OF UTILITY TRENCH LENGTH IN EXISTING PAVEMENT AREAS IS EXPOSED SOIL AT THE END OF EACH DAY.
- D. INSTALL AGGREGATE SURFACING, CONCRETE, AND ASPHALT PAVEMENTS. PLACE TOPSOIL IN LAWN AREAS. STABILIZE LAWN AREAS WITHIN 14 DAYS OF TOPSOIL PLACEMENT. RESTORE LAWN AREAS WITH TOPSOIL, LAWN SEED, FERTILIZER AND MULCH.

UTILITY NOTES

1. SANITARY SEWER AND WATER SERVICES/MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND VILLAGE OF LITTLE CHUTE REQUIREMENTS.
2. ALL SANITARY SEWER AND WATER SERVICES/MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
3. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER AND WATER SERVICE/MAINS.



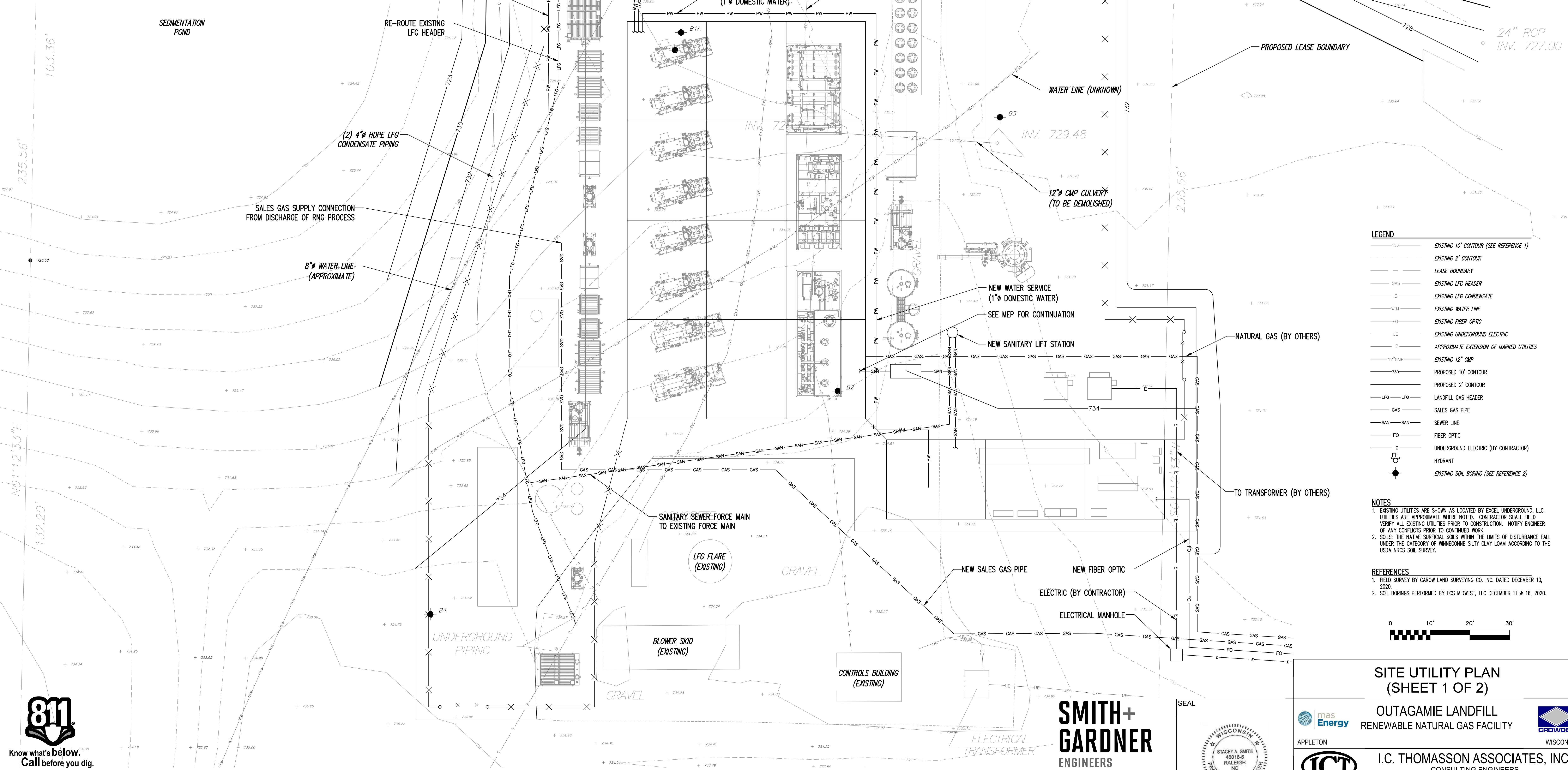
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- B. INSTALL INLET PROTECTION AND SILT FENCE BEFORE BEGINNING ANY LAND DISTURBING CONSTRUCTION ACTIVITIES. INSTALL TRACK-OUT CONTROL PRACTICE, IF NEEDED. IF TRACK-OUT CONTROL