



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, July 8, 2024

TIME: 5:00 p.m.

Virtually attend the July 8th, Plan Commission meeting at 5 PM by following the link here:

Join Zoom Meeting: <https://us06web.zoom.us/j/81380657653>

Meeting ID: 813 8065 7653

Dial by your location: +1 312 626 6799 US (Chicago)

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of June 10, 2024
2. Discussion/Recommendation – CSM Smith Pharmacy 1902 & 1914 Freedom Road
3. Discussion/Recommendation – Site Plan for Smith Pharmacy
4. Discussion/Recommendation – CSM Bela, LLC 1501 & 1825 Rosehill Road
5. Items for Future Agenda
6. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 July 1, 2024

MINUTES OF THE PLAN COMMISSION MEETING OF JUNE 10, 2024

Call to Order

The Plan Commission meeting was called to order at 6:00 PM by President Vanden Berg at 6pm

Roll Call

PRESENT: President Vanden Berg
Jim Moes
Bill Van Berkel
Larry Van Lankvelt
Tom Lonsway
Todd Verboomen
Kent Taylor

STAFF PRESENT: Beau Bernhoft, Jessica Titel

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of May 13, 2024

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to approve the Plan Commission Meeting Minutes of May 13, 2024.

All Ayes – Motion Carried

Approval of Minutes from the Special Plan Commission Meeting of May 28, 2024

Moved by Commissioner Van Berkel, seconded by Commissioner Van Lankvelt to approve the Special Plan Commission Meeting Minutes of May 18, 2024.

All Ayes – Motion Carried

Public Hearing – Conditional Use Request for 600 Randolph Dr

Moved by Commissioner Verboomen, seconded by Commissioner Van Berkel to enter Public Hearing at 6:01 PM

All Ayes – Motion Carried

Community Development Director Titel presented a request for a conditional use permit at 600 Randolph Dr for light manufacturing (for contractors doing HVAC, plumbing ect). The area is already in an area with mixed use. Staff recommend approval with conditions listed in packet.

Moved by Commissioner L. Van Lankvelt, seconded by Commissioner Verboomen to exit Public Hearing at 6:02 PM

All Ayes – Motion Carried

Discussion/Action – Conditional Use Request for 600 Randolph Dr.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to approve Conditional Use Request with conditions as presented.

All Ayes – Motion Carried

Discussion – Mazzanti Estates Comprehensive Plan Future Land Use Map Amendment

Community Development Director Titel presented requests made by Mazzanti Estates. The development will include single-family development south of proposed/extended Golden Gate Drive and multi-family development north of proposed Golden Gate Drive. Staff recommend approval of the following Plan

Commission Resolution of the proposed Comprehensive Plan 2016-2036 Future Land Use Map for approval of the Village Board.

Action – Adopt Plan Commission Resolution No. 1, Series 20204 Amendment to Comprehensive Plan

Moved by Commissioner Moes, seconded by Commissioner Verboomen to adopt Plan Commission Resolution No. 1, Series 2024 Amendment to Comprehensive Plan

All Ayes – Motion Carried

Discussion/Recommendation – Mazzanti Estates Rezoning

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to set public hearing and adopt zoning changes and recommended

All Ayes – Motion Carried

Discussion/Action – Plan Commission Schedule

Community Development Director Titel proposed changing the time of plan commission to 5 pm vs current 6pm.

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to change meeting time to 5pm for Plan Commission

All Ayes – Motion Carried

Items for Future Agenda

Adjournment

Moved by Commissioner Van Lankvelt seconded by Commissioner Verboomen to Adjourn Plan Commission Meeting at 6:11 PM

All Ayes – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael Vanden Berg, Village President

Attest: _____

Laurie Decker, Village Clerk



Item For Consideration Plan Commission

Plan Commission Meeting Date: 7/8/24

Prepared On: 6/27/24

Agenda Item Topic: CSM – Smith Pharmacy

Prepared By: Jessica Titel, Community Development Department

Applicant: Jeff Rustick, Schuler & Associates, Inc.

Owner: Nichole M. Smith Properties, LLC

Address/Parcel #: 1902 and 1914 Freedom Road, Parcel #260129515 and #260129508

Request: A CSM to combine the two parcels owned by Nichole M. Smith Properties, LLC was recently submitted to the Village. The proposed CSM would combine Parcel #260129515 and #260129508 into one lot. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review this CSM will move to the Village Board on July 17 for final action. The CSM is attached to this report for Plan Commission review.

Zoning Classification: CH Commercial Highway District

Background: The combined parcels will be 1.627 acres (70,853 square feet) in area and contain an existing parking lot that serves the multi-tenant building to the south. The newly created lot is planned for construction of a new building for Smith Pharmacy. A Site Plan application for Smith Pharmacy has also been submitted for the subject property.

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board.

Respectfully Submitted,

Jessica Titel, Community Development Director

Vicinity Map - Smith Pharmacy



7/1/2024, 12:28:48 PM

Parcels

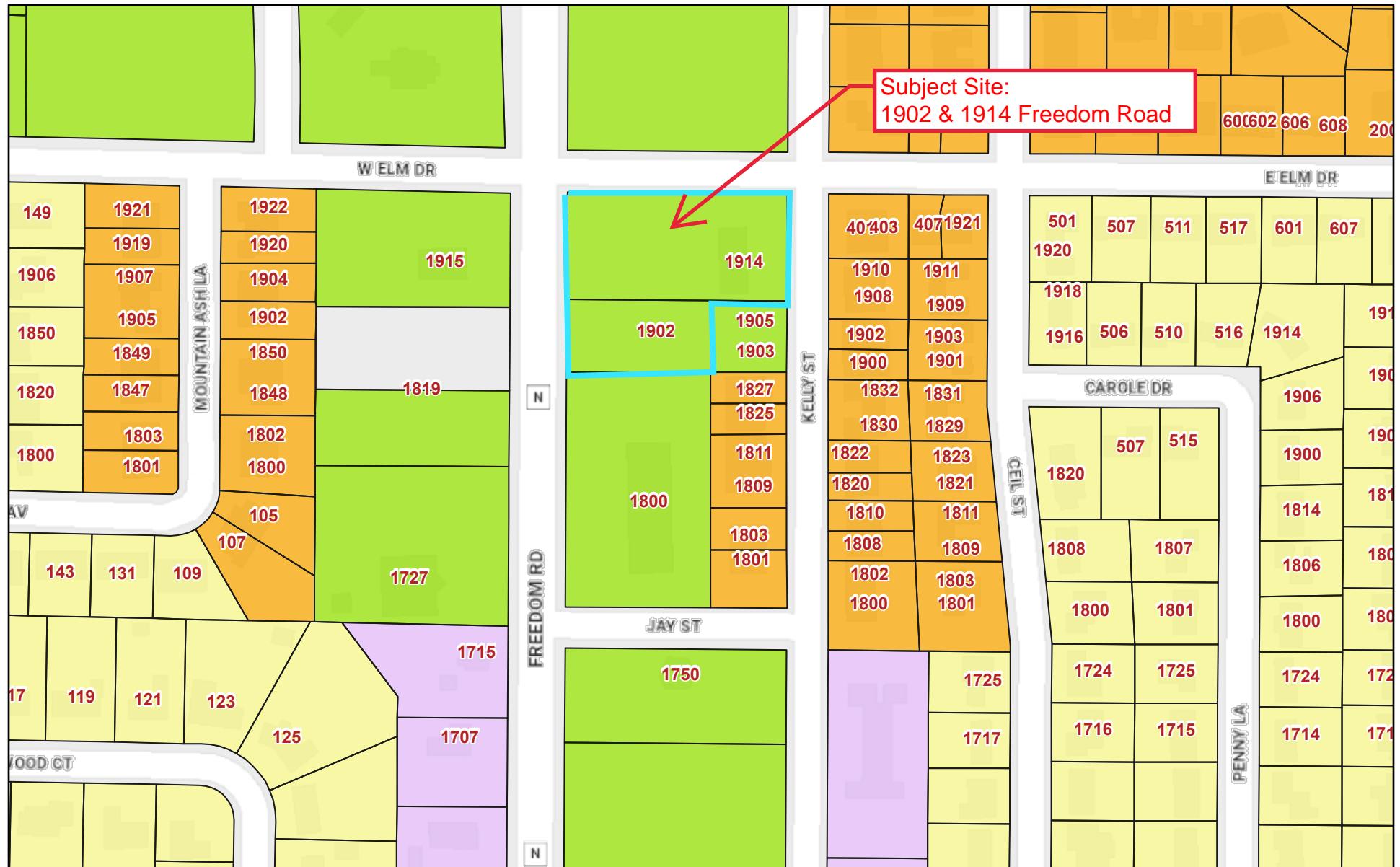
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0 0.03 0.07 0.13 km

Outagamie County, Village of Little Chute, REL & Associates, Inc.

Village of Little Chute
Robert E. Lee & Associates, Inc., Outagamie County

Zoning Map - Smith Pharmacy



7/1/2024, 12:25:48 PM

Parcels

Zoning

CH: Commercial Highway District

RC: Residential Single-Family

RT: Residential Two-Family

RM: Residential Multi-Family

No Zoning Designation

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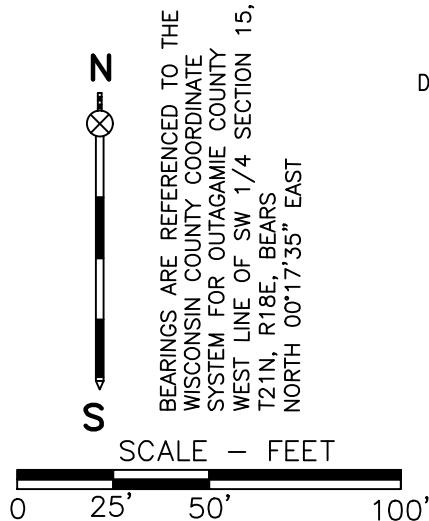
Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute

Robert E. Lee & Associates, Inc., Outagamie County

CERTIFIED SURVEY MAP

ALL OF LOT ONE (1), CERTIFIED SURVEY MAP NO. 2812,
RECORDED IN VOLUME 15 ON PAGE 2812 AS DOCUMENT
NO. 1223400 AND ALL OF LOT TWO (2), CERTIFIED SURVEY MAP
NO. 5685, RECORDED IN VOLUME 33 ON PAGE 5685 AS
DOCUMENT NO. 1768796, ALL BEING LOCATED IN THE NW 1/4
OF THE SW 1/4, SECTION 15, T21N, R18E, VILLAGE OF LITTLE
CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



DATED THIS ____ DAY OF ____, 2024

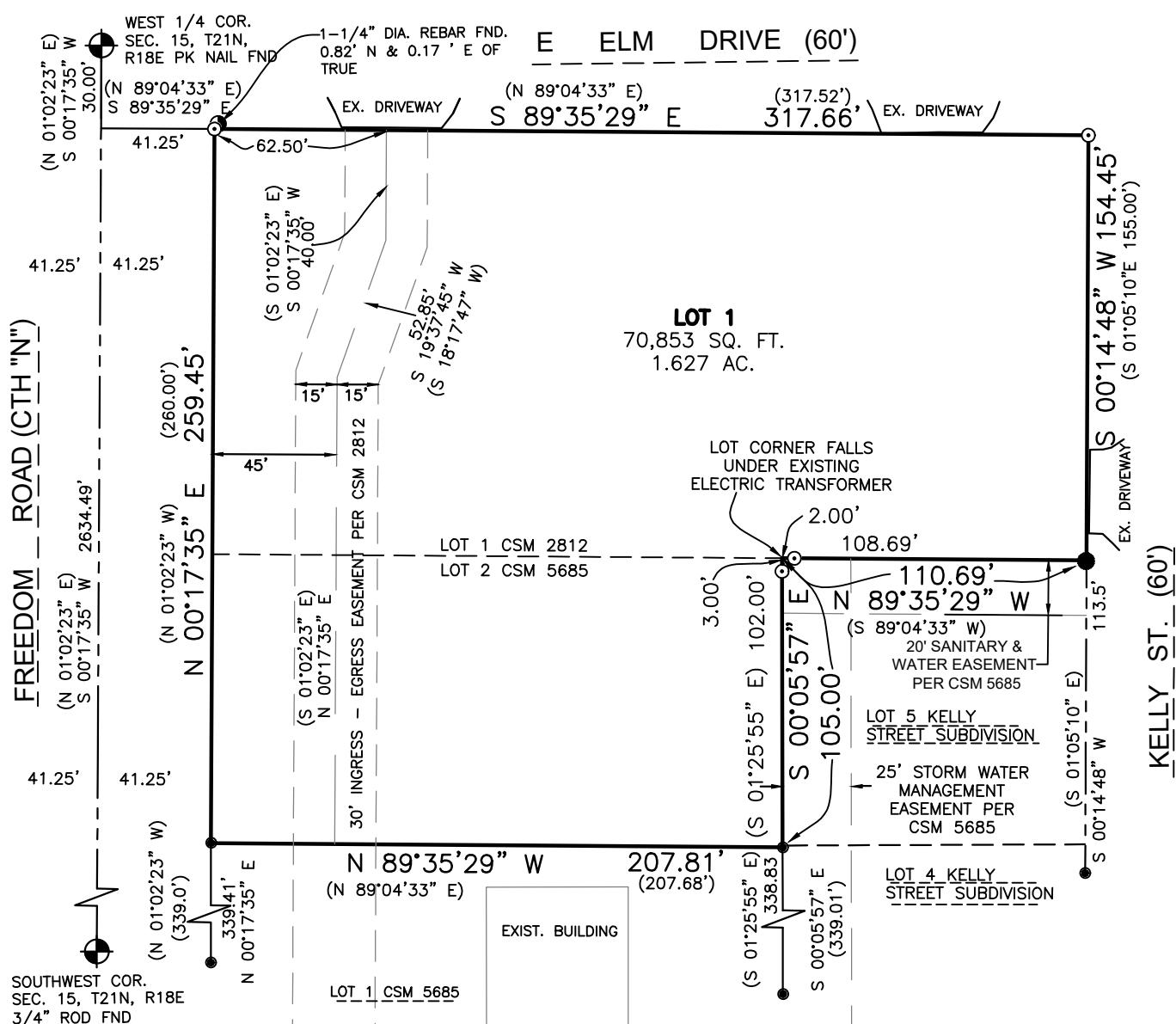
MICHAEL J. FRANK S-2123
WISCONSIN PROFESSIONAL
LAND SURVEYOR

NOTES:

1. LOT ONE (1) SHALL HAVE NO DIRECT VEHICULAR ACCESS TO C.T.H. "N"
2. LOT ONE (1) IS SUBJECT TO A CROSS EASEMENT AGREEMENT PER DOCUMENT NO. 1224847

LEGEND

- = 3/4" DIA. ROUND STEEL REBAR FOUND
- ◎ = 1-5/16" O.D. x 24" LONG IRON PIPE WEIGHING 1.13 LBS./LIN. FOOT SET
- = 1"-5/16" DIA. IRON PIPE FOUND
- = 1.25" DIA ROUND IRON ROD FOUND
- () = RECORDED AS



PREPARED BY:
SCHULER & ASSOCIATES, INC.
LAND SURVEYORS & ENGINEERS
2711 N. MASON ST., SUITE F,
APPLETON, WI 54914

PREPARED FOR:
NICHOLE M SMITH PROPERTIES LLC
N4327 MURPHY RD
KAUKAUNA, WI 54130

L-24-4813
SHEET 1 OF 3

CERTIFIED SURVEY MAP

ALL OF LOT ONE (1), CERTIFIED SURVEY MAP NO. 2812, RECORDED IN VOLUME 15 ON PAGE 2812 AS DOCUMENT NO.1223400 AND ALL OF LOT TWO (2), CERTIFIED SURVEY MAP NO. 5685, RECORDED IN VOLUME 33 ON PAGE 5685 AS DOCUMENT NO. 1768796, ALL BEING LOCATED IN THE NW 1/4 OF THE SW 1/4, SECTION 15, T21N, R18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MICHAEL J. FRANK, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:
THAT I HAVE SURVEYED, MAPPED, AND COMBINED UNDER THE DIRECTION OF THE OWNER, ALL OF LOT ONE (1), CERTIFIED SURVEY MAP NO. 2812, RECORDED IN VOLUME 15 ON PAGE 2812 AS DOCUMENT NO. 1223400 AND ALL OF LOT TWO (2), CERTIFIED SURVEY MAP NO. 5685, RECORDED IN VOLUME 33 ON PAGE 5685 AS DOCUMENT NO. 1768796, ALL BEING LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE COMBINING OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF LITTLE CHUTE IN SURVEYING, COMBINING, AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 2024

MICHAEL J. FRANK
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2123

VILAGE OF LITTLE CHUTE APPROVAL:

APPROVED BY THE VILLAGE OF LITTLE CHUTE ON THIS _____ DAY OF _____, 2024

MICHAEL VANDEN BERG, VILLAGE PRESIDENT DATE LAURIE DECKER, VILLAGE CLERK DATE

TREASURER'S CERTIFICATE:

WE HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

COUNTY TREASURER DATE VILLAGE TREASURER DATE

THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENTS: DOCUMENT NO. 2121153 & 2192160. THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NUMBER 260129508 AND 260129515, THE PROPERTY OWNER OF RECORD IS NICHOLE M SMITH PROPERTIES LLC.

CERTIFIED SURVEY MAP

ALL OF LOT ONE (1), CERTIFIED SURVEY MAP NO. 2812, RECORDED IN VOLUME 15 ON PAGE 2812 AS DOCUMENT NO.1223400 AND ALL OF LOT TWO (2), CERTIFIED SURVEY MAP NO. 5685, RECORDED IN VOLUME 33 ON PAGE 5685 AS DOCUMENT NO. 1768796, ALL BEING LOCATED IN THE NW 1/4 OF THE SW 1/4, SECTION 15, T21N, R18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE:

NICHOLE M SMITH PROPERTIES LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED, AND MAPPED, AS REPRESENTED ON THIS CERTIFIED SURVEY MAP.

I ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY s.236.10 OR s.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF LITTLE CHUTE.

IN WITNESS WHEREOF, NICHOLE M SMITH PROPERTIES LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY

_____, MEMBER OF NICHOLE M SMITH PROPERTIES LLC.

AT _____, _____, ON THIS _____ DAY OF, _____ 2024

_____, MEMBER OF NICHOLE M SMITH PROPERTIES, LLC

PERSONALLY, CAME BEFORE ME THIS _____ DAY OF _____, 2024,
MEMBER OF NICHOLE M SMITH PROPERTIES LLC , TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING
INSTRUMENT, AND TO ME KNOWN TO BE SUCH MEMBER AND ACKNOWLEDGE THAT THEY EXECUTED THE FOREGOING
INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID LIMITED LIABILITY COMPANY, BY ITS AUTHORITY.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES _____



Item For Consideration Plan Commission

Plan Commission Meeting Date: 7/8/24

Prepared On: 6/27/24

Agenda Item Topic: Site Plan – Smith Pharmacy

Prepared By: Jessica Titel, Community Development Department

Applicant: Jeff Rustick, Schuler & Associates, Inc.

Owner: Nichole M. Smith Properties, LLC

Address/Parcel #: 1902 and 1914 Freedom Road, Parcel #260129515 and #260129508

Request: An application for Site Plan Review has been submitted for the construction of a new building for Smith Pharmacy. The site plans are attached to this report for Plan Commission review.

