



AGENDA

LITTLE CHUTE VILLAGE BOARD COMMITTEE OF THE WHOLE MEETING

PLACE: Little Chute Village Hall
DATE: Wednesday, September 8, 2021
TIME: 6:00 p.m.

Virtually attend the September 8 Committee of the Whole meeting at 6 PM by following the zoom link here:

Join Zoom Meeting

<https://zoom.us/j/86785003809>

Meeting ID: 867 8500 3809

+1 312 626 6799 US (Chicago)

Meeting ID: 867 8500 3809

REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Roll call of Trustees
- C. Roll call of Officers and Department Heads
- D. Public Appearance for Items Not on the Agenda
- E. Discussion/Action—Better Way Investments Site Plan
- F. Closed Sessions:
 - a)19.85(1)(e) Wis. Stats. Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session *Development Agreement*
 - b)19.85(1)(c) Consideration of Employment, Promotion, or Performance Evaluation Data of any Public Employee of the Village of Little Chute *Village Administrator Employment Agreement*
- G. Return to Open Session
- H. Action—Development Agreement
- I. Action—Appointment of Village Administrator
- J. Action—Approval of Village Administrator Employment Agreement

K. Call for Unfinished Business

L. Items for Future Agenda

M. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, [email: Laurie@littlechutewi.org](mailto:Laurie@littlechutewi.org) Prepared: September 3, 2021

