



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, August 16, 2021

TIME: 4:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the August 16 Plan Commission meeting at 4 PM by following the link here:

<https://zoom.us/j/96634466049>

Meeting ID: **966 3446 6049**

Call-in Information: +1 (312) 626-6799 US (Chicago) Meeting ID: 966 3446 6049

1. Approval of Minutes from the Plan Commission Meeting of July 12, 2021
2. Discussion/Recommendation—Bank of Little Chute (BLC) CSM
3. Discussion/Recommendation—Better Way Investments Site Plan
4. Unfinished Business
5. Items for Future Agenda
6. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 August 11, 2021



Information for the Plan Commission Meeting – August 16, 2021 – 4:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the August 16 Plan Commission Meeting at 4:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/96634466049>
Meeting ID: 966 3446 6049
2. Call-in Information: United States
One tap mobile:
+13126266799,,96634466049#, US (Chicago)
+13017158592,,96634466049#, US (Washington D.C)
3. Dial by your location:
+1 312 626 6799 US (Chicago) +1 929 436 2866 US (New York)
+1 301 715 8592 US (Washington D.C) +1 346 248 7799 US (Houston)
+1 253 215 8782 US (Tacoma)
+1 669 900 6833 US (San Jose)
Meeting ID: 976 1567 6559
Find your local number: <https://zoom.us/u/abGpaew1E>
4. If you are experiencing connectivity issues or have questions on the options above, please contact Dave Kittel at david.kittel@littlechutewi.org
5. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
6. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE PLAN COMMISSION MEETING JULY 12, 2021

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
President Vanden Berg
Larry Van Lankvelt
Jim Moes
Kent Taylor
Todd Verboomen
EXCUSED: Richard Schevers

STAFF PRESENT: Community Development Director Kittel

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of June 14, 2021

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Approve the Minutes the Plan Commission Meeting of June 14, 2021

All Ayes—Motion Carried

Discussion/Recommendation—Robs Imports Site Plan Review

Director Kittel went over the site plan for an auto repair facility requested by Robs Imports. Staff is recommending approval with the condition that all staff comments are addressed.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend Approval of Robs Imports Site Plan with the condition that all staff comments are addressed.

All Ayes—Motion Carried

Discussion/Recommendation—Outagamie County R&G Site Plan

Director Kittel advised this site plan is for a new treatment plant. Commissioner Moes asked for an amendment for the Conditional Use; Director Kittel said this will be addressed at the Board meeting.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend Approval of the R&G Site Plan to the Village Board

All Ayes—Motion Carried

Recommendation—Ordinance to Create Pine Street Pedestrian Mall

Director Kittel advised the Commission that staff is recommending approval in the first step in creating an ordinance for the Pine Street Pedestrian Mall.

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Recommend to the Village Board Approval of the Site Plan as presented

All Ayes—Motion Carried

Recommendation—310 Allegiance Court Conditional Us

Director Kittel advised that a conditional use permit was received for Robs Imports at 310 Allegiance Court. Staff is recommending approval with the following conditions:

- 1) Only one vehicle may be sold on site at a time and parked in a proper parking area
- 2) Vehicles requiring a repair that will be parked overnight are to be parked in the lot on the sides of the property
- 3) No vehicles shall be disassembled in the parking lot area.
- 4) All vehicles are to have a license plate and current registration not including dealer plates
- 5) The property will be inspected once per year by the Community Development Department to ensure compliance or as needed if any complaints are received.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend to the Village Board Approval of the Conditional use with staff recommendations as listed.

All Ayes—Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Taylor to Adjourn the Plan Commission Meeting at 6:20 p.m.