Zoning Classification: CH Commercial Highway District

Background: The subject parcel will be 1.627 acres (70,853 square feet) in area upon approval and recording of the proposed CSM (also on the July 8 Plan Commission agenda). The site currently contains an existing parking lot that serves the multi-tenant building to the south.

The proposed project will include a two-story 22,068 square foot building to be used as a retail pharmacy with a drive through and associated parking lot. Stormwater management features will also be part of the development.

The parking lot does not meet the 15-foot wide buffer required adjacent to the public right-of-way per Section 44-193(e)(1) of the Zoning Code. Staff would request Plan Commission discussion regarding options for a potential exception to the landscape buffer width.

- Staff suggestions include:
 - Eliminate the western most parking row along Freedom Road to meet the 15-foot setback and maintain the consistent parking setback along Freedom Road.



Item For Consideration Plan Commission

- Allow a 10-foot wide landscape buffer strip along Kelly Street, which is across the street from residential.
- Allow the proposed 5.3-foot wide landscape buffer along Elm Drive.

Recommendation/Board Action: Staff is recommending approval of the Site Plan to the Village Board subject to satisfaction of all staff review comments.*

*Please note that the motion will need to be modified to reflect any zoning code exceptions that may be granted.

Respectfully Submitted,

Jessica Titel, Community Development Director

Vicinity Map - Smith Pharmacy



7/1/2024, 12:28:48 PM

Parcels

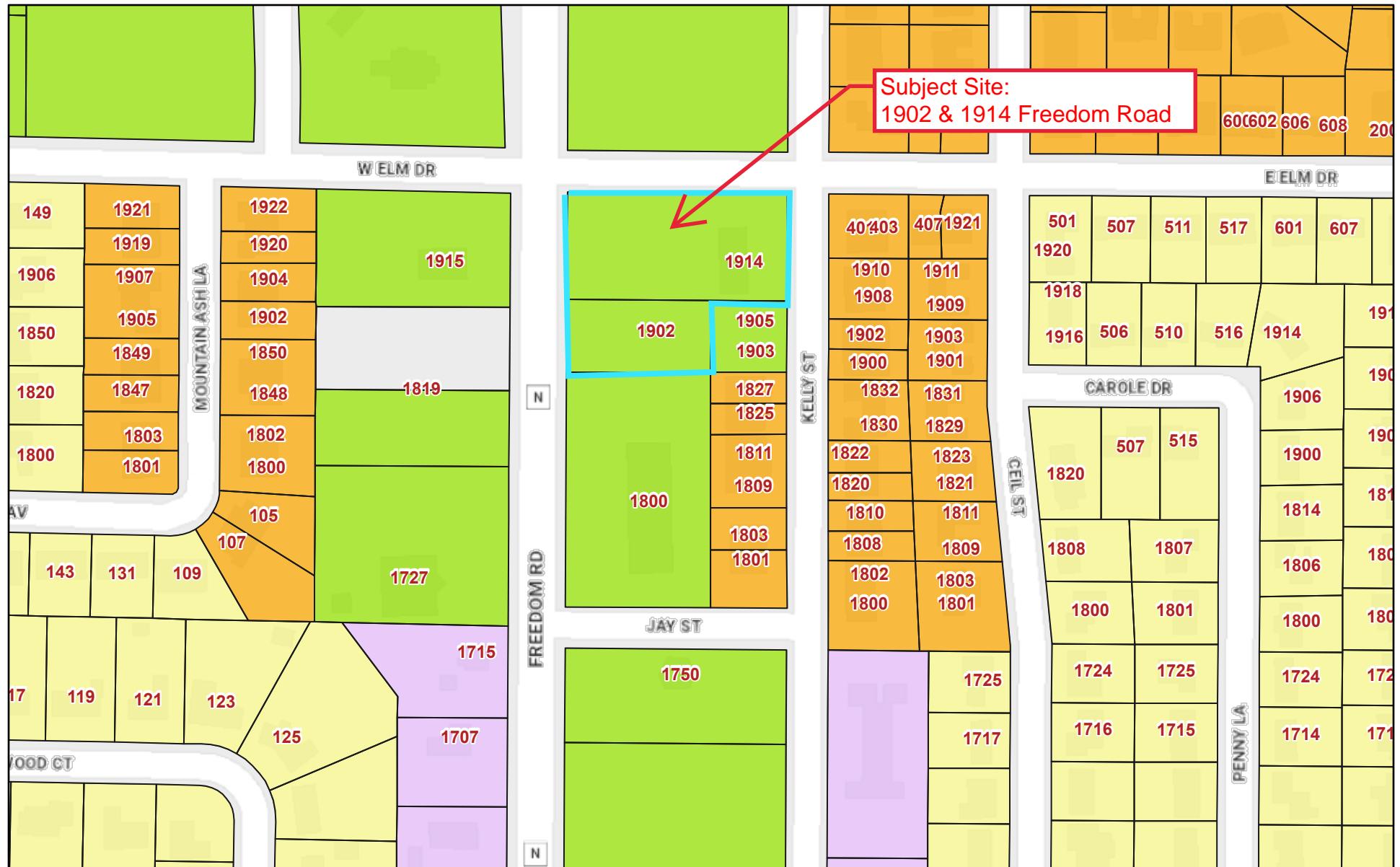
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Outagamie County, Village of Little Chute, REL & Associates, Inc.

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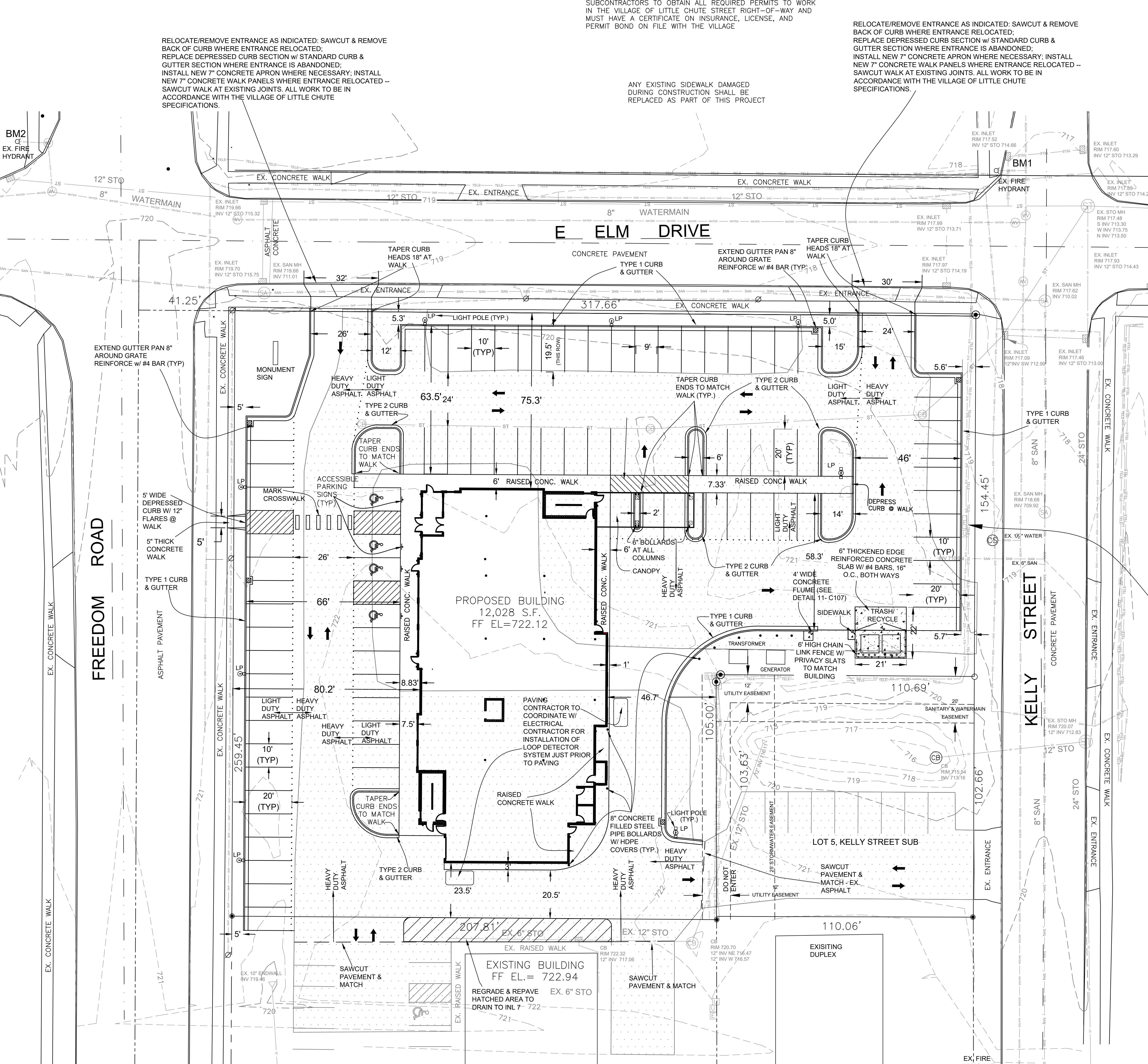
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Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute

Robert E. Lee & Associates, Inc., Outagamie County



LOT 1, CSM 5685 (PROPERTY TO THE SOUTH) -- 70,796 S.F.

BUILDING FOOTPRINT 14,020 S.F. (19.8%)
 PAVEMENT 40,881 S.F. (57.8%)
 IMPERVIOUS 54,901 S.F. (77.6%)
 OPEN SPACE 15,895 S.F. (22.4%)

NAME OF PROJECT: SMITH PHARMACY
 1914 Freedom Rd
 Little Chute, WI 54140

LEGAL DESCRIPTION: LOT 1, CSM NO. 2812 AND LOT 2, CSM NO. 5685, ALL LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, TOWNSHIP 21, NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AREA: 70,853 S.F. (1.627 AC), PARCEL ID: 20452400

AND
 LOT 5, KELLY STREET SUBDIVISION, BEING LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, TOWNSHIP 21, NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AREA: 11,385 S.F. (0.261 AC), PARCEL ID: NEW NO. TO BE ASSIGNED

Class of Construction: Type VB, Sprinklered

ZONING: CH - Commercial Highway District

SETBACKS: FRONT - 40' (55' FROM C.T.H. "N")
 SIDE - 15'
 REAR - 25'

PARKING SETBACK (PER VILLAGE) - 5'

Owner: Nichole M Smith Properties LLC
 N4327 Murphy Road
 Kaukauna, WI 54130

Preparer: Schuler and Associates, Inc.
 IBC Occupancy: M Mercantile, B Business
 IBC Construction Classification: Type VB, Sprinklered

No Hazard Materials Will be Stored On-site.

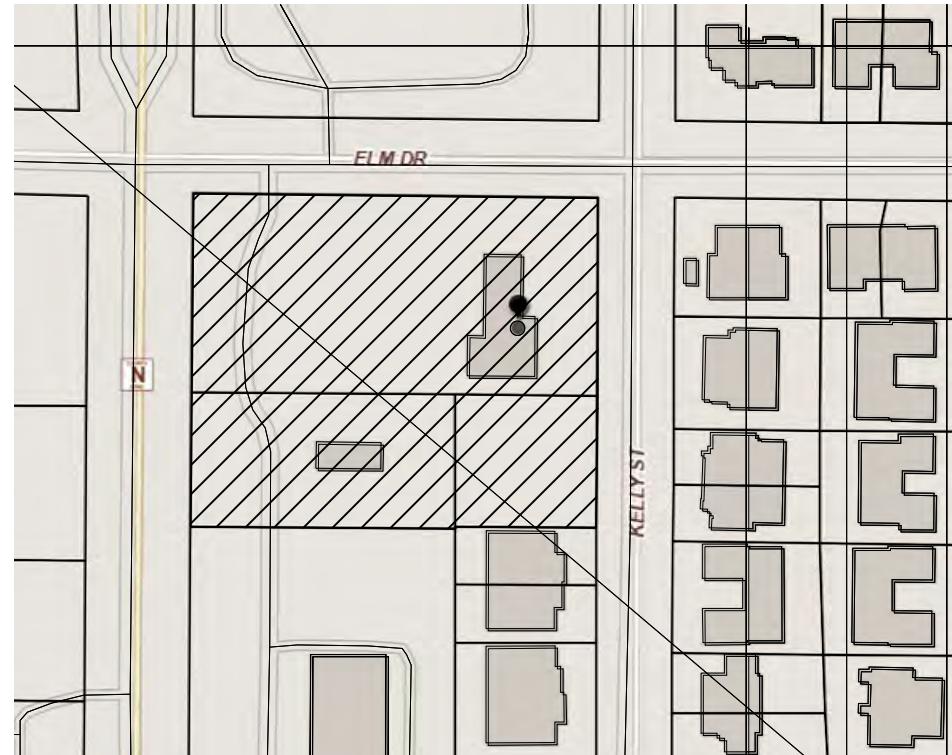
There is a basement under a portion of the of the building and the building is two stories above grade.

The business occupying the building will be a Retail Pharmacy.

There will be no food or beverage sales or overnight lodging at this location.

SNOW STORAGE: Some snow may be stored west of the dumpster enclosure. Due to limited snow storage area, snow will also be temporarily stored on parking spaces and hauled off site as necessary.

Mechanical equipment will be roof mounted



LOCATION MAP
NOT TO SCALE

SITE COVERAGE

	EXISTING	CHANGE	NEW TOTAL	% OF SITE
LOT 1 BUILDING FOOTPRINT	0 S.F.	+12,028 S.F.	12,028 S.F.	17.0%
LOT 1 CONCRETE SIDEWALKS	0 S.F.	+3,774 S.F.	3,774 S.F.	5.3%
LOT 1 PAVEMENT/GRAVEL	45,773 S.F.	-1,312 S.F.	44,461 S.F.	62.76%
LOT 1 IMPERVIOUS	45,773 S.F.	+14,490 S.F.	60,263 S.F.	85.05%
LOT 1 OPEN SPACE	25,080 S.F.	-14,490 S.F.	10,590 S.F.	14.95%
LOT 5 PAVEMENT/GRAVEL	4,847 S.F.	0 S.F.	4,847 S.F.	42.6%
LOT 5 IMPERVIOUS	0 S.F.	0 S.F.	6,538 S.F.	57.4%
TOTAL IMPERVIOUS	50,620 S.F.	+14,490 S.F.	65,110 S.F.	79.2%
TOTAL OPEN SPACE	31,618 S.F.	-14,490 S.F.	17,128 S.F.	20.8%
TOTAL AREA	82,238 S.F.	0 S.F.	82,238 S.F.	100%

INTERIOR PARKING ISLANDS

PARKING AREA = 38,075 S.F.
 ISLAND AREA = 2,264 S.F. (6%)

PARKING

REQUIRED:
 12,046 SF / 300 S.F./SPACE = 41 SPACES

PROVIDED:
 STANDARD = 84 SPACES
 ACCESSIBLE = 4 SPACES
 TOTAL = 88 SPACES

COORDINATE w/ UTILITY COMPANIES TO REMOVE/RELOCATE TRANSFORMER & PEDESTAL

INDEX
 C101 - Site Plan
 C102 - Topographic Survey - Demolition Plan
 C103 - Utility Plan
 C104 - Drainage - Grading Plan
 C105 - Erosion Control Plan
 C106 - Erosion Control Details
 C107 - Site Details



UNLESS NOTED OTHERWISE ON THE PLANS OR DETAILS EXISTING CONCRETE, PAVEMENT, SIDEWALKS AND SIDEWALKS SHALL BE CONSTRUCTED PER STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION, 2024 EDITION.

EXISTING LEGEND

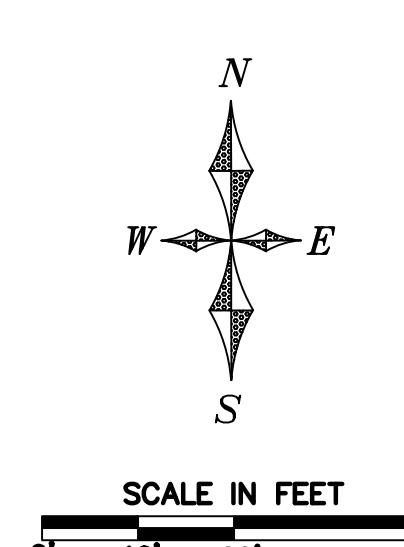
- △ MAG NAIL SET
- 3/4" IRON PIPE FOUND
- 1" IRON PIPE FOUND
- 1" IRON PIPE SET
- 1" IRON PIPE ROD FOUND
- 1.25" Dia. IRON ROD FOUND
- RECORDED AS
- HYDRANT
- TRAFFIC LIGHT
- LIGHTPOLE
- POWER POLE
- WATER VALVE
- STORM MANHOLE
- SANITARY MANHOLE
- INLET
- UTILITY PED
- ELECTRIC METER/TRANSFORMER
- GAS METER
- WATER SERVICE CURB STOP
- 6" BOLLARD
- DOWN SPOUT
- EXISTING CONTOUR
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE
- UNDERGROUND GAS
- UNDERGROUND TELE
- OVERHEAD POWER LINE
- ASPHALT PAVEMENT
- GRAVEL
- DECIDUOUS TREE

BENCHMARKS

BM 1 TOP OF OPERATING NUT ON HYDRANT NW CORNER ELM DRIVE & FREEDOM RD. ELEV. = 721.30

BM 2 TOP OF OPERATING NUT ON HYDRANT NW CORNER ELM DRIVE & FREEDOM RD. ELEV. = 723.38

BM 3 EAST SIDE-TOP CONCRETE LIGHT POLE BASE ELEV. = 722.75



SITE PLAN

SMITH PHARMACY
 1914 FREEDOM RD
 LITTLE CHUTE, WI 54140
 FOR: HARTWOOD HOMES, INC.
 455 LAKE BREEZE DRIVE
 CHILTON, WI 53014

DRAWN GPK

DATE
 6/17/24

SCALE

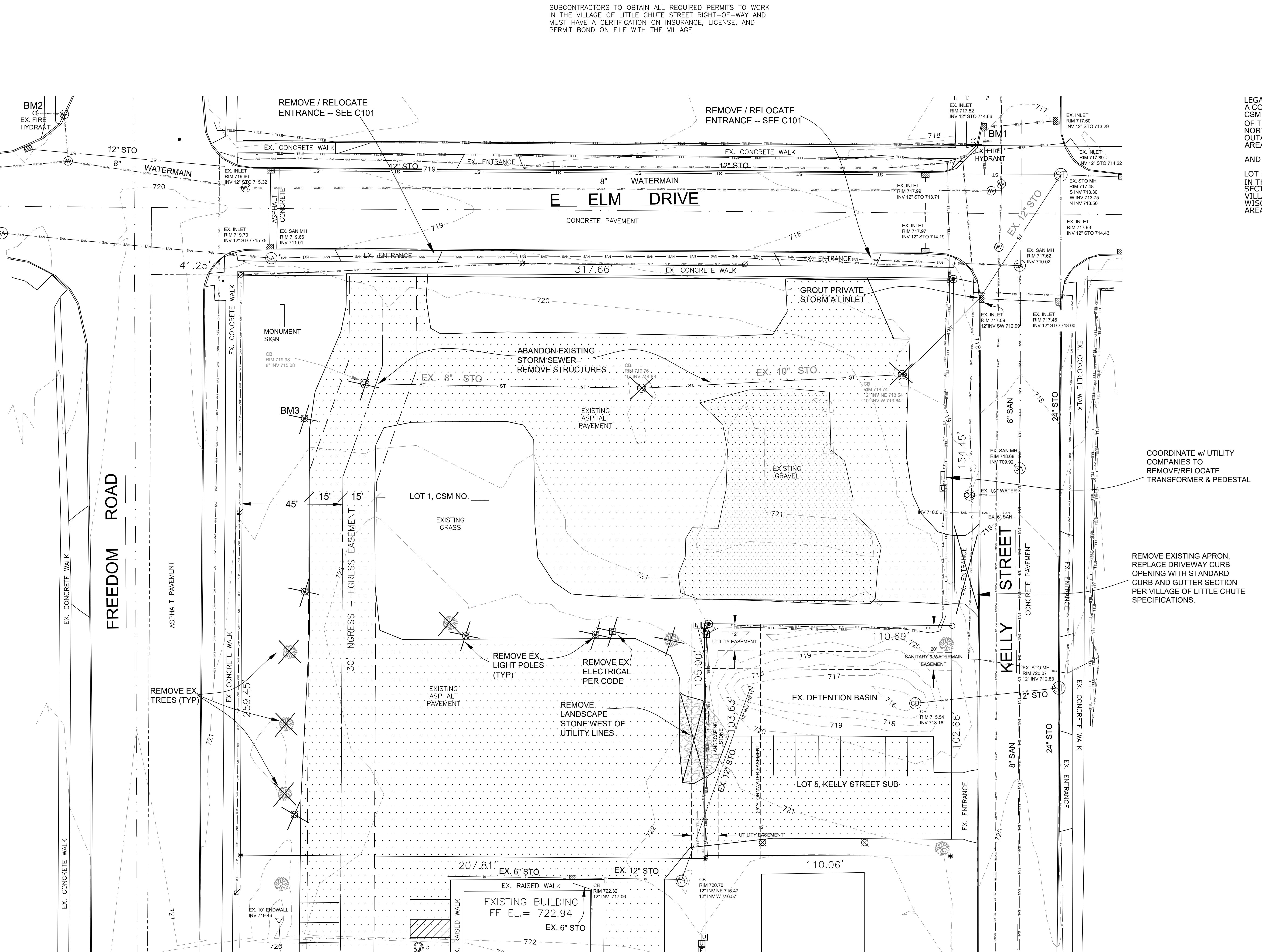
1" = 20'

JOB NO.