PRACTICE DOES NOT REMOVE SEDIMENT FROM VEHICLE TIRES, THEN TIRES SHALL BE WASHED. STREET SWEEPING SHALL BE PERFORMED ON A DAILY BASIS OR AS NEEDED.
- C. SAN CUT AND REMOVE PAVEMENT AS NEEDED FOR UTILITY REPLACEMENT. INSTALL PROPOSED UTILITIES (SANITARY SEWER, STORM SEWER, AND WATER LINE). INSTALL INLET PROTECTION FOR NEW STORM INLETS IMMEDIATELY AFTER THE STORM INLET IS INSTALLED. DE-WATER TRENCHES AS NEEDED. EXCESS EXCAVATED MATERIAL SHALL BE LOADED ON TRUCKS AND HAULED TO AN OFFSITE LOCATION SELECTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERMITS AND BEST MANAGEMENT PRACTICES AT THE OFFSITE LOCATION. TEMPORARILY STABILIZE DISTURBED AREAS LOCATED IN EXISTING PAVEMENT AREAS WITH A GRAVEL/PAVEMENT SURFACE, SUCH THAT NO MORE THAN 200 LINEAR FEET OF UTILITY TRENCH LENGTH IN EXISTING PAVEMENT AREAS IS EXPOSED SOIL AT THE END OF EACH DAY.
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G