All Ayes— Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk



APPLICATION FOR SUBDIVISION AND / OR CSM REVIEW

Name of Subdivision: Bank Of Little Chute - Consolidation CSM

Parent Parcel # 280071900, 280072000, 280072300, 280072100, 280072200, 280072400, 280072500, 280072600, 280072700, 280072800, 280072900

Number of Lots: 1

Preliminary Plat Final Plat CSM

Will deed restrictions be recorded? Yes No

Property Owner Information:

Name: Bank of Little Chute & BLC Community Bank Telephone Number: _____

Mailing Address: 206 E Main Street Little Chute Wisconsin 54140

Surveyor Information:

Name: David M. Schmalz-McMahon Associates, Inc. Telephone Number: (920) 751-4200 email dschmalz@mcmgrp.com

Engineer Information:

Name: _____ Telephone Number: _____ email _____

Required for plat review:

- Lot Layout (4 full size copies) and (24) 11" x 17" copies
- Topographic survey (4 full size copies) and (2) 11" x 17" copies
- Drainage plan (4 full size copies) and (2) 11" x 17" copies
- Pavement Design Catalog (3 copies)
- Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)
- Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies
- Proposed CSM (24) copies
- Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

Preliminary Plat \$100.00 plus \$5.00 per lot. Final Plat \$50.00 plus \$2.00 per lot. CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50

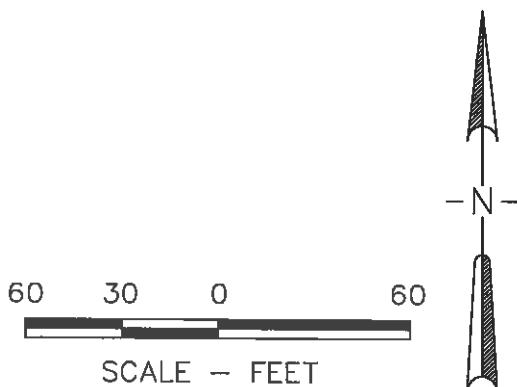
Signature of Applicant David M. Schmalz Date July 29, 2021

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

CERTIFIED SURVEY MAP NO.

SHEET 1 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, ARDINA VERSTEGEN
ADDITION TO THE VILLAGE OF LITTLE CHUTE AS SHOWN ON THE
1917 ASSESSORS PLAT OF THE VILLAGE OF LITTLE CHUTE,
LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4
OF SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST,
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