4813

SHEET

C101



LEGAL DESCRIPTION: LOT 1, CSM NO. BEING A COMBINATION OF LOT 1, CSM NO. 2872 AND LOT 2, CSM NO. 5065, LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AREA: 70,853 S.F. (1.627 AC)

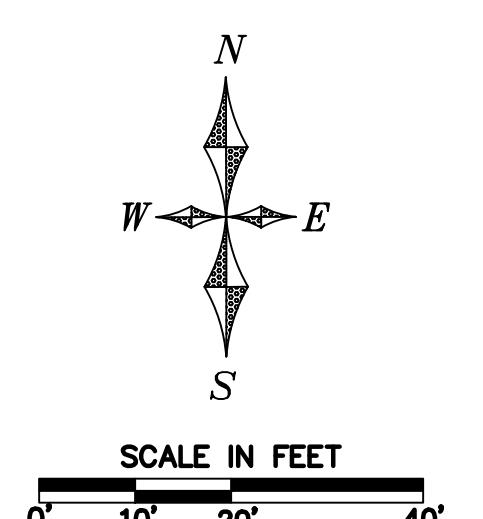
AND
LOT 5, KELLY STREET SUBDIVISION, BEING LOCATED IN THE NORTH WEST 1/4 OF THE SOUTH WEST 1/4, SECTION 15, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AREA: 11,385 S.F. (0.261 AC)

BENCHMARKS

BM 1 TOP OF OPERATING NUT ON HYDRANT NW CORNER KELLY ST. & E ELM DRIVE ELEV. = 721.30
BM 2 TOP OF OPERATING NUT ON HYDRANT NW CORNER E ELM DRIVE & FREEDOM RD. ELEV. = 723.38
BM 3 EAST SIDE-TOP CONCRETE LIGHT POLE BASE ELEV. = 722.75

EXISTING LEGEND

- △ MAG NAIL SET
- 3/4" IRON PIPE FOUND
- 1" IRON PIPE FOUND
- ◎ 1/2" IRON PIPE SET
- 1" DIA. IRON ROD FOUND
- 1.25" DIA. IRON ROD FOUND
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- POWER POLE
- WATER VALVE
- STORM MANHOLE
- SANITARY MANHOLE
- INLET
- UTILITY PED
- ELECTRIC METER/TRANSFORMER
- GAS METER
- WATER SERVICE CURB STOP
- 6" BOLLARD
- DOWN SPOUT
- EXISTING CONTOUR
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE
- UNDERGROUND GAS
- UNDERGROUND TELE
- OVERHEAD POWER LINE
- ASPHALT PAVEMENT
- GRAVEL
- DECIDUOUS TREE



SCHULER & ASSOCIATES, INC.

LAND SURVEYORS & ENGINEERS

2711 N. MASON STREET, Suite F APPLETION, WI 54914-2126 (920) 734-9107

TOPOGRAPHIC SURVEY - DEMOLITION PLAN

SMITH PHARMACY
1914 FREEDOM RD
LITTLE CHUTE, WI 54140
FOR: HARTWOOD HOMES, INC.
455 LAKE BREEZE DRIVE
CHILTON, WI 53014

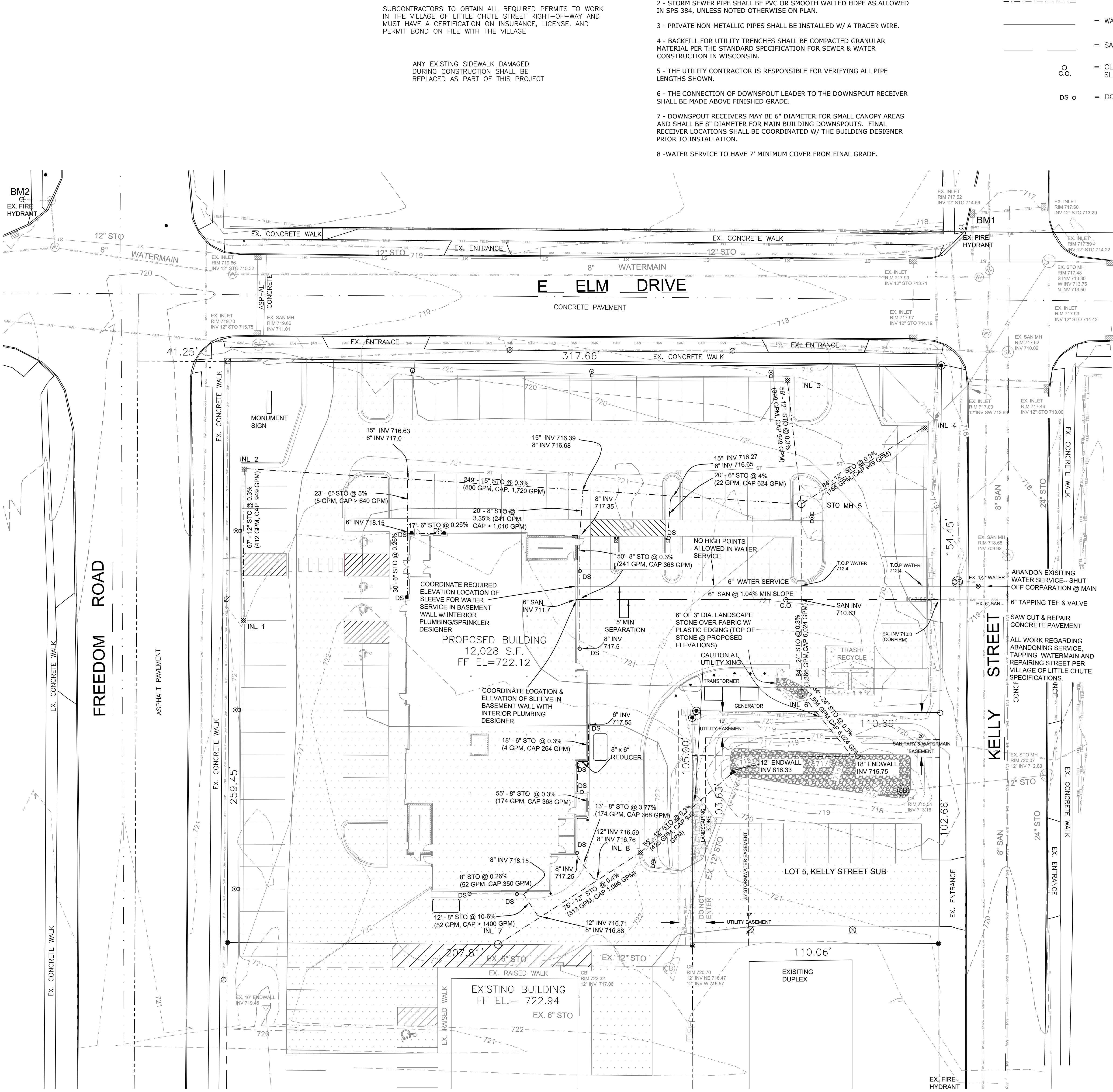
EXISTING UNDERGROUND UTILITIES
EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE PER MARKINGS PRESENT AT THE TIME OF THE TOPOGRAPHIC SURVEY. EACH EXCAVATING CONTRACTOR MUST CALL DIGGERS HOTLINE TO OBTAIN UPDATED FIELD MARKINGS.

DRAWN
GPK
DATE
6/17/24
SCALE
1"=20'
JOB NO.
4813
SHEET
C102

SCHULER & ASSOCIATES, INC.

LAND SURVEYORS & ENGINEERS

2711 N. MASON STREET, Suite F APPLETION, WI 54914-2126 (920) 734-9107



PROPOSED UTILITY PLAN LEGEND

- STORM SEWER
- WATER SEWER
- SANITARY SEWER
- C.O. = CLEAN OUT W/ FROST SLEEVE & CAP
- DS ○ = DOWNSPOUT W/ RECEIVER

EXISTING LEGEND

- △ = MAG NAIL SET
- = 3/4" IRON PIPE FOUND
- = 1" IRON PIPE FOUND
- = 1" IRON PIPE SET
- = 1" DIA. IRON ROD FOUND
- = 1.25" DIA. IRON ROD FOUND
- = RECORDED AS
- = HYDRANT
- = TRAFFIC LIGHT
- = LIGHTPOLE
- = POWER POLE
- WV = WATER VALVE
- ST = STORM MANHOLE
- SA = SANITARY MANHOLE
- CB = INLET
- = UTILITY PED
- E = ELECTRIC METER/TRANSFORMER
- G = GAS METER
- = WATER SERVICE CURB STOP
- = 6" BOLLARD
- = DOWN SPOUT
- = EXISTING CONTOUR
- = STORM SEWER
- = SANITARY SEWER
- = WATER MAIN
- = UNDERGROUND ELECTRIC
- = UNDERGROUND CABLE
- = UNDERGROUND GAS
- = UNDERGROUND TELE
- = OVERHEAD POWER LINE
- = ASPHALT PAVEMENT
- = GRAVEL
- = DECIDUOUS TREE

BENCHMARKS

- BM 1 TOP OF OPERATING NUT ON HYDRANT NW CORNER KELLY ST. & E ELM DRIVE ELEV. = 721.30
- BM 2 TOP OF OPERATING NUT ON HYDRANT NW CORNER E ELM DRIVE & FREEDOM RD. ELEV. = 723.38
- BM 3 EAST SIDE-TOP CONCRETE LIGHT POLE BASE ELEV. = 722.75

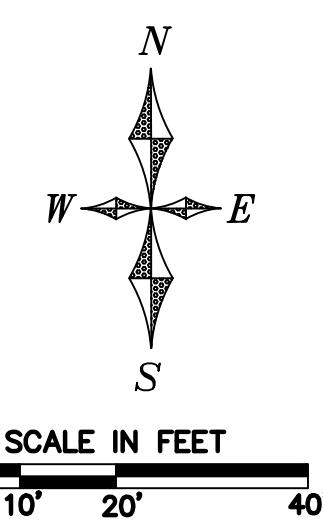
Storm Sewer Structure Table

I.D.	Dia.*	Rim Elev.	Inv Elev.	Frame & Grate
INL 1	36"	720.2	12" N 717.05	NF R-3229-A w/ FLAT GRATE
INL 2	36"	719.9	15" E 716.85	NF R-3229-A w/ FLAT GRATE
INL 3	36"	719.15	12" S 716.27	R-3229-A w/ FLAT GRATE
INL 4	36"	719.0	12" SW 716.29	NF R-3229-A w/ FLAT GRATE
STO MH 5	48"	721.2	24" S 716.1	NF R-1642
			15" W 716.1	
			12" N,NE 716.1	
INL 6	48"	719.6	24" SE,N 715.85	NF R-4342
INL 7	36"	721.0	12" NE 716.8	NF R-2501
INL 8	36"	721.0	12" NE,SW 716.5	NF R-3229-A w/ FLAT GRATE

* STORM SEWER CONTRACTOR/MATERIAL SUPPLIER MUST VERIFY STRUCTURE SIZE AND SHALL SUPPLY STRUCTURES WITH ADEQUATE SIZE TO ACCOMMODATE THE PIPES SHOWN ON THIS PLAN.

MINIMUM DEPTH OF STRUCTURE IS 5' (RIM TO BOTTOM OF STRUCTURE), FILL BOTTOM OF STRUCTURE TO PIPE INVERTS WITH CONCRETE AS NECESSARY.

ALL EXCAVATION/BACKFILLING WORK TO BE IN COMPLIANCE W/ ANY GEOTECHNICAL ENGINEERING REPORTS PREPARED FOR THE PROJECT



EXISTING UNDERGROUND UTILITIES
EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE PER MARKINGS PRESENT AT THE TIME OF THE TOPOGRAPHIC SURVEY. EACH EXCAVATING CONTRACTOR MUST CALL DIGGERS HOTLINE TO OBTAIN UPDATED FIELD MARKINGS.

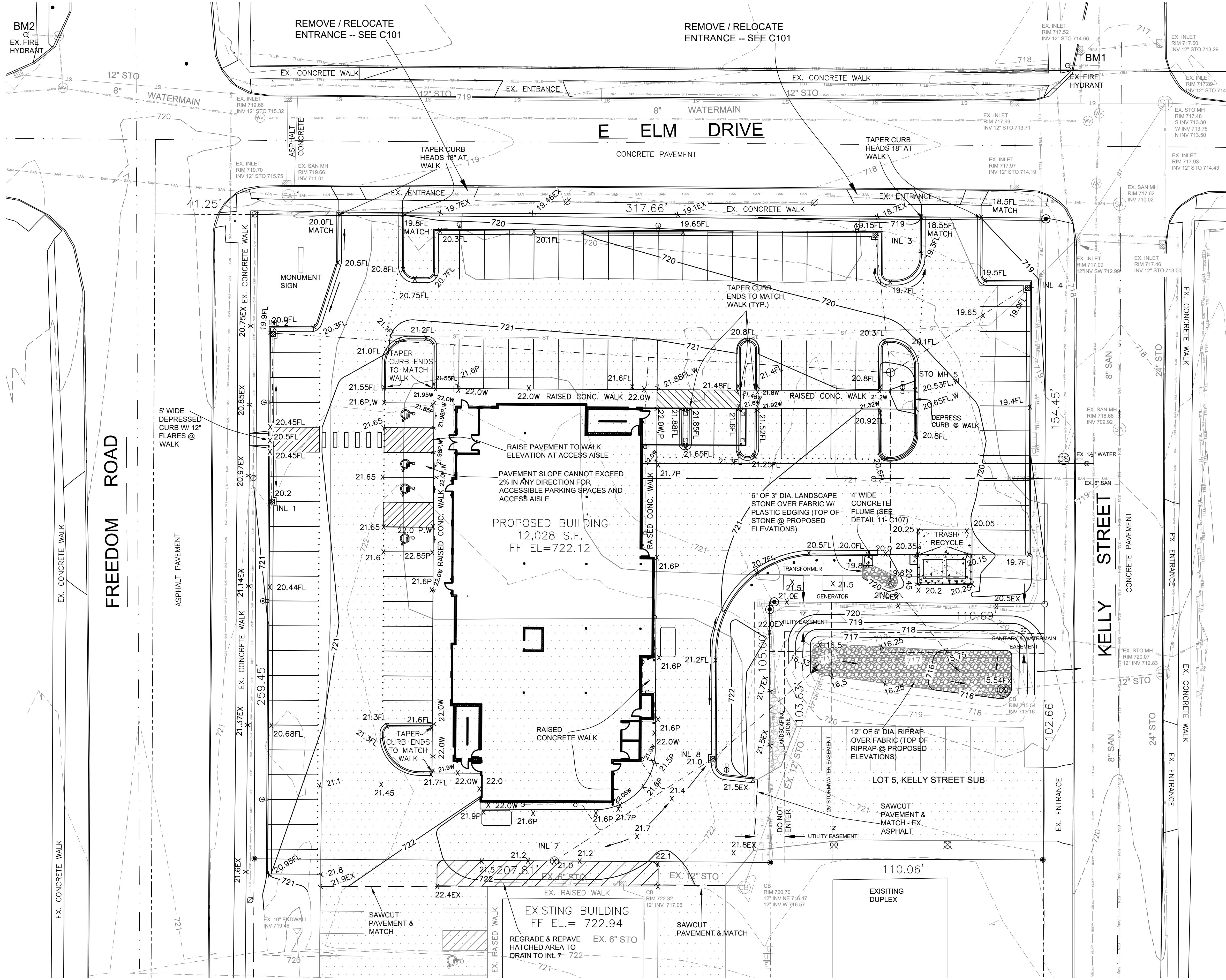
UTILITY PLAN
SMITH PHARMACY
1914 FREEDOM RD
LITTLE CHUTE, WI 54140
FOR: HARTWOOD HOMES, INC.
455 LAKE BREEZE DRIVE
CHILTON, WI 53014

DRAWN
GPK
DATE
6/17/24
SCALE
1"=20'
JOB NO.
4813
SHEET
C103

DRAINAGE PLAN LEGEND

SUBCONTRACTORS TO OBTAIN ALL REQUIRED PERMITS TO WORK IN THE VILLAGE OF LITTLE CHUTE STREET RIGHT-OF-WAY AND MUST HAVE A CERTIFICATION ON INSURANCE, LICENSE, AND PERMIT BOND ON FILE WITH THE VILLAGE

ANY EXISTING SIDEWALK DAMAGED
DURING CONSTRUCTION SHALL BE
REPLACED AS PART OF THIS PROJECT



EXISTING LEGEND

Legend:

- 821— = PROPOSED CONTOUR
- x 21.52 = PROPOSED ELEVATIONS (ADD 700 FOR NAVD 88)
- x 22.0W = PROPOSED TOP OF WALK ELEVATION (ADD 700 FOR NAVD 88)
- x 20.7P = PROPOSED ASPHALT PAVEMENT ELEVATION (ADD 700 FOR NAVD 88)
- ← = PROPOSED DIRECTION OF DRAINAGE
- [hatched pattern] = NEW CONCRETE WALKS/APRONS
- O.C. = CLEANOUT W/ FROST SLEEVE
- DSO = ROOF DOWNSPOUT W/ STORM SEWER RECEIVER
- △ = MAG NAIL SET
- = 3/4" IRON PIPE FOUND
- = 1" IRON PIPE FOUND
- ◎ = 1" IRON PIPE SET
- = 1" DIA, IRON ROD FOUND
- ◐ = 1.25" DIA, IRON ROD FOUND
- () = RECORDED AS
- = HYDRANT
- = TRAFFIC LIGHT
- ⊗ = LIGHTPOLE
- ∅ = POWER POLE
- (WV) = WATER VALVE
- (ST) = STORM MANHOLE
- (SA) = SANITARY MANHOLE
- (CB) [hatched pattern] = INLET
- U = UTILITY PED
- E = ELECTRIC METER/TRANSFORMER
- G = GAS METER
- (CS) = WATER SERVICE CURB STOP
- (B) = 6" BOLLARD
- (DS) = DOWN SPOUT
- 721 — = EXISTING CONTOUR
- ST — ST — = STORM SEWER
- SAN — SAN — SAN — SAN — = SANITARY SEWER
- WATER — WATER — WATER — WATER — = WATER MAIN
- ELE — ELE — ELE — ELE — ELE — = UNDERGROUND ELECTRIC
- C — C — C — C — = UNDERGROUND CABLE
- GAS — GAS — GAS — GAS — GAS — = UNDERGROUND GAS
- TELE — TELE — TELE — TELE — = UNDERGROUND TELE
- OHP — OHP — OHP — OHP — OHP — = OVERHEAD POWER LINE
- [hatched pattern] = ASPHALT PAVEMENT
- [hatched pattern] = GRAVEL
- [deciduous tree icon] = DECIDUOUS TREE

Site Plan Labels:

- BM1
- EX. FIRE HYDRANT
- EX. SAN MH RIM 717.62 INV 710.02
- EX. INLET RIM 717.09 12" INV SW 712.99
- EX. INLET RIM 717.46 INV 12" STO 713.00
- EX. CONCRETE WALK 24" STO 8" SAN
- EX. SAN MH
- 714.66
- 717.60
- 717.89
- 717.48
- 713.30
- 713.75
- 713.50
- 717.93
- 714.43
- 718
- 721

ALL EXCAVATION/BACKFILLING WORK TO BE IN COMPLIANCE
W/ ANY GEOTECHNICAL ENGINEERING REPORTS PREPARED
FOR THE PROJECT

UNLESS NOTED OTHERWISE ON THE PLANS OR DETAILS
EXCAVATION, GRADING, PAVING, CURB & GUTTER AND SIDEWALKS
SHALL BE CONSTRUCTED PER STATE OF WISCONSIN DEPARTMENT
OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY
AND STRUCTURAL CONSTRUCTION, 2024 EDITION.