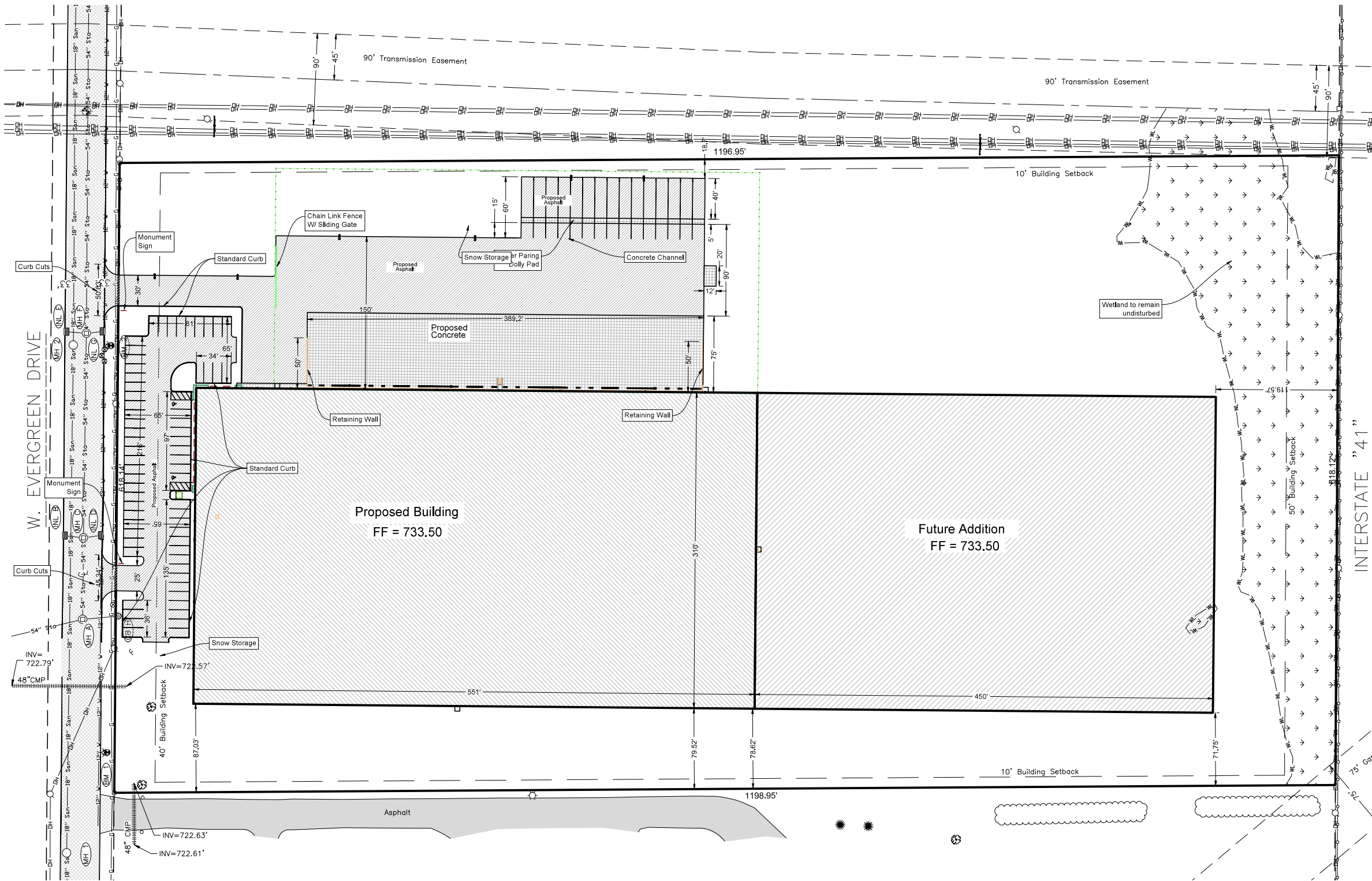


Information for the Committee of the Whole Meeting – September 8, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the September 8 Committee of the Whole Meeting at 6:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/86785003809>
Meeting ID: 867 8500 3809
2. Call-in Information: United States
One tap mobile:
+13126266799,,86785003809#,,,,US (Chicago)
Dial by your location:
+1 312 626 6799 US (Chicago)
+1 301 715 8592 US (Washington D.C) +1 929 436 2866 US (New York)
+1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston)
+1 669 900 6833 US (San Jose)
Meeting ID: 867 8500 3809
Find your local number: <https://zoom.us/u/abGpaew1E>
3. If you are experiencing connectivity issues or have questions on the options above, please contact Laurie Decker at laurie@littlechutewi.org
4. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
5. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
6. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

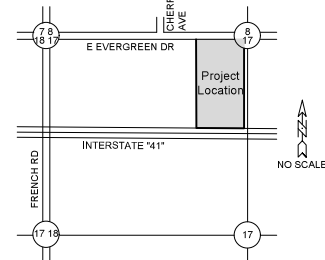


LEGEND				
—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	Deciduous Tree
—San—	Sanitary Sewer	⊗	Storm Manhole	Coniferous Tree
—Sto—	Storm Sewer	⊗	Inlet	Benchmark
—E—	Underground Electric	⊗	Hydrant	Asphalt Pavement
—G—	Underground Gas Line	⊗	Utility Pole	Concrete Pavement
—W—	Water Main	⊗	Guy Wire	Gravel
—F—	Fence - Steel	⊗	Light Pole / Signal	Proposed Building
—T—	Treeline	⊗	Ex Spot Elevation	Proposed Asphalt
—C—	Culvert	⊗		Proposed Concrete
—800—	Index Contour	⊗		Proposed Gravel
—799—	Intermediate Contour	⊗		

Notes:

- See Drainage & Grading Plan, sheet 1.2, for flow directions.
- Work within Village right of way shall be in conformance with Village requirements.
- The contractor shall submit applications for permits for driveway apron installation and excavation in the Right of Way prior to construction.
- Contractor shall contact the Village of Little Chute Public Works Department prior to work in the Right of Way or when connecting to public utilities and installing pavements in the public Right of Way a minimum of 48 hours in advance of the work.
- The proposed use for this building is warehousing for tires and other automotive parts.
- There will be no hazardous materials stored on site.
- Required parking is x spaces based on proposed number of employees of maximum shift to be. Floor area is 170,810 square feet.
- There will be no ground based mechanical equipment.
- The building will be fully sprinkled.
- The construction class for this building is IIB.