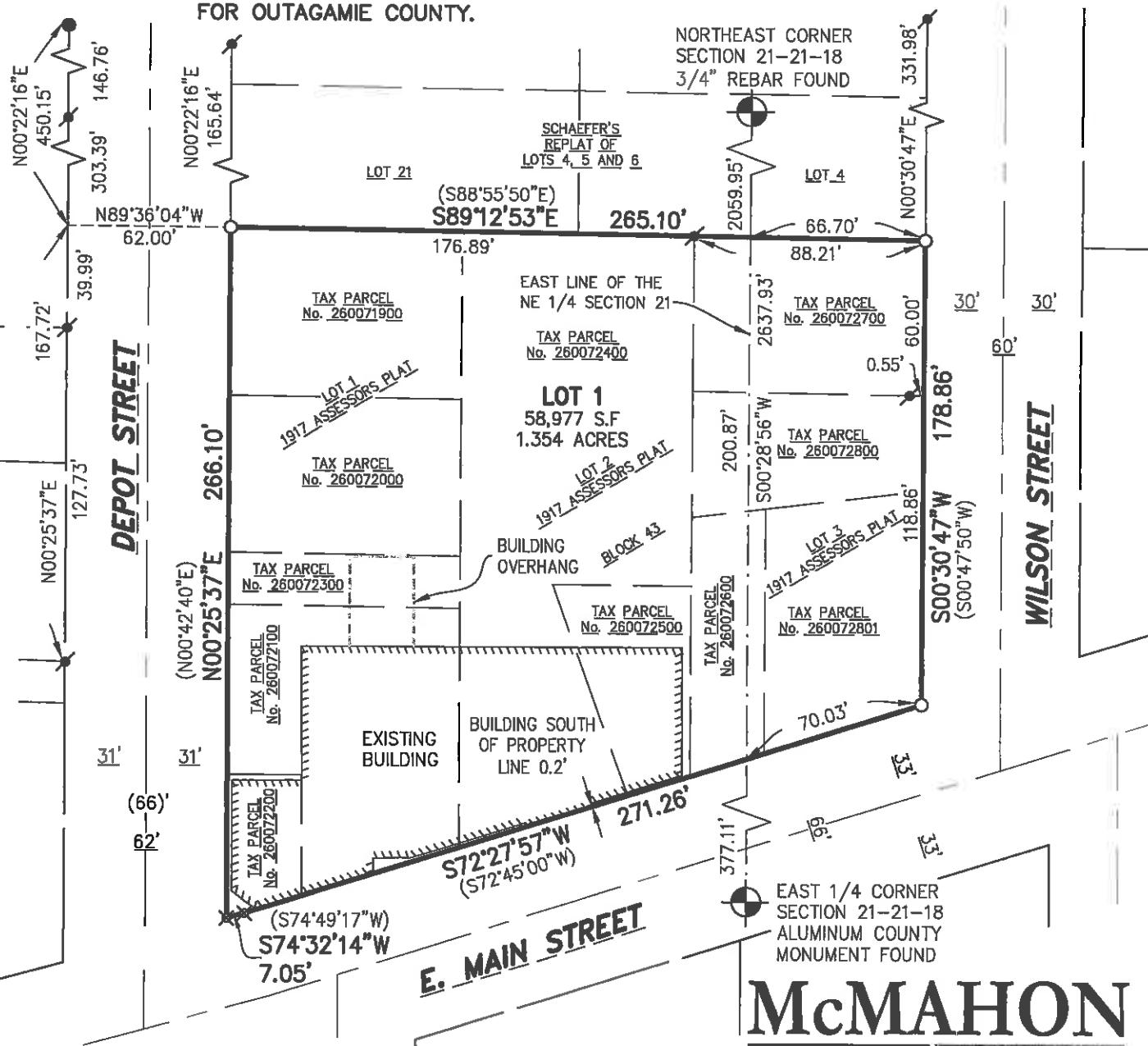


LEGEND

- - 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- ✗ - CUT "X" IN CONCRETE SET
- - 1" IRON PIPE FOUND
- ↖ - 3/4" ROUND STEEL REBAR FOUND
- - CERTIFIED LAND CORNER OUTAGAMIE COUNTY
- () - RECORDED BEARING AND/OR DISTANCE
- S.F. - SQUARE FEET

FOR: -BLC COMMUNITY BANK
-206 E. MAIN STREET
-LITTLE CHUTE W. 54140

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE
NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 21 NORTH,
RANGE 18 EAST WHICH BEARS 300°28'56" W PER THE
WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED
FOR OUTAGAMIE COUNTY.



DRAFTED BY: Kyle J. Tesky

McMAHON

ENGINEERS \ ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

CERTIFIED SURVEY MAP NO. _____

SHEET 2 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, ARDINA VERSTEGEN ADDITION TO THE VILLAGE OF LITTLE CHUTE AS SHOWN ON THE 1917 ASSESSORS PLAT OF THE VILLAGE OF LITTLE CHUTE, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

I, David M. Schmalz, Wisconsin Registered Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of Lots 1, 2 and 3, Block 43, Ardina Verstegen Addition to the Village of Little Chute as shown on 1917 Assessors Plat, located in the Southeast 1/4 of the Northeast 1/4 of Section 21 and the Southwest 1/4 of the Northwest 1/4 of Section 22, all in Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 58,977 Square Feet (1.354 Acres) of land more or less.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statues and Village of Little Chute Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 2021.

David M. Schmalz, Reg. WI Land Surveyor S-1284

VILLAGE BOARD APPROVAL

Approved by the Village of Little Chute, Outagamie County, Wisconsin, by the Village Board on the _____ day of _____, 20____.