BENCHMARKS

TOP OF OPERATING NUT ON HYDRANT
NW CORNER E ELM DRIVE & FREEDOM RD.
ELEV. = 723.38

SMITH PHARMACY
1914 FREEDOM RD
LITTLE CHUTE, WI 54140

FOR: HARTWOOD HOMES, INC.
455 LAKE BREEZE DRIVE
CHILTON, WI 53014

DRAiNAGE - GRADING PLAN

SMITH PHARMACY

1914 FREEDOM RD
LITTLE CHUTE, WI 54140

DRAWN
GPK

DATE
6/17/24

SCALE
1"=20'

JOB NO.
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SHEET

C 104

IG UNDERGROUND UTILITIES

ERGROUND UTILITIES SHOWN ON THIS
ARKINGS PRESENT AT THE TIME OF THE
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UST CALL DIGGERS HOTLINE TO OBTAIN
PDATED FIELD MARKINGS.

EXISTING LEGEND

△	= MAG NAIL SET
○	= 3/4" IRON PIPE FOUND
○	= 1" IRON PIPE FOUND
○	= 1" IRON PIPE SET
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—	= UNDERGROUND TELE
—	= OVERHEAD POWER LINE
—	= ASPHALT PAVEMENT
□	= GRAVEL
—	= DECIDUOUS TREE

EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

1. EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED PER THE "WISCONSIN TECHNICAL STANDARDS." EROSION CONTROL MEASURES SHALL BE INSTALLED AS FIRST IN THE CONSTRUCTION AND SHALL BE INSPECTED AND MAINTAINED UNTIL THE SITE IS COMPLETELY STABILIZED. UPON SITE STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF PROPERLY.

2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED WHEREVER SEDIMENT TRANSPORT IS FOUND OR WHERE IT IS DETERMINED BY THE CONTRACTOR THAT THE LIKELIHOOD THAT SEDIMENT TRANSPORT MAY OCCUR. SEDIMENT THAT HAVE MIGRATED OFF SITE SHALL BE IMMEDIATELY CLEANED UP.

3. ANY SEDIMENTS THAT ARE TRACKED ONTO PUBLIC ROADS SHALL BE CLEANED UP BY THE END OF THE WORK DAY.

4. ALL DISTURBED GROUND OR SOIL STORAGE PILES THAT ARE LEFT INACTIVE FOR MORE THAN SEVEN DAYS SHALL BE STABILIZED BY SEEDING, MULCHING OR COVERING.

ALL SEEDING SHALL BE PER DNR TECHNICAL STANDARD 1059 (SEEDING). ALL MULCHING SHALL BE PER DNR TECHNICAL STANDARD 1058 (MULCHING FOR CONSTRUCTION SITES). STRAW MULCH SHALL BE ANCHORED BY CRIMPING PER DNR TECHNICAL STANDARD 1058.

ALL DISTURBED AREAS NOT RECEIVING OTHER TREATMENT SHALL BE SEDED & MULCHED. LAWN TURF AREAS TO BE SEDED w/ 35% KENTUCKY BLUE GRASS, 20% RED FESCUE, 20% HARD FESCUE, 25% IMPROVED FINE PERENNIAL RYE GRASS & MINIMUM APPLICATION RATE OF 2 LB PER 1,000 S.F. FERTILIZER @ 7 LB PER 1,000 S.F.

THE EXCAVATING CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION CONTROL MEASURES.

AFTER THE SITE IS STABILIZED, THE LANDSCAPING CONTRACTOR SHALL SEED & PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. THE LANDSCAPING CONTRACTOR SHALL ALSO FILL AND SEED ANY AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL DEVICES.

DRAINAGE PLAN LEGEND

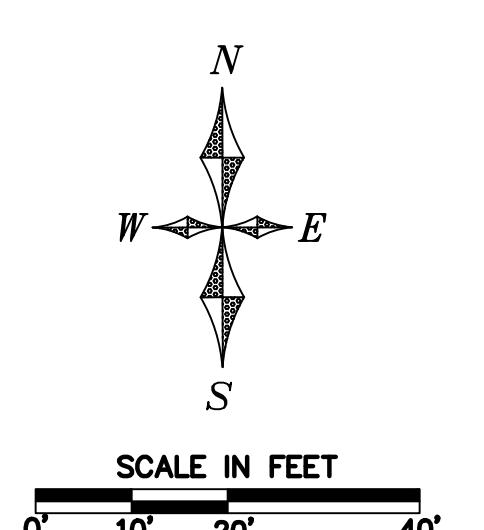
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DS •	= CLEANDOUT w/ FROST SLEEVE

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BM 3 EAST SIDE-TOP CONCRETE LIGHT POLE BASE ELEV. = 722.75



EROSION CONTROL PLAN

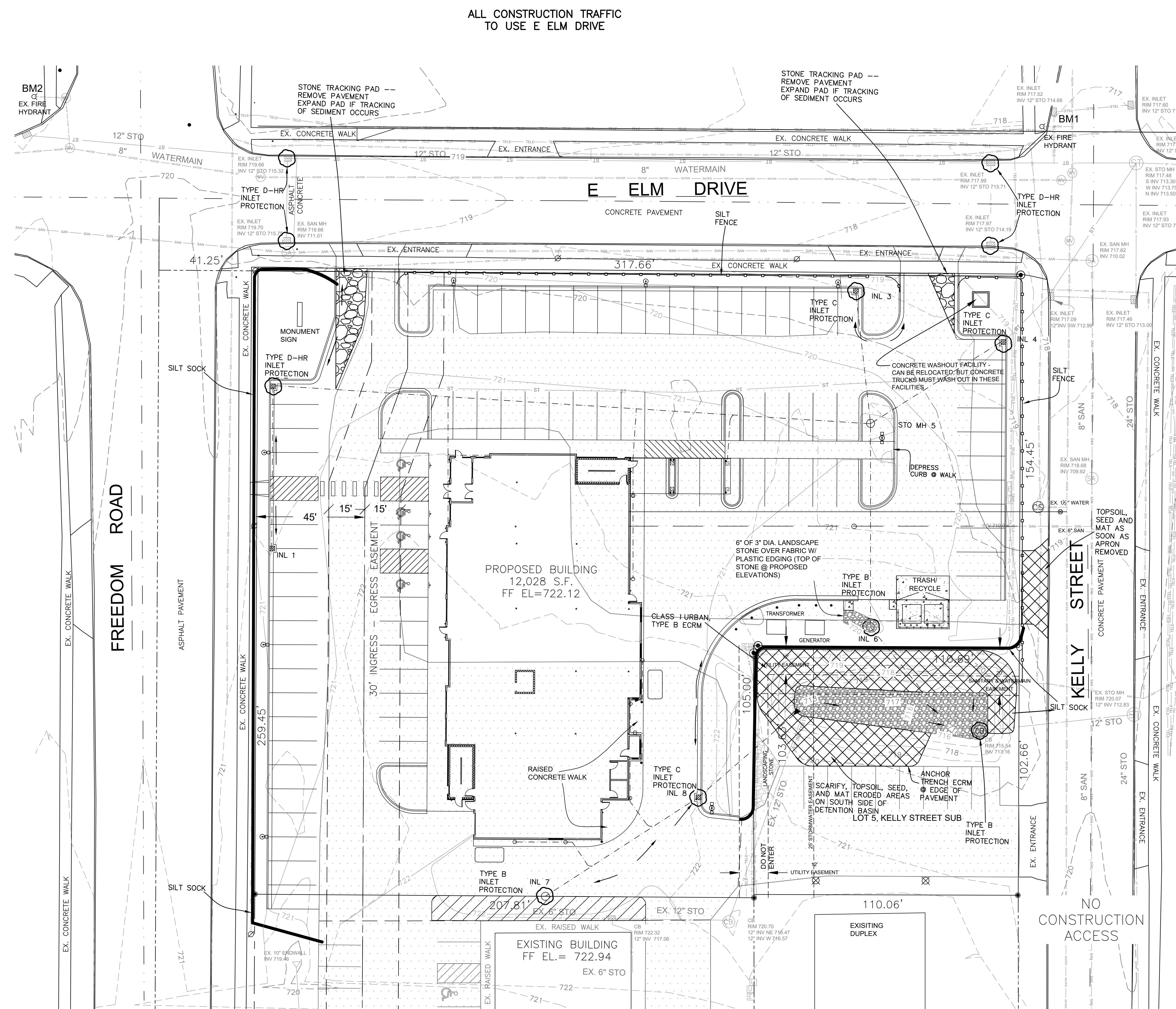
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SCHULER & ASSOCIATES, INC.

LAND SURVEYORS & ENGINEERS

2711 N. MASON STREET, Suite F
APPLETON, WI 54914-2126 (920) 734-9107



SCHULER & ASSOCIATES, INC.

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EROSION CONTROL DETAILS

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FIGURE 1. INLET PROTECTION TYPES A, B AND C

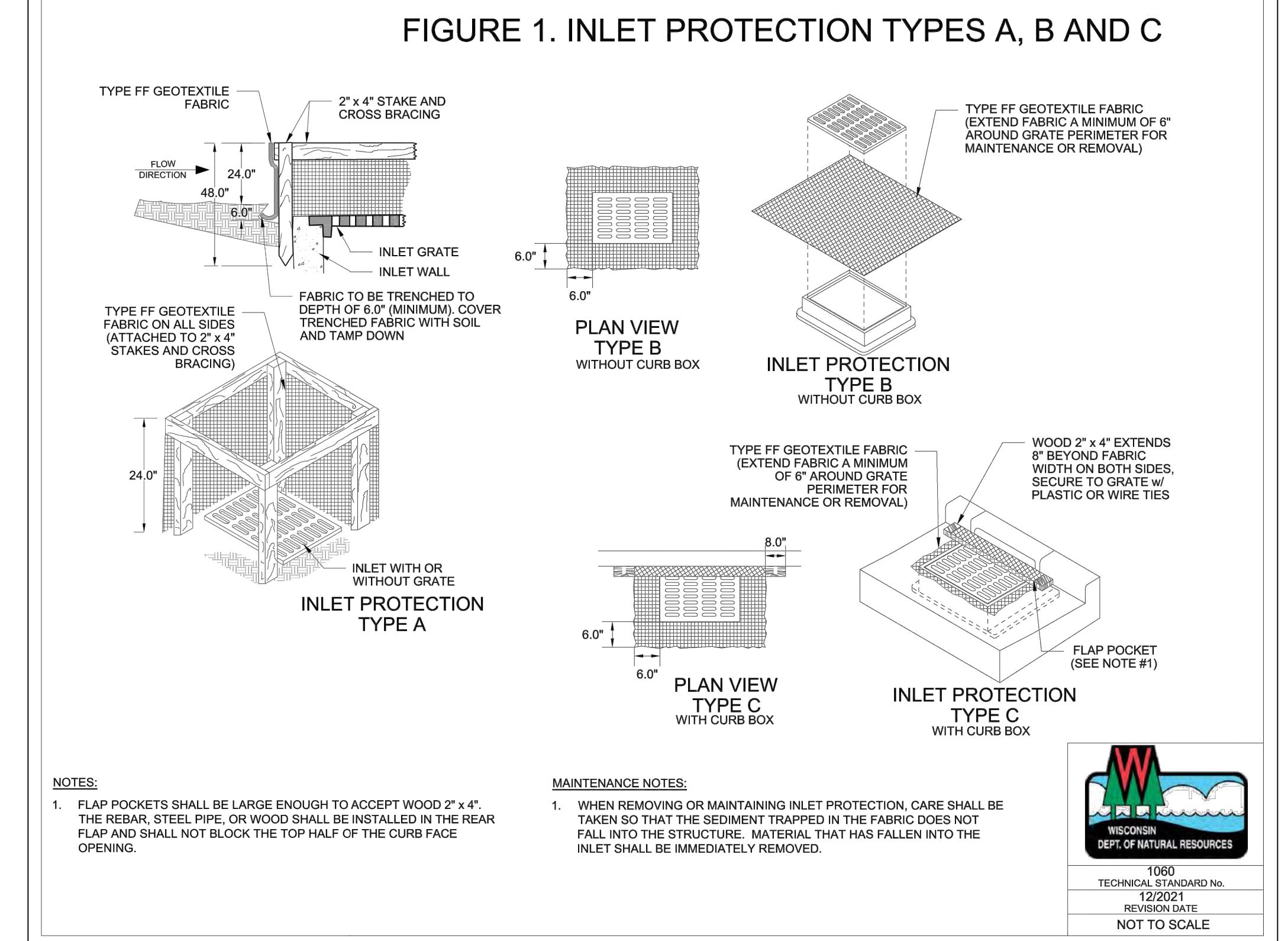
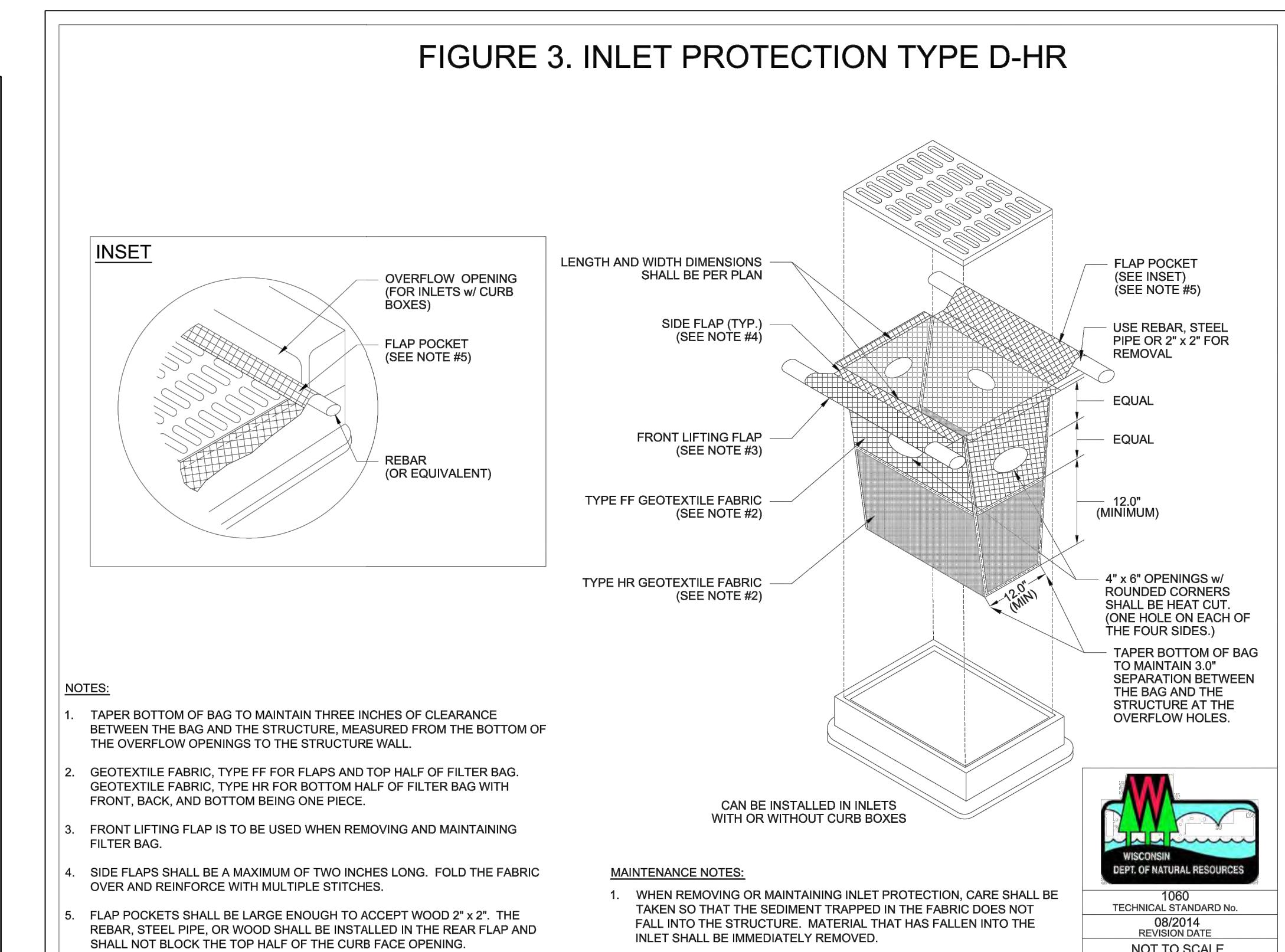