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D

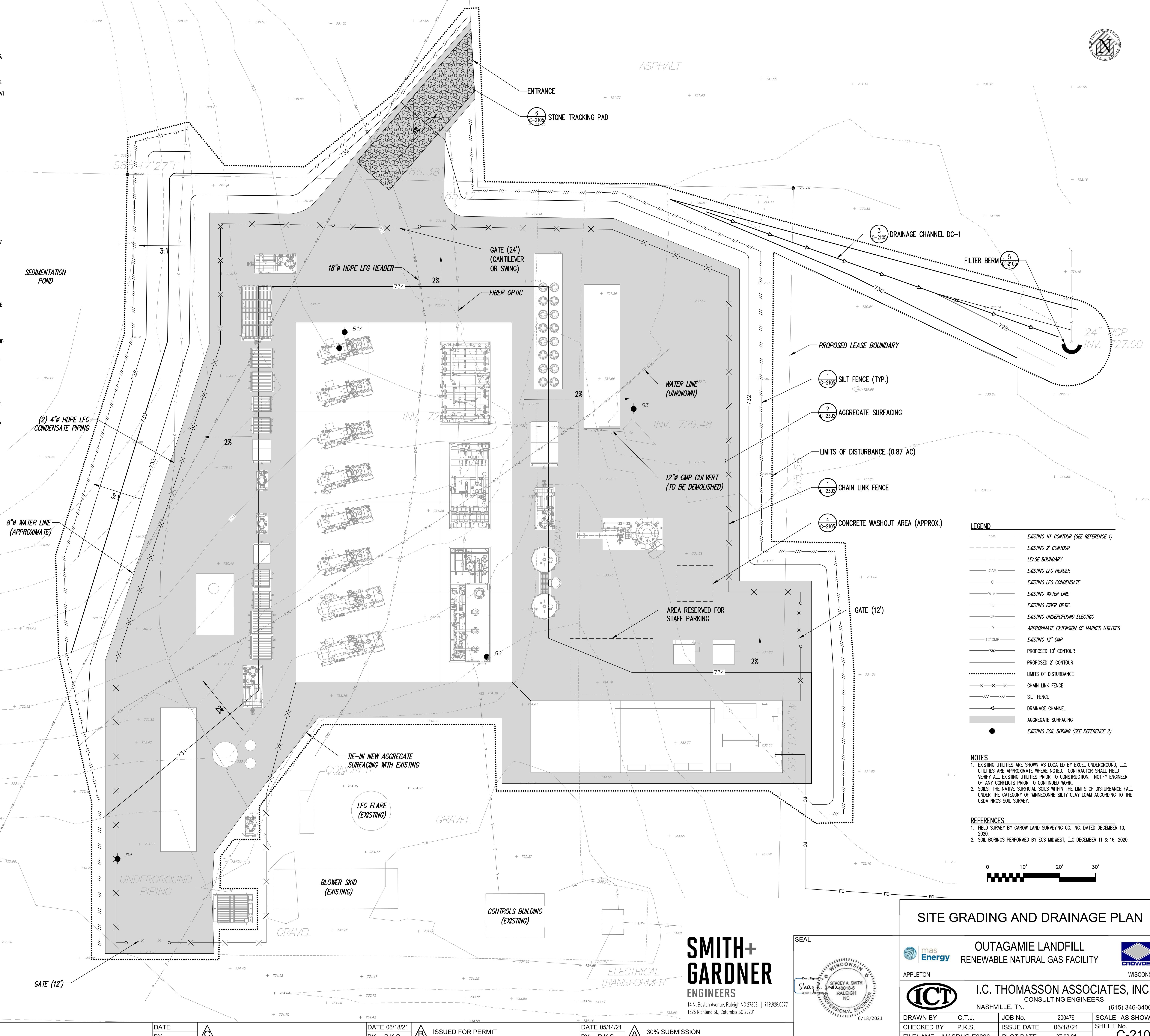
C

B

A

EROSION AND SEDIMENT CONTROL NOTES

1. POST CERTIFICATE OF PERMIT OVERDUE ON SITE, AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH THE PERMITTING AGENCY.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE PERMITTING AGENCY AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHERE POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WORK TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1050.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICE FOR EROSION CONTROL #1067.
11. INSTALL AND SILT FENCING PER WNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE CONSTRUCTION REACHES A DEPTH THAT IS EQUAL TO ONE-HALF THE FENCE AND/OR BARRIER HEIGHT.
12. REPAIR BREEKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WNR TECHNICAL STANDARD DITCH CHECKS #1062.
13. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
14. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
15. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER, BETWEEN SEPTEMBER 15 AND OCTOBER 15, WITH APPROXIMATELY 100% AND A 2-INCH DEEP SEED MIXTURE WITH WINTER MEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE. FOLLOW WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION SECTION 630, SEEDING.
16. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS REACHING FINAL GRADE.
17. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
18. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
20. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WSDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WNR TECHNICAL STANDARD CHANNEL EROSION MAT #1063.
21. MAKE PROVISIONS FOR WATERING DURING THE FIRST 3 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER WATER IS REQUIRED DUE TO CONSTRUCTION ACTIVITY OR DROUGHT OCCURS.
22. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-008: <https://www.epa.gov/sites/production/files/2015-09/documents/concretestwashout.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.



