



# AGENDA

## VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, August 16, 2021

TIME: 4:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the August 16 Plan Commission meeting at 4 PM by following the link here:

<https://zoom.us/j/96634466049>

Meeting ID: **966 3446 6049**

Call-in Information: +1 (312) 626-6799 US (Chicago)

Meeting ID: 966 3446 6049

1. Approval of Minutes from the Plan Commission Meeting of July 12, 2021
2. Discussion/Recommendation—Bank of Little Chute (BLC) CSM
3. Discussion/Recommendation—Better Way Investments Site Plan
4. Unfinished Business
5. Items for Future Agenda
6. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 August 11, 2021



### **Information for the Plan Commission Meeting – August 16, 2021 – 4:00 PM**

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16<sup>th</sup>, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the August 16 Plan Commission Meeting at 4:00 PM by following the link here:  
Join Zoom Meeting  
<https://zoom.us/j/96634466049>  
Meeting ID: 966 3446 6049
2. Call-in Information: United States  
One tap mobile:  
+13126266799,,96634466049#,, US (Chicago)  
+13017158592,,96634466049#,, US (Washington D.C)
3. Dial by your location:  
+1 312 626 6799 US (Chicago)  
+1 301 715 8592 US (Washington D.C)      +1 929 436 2866 US (New York)  
+1 253 215 8782 US (Tacoma)      +1 346 248 7799 US (Houston)  
+1 669 900 6833 US (San Jose)  
Meeting ID: 976 1567 6559  
Find your local number: <https://zoom.us/u/abGpaew1E>
4. If you are experiencing connectivity issues or have questions on the options above, please contact Dave Kittel at [david.kittel@littlechutewi.org](mailto:david.kittel@littlechutewi.org)
5. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
6. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

## MINUTES OF THE PLAN COMMISSION MEETING JULY 12, 2021

### Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

### Roll Call

PRESENT: Bill Van Berkel  
President Vanden Berg  
Larry Van Lankvelt  
Jim Moes  
Kent Taylor  
Todd Verboomen  
EXCUSED: Richard Schevers

STAFF PRESENT: Community Development Director Kittel

### Public Appearance for Items Not on the Agenda

None

### Approval of Minutes from the Plan Commission Meeting of June 14, 2021

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Approve the Minutes the Plan Commission Meeting of June 14, 2021*

All Ayes—Motion Carried

### Discussion/Recommendation—Robs Imports Site Plan Review

Director Kittel went over the site plan for an auto repair facility requested by Robs Imports. Staff is recommending approval with the condition that all staff comments are addressed.

*Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend Approval of Robs Imports Site Plan with the condition that all staff comments are addressed.*

All Ayes—Motion Carried

### Discussion/Recommendation—Outagamie County R&G Site Plan

Director Kittel advised this site plan is for a new treatment plant. Commissioner Moes asked for an amendment for the Conditional Use; Director Kittel said this will be addressed at the Board meeting.

*Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend Approval of the R&G Site Plan to the Village Board*

All Ayes—Motion Carried

### Recommendation—Ordinance to Create Pine Street Pedestrian Mall

Director Kittel advised the Commission that staff is recommending approval in the first step in creating an ordinance for the Pine Street Pedestrian Mall.

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Recommend to the Village Board Approval of the Site Plan as presented*

All Ayes—Motion Carried

### Recommendation—310 Allegiance Court Conditional Us

Director Kittel advised that a conditional use permit was received for Robs Imports at 310 Allegiance Court. Staff is recommending approval with the following conditions:

- 1) Only one vehicle may be sold on site at a time and parked in a proper parking area
- 2) Vehicles requiring a repair that will be parked overnight are to be parked in the lot on the sides of the property
- 3) No vehicles shall be disassembled in the parking lot area.
- 4) All vehicles are to have a license plate and current registration not including dealer plates
- 5) The property will be inspected once per year by the Community Development Department to ensure compliance or as needed if any complaints are received.

*Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend to the Village Board Approval of the Conditional use with staff recommendations as listed.*

All Ayes–Motion Carried

**Unfinished Business**

None

**Items for Future Agenda**

None

**Adjournment**

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Taylor to Adjourn the Plan Commission Meeting at 6:20 p.m.*

All Ayes– Motion Carried

**VILLAGE OF LITTLE CHUTE**

---

By: Michael Vanden Berg, Village President

---

Attest: Laurie Decker, Village Clerk



## APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: Bank Of Little Chute - Consolidation CSM

Parent Parcel # 280071900, 280072000, 280072300, 280072100, 280072200, 280072400, 280072500, 280072600, 280072700, 280072800, 280072901

