



AGENDA

LITTLE CHUTE VILLAGE BOARD COMMITTEE OF THE WHOLE MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, September 8, 2021
TIME: 6:00 p.m.

Virtually attend the September 8 Committee of the Whole meeting at 6 PM by following the zoom link here:

Join Zoom Meeting
<https://zoom.us/j/86785003809>
Meeting ID: 867 8500 3809
+1 312 626 6799 US (Chicago)
Meeting ID: 867 8500 3809

REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Roll call of Trustees
- C. Roll call of Officers and Department Heads
- D. Public Appearance for Items Not on the Agenda

- E. Discussion/Action—Better Way Investments Site Plan

- F. Closed Sessions:
 - a) 19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session *Development Agreement*

 - b) 19.85(1)(c) Consideration of Employment, Promotion, or Performance Evaluation Data of any Public Employee of the Village of Little Chute *Village Administrator Employment Agreement*

- G. Return to Open Session

- H. Action—Development Agreement

- I. Action—Appointment of Village Administrator

- J. Action—Approval of Village Administrator Employment Agreement

K. Call for Unfinished Business

L. Items for Future Agenda

M. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, [email: Laurie@littlechutewi.org](mailto:Laurie@littlechutewi.org) Prepared: September 3, 2021

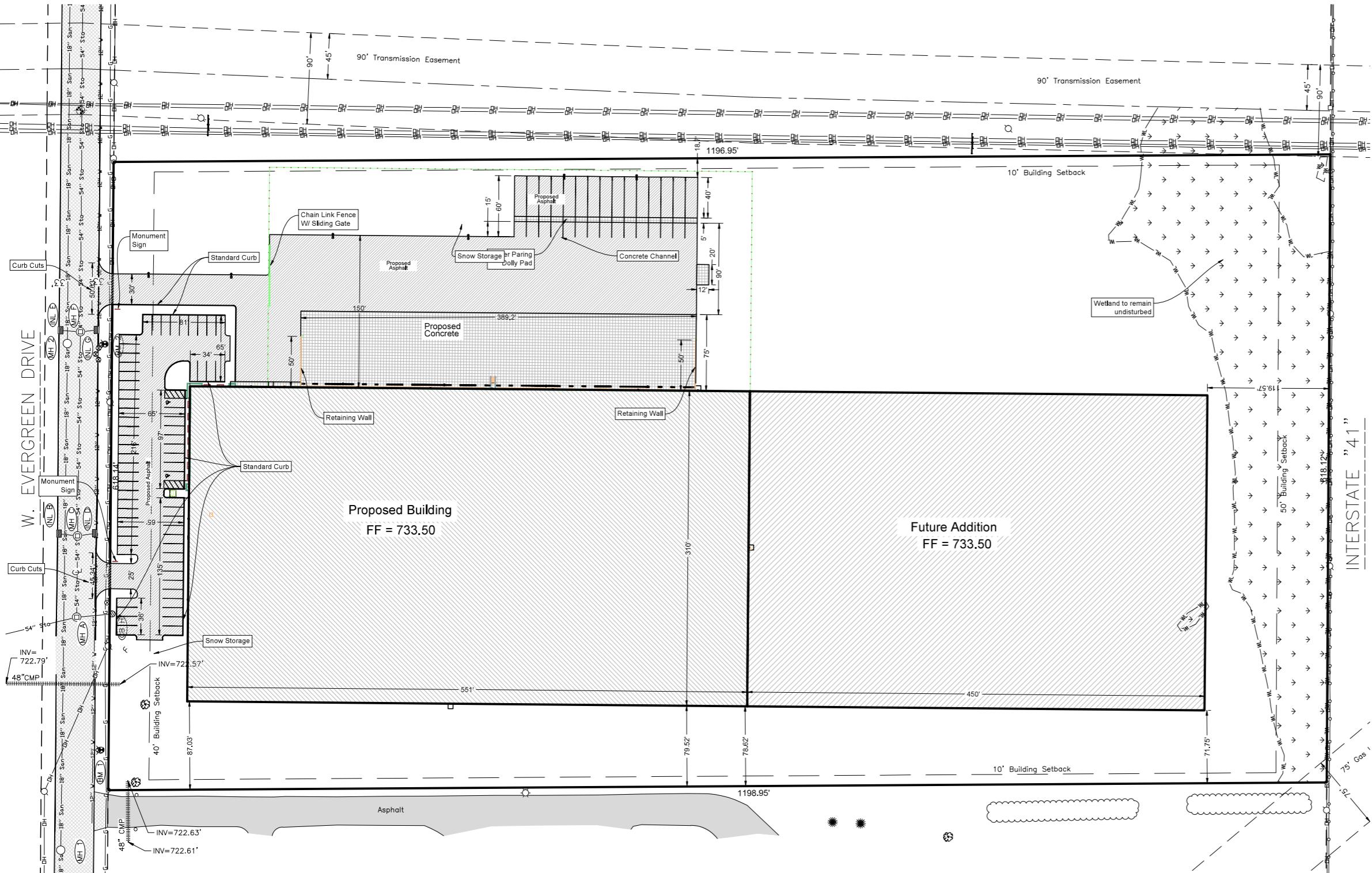


Information for the Committee of the Whole Meeting – September 8, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

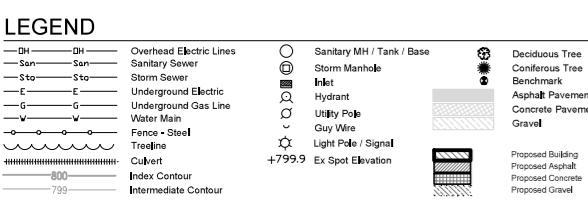
Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the September 8 Committee of the Whole Meeting at 6:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/86785003809>
Meeting ID: 867 8500 3809
2. Call-in Information: United States
One tap mobile:
+13126266799,,86785003809#,,,US (Chicago)
Dial by your location:
+1 312 626 6799 US (Chicago)
+1 301 715 8592 US (Washington D.C) +1 929 436 2866 US (New York)
+1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston)
+1 669 900 6833 US (San Jose)
Meeting ID: 867 8500 3809
Find your local number: <https://zoom.us/u/abGpaew1E>
3. If you are experiencing connectivity issues or have questions on the options above, please contact Laurie Decker at laurie@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