Village of Little Chute
REQUEST FOR PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Pine Street Pedestrian Mall

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 7/8/2021

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

For a Pedestrian Mall to be created an ordinance must be enacted. Per Wisconsin state statute 66.298 a pedestrian mall must be referred to the plan commission, and a public hearing must be held on the matter with publication of a Class 1 notice on the hearing. After a recommendation from the Plan Commission and holding a public hearing the Village Board may by ordinance designate a Pedestrian mall. The proposed ordinance for the Pine Street Pedestrian Mall is below:

Sec 26-103 PINE STREET PEDESTRIAN MALL

- (1) A Pedestrian Mall is hereby created in the following designated area:
 - (a) That portion of Pine Street lying between Main Street and a line parallel to and 150 feet south of the southerly edge of Main Street at the intersection therewith.
- (2) The aforesaid designated area shall be closed to all vehicular traffic except bicycles walked by the operator, authorized Village maintenance vehicles and authorized emergency vehicles.

RECOMMENDATION: To recommend approval of the ordinance creating a Pedestrian Mall.

Village of Little Chute Application for CONDITIONAL USE UNDER CHAPTER 44 ZONING CODE

Application fee \$125.00

Date filed 7/1/2021

The undersigned owner(s) of the property herein described hereby petition for a Conditional Use under the Village of Little Chute Zoning Ordinance Chapter 44, in the Village of Little Chute, Outagamie County, Wisconsin

Property location: Lot's #10 and 11 in the HJT Northside/310 Allegiance Ct

Legal Description: HJT BUSINESS PARK - NORTH LOT'S 10 &11 "PLEASE SEE ATTACHED CSM"

Current Zoning Classification: CH- Commercial Highway

Petitioner(s) request permission be granted for the following conditional use(s):

Automobile Repair and Service

Petitioner(s) reason(s) for requesting the above described conditional use are as follows:

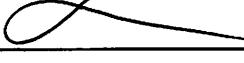
The proposed automobile repair facility will complement the other businesses in HJT Business Park. This establishment will not have any adverse impact on the surrounding community. It has been in operation for nearly 13 years @ 415 Draper St, Kaukauna WI. We have been a model business and give back to the community through financial contributions, helping others in need, and any other way we can. Our operation is clean, high tech, and we have an outstanding reputation in the community. We are not in direct competition with any of the neighboring businesses. Our plan to expand will bring high end clientele into the Little Chute area. Our long-term plans are to service approximately 100 cars per week. This will make very little impact to any road/traffic issues as compared to surrounding businesses (Fed Ex will have a much larger impact on traffic). Our operation is Monday through Friday, 8-5. This limits noise, traffic, etc at night. Currently we support 10 employees, and foresee this number increasing to 15-16 in the next few years.

Attach Surveys, building plans, drainage plans, site plans, statements of days & hours of operation, estimates of additional traffic generated, statements regarding effect on neighboring properties and any other additional information which may assist in determining that the proposed use is appropriate that such use is not hazardous, harmful, offensive or adverse to the environment or the value of the neighborhood or the community.

Owner(s) Name(s) RJ Newhouse Holdings, LLC

Owner(s) Address 415 Draper St Kaukauna WI 54130

Phone Numbers 920-766-4000 920-428-5607

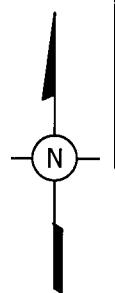
APPLICANT(S) Signature(s)  Rob NEWHOUSE, Managing member.