Number of Lots: 1

☐ Preliminary Plat

☐ Final Plat

☒ CSM

Will deed restrictions be recorded? ☐ Yes ☒ No

### Property Owner Information:

Name: Bank of Little Chute & BLC Community Bank

Telephone Number: \_\_\_\_\_

Mailing Address: 206 E Main Street Little Chute Wisconsin 54140

### Surveyor Information:

Name: David M. Schmalz-McMahon Associates, Inc. Telephone Number: (920) 751-4200 email: dschmalz@mcmgrp.com

### Engineer Information:

Name: \_\_\_\_\_ Telephone Number: \_\_\_\_\_ email: \_\_\_\_\_

### Required for plat review:

☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies

☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies

☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies

☐ Pavement Design Catalog (3 copies)

☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)

☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies

☒ Proposed CSM (24) copies

☐ Plat restrictions or covenants to be recorded (3 copies)

### Filing Fees:

☐ Preliminary Plat \$100.00 plus \$5.00 per lot. ☐ Final Plat \$50.00 plus \$2.00 per lot. ☐ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 50

Signature of Applicant David M. Schmalz Date July 29, 2021

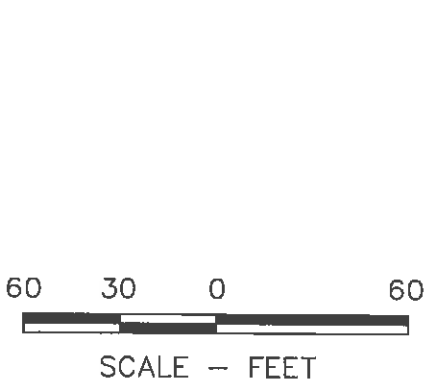
Submit to: Director of Community Development  
108 W Main Street, Little Chute, Wisconsin 54140  
(920)423-3870 jim@littlechutewi.org

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

SHEET 1 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, ARDINA VERSTEGEN  
ADDITION TO THE VILLAGE OF LITTLE CHUTE AS SHOWN ON THE  
1917 ASSESSORS PLAT OF THE VILLAGE OF LITTLE CHUTE,  
LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF  
SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4  
OF SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST,  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

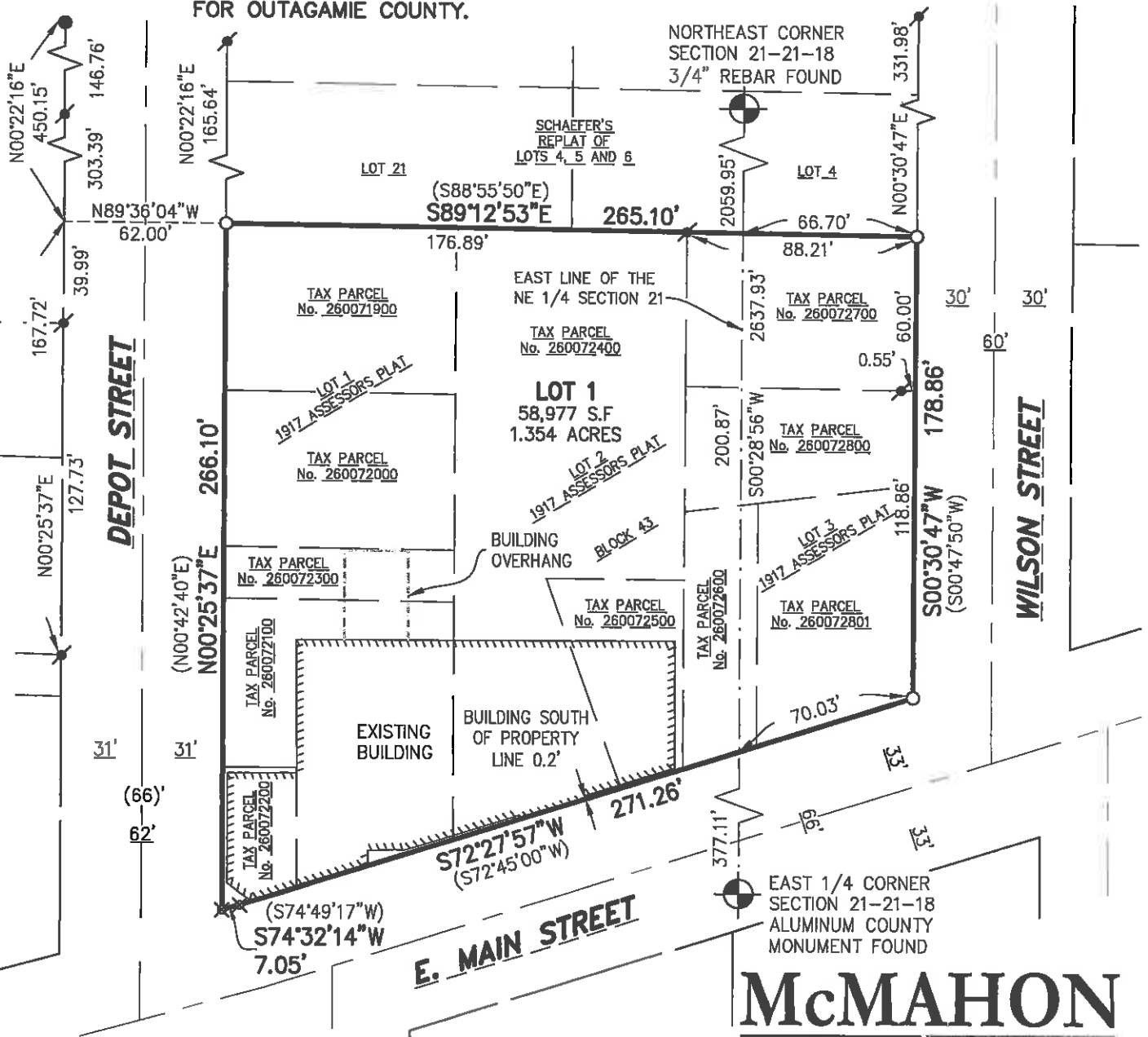
mabing, w: \PROJECTS\B0705\062100113\CADD\Civil3D\Survey Documents\CSM\Bank of Little Chute\_CSM.dwg, sheet: Jlegalsm, Plot Date: 7/29/2021 1:11 PM, xrefs: (lc bank comps dew)