LOCATION MAP
NW 1/4 SEC 17, T 21 N, R 18 E,
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WI



Site Information
Lot 1 of CSM 7682

Site Address:
2655 W. Evergreen Drive

Current Use: Vacant
Proposed Use: Warehousing

Parcel Number:
260440401

Zoning:
ID: Industrial District

Site Areas:
Existing
Buildings: 0 SF
Pavement: 0 SF
Greenspace: 740,421 SF
Total: 740,421 SF

Proposed
Buildings: 310,310 SF
Pavement: 99,760 SF
Greenspace: 330,351 SF
Total: 740,421 SF
Impervious Area: 410,070 SF
(55.4%)

Property Owner:
Better Way Investments, LLC
Mike Kessenich
424 S. Washington St.
Kimberly, WI 54136
(713)303-1732
mkessenich@usautoforce.com

SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Drainage and Grading Plan (Parking Lot)	C1.3
Drainage and Grading Plan (Loading Docks)	C1.4
Erosion & Sediment Control Plan	C1.5
Utilities Plan	C1.6
Construction Details	C2.1
Construction Details	C2.2
Erosion & Sediment Control Details	C2.3
Floor Plan	A1.0
Office Plan	A1.1
Landscape Plan	A1.5
Elevations Plan	A2.0

SITE PLAN



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro



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WAUSAU
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PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com

BETTER WAY INVESTMENTS, LLC
WISCONSIN
LITTLE CHUTE,

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REVISIONS

1		---
2		---
3		
4		
5		
6		

PROJECT MANAGER:

D. HULCE

DESIGNER:

S. KLESSIG

DRAWN BY:

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P21088

CONTRACT NO:

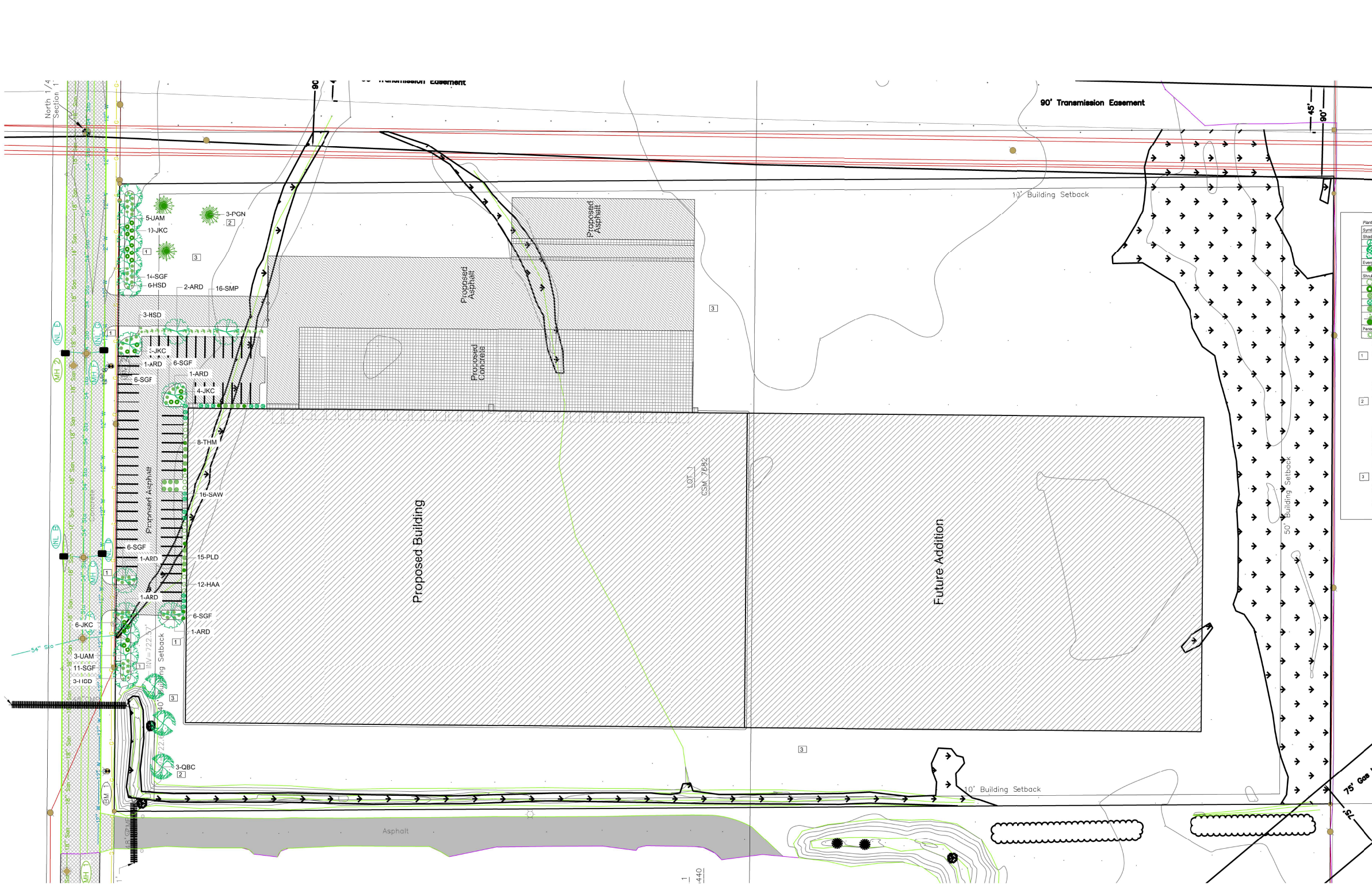
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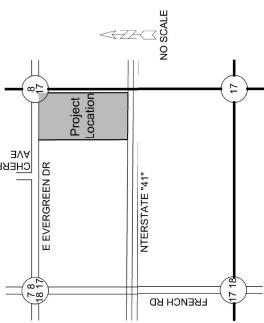
SHEET:

C1.0

PRELIMINARY - NOT FOR CONSTRUCTION



LOCATION MAP
N1/4 SEC 17, T24N, R18E,
WILLIS TWP, LITTLE CHUTE
OUTAGAMIE COUNTY, WI



Plant List	Symbol	Label	Qty	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
Shade Trees							
ARD	7	Acer rubrum 'Frank Jr'		Redpoint Maple	2 1/2'	40-50' Ht x 25-30' Spread	
QBC	3	Quercus bicolor		Swamp White Oak	2 1/2'	40-50' Ht x 30-40' Spread	
UAM	8	Ulmus 'Morton'		Accolade Elm	2 1/2'	40-50' Ht x 25-40' Spread	
Evergreen Trees							
PEN	3	Picea glauca 'Densata'		Black Hills Spruce	5'	20-40' Ht x 15-25' Spread	
Shrubs							
HAA	12	Hydrangea arborescens 'Annabelle'		Annabelle Hydrangea	#3	3-4' Ht x 3-2' Spread	
JKC	23	Jurinea x zosterifera 'Kelly's Compact'		Kelly's Compact Juniper	#3	2-3' Ht x 4-5' Spread	
PLD	15	Phoradendron opulifolium 'Dorcas May'		Little Devilbark	#3	3-4' Ht x 3-5' Spread	
SAW	16	Spiraea x bumalda 'Victoria's Whisper'		Anthony's Whisper Spirea	#3	2-2' Ht x 2-4' Spread	
SGF	49	S. x bumalda 'Goldflame'		Goldflame Spirea	#3	2-2' Ht x 2-3' Spread	
SMP	16	Syringa meyeri 'Palmer'		Dwarf Korean Lilac	#5	4-5' Ht x 4-6' Spread	
TRM	8	Thuja occidentalis 'Hetz Midget'		Hetz Midget Arborvitae	#5	2-2' Ht x 2-4' Spread	
Perennials & Grasses							
HSD	12	Hemerocallis 'Stella D'Oro'		Stella D'Oro Daylily	#1	1-2' Ht x 2' Spread	