Village President
Michael Vanden Berg

Village Finance Director
Lisa Remiker-Dewall

CERTIFICATE OF TREASURERS

I, being the duly elected, qualified and acting Treasurer, do hereby certify that in accordance with the records in my office there are no un-paid taxes or un-paid special assessments on any of the lands included in this Certified Survey Map as of:

Village Finance Director Date
Lisa Remiker-Dewall

County Treasurer Date
Trenten Woelfel

TAX PARCEL NO.	OWNER	DOCUMENT NO.
260071900	BANK OF LITTLE CHUTE	1161127
260072000	BANK OF LITTLE CHUTE	610141
260072100	BANK OF LITTLE CHUTE	156742, 428530 629675 & 629676
260072200	BLC COMMUNITY BANK	2077476
260072300	BANK OF LITTLE CHUTE	629675 & 629676
260072400	BANK OF LITTLE CHUTE	629675 & 629676
260072500	BANK OF LITTLE CHUTE	843865
260072600	BANK OF LITTLE CHUTE	843865
260072700	BLC COMMUNITY BANK	1857213
260072800	BANK OF LITTLE CHUTE	1467382
260072801	BANK OF LITTLE CHUTE	1467381

McMAHON
ENGINEERS / ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
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CERTIFIED SURVEY MAP NO. _____

SHEET 3 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, ARDINA VERSTEGEN ADDITION TO THE VILLAGE OF LITTLE CHUTE AS SHOWN ON THE 1917 ASSESSORS PLAT OF THE VILLAGE OF LITTLE CHUTE, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

Bank of Little Chute, as Owners, We hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map. We also certify that this Certified Survey Map is required by s. 236.10 or 236.12 of the Wisconsin Statutes to be submitted to the following or approval.

Village of Little Chute

Dated this _____ day of _____, 20____.

Authorized Signature

Printed Name

Title

Authorized Signature

Printed Name

Title

State of Wisconsin))ss
____ County)

Personally appeared before me on the _____ day of _____, 20_____,
the above named person(s) to me known to be the person(s) who executed the
foregoing instrument, and acknowledged the same.

Notary Public

County, _____
My commission expires _____

CERTIFIED SURVEY MAP NO. _____

SHEET 4 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, 1988 AMENDMENT TO THE 1917 ASSESSORS PLAT
OF THE VILLAGE OF LITTLE CHUTE, LOCATED IN THE SOUTHEAST 1/4 OF THE
NORTHEAST 1/4 OF SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF
SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE,
OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

BLC Community Bank, as Owners, We hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map. We also certify that this Certified Survey Map is required by s. 236.10 or 236.12 of the Wisconsin Statutes to be submitted to the following or approval.

Village of Little Chute

Dated this _____ day of _____, 20____.

Authorized Signature

Printed Name _____ **Title** _____

Authorized Signature

Printed Name _____ **Title** _____

State of Wisconsin)