- LEGEND**
- - 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
  - ✕ - CUT "X" IN CONCRETE SET
  - - 1" IRON PIPE FOUND
  - ⦿ - 3/4" ROUND STEEL REBAR FOUND
  - ⊙ - CERTIFIED LAND CORNER OUTAGAMIE COUNTY
  - ( ) - RECORDED BEARING AND/OR DISTANCE
  - S.F. - SQUARE FEET

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE  
NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 21 NORTH,  
RANGE 18 EAST WHICH BEARS S00°28'56"W PER THE  
WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED  
FOR OUTAGAMIE COUNTY.

FOR: -BLC COMMUNITY BANK  
-206 E. MAIN STREET  
-LITTLE CHUTE WI, 54140



**McMAHON**  
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

DRAFTED BY: Kyle J. Tesky

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

SHEET 2 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, ARDINA VERSTEGEN ADDITION TO THE VILLAGE OF LITTLE CHUTE AS SHOWN ON THE 1917 ASSESSORS PLAT OF THE VILLAGE OF LITTLE CHUTE, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

I, David M. Schmalz, Wisconsin Registered Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of Lots 1, 2 and 3, Block 43, Ardina Verstegen Addition to the Village of Little Chute as shown on 1917 Assessors Plat, located in the Southeast 1/4 of the Northeast 1/4 of Section 21 and the Southwest 1/4 of the Northwest 1/4 of Section 22, all in Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin containing 58,977 Square Feet (1.354 Acres) of land more or less.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes and Village of Little Chute Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

David M. Schmalz, Reg. WI Land Surveyor S-1284

VILLAGE BOARD APPROVAL

Approved by the Village of Little Chute, Outagamie County, Wisconsin, by the Village Board on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Village President  
Michael Vanden Berg

Village Finance Director  
Lisa Remiker-Dewall

CERTIFICATE OF TREASURERS

I, being the duly elected, qualified and acting Treasurer, do hereby certify that in accordance with the records in my office there are no un-paid taxes or un-paid special assessments on any of the lands included in this Certified Survey Map as of:

Village Finance Director Date  
Lisa Remiker-Dewall

County Treasurer Date  
Trenten Woelfel

TAX PARCEL NO.	OWNER	DOCUMENT NO.
260071900	BANK OF LITTLE CHUTE	1161127
260072000	BANK OF LITTLE CHUTE	610141
260072100	BANK OF LITTLE CHUTE	156742, 428530 629675 & 629676
260072200	BLC COMMUNITY BANK	2077476
260072300	BANK OF LITTLE CHUTE	629675 & 629676
260072400	BANK OF LITTLE CHUTE	629675 & 629676
260072500	BANK OF LITTLE CHUTE	843865
260072600	BANK OF LITTLE CHUTE	843865
260072700	BLC COMMUNITY BANK	1857213
260072800	BANK OF LITTLE CHUTE	1467382
260072801	BANK OF LITTLE CHUTE	1467381

**McMAHON**  
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

SHEET 3 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, ARDINA VERSTEGEN ADDITION TO THE VILLAGE OF  
LITTLE CHUTE AS SHOWN ON THE 1917 ASSESSORS PLAT OF THE VILLAGE OF LITTLE CHUTE,  
LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21 AND THE  
SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, ALL IN TOWNSHIP 21 NORTH,  
RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

**OWNER's CERTIFICATE**

Bank of Little Chute, as Owners, We hereby certify that we caused the land described  
on this Certified Survey Map to be surveyed, divided and mapped as represented on  
this Certified Survey Map. We also certify that this Certified Survey Map is required by  
s. 236.10 or 236.12 of the Wisconsin Statutes to be submitted to the following or  
approval.