- Landscape Notes
- Planting Beds & Islands: Remove stones, sticks, construction debris and other extraneous materials from planting area. Install 12" of 3/4" ratio of pulverized topsoil and organic matter and install into subsoil at depth of 6-8".
Rake smooth and assure positive pitch.
Install 1.5" American Heritage Decorative Stone over Landscape Fabric.
Edge all planting beds with Professional Poly Vinyl edging.
Provide plant material certificates at time of planting.
 - Planting Restrictions: Provide trees, shrubs, evergreens, perennials and grasses as per size and root condition in Plant List.
Provide plant material certificates at time of planting.
 - Trees: All Trees to be staked.
Trees in turf area or seeded area to have 3" dia. circle of Shredded Hardwood mulch at 3" depth and shovel cut edge separating mulch from lawn area.
Turf area to be mowed and assure positive pitch.
Turf area to be mowed and assure positive pitch.
Adjust tree location as needed on site, due to site utilities or other obstructions.
- Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of substantial completion.
Maintenance Period: Maintenance period will last for a period of 60 days from substantial completion date.
Provide all maintenance services at minimum, watering, staking, weeding, pruning, deadheading, weeding, and removing trash and debris from planting and landscape areas, repairing settling of stone, mulch, topsoil and/or plants, application of pesticides, chemicals and fertilizers when required. Remove erosion control mat prior to first mowing. A minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.
- Planting schedule represents quantities for base bid only.- Lawn: Seed with 50/50 Blend Kentucky Bluegrass & Perennial Ryegrass at rate of 40/1000 sq ft. Seed areas installed on 4" minimum White Topsoil. Loosen subgrade to minimum of 4". Remove stones, sticks, grasses and other extraneous materials. Fertilize using commercial grade starter fertilizer, non phosphorus at 50 lb per 1000 sq ft. Cover with Erosion mat per erosion control plan. Any seeded areas not labeled for erosion control mat, cover with Class 1 Type A mat. Plant during non-freezing weather.

Landscape Requirements	
Enclosure Planting:	1 Shrub Tree + 1 Shrub per 40' averaging driveway opening
Total Length:	160' = 14 Trees + 42 Shrubs
Actual Frontage Plants:	11 Trees + 47 Shrubs + 9 Perennials
3 Trees Placed South of Existing Driveway	
Parking Islands:	1 Island per 12 consecutive parking spaces or 1 Island per 24 double row parking spaces.
Single Row Island Area required:	180 sq ft per island
1 Tree per Island or at end of parking row or 1 tree per 12 spaces or planted Boulevards.	
Total Area Required:	945 sq ft
Total Area in Islands:	1,234 sq ft
Additional Boulevard Space Required:	0 sq ft
Actual Boulevard Space:	1,084 sq ft
Total Island Area + Boulevard Space:	2,318 sq ft
Total Trees Required:	6
Total Trees in Islands:	4
Additional Trees in Boulevards:	2
Total Trees in Islands & Boulevards:	6
Additional Shrubs & Perennials in Islands & Boulevards:	47 Shrubs + 9 Perennials
Screening:	Trash Collection Area - No Area Specified Vehicle Storage - 48' Fence - Specified on C.I.O.
Foundation Planting:	Name Required - Specified on C.I.O. Actual Quantities - 51 Shrubs
Landscape Design by: Christine Kozlowski, P.L.A. Lowe's Landscaping Center, Inc. N2110 State Rd 47 Appleton, WI (920) 333-2660 July 29, 2021	

LANDSCAPE & LIGHTING PLAN

DAVE ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davei.pro

Printed by: chris@ve

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REVISIONS		
1	06.02.2021	TDP
2	06.17.2021	TDP
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6		