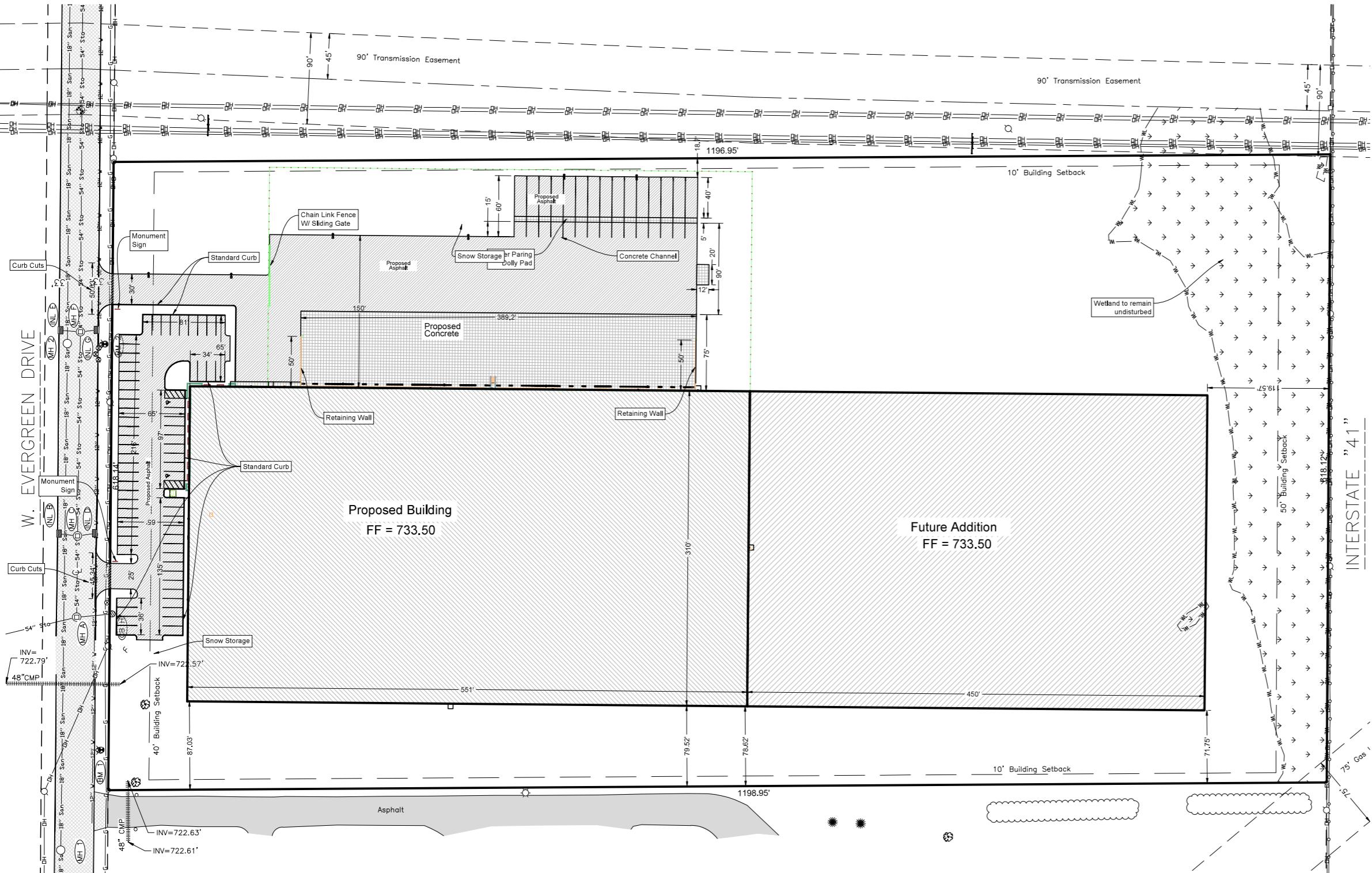
)ss

_____^{ss}) County)

Personally appeared before me on the _____ day of _____, 20____,
the above named person(s) to me known to be the person(s) who executed the
foregoing instrument, and acknowledged the same.

Notary Public

_____County, _____
My commission expires _____



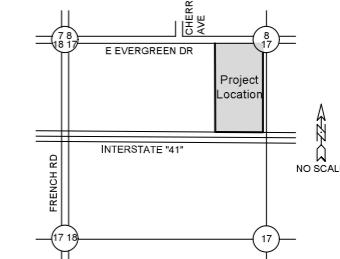
LEGEND	
— DH	Overhead Electric Lines
— San	Sanitary Sewer
— Sto	Storm Sewer
— E	Underground Electric
— G	Underground Gas Line
— W	Water Main
— F	Fence / Steel
— T	Treeline
— Cu	Culvert
— 800	Index Contour
— 700	Intermediate Contour
○	Sanitary MH / Tank / Base
○	Storm Manhole
○	Deciduous Tree
○	Coniferous Tree
○	Hydrant
○	Utility Pole
○	Guy Wire
○	Light Pole / Signal
○	Proposed Building
○	Proposed Asphalt
○	Proposed Concrete
○	Proposed Gravel
—	799.9 Ex Spot Elevation

Notes:

1. See Drainage & Grading Plan, sheet 1.2, for flow directions.
2. Work within Village right of way shall be in conformance with Village requirements.
3. The contractor shall submit applications for permits for driveway apron installation and excavation in the Right of Way prior to construction.
4. Contractor shall contact the Village of Little Chute Public Works Department prior to work in the Right of Way or when connecting to public utilities and installing pavements in the public Right of Way a minimum of 48 hours in advance of the work.
5. The proposed use for this building is warehousing for tires and other automotive parts.
6. There will be no hazardous materials stored on site.
7. Required parking is x spaces based on proposed number of employees of maximum shift to be. Floor area is 170,810 square feet.
8. There will be no ground based mechanical equipment.
9. The building will be fully sprinkled.
10. The construction class for this building is IIB.