Village of Little Chute

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

State of Wisconsin)  
\_\_\_\_\_)ss  
\_\_\_\_\_County)

Personally appeared before me on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,  
the above named person(s) to me known to be the person(s) who executed the  
foregoing instrument, and acknowledged the same.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

SHEET 4 OF 4

ALL OF LOTS 1, 2 AND 3, BLOCK 43, 1988 AMENDMENT TO THE 1917 ASSESSORS PLAT  
OF THE VILLAGE OF LITTLE CHUTE, LOCATED IN THE SOUTHEAST 1/4 OF THE  
NORTHEAST 1/4 OF SECTION 21 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF  
SECTION 22, ALL IN TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE,  
OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

BLC Community Bank, as Owners, We hereby certify that we caused the land described  
on this Certified Survey Map to be surveyed, divided and mapped as represented on  
this Certified Survey Map. We also certify that this Certified Survey Map is required by  
s. 236.10 or 236.12 of the Wisconsin Statutes to be submitted to the following or  
approval.

Village of Little Chute

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

State of Wisconsin)

)ss

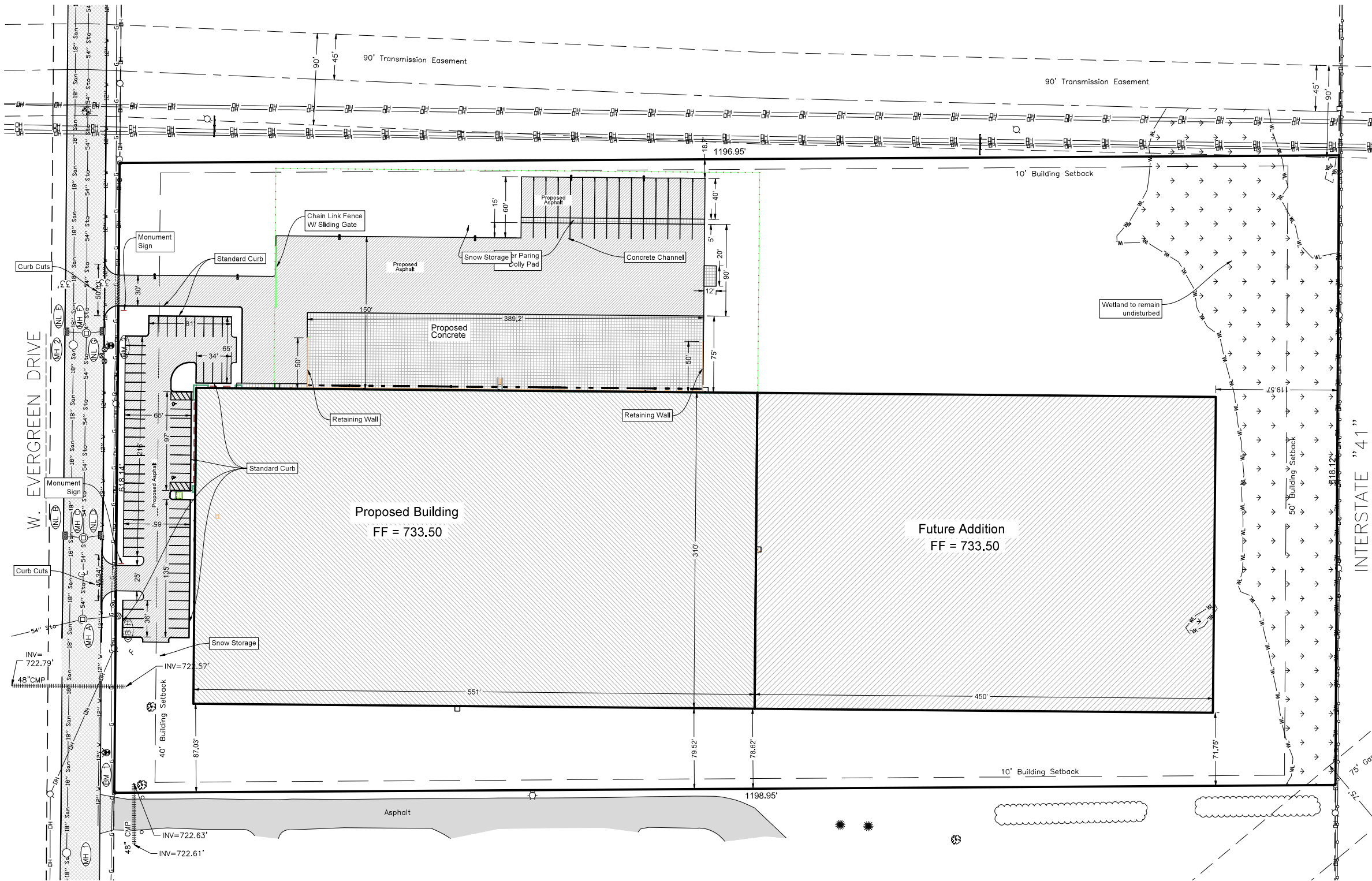
\_\_\_\_\_ County)