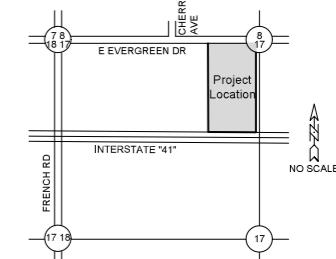


Notes:

1. See Drainage & Grading Plan, sheet 1.2, for flow directions.
2. Work within Village right of way shall be in conformance with Village requirements.
3. The contractor shall submit applications for permits for driveway apron installation and excavation in the Right of Way prior to construction.
4. Contractor shall contact the Village of Little Chute Public Works Department prior to work in the Right of Way or when connecting to public utilities and installing pavements in the public Right of Way a minimum of 48 hours in advance of the work.
5. The proposed use for this building is warehousing for tires and other automotive parts.
6. There will be no hazardous materials stored on site.
7. Required parking is x spaces based on proposed number of employees of maximum shift to be. Floor area is 170,810 square feet.
8. There will be no ground based mechanical equipment.
9. The building will be fully sprinkled.
10. The construction class for this building is IIB.



LOCATION MAP
NW 1/4 SEC 17, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE,
OUTAGAMIE COUNTY, WI



Site Information

Lot 1 of CSM 7682

Site Address:
2655 W. Evergreen Drive

Current Use: Vacant
Proposed Use: Warehousing

Parcel Number:
260440401

Zoning:
ID: Industrial District

Site Areas:
Existing
Buildings: 0 SF
Pavement: 0 SF
Greenspace: 740,421 SF
Total: 740,421 SF

Proposed
Buildings: 310,310 SF
Pavement: 99,760 SF
Greenspace: 330,351 SF
Total: 740,421 SF
Impervious Area: 410,070 SF (55.4%)

Property Owner:
Better Way Investments, LLC
Mike Kessenich
424 S. Washington St.
Kimberly, WI 54136
(713)303-1732
mkessenich@usautoforce.com

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REVISIONS

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6	---

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Drainage and Grading Plan	C1.2
Drainage and Grading Plan (Parking Lot)	C1.3
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Erosion & Sediment Control Plan	C1.5
Utilities Plan	C1.6
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Construction Details	C2.2
Erosion & Sediment Control Details	C2.3
Floor Plan	A1.0
Office Plan	A1.1
Landscape Plan	A1.5
Elevations Plan	A2.0