FIGURE 3. INLET PROTECTION TYPE D-HR



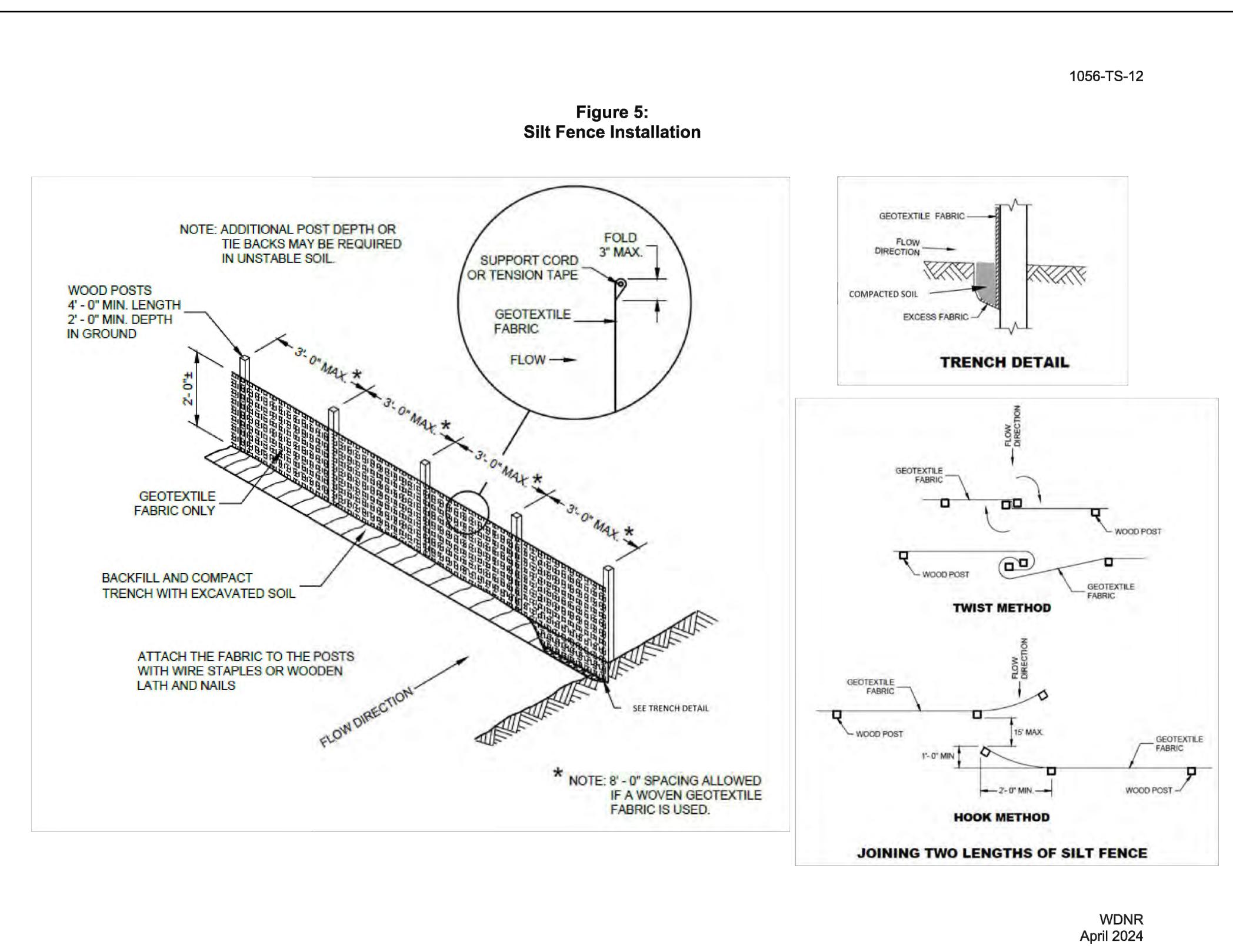
4 INLET PROTECTION DETAILS

C106 NTS

3 SILT FENCE DETAIL

C106 NTS

WDNR
April 2024

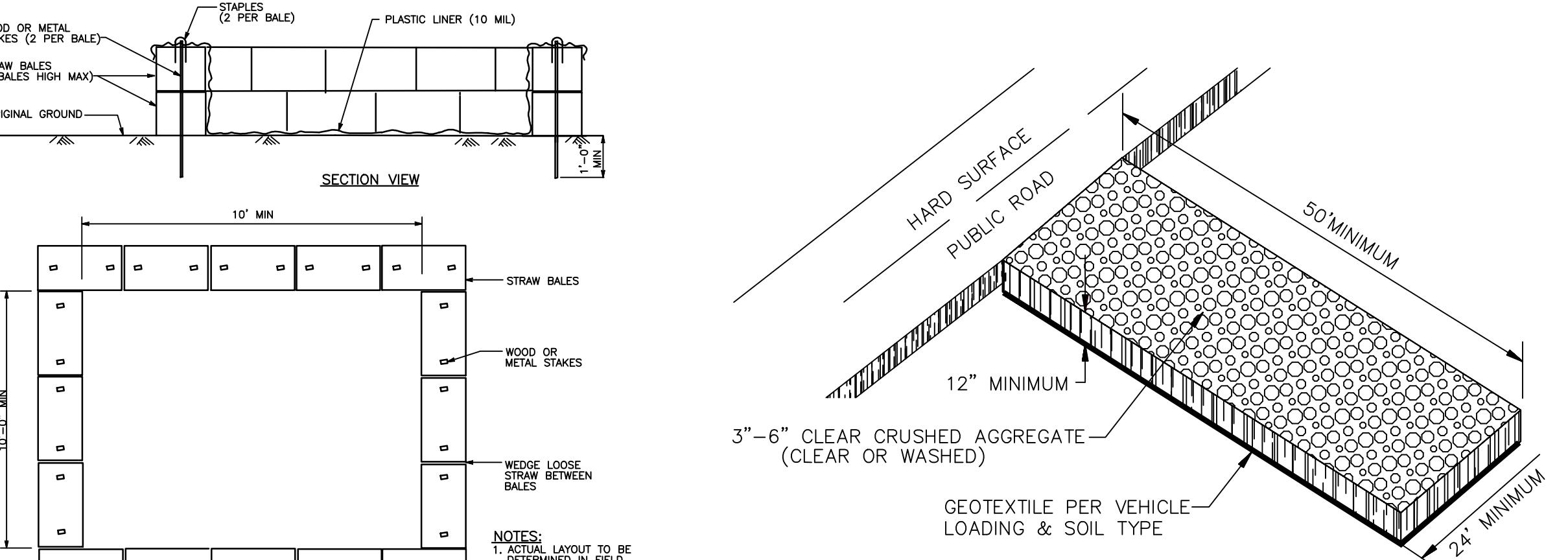


2 TRACKING PAD: CONST. ENTRANCE

C106 NTS

CONCRETE WASHOUT FACILITY
(SIMILAR FACILITIES ALLOWED)

1
C106 NTS

EROSION & SEDIMENT CONTROL
PLAN INFORMATION

1. SITE OWNER: NICHOLE M SMITH PROPERTIES LLC

1914 FREEDOM RD

LITTLE CHUTE, WI 54140

Contact: NIC SMITH, 920-738-8888

PLAN PREPARED BY: SCHULER & ASSOCIATES, INC.

2711 N. MASON STREET, Suite F

APPLETON, WI 54914

Contact: JEFF RUSTICK, 920-734-9107

2. START OF CONSTRUCTION: 08-01-2024

END OF CONSTRUCTION: 7-31-2025

3. LEGAL DESCRIPTION: L1, CSM NO. 9685, BEING A PORTION OF T14N, R17W, C17, AND L07, CSM NO. 9685, ALL LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, TOWNSHIP 21 NORTH, RANGE 18 WEST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AREA: 70.553 S.F. (1.627 AC)

4. AND

5. LOT 5, KELLY STREET SUBDIVISION, BEING LOCATED IN THE NORTH WEST 1/4 OF THE SOUTH WEST 1/4, SECTION 15, TOWNSHIP 21 NORTH, RANGE 18 WEST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AREA: 11.385 S.F. (0.261 AC)

6. 4. CONSTRUCTION SCHEDULE

1. 08-01-2024: INSTALL TRACKING PADS, STREET INLET PROTECTION AND PERIMETER SEDIMENT CONTROL

2. 08-05-2024: BEGIN SANITARY SEWER AND WATER SERVICE CONSTRUCTION. INSTALL INLET PROTECTION AS INLETS ARE CONSTRUCTED.

3. 08-07-2024: BEGIN STORM SEWER CONSTRUCTION. INSTALL INLET PROTECTION AS INLETS ARE CONSTRUCTED.

4. 08-12-2024: EXCAVATE, FINE GRADE, RIPRAP, TOPSOIL, AND MAT DETENTION BASIN. BEGIN FOUNDATION EXCAVATION.

5. 08-19-2024: BEGIN FOUNDATION CONSTRUCTION. BEGIN CONCRETE POURING AND CURE FOR NEW DRIVES AND PARKING LOTS.

6. 08-21-2024: BEGIN CONCRETE POURING AND CURE FOR NEW DRIVES AND PARKING LOTS.

7. 08-23-2024: GRADE, SEED, AND MULCH OR MAT PERIMETER AREAS. ALL DISTURBED SOIL AREAS ARE TO BE SEDED AND MULCHED OR MATTED PRIOR TO WINTER FREEZE UP. USE REINFORCING MESH OR PERMANENT SEEDING DEPENDING.

8. 08-16-2024: GRADE, SEED, AND MULCH OR MAT PERIMETER AREAS. ALL DISTURBED SOIL AREAS ARE TO BE SEDED AND MULCHED OR MATTED PRIOR TO WINTER FREEZE UP. USE REINFORCING MESH OR PERMANENT SEEDING DEPENDING.

9. 08-18-2024: INSTALL CURB AND GUTTER, SIDEWALKS AND CONCRETE SLABS. INSTALL ASPHALT PAVEMENT.

10. 08-25-2024: FINISH GRADE, TOPSOIL, SEED, FERTILIZE AND MULCH OR MAT ALL AREAS THAT HAVE NOT BEEN SEDED AND MULCHED. RESEED ANY BARE AREAS. INSTALL ANY REMAINING LANDSCAPING.

11. 08-27-2024: COMPLETE BUILDING CONSTRUCTION.

12. 08-31-2024: REMOVE TEMPORARY EROSION CONTROL DEVICES WHEN AREAS ARE COMPLETELY STABILIZED WITH VEGETATION.

13. 09-01-2024: 5. THE PROJECT SITE IS APPROXIMATELY 0.17 ACRES WITH 1.75 ACRES BEING DISTURBED.

6. ESTIMATED EXISTING RCN ~ 91. ESTIMATED POST CONSTRUCTION RCN = 91.

7. NATIVE SOILS ON SITE ARE KEWAUNEE SILT LOAM (K02), MANAWA SILTY CLAY LOAM (M04), AND WINNECONNE SILTY CLAY LOAM (W08), ALL HYDROLOGIC GROUP D SOILS.

8. DEPTH WATER TABLE IS GREATER THAN 200 CM FOR KEWAUNEE SILT LOAM, 30 CM FOR MANAWA SILTY CLAY LOAM, AND 178 CM FOR WINNECONNE SILTY CLAY LOAM, PER THE WEB SOIL SURVEY.

9. EROSION CONTROL MEASURES ARE TO BE PLACED ON THE PUBLIC STORM SEWER IN THE SOUTHEAST CORNER OF THE DEVELOPMENT AREA THAT FLOWS TO THE PUBLIC STORM SEWER IN KELLY STREET. THE PUBLIC STORM SEWER IN THIS AREA DRAINS TO BUCHANAN STREET POND, A VILLAGE OF LITTLE CHUTE REGIONAL STORMWATER POND LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF BUCHANAN STREET & NORTHLAND AVENUE (CTH-O027). BUCHANAN STREET POND ULTIMATELY DRAINS TO THE FOX RIVER.

10. EROSION CONTROL MEASURES ARE TO BE PLACED ON THE PUBLIC STORM SEWER IN THE SOUTHEAST CORNER OF THE DEVELOPMENT AREA THAT FLOWS TO THE PUBLIC STORM SEWER IN KELLY STREET. THE PUBLIC STORM SEWER IN THIS AREA DRAINS TO BUCHANAN STREET POND, A VILLAGE OF LITTLE CHUTE REGIONAL STORMWATER POND LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF BUCHANAN STREET & NORTHLAND AVENUE (CTH-O027). BUCHANAN STREET POND ULTIMATELY DRAINS TO THE FOX RIVER.

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22. EROSION CONTROL MEASURES ARE TO BE PLACED ON THE PUBLIC STORM SEWER IN THE SOUTHEAST CORNER OF THE DEVELOPMENT AREA THAT FLOWS TO THE PUBLIC STORM SEWER IN KELLY STREET. THE PUBLIC STORM SEWER IN THIS AREA DRAINS TO BUCHANAN STREET POND, A VILLAGE OF LITTLE CHUTE REGIONAL STORMWATER POND LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF BUCHANAN STREET & NORTHLAND AVENUE (CTH-O027). BUCHANAN STREET POND ULTIMATELY DRAINS TO THE FOX RIVER.

23. EROSION CONTROL MEASURES ARE TO BE PLACED ON THE PUBLIC STORM SEWER IN THE SOUTHEAST CORNER OF THE DEVELOPMENT AREA THAT FLOWS TO THE PUBLIC STORM SEWER IN KELLY STREET. THE PUBLIC STORM SEWER IN THIS AREA DRAINS TO BUCHANAN STREET POND, A VILLAGE OF LITTLE CHUTE REGIONAL STORMWATER POND LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF BUCHANAN STREET & NORTHLAND AVENUE (CTH-O027). BUCHANAN STREET POND ULTIMATELY DRAINS TO THE FOX RIVER.

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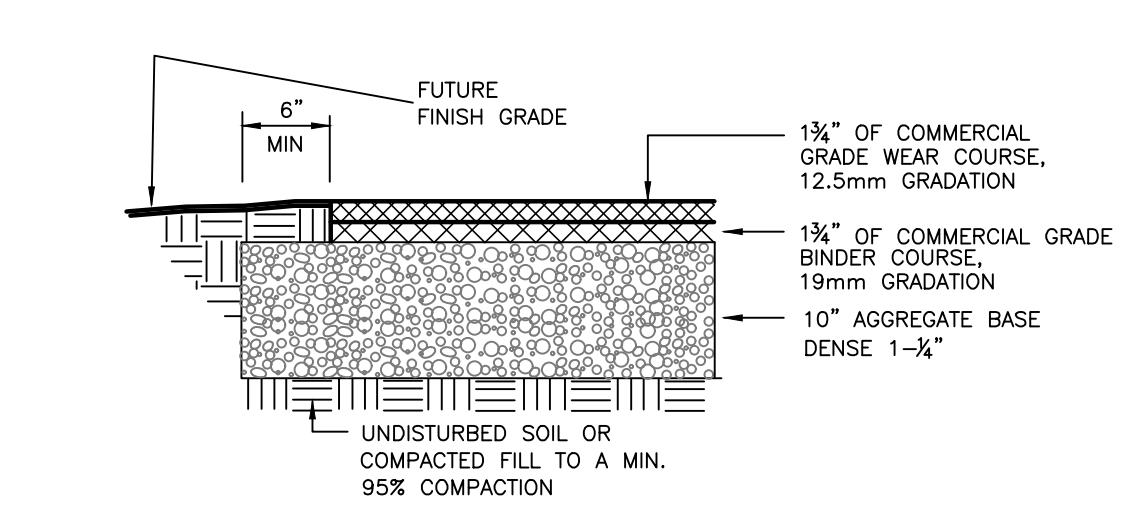
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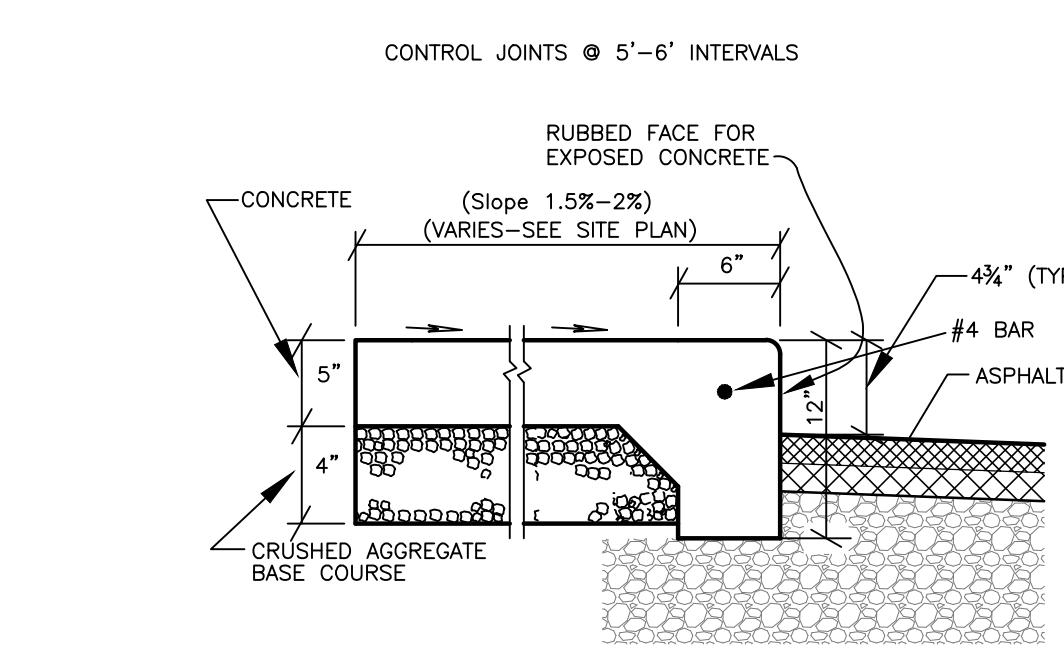
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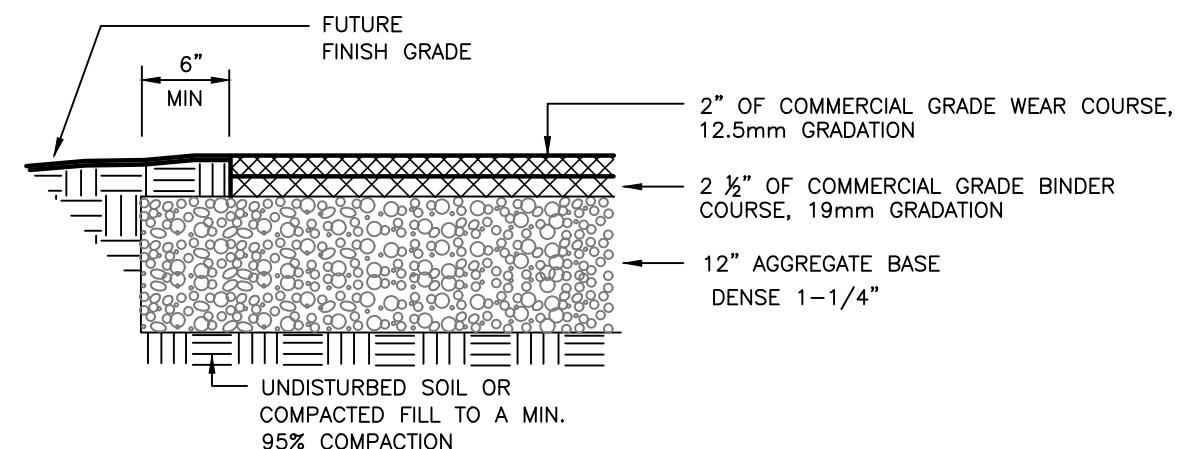
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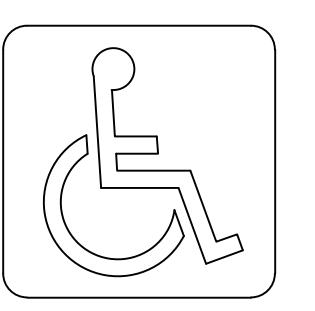
AUTO ASPHALTIC PAVEMENT SECTION
1
C107
NTS