Personally appeared before me on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,  
the above named person(s) to me known to be the person(s) who executed the  
foregoing instrument, and acknowledged the same.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_



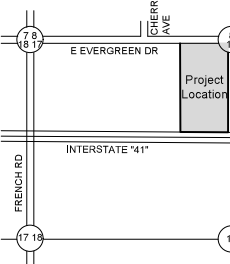
LEGEND			
—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base
—San—	Sanitary Sewer	●	Sanitary Manhole
—Sto—	Storm Sewer	⊕	Inlet
—E—	Underground Electric	⊕	Hydrant
—G—	Underground Gas Line	⊕	Utility Pole
—W—	Water Main	⊕	Guy Wire
—F—	Fence - Steel	⊕	Light Pole / Signal
—T—	Tree Line	⊕	Ex Spot Elevation
—C—	Culvert	⊕	
—800—	Index Contour		
—799—	Intermediate Contour		
		⊕	Deciduous Tree
		⊕	Coniferous Tree
		⊕	Benchmark
		⊕	Asphalt Pavement
		⊕	Concrete Pavement
		⊕	Gravel
		⊕	Proposed Building
		⊕	Proposed Asphalt
		⊕	Proposed Concrete
		⊕	Proposed Gravel

#### Notes:

- See Drainage & Grading Plan, sheet 1.2, for flow directions.
- Work within Village right of way shall be in conformance with Village requirements.
- The contractor shall submit applications for permits for driveway apron installation and excavation in the Right of Way prior to construction.
- Contractor shall contact the Village of Little Chute Public Works Department prior to work in the Right of Way or when connecting to public utilities and installing pavements in the public Right of Way a minimum of 48 hours in advance of the work.
- The proposed use for this building is warehousing for tires and other automotive parts.
- There will be no hazardous materials stored on site.
- Required parking is x spaces based on proposed number of employees of maximum shift to be. Floor area is 170,810 square feet.
- There will be no ground based mechanical equipment.
- The building will be fully sprinkled.
- The construction class for this building is IIB.

#### LOCATION MAP

NW 1/4 SEC 17, T 21 N, R 18 E,  
VILLAGE OF LITTLE CHUTE  
OUTAGAMIE COUNTY, WI



#### Site Information

Lot 1 of CSM 7682

#### Site Address:

2655 W. Evergreen Drive

Current Use: Vacant

Proposed Use: Warehousing

#### Parcel Number:

260440401

#### Zoning:

ID: Industrial District

#### Site Areas:

Existing	
Buildings:	0 SF
Pavement:	0 SF
Greenspace:	740,421 SF
Total:	740,421 SF

Proposed	
Buildings:	310,310 SF
Pavement:	99,760 SF
Greenspace:	330,351 SF
Total:	740,421 SF
Impervious Area:	410,070 SF (55.4%)

#### Property Owner:

Better Way Investments, LLC  
Mike Kessenich  
424 S. Washington St.  
Kimberly, WI 54136  
(713)303-1732  
mkessenich@usautoforce.com

#### SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Drainage and Grading Plan (Parking Lot)	C1.3
Drainage and Grading Plan (Loading Docks)	C1.4
Erosion & Sediment Control Plan	C1.5
Utilities Plan	C1.6
Construction Details	C2.1
Construction Details	C2.2
Erosion & Sediment Control Details	C2.3
Floor Plan	A1.0
Office Plan	A1.1
Landscape Plan	A1.5
Elevations Plan	A2.0

#### SITE PLAN



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-441-0804  
www.davel.pro

8/4/2021 12:05 PM J:\Projects\6755usa\dwg\Civil 3D\6755sengr.dwg Printed by: kyle

**Keller**  
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES  
N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-5795 /  
FAX (920) 766-5004

MADISON  
711 Lake Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (800) 318-2337