SITE PLAN



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-8866 Fax: 920-441-0804
www.davelpro.com



Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-3795 /
1-800-236-2334
FAX (920) 766-5004

WAUSAU
W202 N11200
Caledonia Rd
Cantonment, WI 53022
PHONE (715) 849-3141
1-800-236-2334
FAX (715) 849-5181
www.kellerbuilds.com

BETTER WAY INVESTMENTS LLC

PROPOSED FOR:

LITTLE CHUTE, WISCONSIN

PRELIMINARY - NOT FOR CONSTRUCTION

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REVISIONS

1	06.02.2021	TDP
2	06.17.2021	TDP
3		
4		
5		
6		

PROJECT MANAGER:

D. HULCE

DESIGNER:

S. KLESSIG

DRAWN BY:

TDP

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P21088

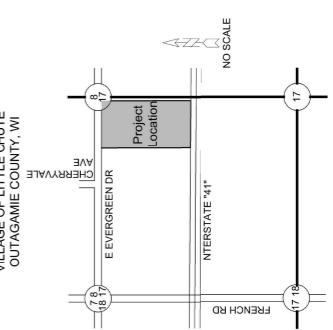
CONTRACT NO:

DATE:

03.31.2021

SHEET:

A1.5



LOCATION MAP
NW 1/4 SEC 17, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE, WI

Symbol	Label	Qty	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
ARD	7	1	Acer Rubrum 'Trunk Jr'	Red Maple	2.5'	40'-50' H x 20'-30' Spread
JKC	23	3	Betula Nigra	Snow White Oak	2.5'	40'-60' H x 20'-40' Spread
UAM	8	1	Ulmus 'Morton'	Accredia Elm	2.5'	40'-60' H x 25'-40' Spread
Evergreen Tree						
HAA	12	3	Phoebe glauca 'Densata'	Black Hills Spruce	1'	20'-40' H x 25' Spread
JKC	23	1	Juniperus x pfitzeriana 'Kelly's Compact'	Annabelle Hydrangea	#3	3'-4' H x 3'-6' Spread
PLD	15	1	Physocarpus opulifolius 'Dona May'	Kelly's Compact Juniper	#3	2.5' H x 4.5' Spread
UAW	16	1	Prunus pensylvanica 'Armenia Waterer'	Little Devil Ninebark	#3	2.5' H x 3.5' Spread
SMP	16	1	Salix x integra 'Purpurea'	Ornamental Spirea	#3	2.5' H x 2.5' Spread
SMP	16	1	Syringa meyeri 'Purpurea'	Dwarf Korean Lilac	#5	4.5' H x 4.5' Spread
THM	8	1	Thuya occidentalis 'Hetz Midget'	Hetz Midget Arborvitae	#5	2.5' H x 2.4' Spread
PGN	13	1	Hamamelis 'Stella D'Oro'	Stella D'Oro Daylily	#1	1'-2' H x 2' Spread

Landscape Notes
1. Planting Beds & Islands: Remove stones, sticks, construction debris and other extraneous materials from planting area. Install 12" of 3:2 ratio of pulverized topsoil and organic matter and rotted into subsoil at depth of 6-8". Rake smooth and assure positive pitch.
2. Trees & Shrubs: Cover planting area with Protective Fabric over Landscape Fabric. Edge all planting beds with Professional Poly Vinyl edging.

Planting Restrictions: Provide trees, shrubs, evergreens, perennials and grasses as per size and root condition in Plant List. Provide plant material certificates at time of planting.

3. Trees to be planted:
Trees in turf area or seeded area to have 3' dia. circle of Shredded Hardwood mulch at 3' depth and shovel cut edge separating from mulch area.
Trees in lawn area to have 3' dia. circle of Shredded Hardwood mulch at 3' depth and shovel cut edge separating from lawn area.
Trees in planting beds to have 3' dia. circle of Shredded Hardwood mulch at 3' depth and shovel cut edge separating from planting bed area.

4. Adjust trees location as needed on site, due to utilities or other obstructions.

Plant Warranty Period: All plant material will have One (1) full year warranty replacement from date of substantial completion. Maintenance Period: Maintenance period will last for a period of 90 days from substantial completion date. Maintenance Period: Maintenance period will last for a period of 90 days from substantial completion date. Includes removal of debris from planting and landscape areas, repairing setting of stone, mulch, topsoil and/or plants, application of pesticides, chemicals and/or fertilizers as required. Removal of debris prior to first mowing. At minimum contractor shall plan weekly maintenance and provide details of activities to Owner or architect.