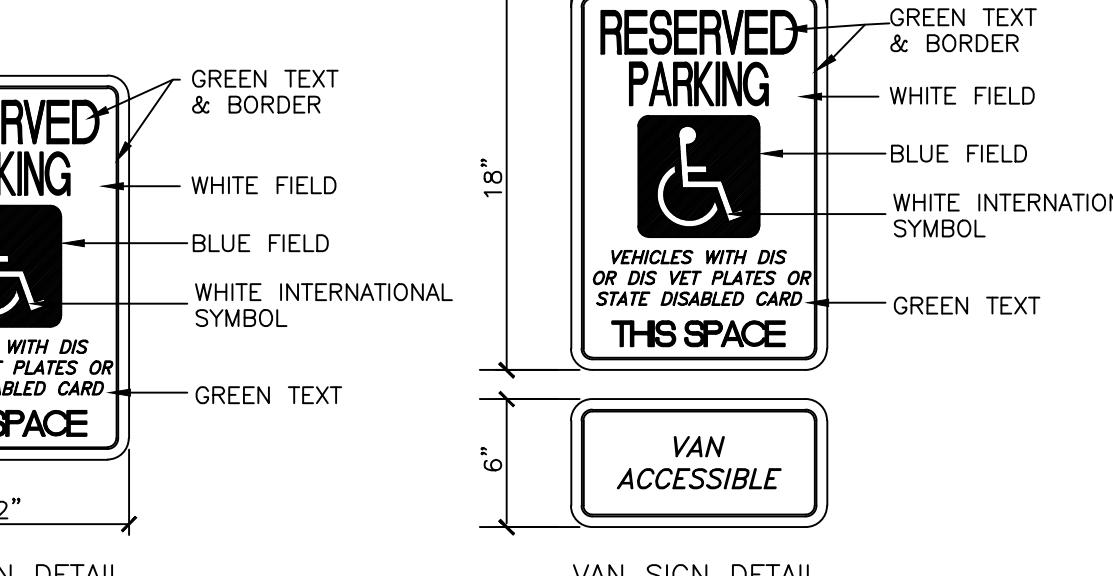
RAISED SIDEWALK DETAIL
5
C107
NTS



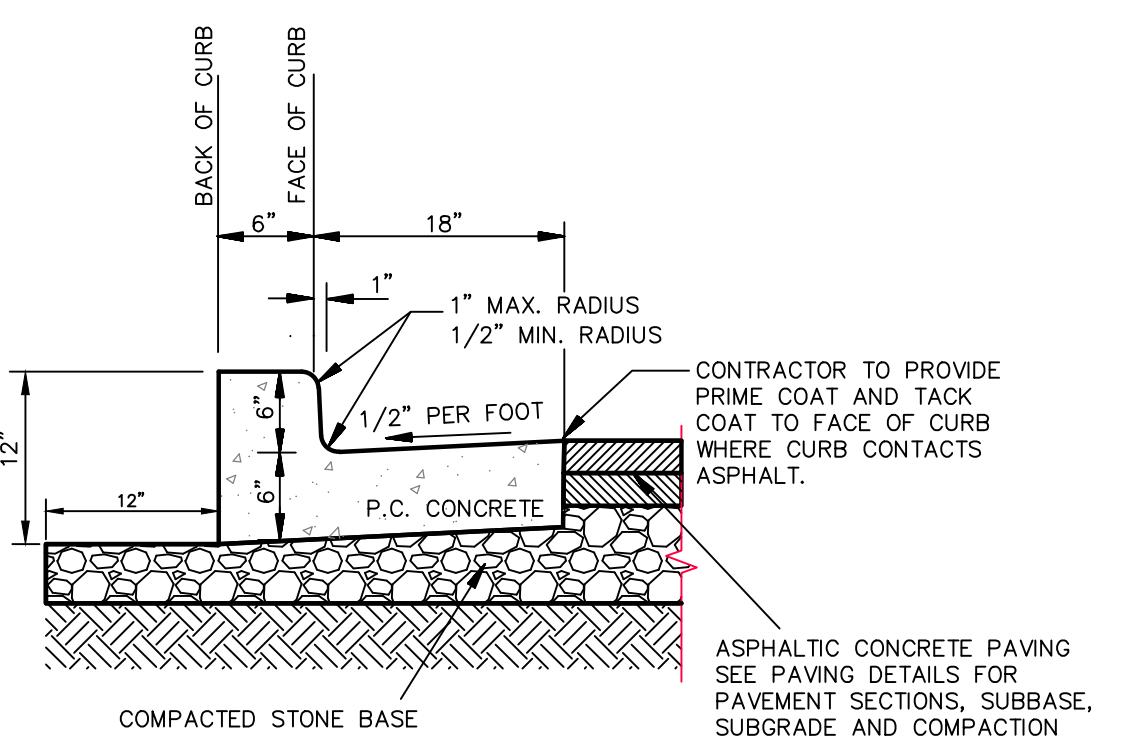
TRUCK ASPHALTIC PAVEMENT SECTION
2
C107
NTS



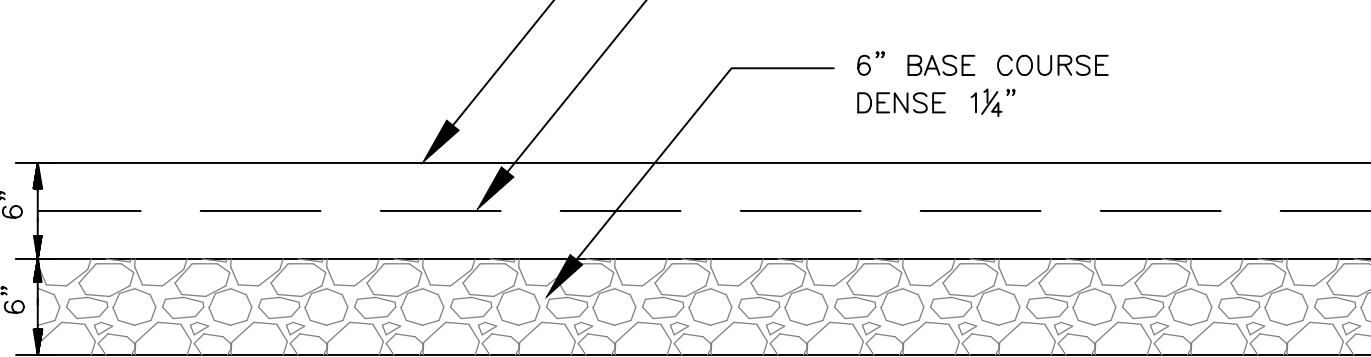
INTERNATIONAL SYMBOL OF ACCESSIBILITY



HANDICAP PARKING SIGN DETAILS
6
C107
NTS

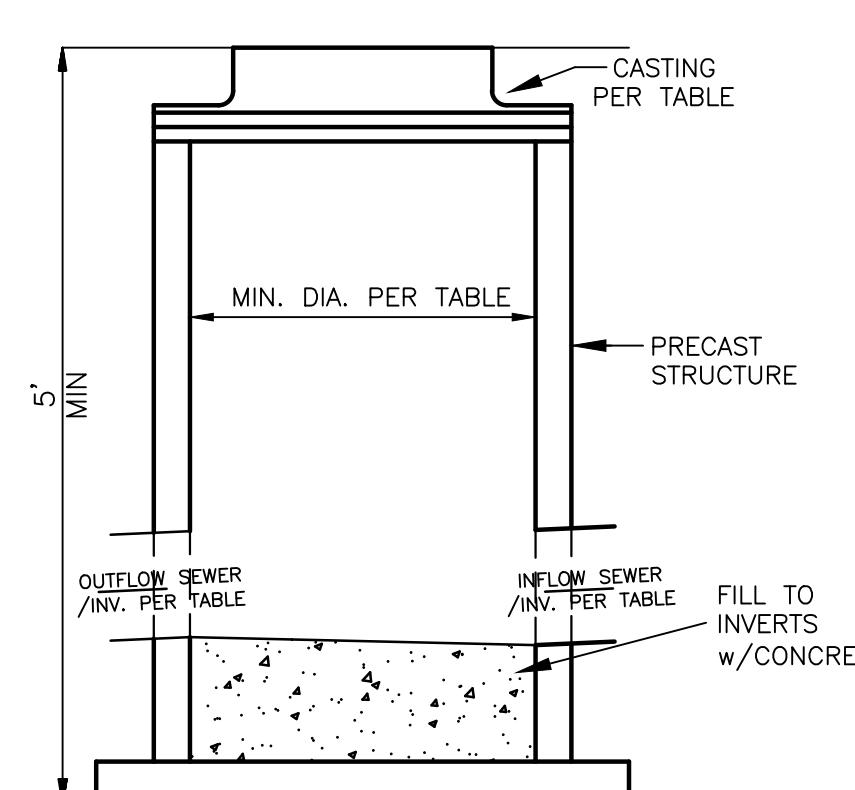


TYPE 1 CONCRETE CURB & GUTTER
3
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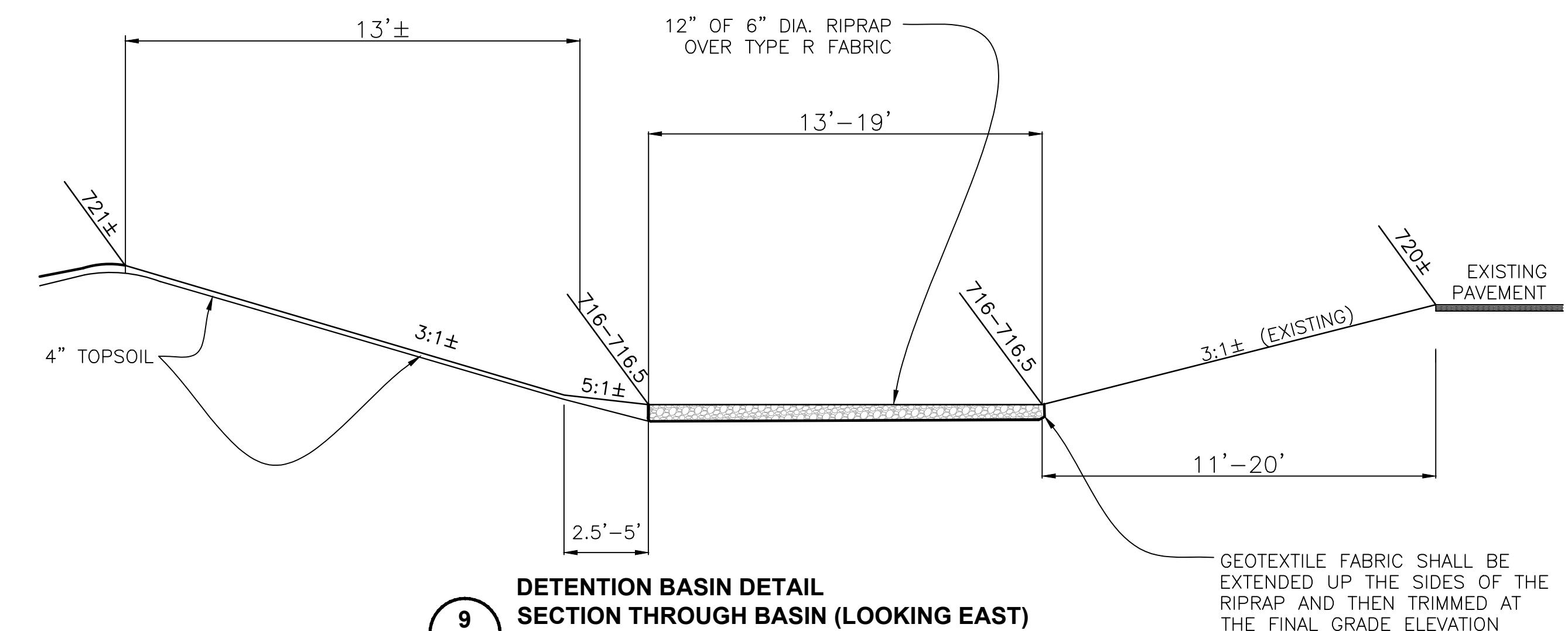


TYPE 2 CONCRETE CURB & GUTTER
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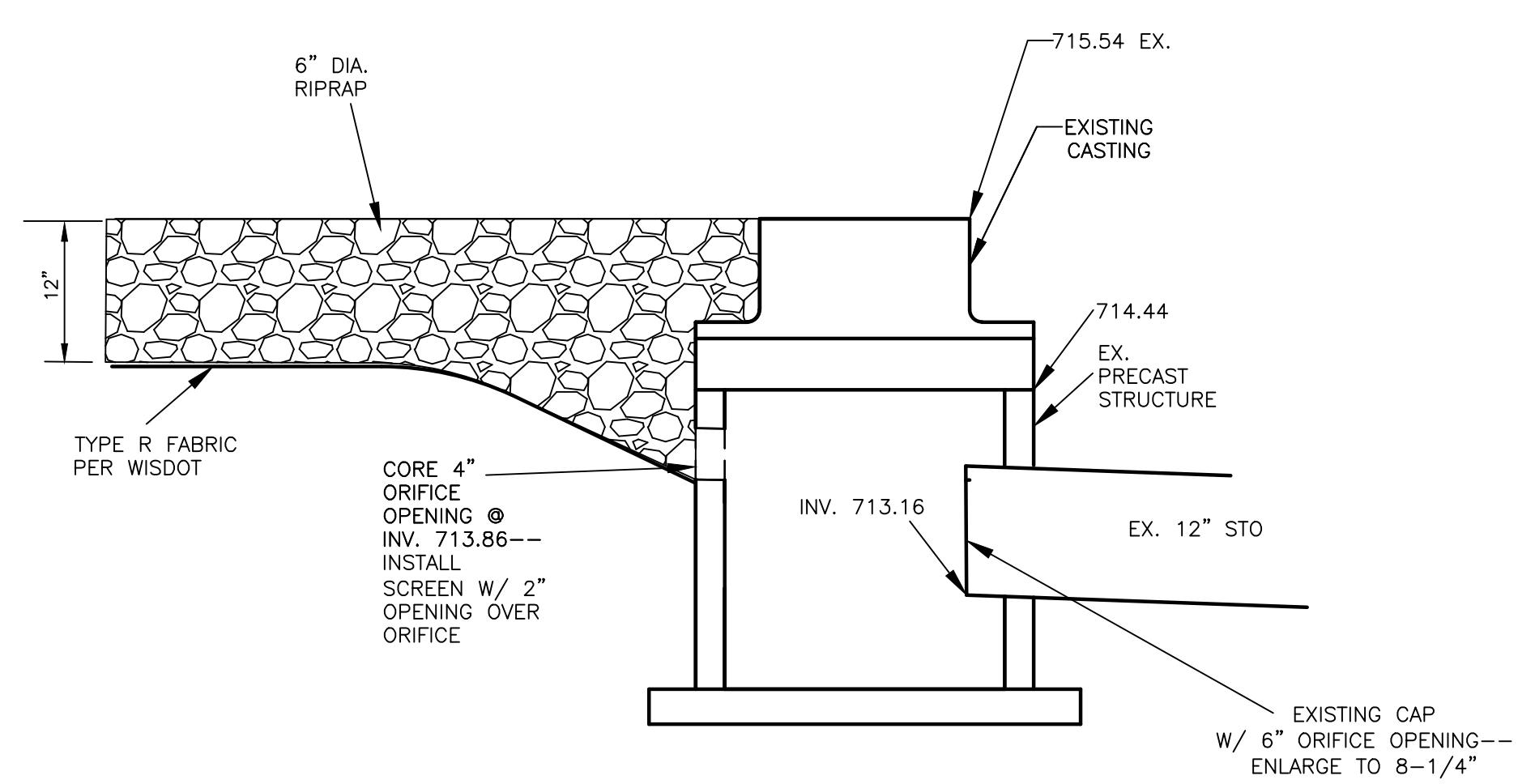
CONCRETE SLAB
7
C107
NTS (DUMPSTER PAD)



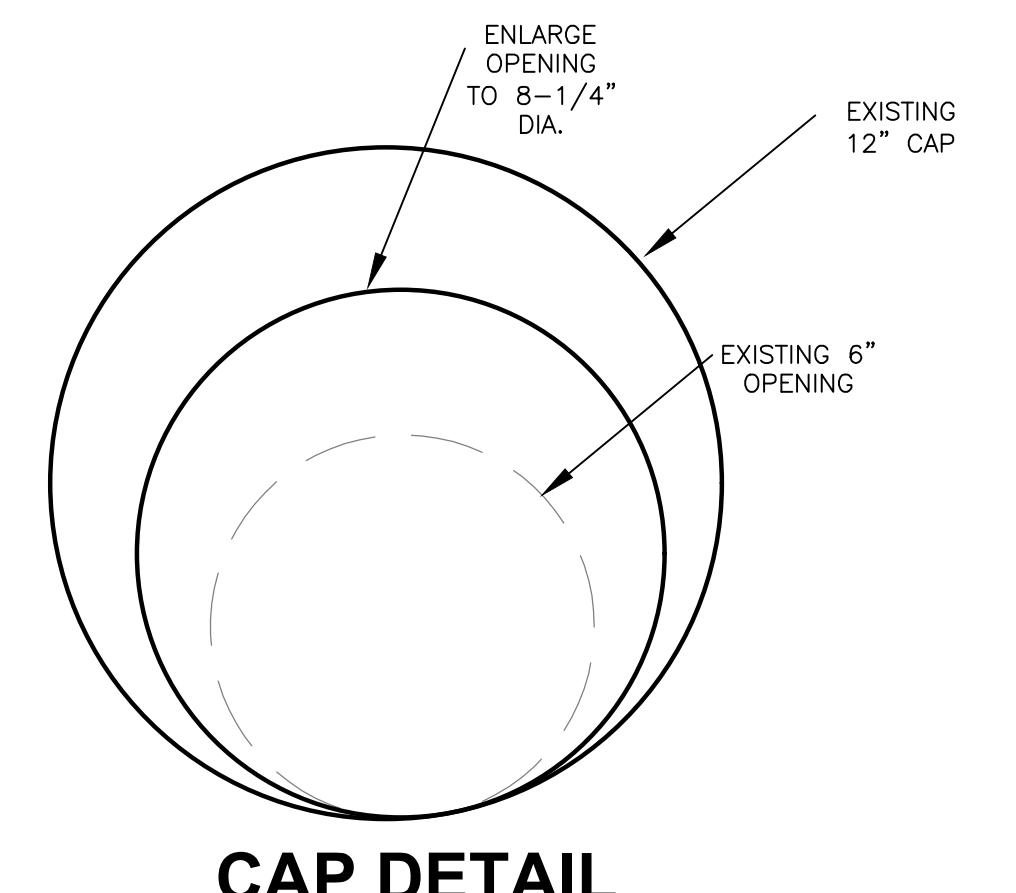
STORM SEWER MANHOLE/INLET CROSS SECTION
8
C107
NTS