LOCATION MAP
NW 1/4 SEC 17, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE,
OUTAGAMIE COUNTY, WI



Site Information
Lot 1 of CSM 7682

Site Address:
2655 W. Evergreen Drive

Current Use: Vacant
Proposed Use: Warehousing

Parcel Number:
260440401

Zoning:
ID: Industrial District

Site Areas:
Existing
Buildings: 0 SF
Pavement: 0 SF
Greenspace: 740,421 SF
Total: 740,421 SF

Proposed
Buildings: 310,310 SF
Pavement: 99,760 SF
Greenspace: 330,351 SF
Total: 740,421 SF
Impervious Area: 410,070 SF (55.4%)

Property Owner:
Better Way Investments, LLC
Mike Kessenich
424 S. Washington St.
Kimberly, WI 54136
(713)303-1732
mkessenich@usautoforce.com

REVISIONS	
1	---
2	---
3	---
4	---
5	---
6	---

SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Drainage and Grading Plan (Parking Lot)	C1.3
Drainage and Grading Plan (Loading Docks)	C1.4
Erosion & Sediment Control Plan	C1.5
Utilities Plan	C1.6
Construction Details	C2.1
Construction Details	C2.2
Erosion & Sediment Control Details	C2.3
Floor Plan	A1.0
Office Plan	A1.1
Landscape Plan	A1.5
Elevations Plan	A2.0

SITE PLAN



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-8866 Fax: 920-441-0804
www.davelpro.com

PROPOSED FOR:
LITTLE CHUTE, WISCONSIN
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PROJECT MANAGER:	D. HULCE
DESIGNER:	S. KLESSIG
DRAWN BY:	---
EXPEDITOR:	---
SUPERVISOR:	---