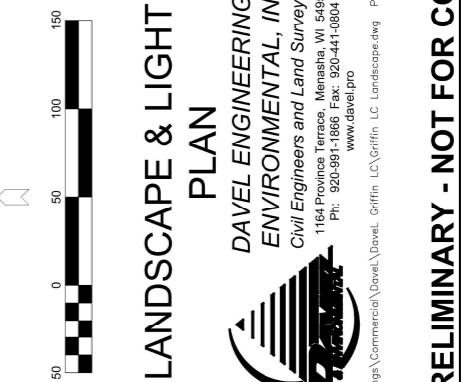
Planting schedule represents quantities for base bid only.

5. Litter: Seed with 50-50 Blend Kentucky Bluegrass & Perennial Ryegrass at rate of 44/100 sq ft. Seed areas installed on 4" minimum fertile topsoil. Loosen subgrade to minimum of 4", remove stones, sticks, grasses and other extraneous materials. Fertilize using commercial grade slow release fertilizer, non phosphorus, at 5# per 1000 sq ft. Cover with Erosion mat per erosion control plan. Any seeded areas shall be protected from erosion control plan with Type A net. Paint during non-freezing weather.

All contractors shall verify the location of private utilities prior to start of work.
Contact Diggers Hotline 5 days prior to start of construction.

Landscape Requirements	
Planting Plan: 1 Shrub True & 3 Shrub per 40' working driveway opening	
Total Length: 566' = 14 Trees + 42 Shrubs	
3 Trees Planted South of Existing Drainage Swale	
Parking Islands: 1 Island per 12 consecutive parking spaces or 1 Island per 24 double row parking spaces, Single Row Island Area required = 180 sq ft per island	
Total Area Required = 945 sq ft	
Total Area in Islands = 1,234 sq ft	
Additional Boulevard Space Required = 0 sq ft	
Total Island Area + Boulevard Space = 2,318 sq ft	
Total Trees Required = 6	
Total Area in Islands = 2	
Total Trees in Islands & Boulevards = 6	
Additional Shrubs & Perennials in Islands & Boulevards = 47 Shrubs + 3 Perennials	
Screening: Trash Collection Area - No Area Specified	
Foundation Planting: Vehicle Storage - 6' Fence - Specified on C1.0.	
None Required	
Actual Quantities - 51 Shrubs.	

Landscape Design by: Christine Kosorek, PLA
Lowrey's Landscaping Center, Inc.
1021 N. 10th Street, Suite 100
Appleton, WI
(920) 733-2560
July 29, 2021



LANDSCAPE & LIGHTING PLAN

DAVEL ENGINEERING &
ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
P.O. Box 991-1866 Fax: 920-441-0604
www.davelpro.com Printed by: christine.kosorek

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FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-5796 /
FAX (920) 766-2337
1-800-236-2534
FAX (920) 766-9004

MADISON
711 Lole Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
FAX (608) 318-2334
WAUSAU
5605 Usic Ave
Waupaca, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181
1-800-236-2534
FAX (262) 230-9740