MILWAUKEE  
W204 N11509  
Goldendale Rd  
Germantown, WI 53022  
PHONE (262) 250-9710  
FAX (262) 250-9740

WAUSAU  
5604 Libac Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

www.kellerbuilds.com

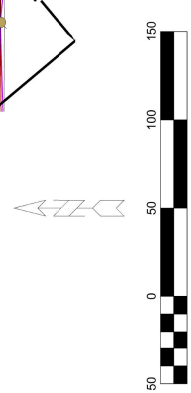
PROPOSED FOR:  
**BETTER WAY INVESTMENTS, LLC**  
LITTLE CHUTE, WISCONSIN

"COPYRIGHT NOTICE"  
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS		
1		---
2		---
3		
4		
5		
6		

PROJECT MANAGER:	D. HULCE
DESIGNER:	S. KLESSIG
DRAWN BY:	---
EXPEDITOR:	---
SUPERVISOR:	---
PRELIMINARY NO:	P21088
CONTRACT NO:	---
DATE:	---/---/2021
SHEET:	<b>C1.0</b>





The map shows a street grid in the French Quarter. E. Evergreen Dr runs vertically on the left. French Rd runs horizontally at the bottom. Interstate 41 runs vertically on the right. A shaded rectangle is located between E. Evergreen Dr and Interstate 41, north of French Rd. A north arrow points towards the top left, and the text 'NO SCALE' is written vertically on the right side.

Planting Details: **Plants:** Remove stumps, sticks, construction debris and other extraneous materials from planting area. Install 12" x 24" of gravelized topsoil and organic matter and rototill into subsoil at depth of 8" and smooth and season positive for 10 days.

Install 1 1/2" American Heritage Decorative Stone over Landscape Fabric.

Edge all planting beds with Professional Polyethylene Vinyl.

**Planting Requirements:** Provide trees, shrubs, evergreens, perennials and grasses as per size and root condition in Plant List. Provide plant material certificates at time of planting.

**2. Trees:** All trees to be staked

Trees in turf area or seeded area will have 7' dia. circle of Shredded Hardwood mulch 3" depth and shovel cut edges separating mulch from lawn area.

Treffen herbicide placed on lawn for 2 months.

Edge area location as needed on site and adjacent to other construction.

**Planting Warranty Period:** All plant material will have (One) 1 Year warranty replacement from date of substantial completion. Maintenance Period: Maintenance period will last for a period of 90 days from substantial completion date. Minimum maintenance services at minimum: Annual watering, weeding, pruning, deadheading, weeding, and removing trash and debris from planting and landscape areas, repaving setting of storm, mulch, topsoil and plants, application of pesticides, chemicals and fertilizers as required. Fertilizer application will be done for the first year. All minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.

**Planting schedule:** Provide construction documents for base bid only.

**1. Lawn:** Seed with 50:50 Blend Kentucky Bluegrass & Perennial Ryegrass at rate of 4lb/1000 sq ft. Seed areas installed on #1 minimum fertile topsoil. Loosen subsoil to minimum of 4", remove stumps, sticks, grasses and other extraneous materials. Fertilize using a water soluble fertilizer. Fertilizer application, no phosphorus at 100 lb/1000 sq ft. Cover with Erosion mat per erosion control plan. Any seeded areas not balled for erosion control mat, cover with Class 1 Type A mat. Plant curing on freezing weather.

All contractors shall be liable for the condition of private utilities prior to start of work.

Contact Districts Hotline 5 days prior to start of construction.

Landscape Design by : Christine Kosiorak, PLA  
Lowney's Landscaping Center, Inc.  
N3310 State Rd 47  
Appleton, WI  
(820)733-2560  
July 29, 2021

PROPOSED FOR:

---

**BETTER WAY INVESTMENTS LLC**

---

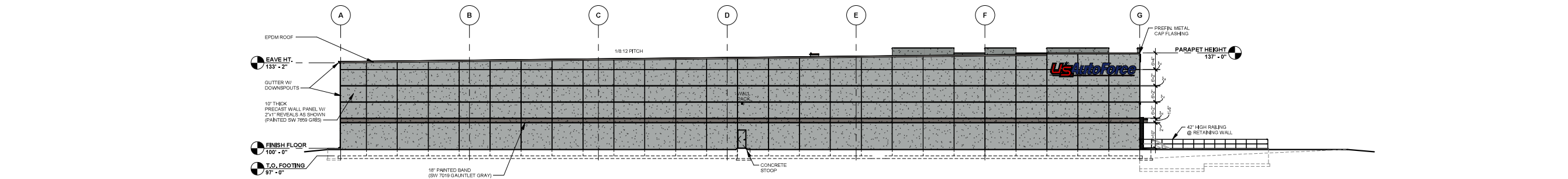
LITTLE CHUTE, WISCONSIN

REVISIONS		
1	06.02.2021	TDP
2	06.17.2021	TDP
3		
4		
5		
6		

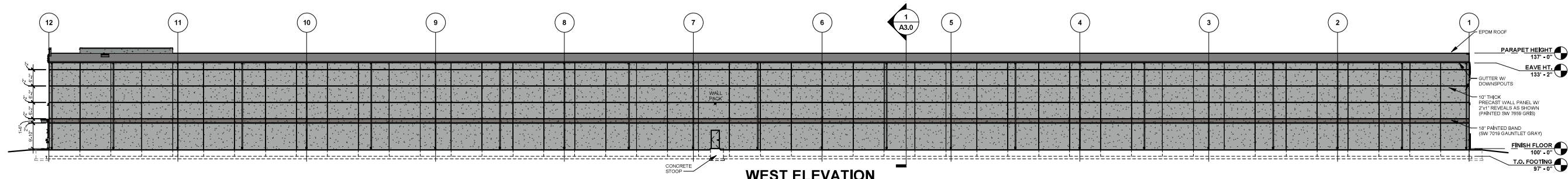
<b>PROJECT MANAGER:</b>		
D. HULCE		
<b>DESIGNER:</b>		
S. KLESSIG		
<b>DRAWN BY:</b>		
TDP		
<b>EXPEDITOR:</b>		
_____		
<b>SUPERVISOR:</b>		
_____		
<b>PRELIMINARY NO:</b>		
P21088		
<b>CONTRACT NO:</b>		
_____		
<b>DATE:</b>		
03.31.2021		
<b>SHEET:</b>		
<b>A1.5</b>		





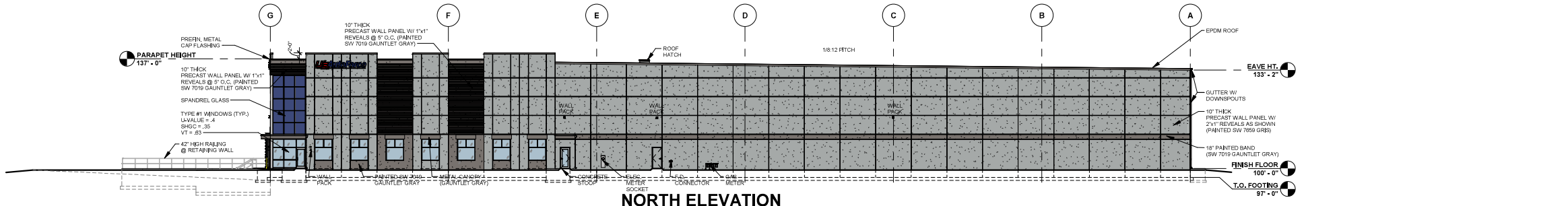
**SOUTH ELEVATION**

1" = 20'-0"



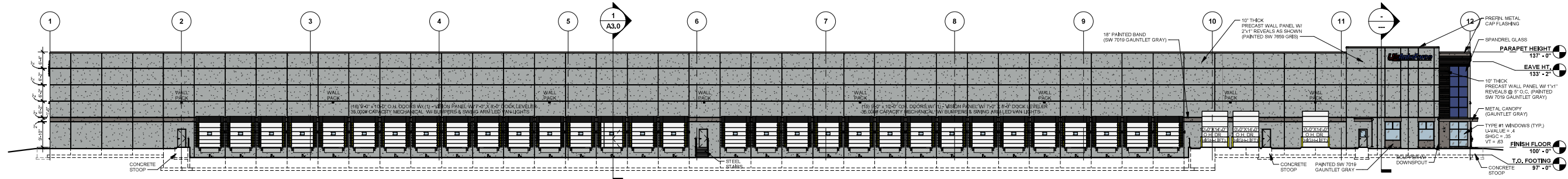
**WEST ELEVATION**

1" = 20'-0"



**NORTH ELEVATION**

1" = 20'-0"



**EAST ELEVATION**

1" = 20'-0"



**Keller**

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES  
N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-6795 /  
1-800-236-2534  
FAX (920) 766-9004

MADISON  
711 Lake Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

MILWAUKEE  
W204 N11509  
Goldsdale Rd  
Germantown, WI 53022  
PHONE (262) 250-9710  
FAX (262) 250-9740

WAUSAU  
5605 Libac Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

www.kellerbuilds.com

**BETTER WAY INVESTMENTS LLC**

**WISCONSIN**

**LITTLE CHUTE,**

PROPOSED FOR:

**"COPYRIGHT NOTICE"**

This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

**REVISIONS**

1	06.02.2021	TDP
2	06.17.2021	TDP
3	07.26.2021	TDP
4		
5		
6		

**PROJECT MANAGER:**

D. HULCE

**DESIGNER:**

S. KLESSIG

**DRAWN BY:**

TDP

**EXPEDITOR:**

**SUPERVISOR:**

**PRELIMINARY NO:**

P21088

**CONTRACT NO:**

**DATE:**

03.31.2021

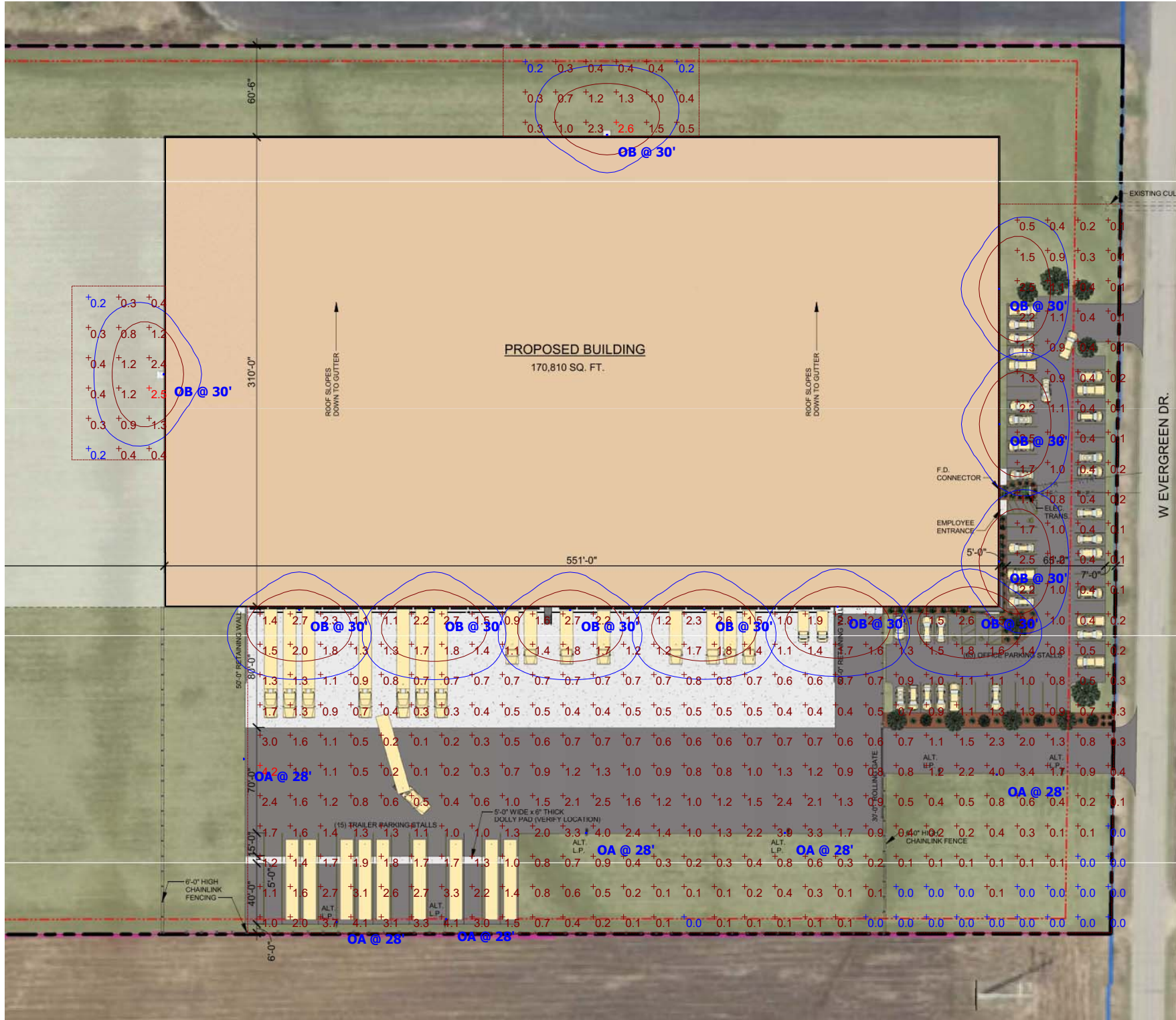
**SHEET:**

**A2.0**

PRELIMINARY - NOT FOR CONSTRUCTION

US Venture  
Site Lighting

**Designer**  
Nick Schroeder  
**Date**  
07/16/2021  
**Scale**  
Not to Scale  
**Drawing No.**  
  
**Summary**



Plan View

Schedule					
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number
	OA		6	Lithonia Lighting	RSX1 LED P4 50K R4
	OB		11	Lithonia Lighting	WPX3 LED 50K Mvolt