PRELIMINARY - NOT FOR CONSTRUCTION
CONTRACT NO: _____
DATE: 1/-/2021
SHEET: C1.0



Keller

PLANNERS | ARCHITECTS | BUILDERS

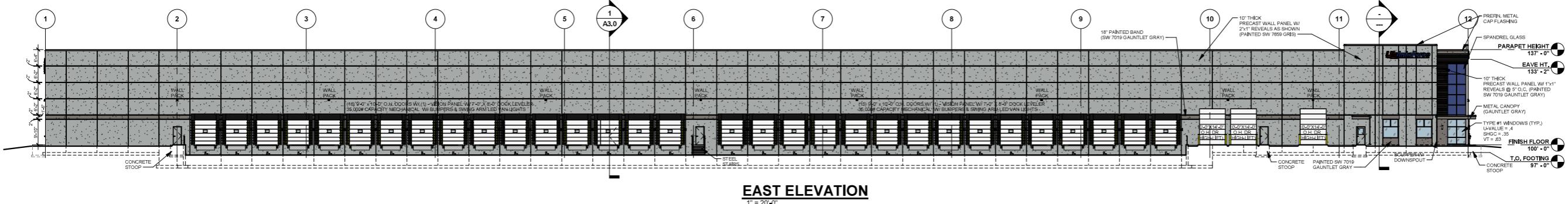
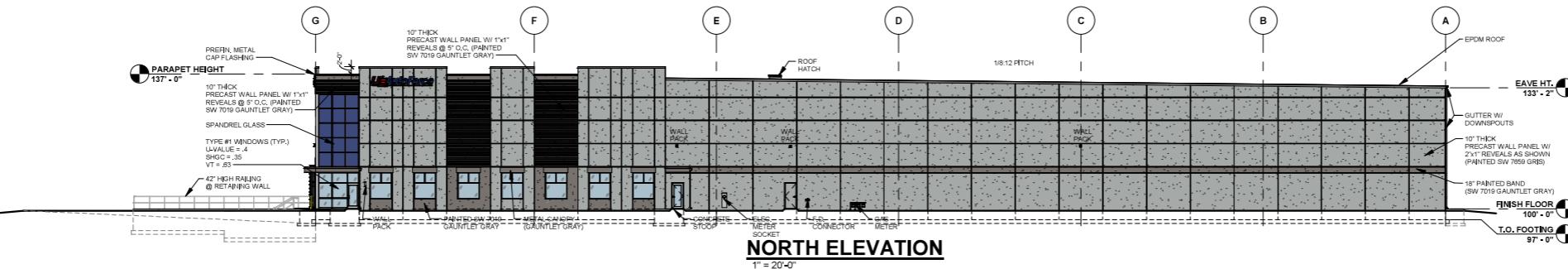
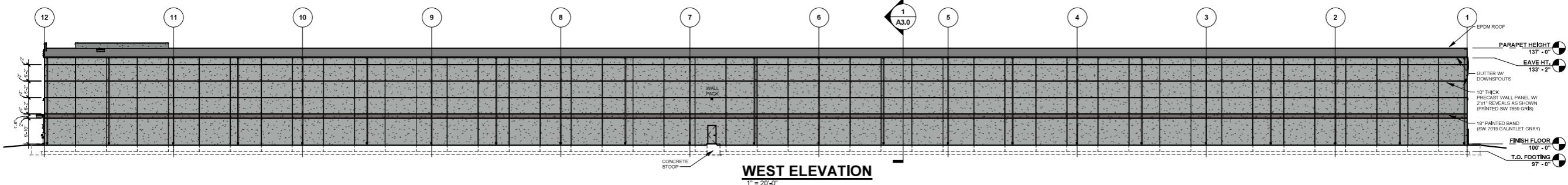
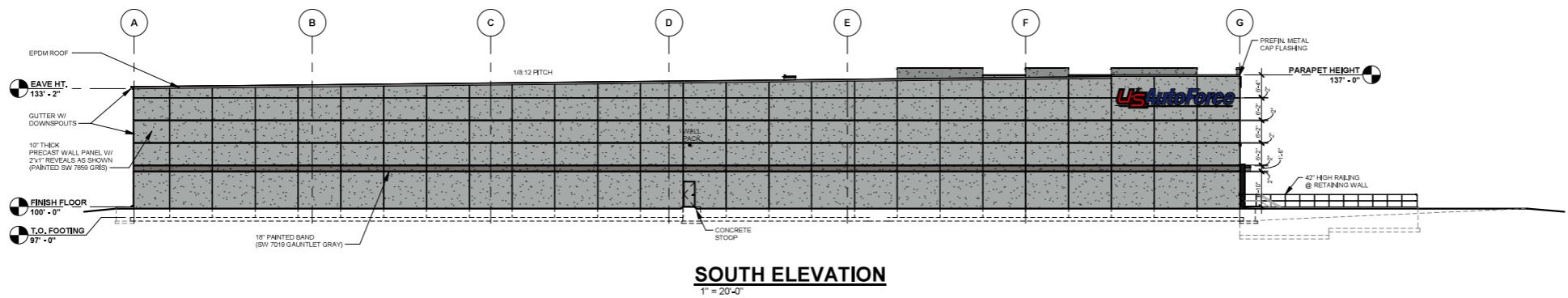
FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-5796 /
FAX (920) 766-2337
1-800-236-2534
FAX (920) 766-9004

MADISON
711 Lole Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
FAX (608) 318-2334
WAUSAU
5605 Usic Ave
Waupaca, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181
1-800-236-2534
FAX (262) 230-9740
www.kellerbuilds.com

BETTER WAY INVESTMENTS LLC

WISCONSIN

PROPOSED FOR:
LITTLE CHUTE,



PRELIMINARY - NOT FOR CONSTRUCTION

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REVISIONS
1 06.02.2021 TDP
2 06.17.2021 TDP
3 07.26.2021 TDP
4
5
6

PROJECT MANAGER:
D. HULCE

DESIGNER:
S. KLESSIG

DRAWN BY:
TDP

EXPEDITOR:

SUPERVISOR:

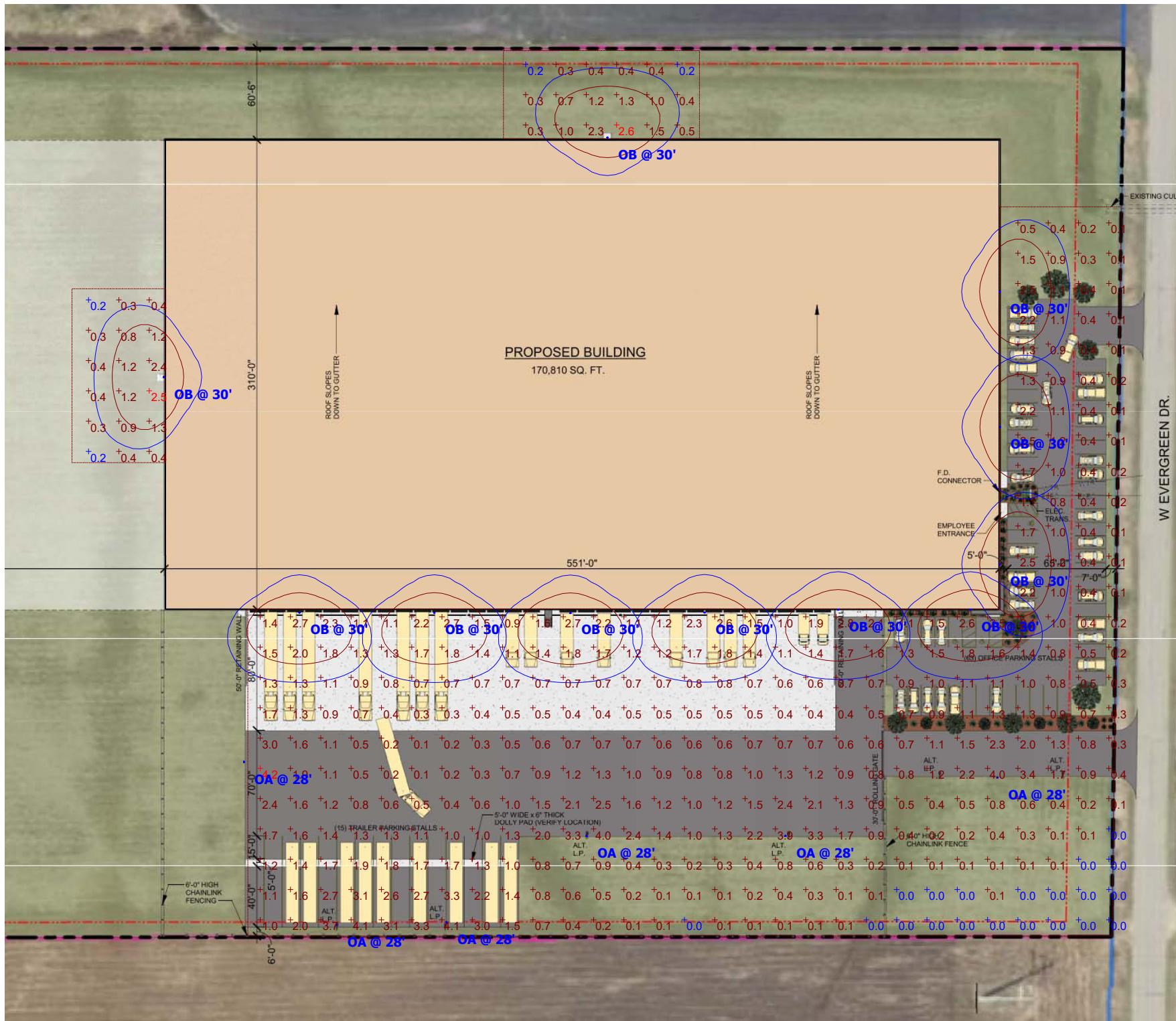
PRELIMINARY NO:
P21088

CONTRACT NO:

DATE:
03.31.2021

SHEET:
A2.0

US Venture
Site Lighting



Plan View

Schedule					
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number
	OA		6	Lithonia Lighting	RSX1 LED P4 50K R4
	OB		11	Lithonia Lighting	WPX3 LED 50K Mvolt

Designer

Nick Schroeder

Date

07/16/2021

Scale

Not to Scale

Drawing No.

1000

Summary