www.kellerbuilds.com

BETTER WAY INVESTMENTS LLC

WISCONSIN

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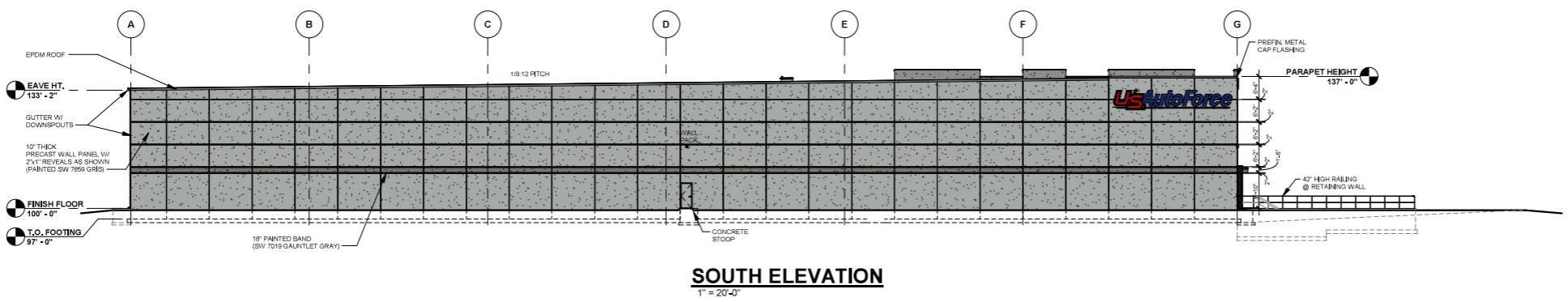
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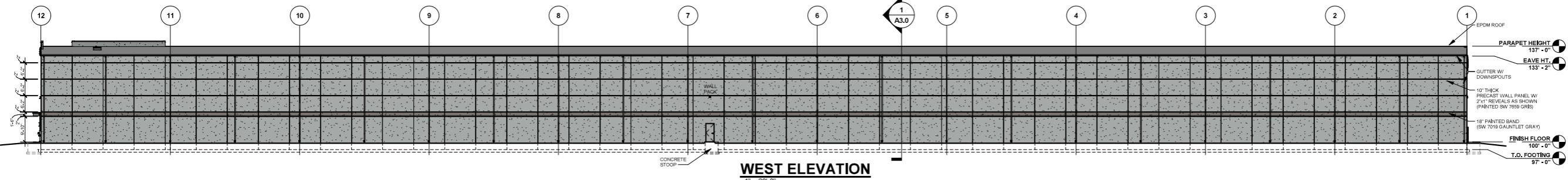
SHEET:

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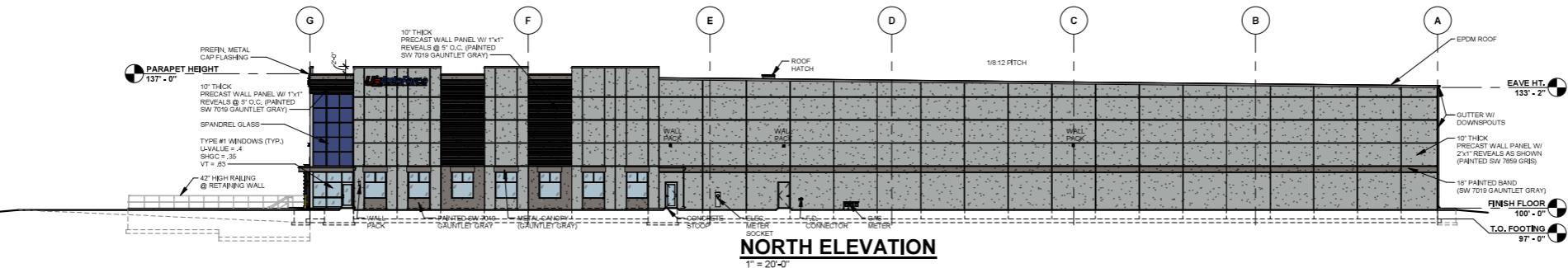
SOUTH ELEVATION

1" = 20'-0"



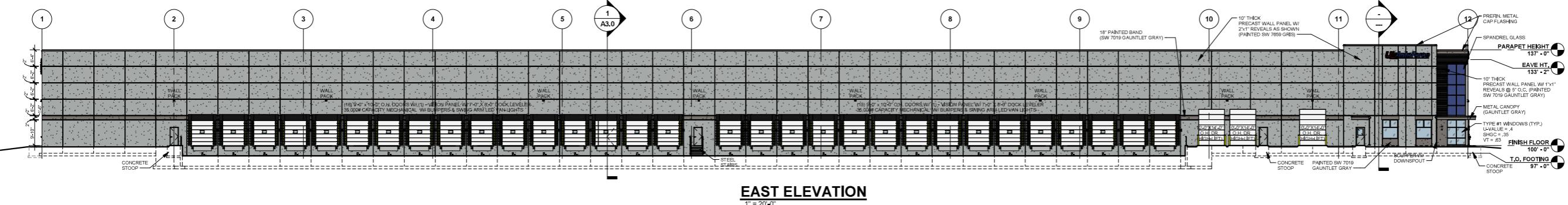
WEST ELEVATION

1" = 20'-0"



NORTH ELEVATION

1" = 20'-0"