Date Signed 7/1/2021

OUTAGAMIE COUNTY CERTIFIED SURVEY MAP NO. **8152**

A Combination Certified Survey Map

Lots 10 and 11, HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

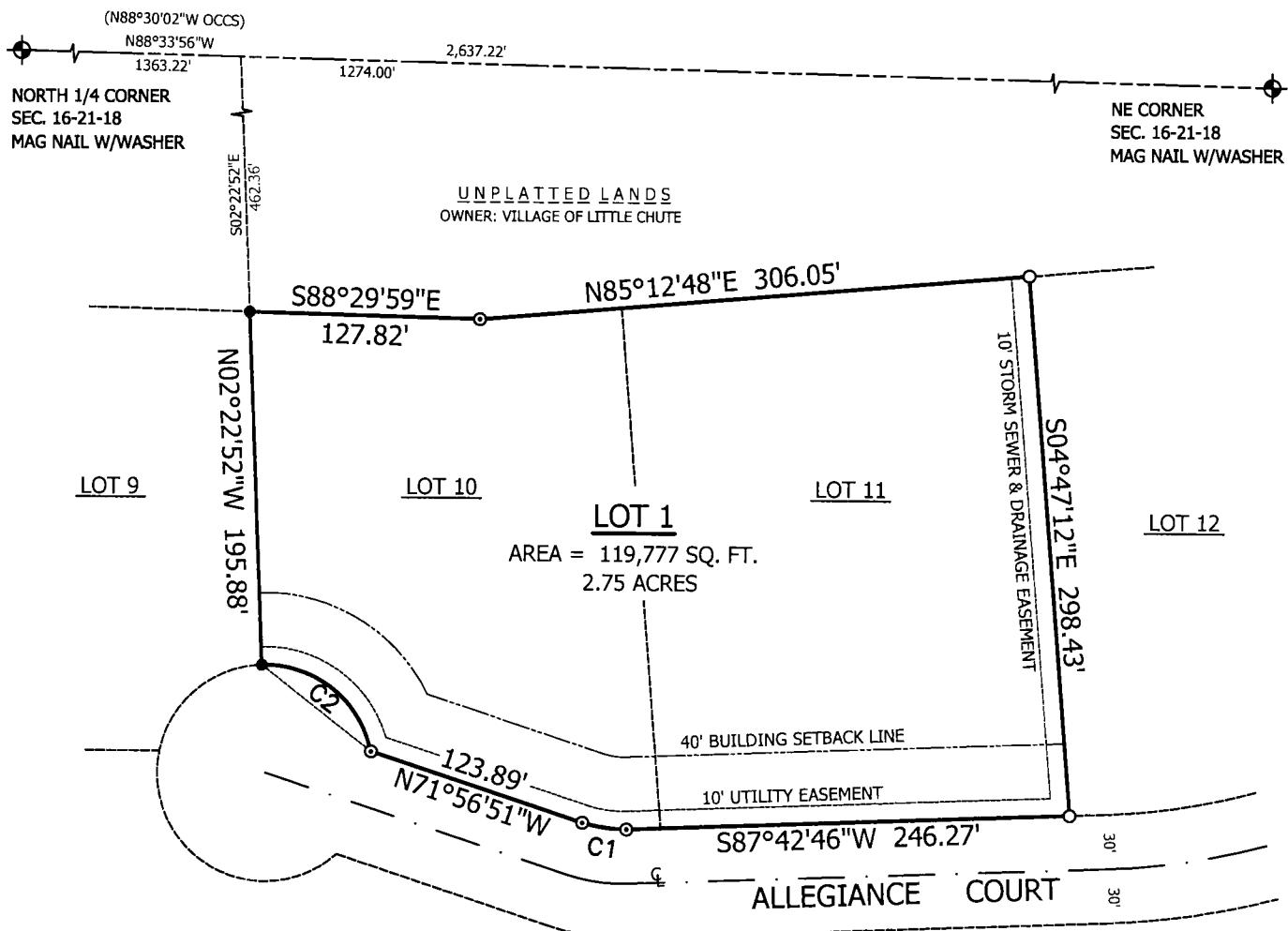


Sarah R. Van Camp
 SARAH R VAN CAMP, REGISTER OF DEEDS
 Return via MAIL (REGULAR)
 HARRIS & ASSOCIATES