PROJECT MANAGER: D. HULCE

DESIGNER: S. KLESSIG

DRAWN BY: TDP

EXPEDITOR: -----

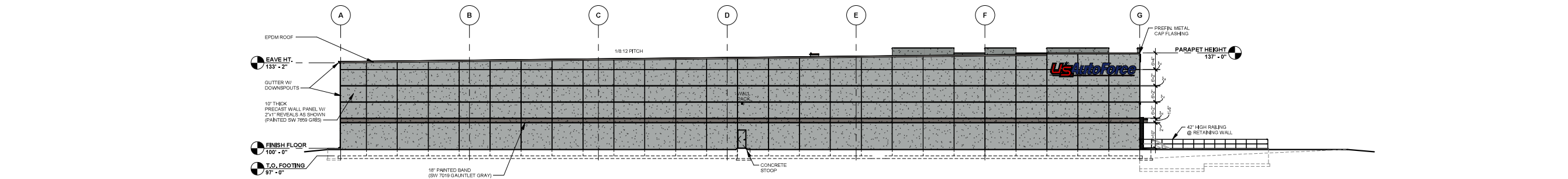
SUPERVISOR: -----

PRELIMINARY NO: P21088

CONTRACT NO: -----

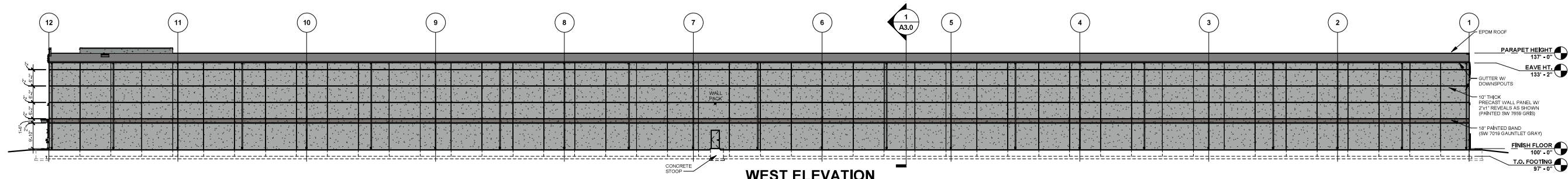
DATE: 03.31.2021

SHEET: **A1.5**



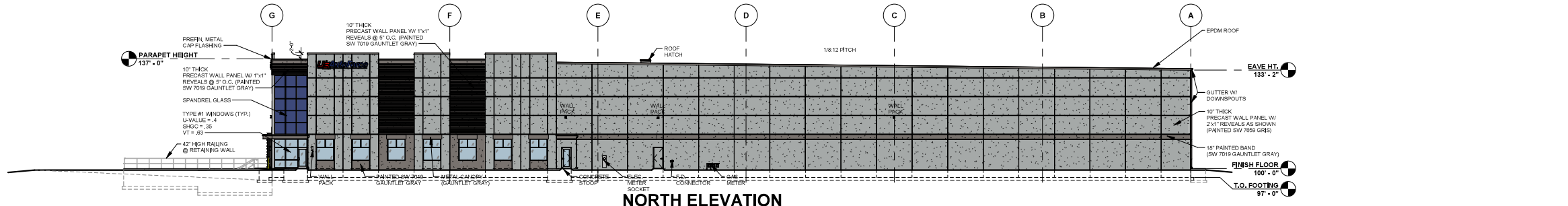
SOUTH ELEVATION

1" = 20'-0"



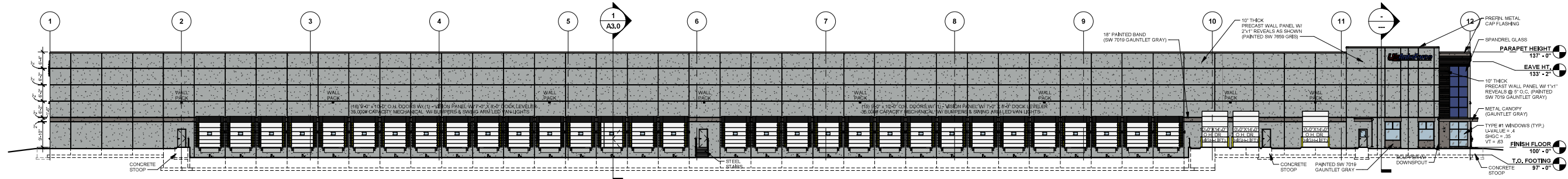
WEST ELEVATION

1" = 20'-0"



NORTH ELEVATION

1" = 20'-0"



EAST ELEVATION

1" = 20'-0"



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REVISIONS

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3	07.26.2021	TDP
4		
5		
6		

PROJECT MANAGER:

D. HULCE

DESIGNER:

S. KLESSIG

DRAWN BY:

TDP

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

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DATE:

03.31.2021

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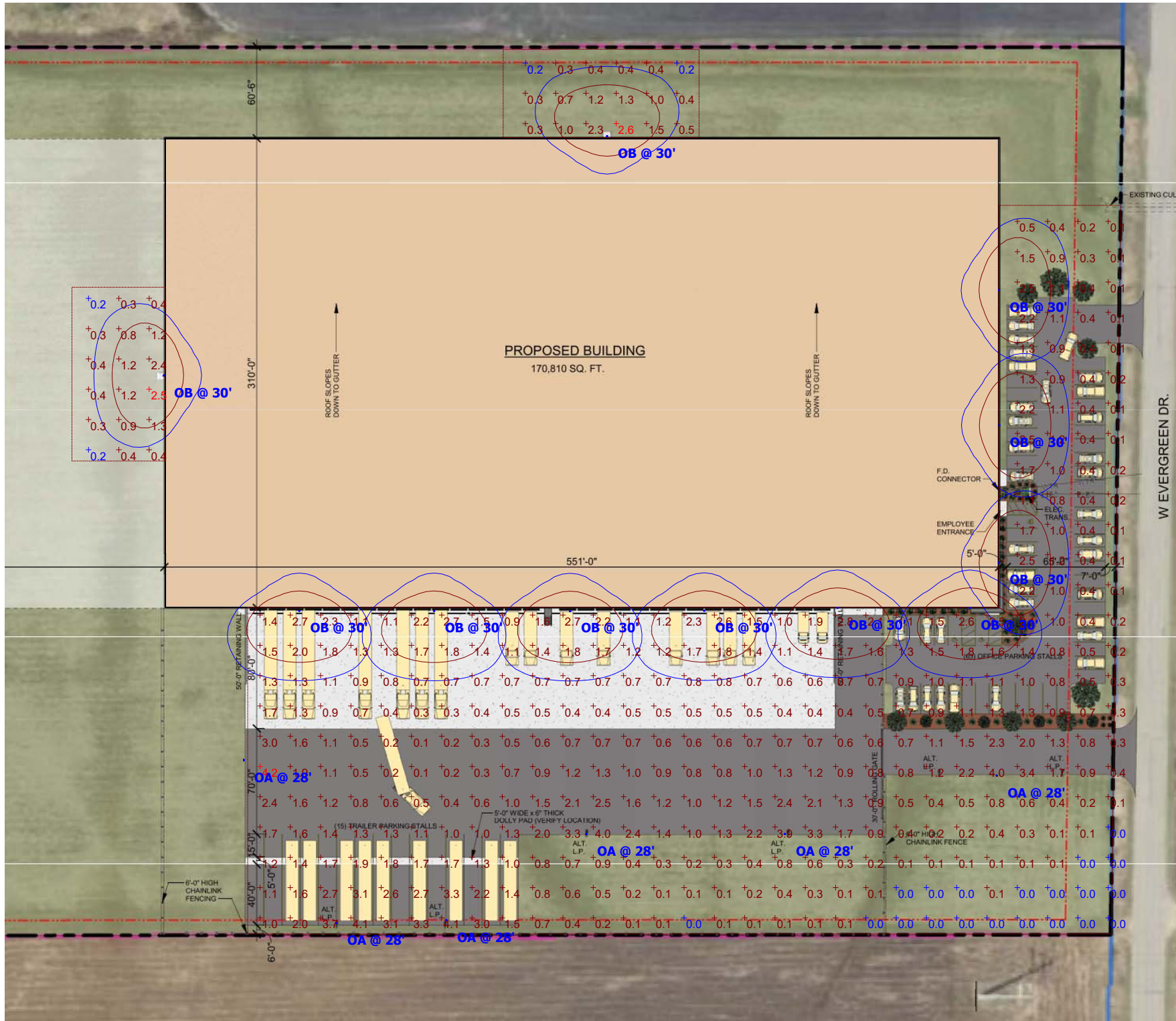
A2.0

PRELIMINARY - NOT FOR CONSTRUCTION

US Venture
Site Lighting

Designer
Nick Schroeder
Date
07/16/2021
Scale
Not to Scale
Drawing No.

Summary



Plan View

Schedule					
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number
	OA		6	Lithonia Lighting	RSX1 LED P4 50K R4
	OB		11	Lithonia Lighting	WPX3 LED 50K Mvolt