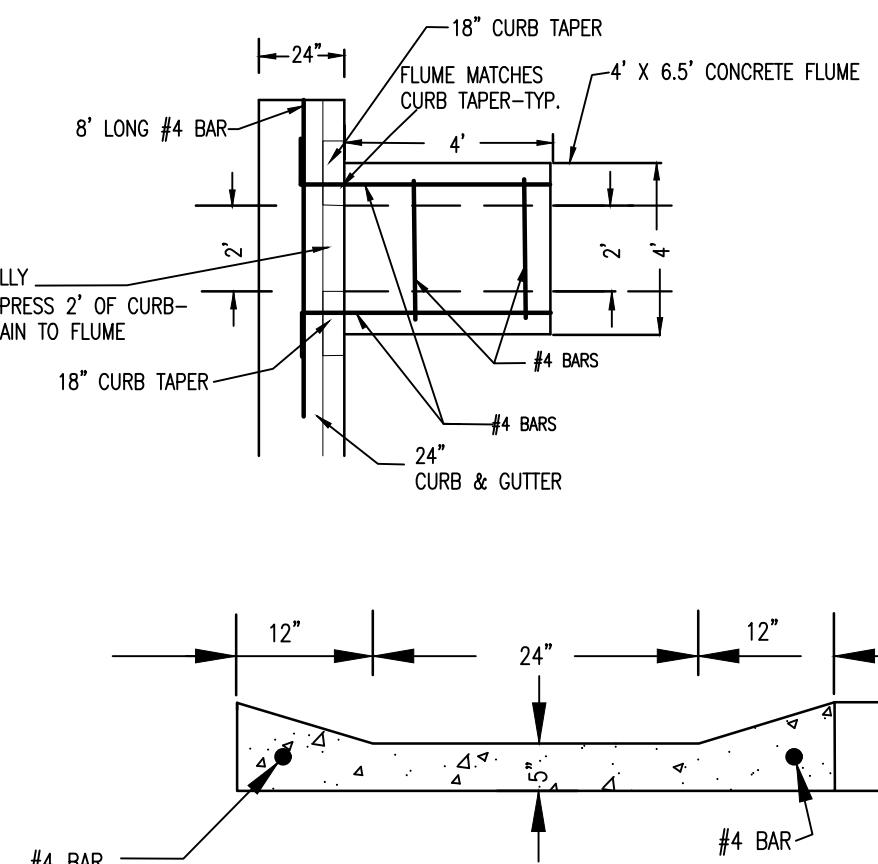
DETENTION BASIN DETAIL
9
C107
NTS



DETENTION BASIN OUTLET STRUCTURE- MODIFY EXISTING STRUCTURE
10
C107
NTS



CAP DETAIL



CONCRETE FLUME
11
C107
NTS

SITE DETAILS
SMITH PHARMACY
1914 FREEDOM RD
LITTLE CHUTE, WI 54140
FOR: HARTWOOD HOMES, INC.
455 LAKE BREEZE DRIVE
CHILTON, WI 53014

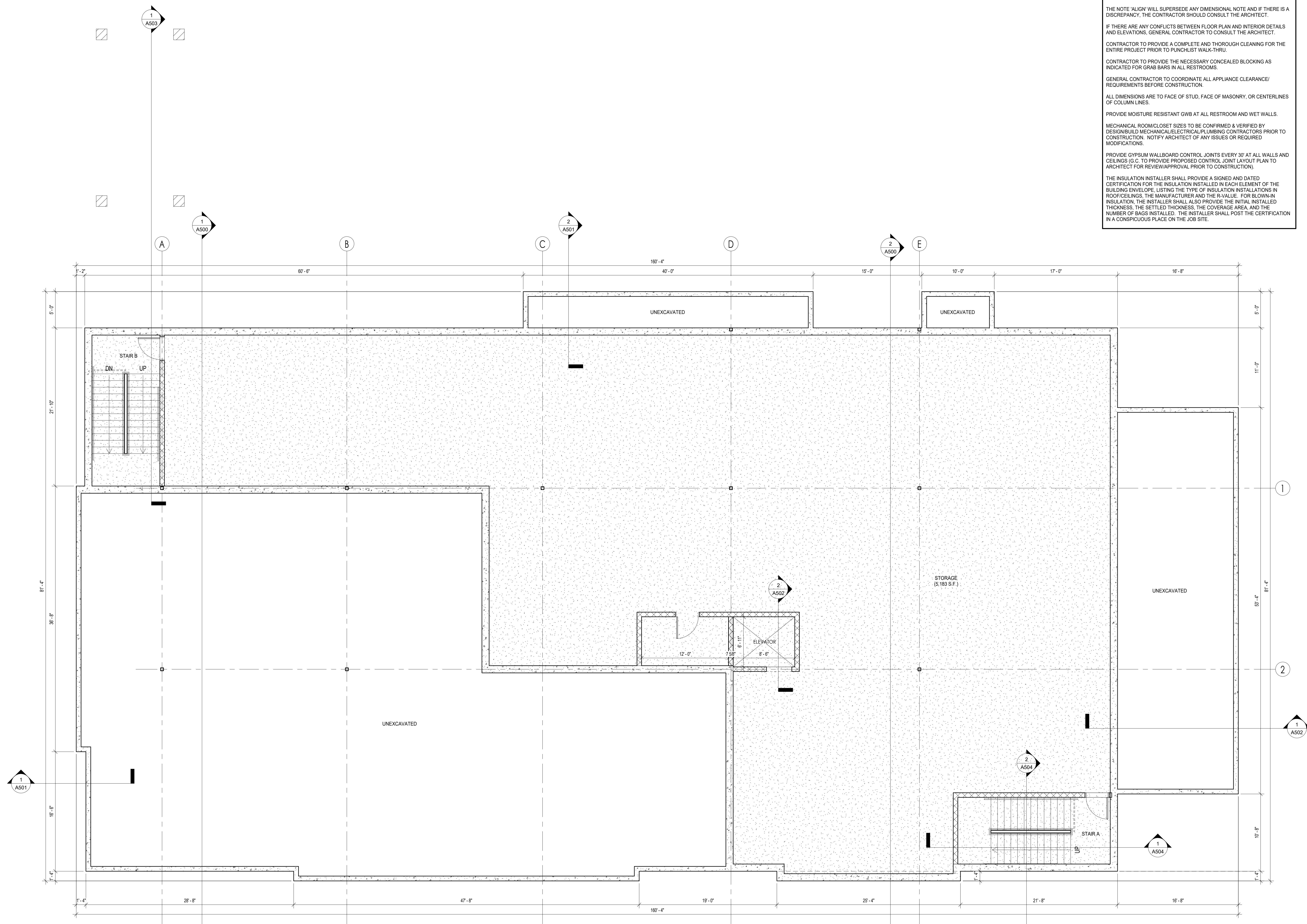
DRAWN
GPK
DATE
6/17/24
SCALE
JOB NO.
4813
SHEET
C107



SMITH PHARMACY

1914 FREEDOM ROAD

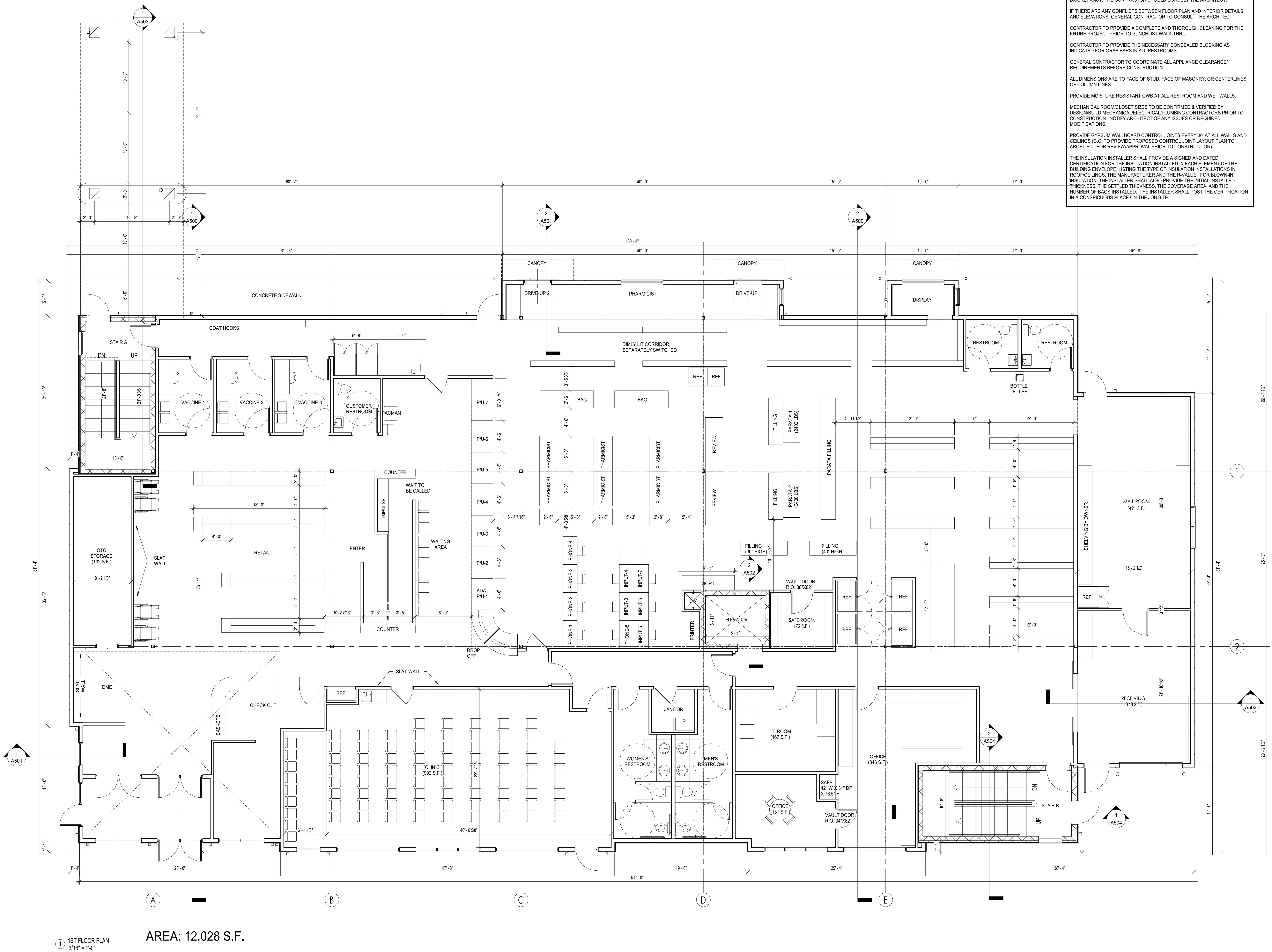
LITTLE CHUTE, WI 54140

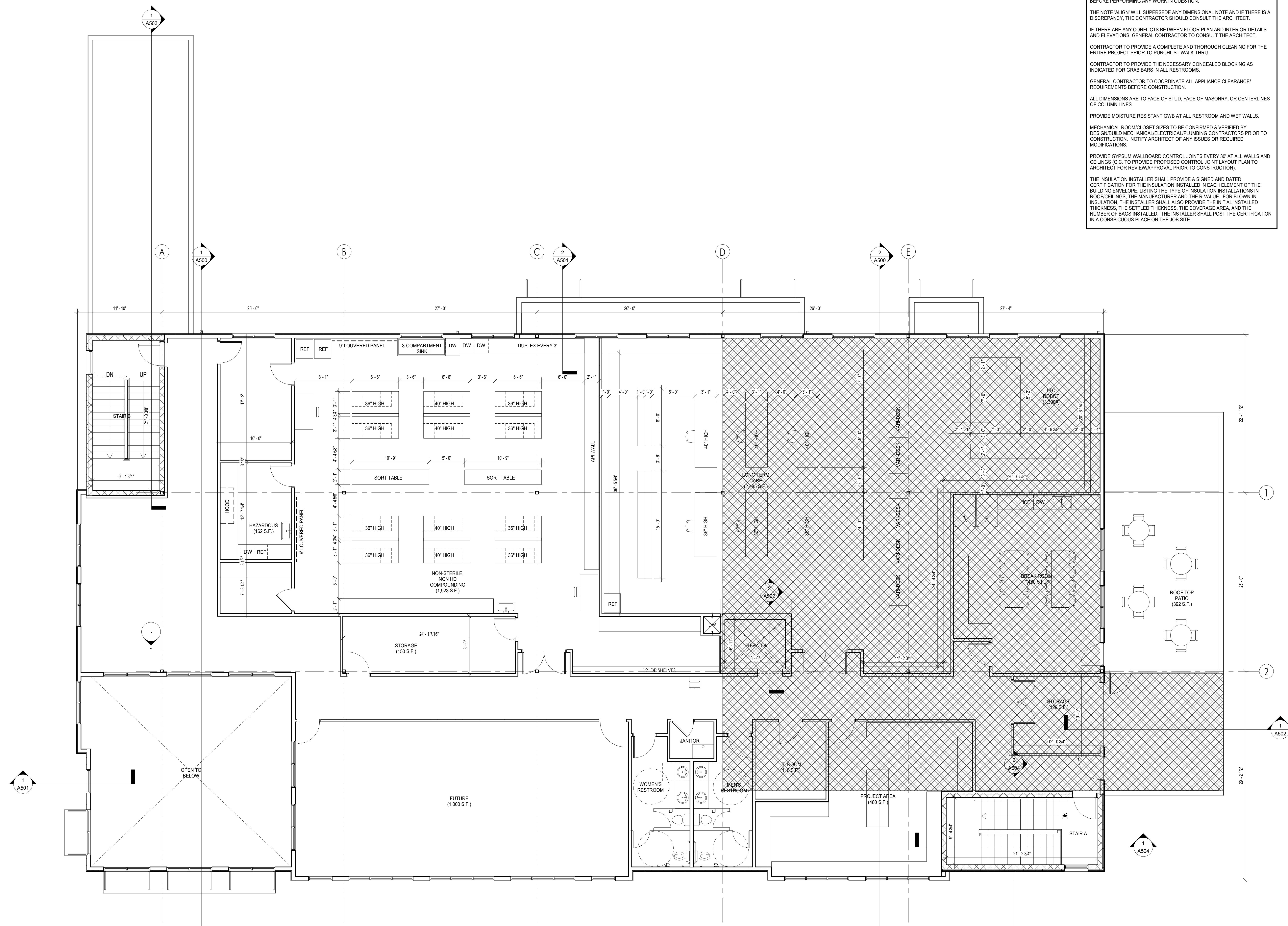


SMITH PHARMACY

1914 FREEDOM ROAD

LITTLE CHUTE, WI 54140





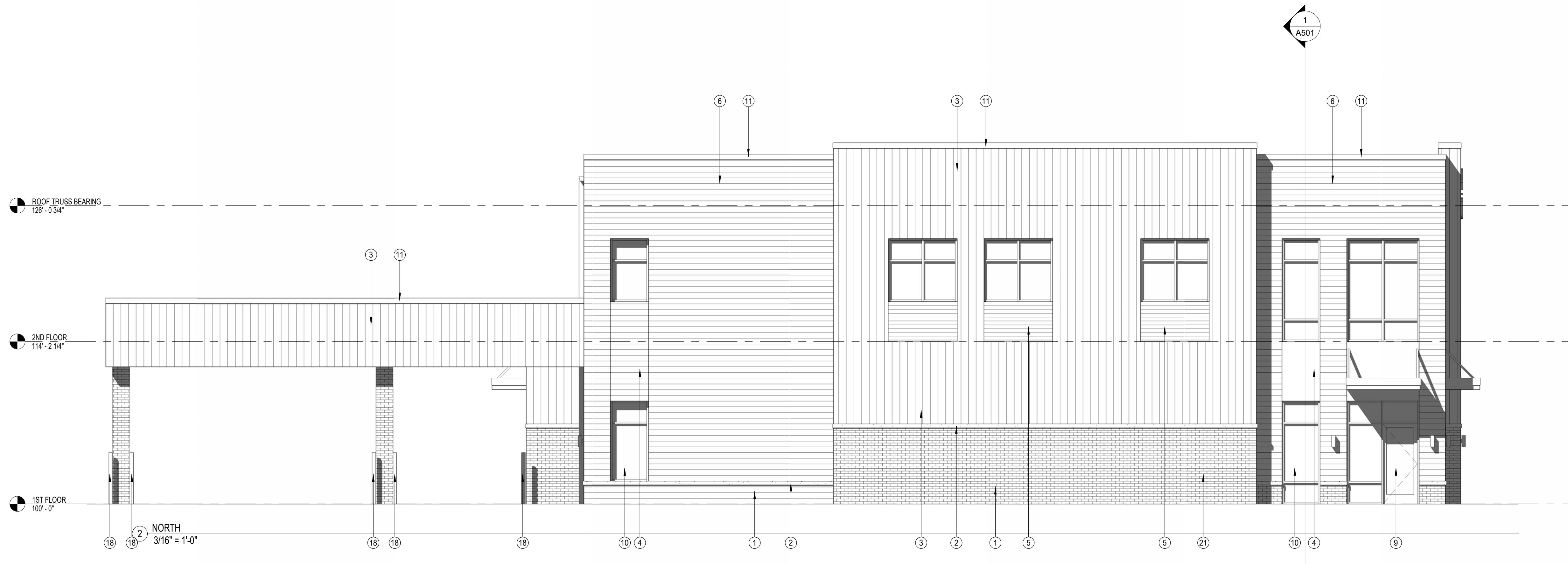


KEYNOTES - ELEVATION

- ① BRICK VENEER, COLOR TBD
- ② PRE-CAST CONCRETE SILL
- ③ PREFINISHED VERTICAL METAL WALL PANELS (MTL1)
- ④ PREFINISHED HORIZONTAL METAL WALL PANELS (MTL2) ACCENT COLOR, SEE A001
- ⑤ PREFINISHED HORIZONTAL METAL WALL PANELS (MTL3) ACCENT COLOR, SEE A001
- ⑥ HORIZONTAL PREFINISHED COMPOSITE LAP SIDING (CM1)
- ⑦ 5/4x4 PREFINISHED COMPOSITE TRIM BOARD (CM2)
- ⑧ 5/4x6 PREFINISHED WATERPROOF STARTER BOARD (CM3)
- ⑨ ALUMINUM STOREFRONT / ENTRY DOOR SYSTEM (WIN1)
- ⑩ ALUMINUM STOREFRONT WINDOW SYSTEM (WIN1)
- ⑪ PREFINISHED METAL WALL COPING (MTL4)
- ⑫ WALL-MOUNT BUILDING SIGNAGE (BY SIGNAGE VENDOR)
- ⑬ BOLT-ON PREFINISHED ALUMINUM CANOPY SYSTEM
- ⑭ PREFINISHED METAL INSULATED OVERHEAD DOOR (OD1)
- ⑮ INSULATED/PAINTED/GALVANIZED HOLLOW METAL DOOR/FRAME
- ⑯ POSSIBLE OUTDOOR METER LOCATION (VERIFY W/ DESIGN/BUILD ELECTRICAL/MECHANICAL CONTRACTORS)
- ⑰ WALL-MOUNT UP/DOWN LED CAN LIGHT FIXTURES (BY DESIGN/BUILD ELECTRICAL CONTRACTOR)
- ⑱ 4" CONCRETE FILLED GALVANIZED BOLLARD W/ YELLOW PLASTIC COVER
- ⑲ 6" CONCRETE FILLED GALVANIZED BOLLARD W/ YELLOW PLASTIC COVER
- ⑳ QUICKSERV INC. SIDE SLIDING TRANSACTION WINDOW MODEL: IFSC 4040, BLACK (OR EQUAL)
- ㉑ PREFINISHED ALUMINUM GUTTER & DOWNSPOUT, CONNECTED TO PERIMETER DRAIN. SEE CIVIL
- ㉒ REMOVEABLE SECTION OF WALL (BOLTED ON) FOR FUTURE EQUIPMENT INSTALLATION