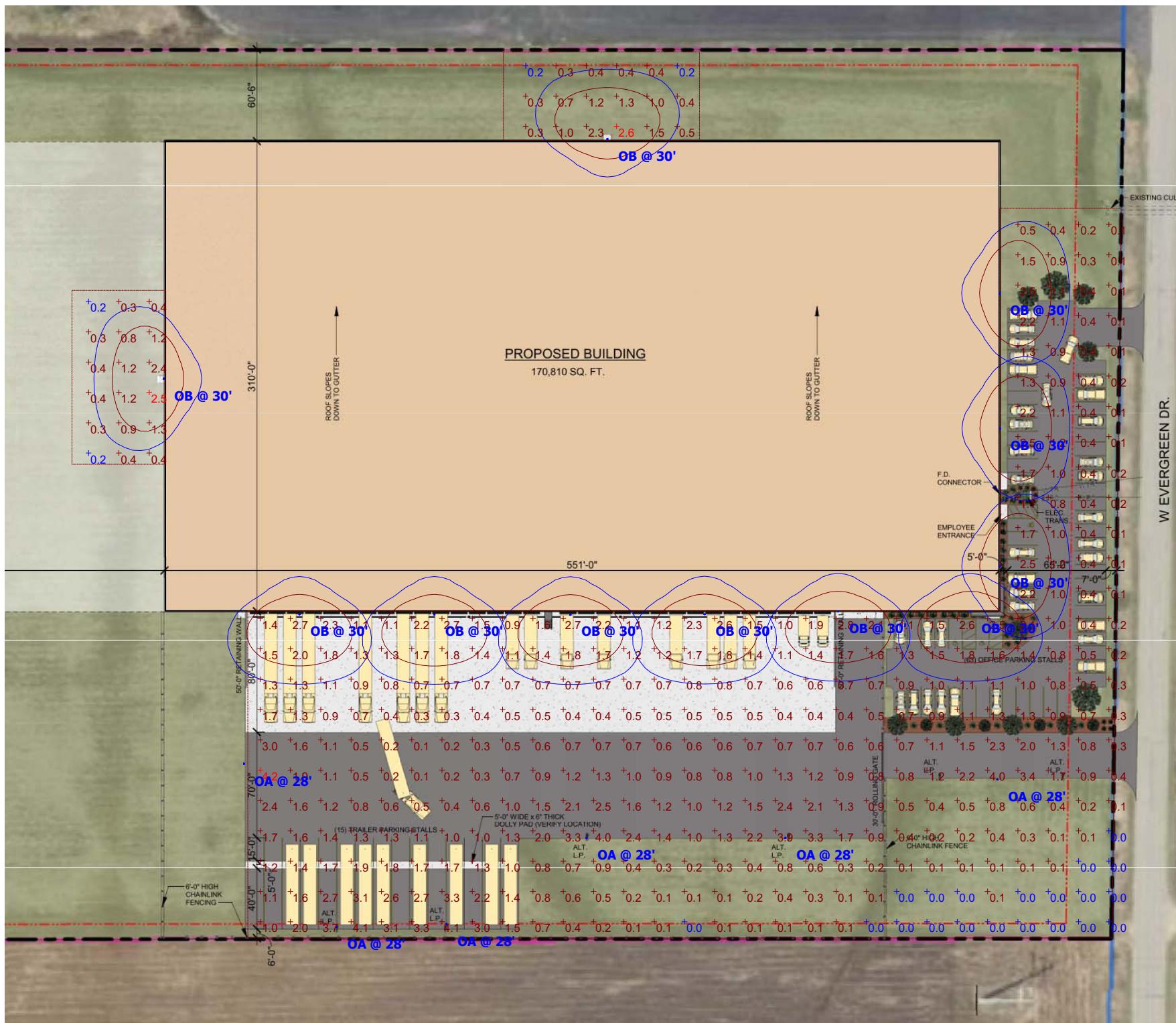
EAST ELEVATION

1" = 20'-0"

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US Venture
Site Lighting



Plan View

Schedule					
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number
	OA		6	Lithonia Lighting	RSX1 LED P4 50K R4
	OB		11	Lithonia Lighting	WPX3 LED 50K Mvolt

Designer

Nick Schroeder

Date

07/16/2021

Scale

Not to Scale

Drawing No.

1000 J. POLYMER SCIENCE: PART A

Summary