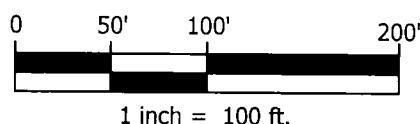
LEGEND

- = 3/4" x 24" REBAR SET
WEIGHING 1.502 LBS./LIN. FT.
- ◎ = 1 1/4" REBAR FOUND
- = 3/4" REBAR FOUND

Bearings are referenced to
the recorded plat of HJT
Business Park - North.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	70.00'	24.85'	24.72'	N82°07'01.5"W	20°20'21"
C2	60.00'	84.21'	77.47'	N52°09'21"W	80°25'00"



CERTIFIED SURVEY MAP 8152

Lots 10 and 11 in HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

SURVEYOR'S CERTIFICATE

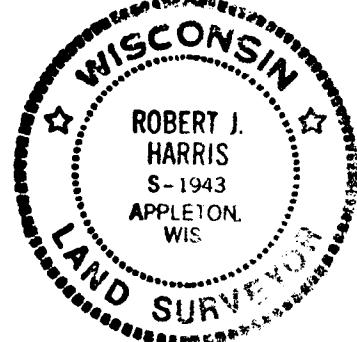
I, Robert J. Harris, Professional Land Surveyor, certify that I have surveyed, combined and mapped all of Lots 10 and 11 in HJT Business Park - North, being part of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 16, T21N, R18E, Village of Little Chute, Outagamie County, Wisconsin.

That I have made such survey, map and land division as shown hereon, under the direction of HJT Development, Inc.

That this map is a correct representation of the exterior boundary lines of land surveyed and the division of that land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Ordinances of the Village of Little Chute in surveying, combining and mapping the same.

Robert J. Harris 6-9-21
Robert J. Harris PLS-1943 Date



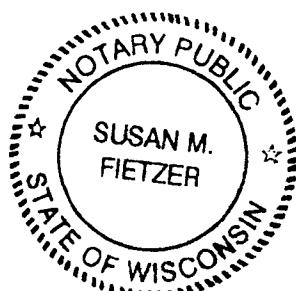
OWNER'S CERTIFICATE

As owner, I hereby certify that I caused the land described to be surveyed, divided and mapped as shown and represented on this map. I also certify that this plat is required by 2.36.10 or 2.36.12 to be submitted to the following for approval or objection: Outagamie County

Thaddeus H. Hiltner 6-28-2021
Authorized Representative Date
HJT Development, Inc.

State of Wisconsin)
ss
Outagamie County)

Personally came before me this 28th day of June, 2021, the above-named person to me known to be the person who executed the foregoing instrument and acknowledged the same.



Susan M. Fietzer 6-28-21
Notary Public Date
My commission expires 2-16-24

CERTIFIED SURVEY MAP 8152

Lots 10 and 11 in HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

TREASURER'S CERTIFICATE

As duly elected Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Lisa Remiker De Wall 6/23/2021 *Trenten Woelfel* 6/28/21
Lisa Remiker - De Wall Date Trenten Woelfel Date
Village Finance Director County Treasurer

VILLAGE BOARD CERTIFICATE

This Certified Survey Map has been approved by the Village Board of the Village of Little Chute, on the 10 day of June, 2021.

Michael Vanden Berg 6/23/2021 *Laurie Decker* 6/23/2021
Michael Vanden Berg Laurie Decker
Village President Village Clerk

GENERAL NOTES:

1. This Certified Survey Map is all of Tax Parcel Nos. 260442900 & 260443000.
2. This Certified Survey Map is wholly contained within the lands described in Document No. 1598538.
3. The property owner of record is HJT Development, Inc.
4. Building setback lines and easements as shown per HJT Business Park - North.

Robert J. Harris 6-9-21
Robert J. Harris PLS-1943 Date