SMITH PHARMACY
1914 FREEDOM ROAD
LITTLE CHUTE, WI 54140

LITTLE CHUTE, WI 54140



CLIENT

REVISIONS

NO	DESCRIPTION	DATE
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INFORMATION

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

PROJECT #: 23106

DATE: 06.17.2024

ISSUED:

SITE REVIEW SET

BUILDING ELEVATIONS

BUILDING ELEVATIONS

Λ 401

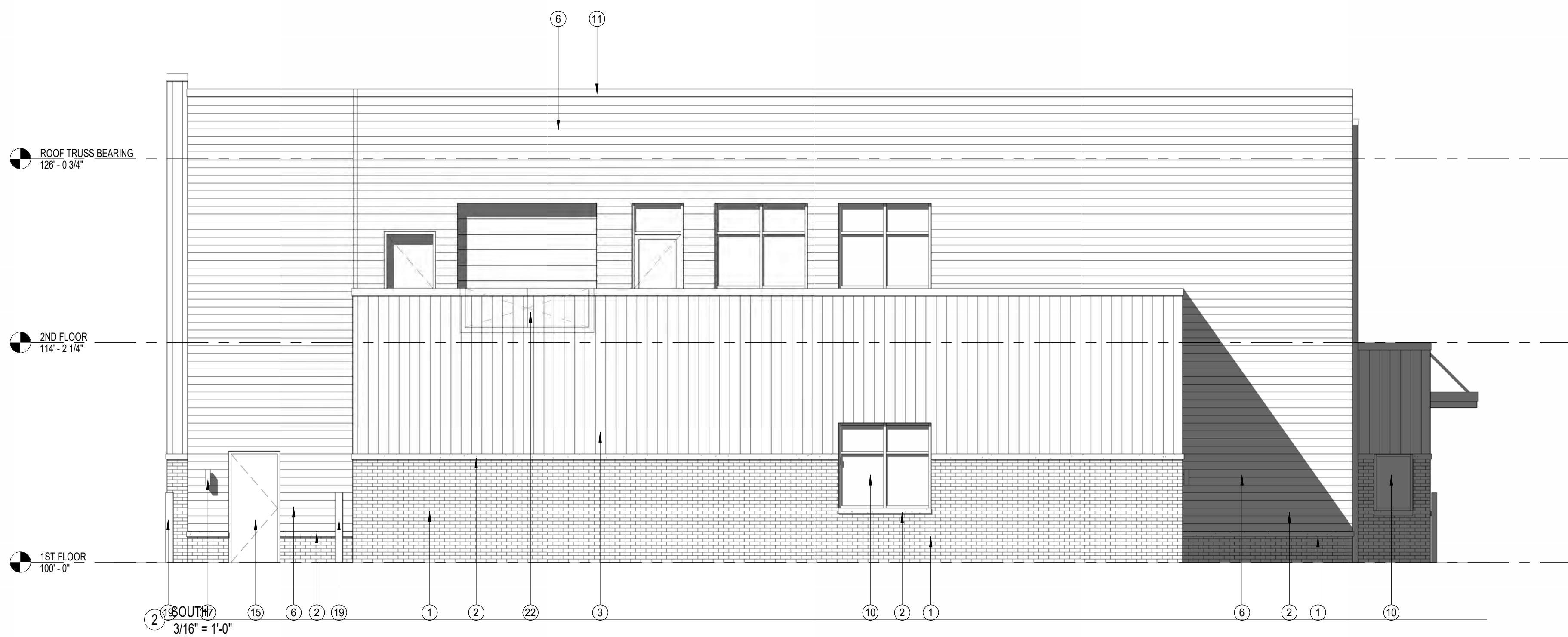
A401



A401

KEYNOTES - ELEVATION

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SMITH PHARMACY
1914 FREEDOM ROAD
LITTLE CHUTE, WI 54140

CLIENT



REVISIONS

NO. DESCRIPTION DATE

INFORMATION

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PROJECT #: 23106

DATE: 06.17.2024

ISSUED:

SITE REVIEW SET

BUILDING ELEVATIONS

A402



© 2024 PURE architecture studio, llc

west perspective
06.06.2024

Smith Pharmacy





© 2024 PURE architecture studio, llc

northwest perspective
06.06.2024

Smith Pharmacy





© 2024 PURE architecture studio, llc

north perspective
06.06.2024

Smith Pharmacy





© 2024 PURE architecture studio, llc

southwest perspective
06.06.2024

Smith Pharmacy





east perspective
06.06.2024

Smith Pharmacy





Item For Consideration Plan Commission

Plan Commission Meeting Date: 7/8/24

Prepared On: 6/28/24

Agenda Item Topic: CSM 1501 and 1825 Rosehill Road

Prepared By: Jessica Titel, Community Development Department

Applicant: James Sehloff – TNT Land Surveyors

Owner: Bela, LLC

Address/Parcel #: 1501 and 1825 Rosehill Road, Parcel #260127404 and #260127401

Request: A CSM to combine the two parcels owned by BELA, LLC was recently submitted to the Village. The proposed CSM would combine parcel #260127404 and #260127401 into one lot. This CSM has been reviewed by staff and follows requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Villag Board on July 17 for final action. The CSM is attached to this report for Plan Commission review.

Zoning Classification: ID Industrial District

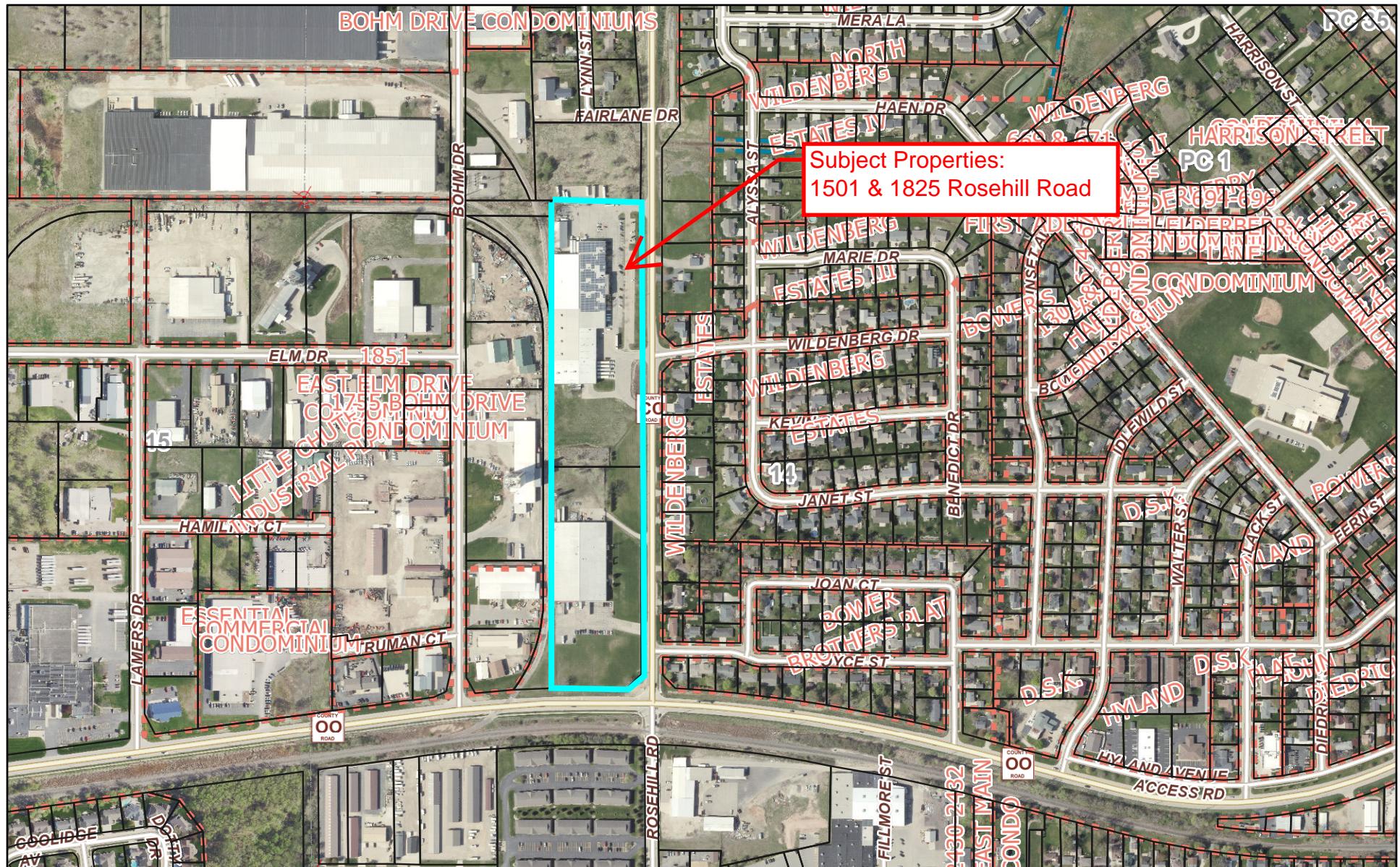
Background: The combined parcels will be 15.1196 acres in area and contain two existing buildings with warehouse, office and distribution uses. General Beer Northeast operates at this site. The spur line easement shown on the CSM will be released/terminated as it is no longer needed.

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board

Respectfully Submitted,

Jessica Titel, Community Development Director

Vicinity Map - Bela, LLC CSM



7/1/2024, 10:55:53 AM

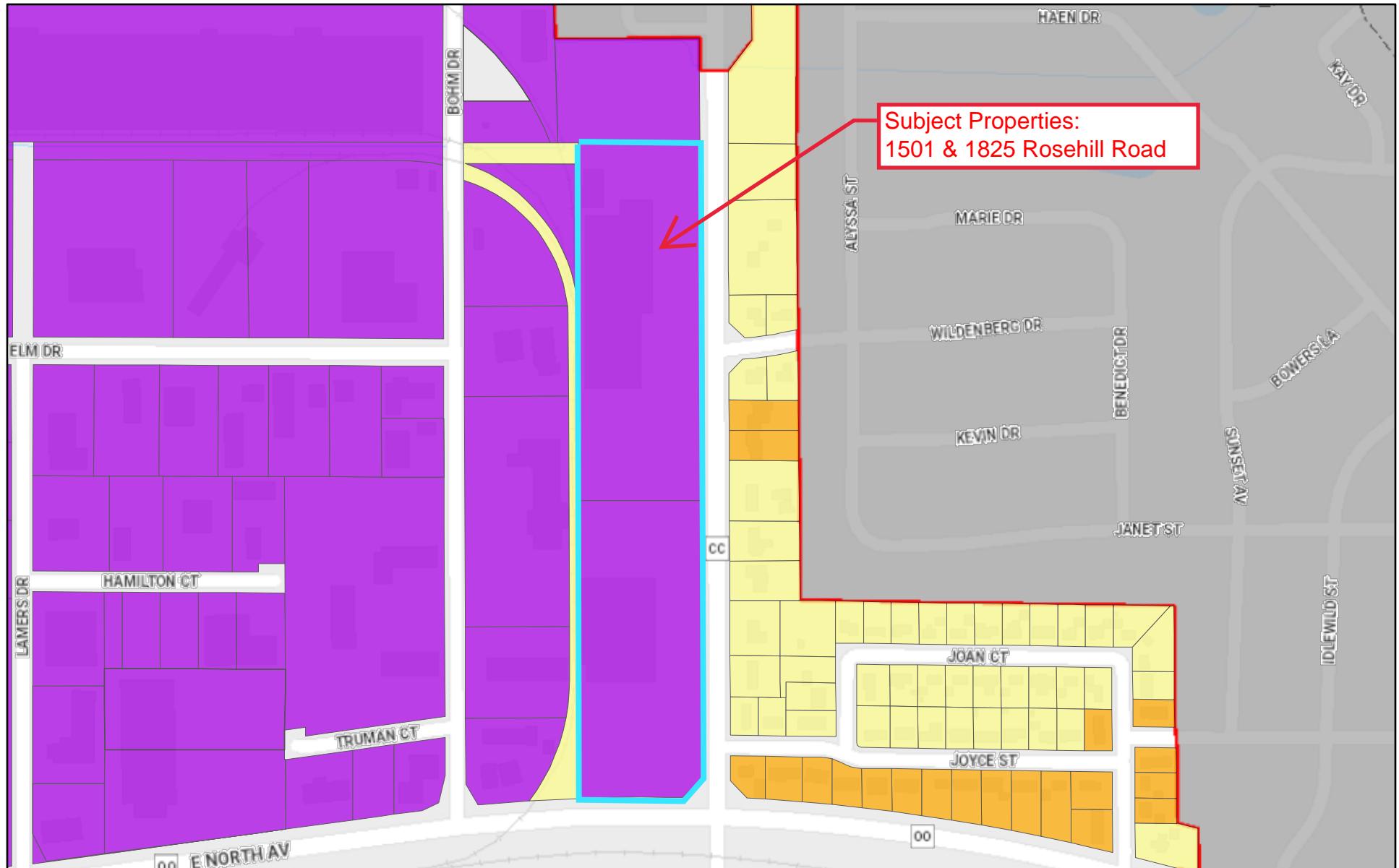
1:9,028

0 0.05 0.1 0.2 mi
0 0.07 0.15 0.3 km

- Tax Parcel Information
- PC Monument on PC Line
- PLSS Sections
- Private Claim Corner
- Monuments
- Quarter Corner
- Center of Section
- Section Corner
- Display Parcel Lines
- Plat Boundary Lines
- Plat Boundary
- Plat Lot Number
- Meander Line
- Government Lot
- Acreage
- CSM Lot Number

- Lot Dimension
- CSM Name
- Streets
- Tax Key
- Block Number
- Plat Name
- Highway Labels
- LOCAL
- CTH

Zoning Map - Bela, LLC CSM



7/1/2024, 12:20:31 PM

Zoning

ID: Industrial District

RC: Residential Single-Family

RT: Residential Two-Family

No Zoning Designation

1:4,800
0 0.04 0.08 0.1 0.16 mi
0 0.05 0.1 0.15 km

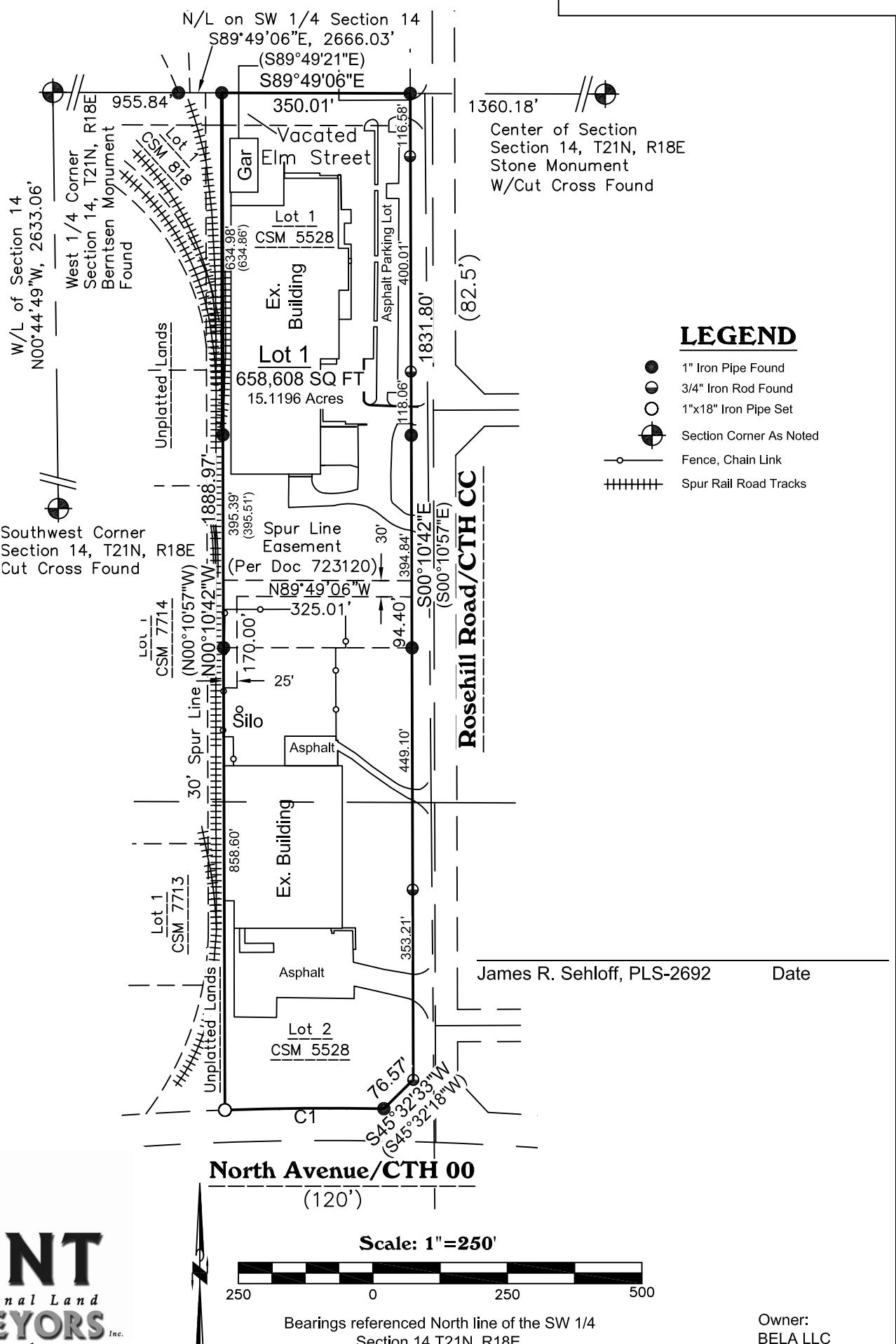
Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute

Robert E. Lee & Associates, Inc., Outagamie County

CERTIFIED SURVEY MAP

All of Lots 1 and 2, Certified Survey Map 5528, located in part of the Northwest 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Village of Little Chute, Outagamie County, Wisconsin.



CERTIFIED SURVEY MAP

All of Lots 1 and 2, Certified Survey Map 5528, located in part of the Northwest 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Village of Little Chute, Outagamie County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, James R. Sehloff, Professional Land Surveyor S-2692-008, do hereby certify that I have surveyed, combined and mapped All of Lots 1 and 2, Certified Survey Map 5528, located in part of the Northwest 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Village of Little Chute, Outagamie County, Wisconsin, having an area of 658,608 square feet (15.1196 acres), more or less and subject to all easements and restrictions of record.

I do hereby further certify that I have made such survey under the direction of Bella LLC, owner, and that this map is a correct representation of the exterior boundary of the lands surveyed and the division thereof, and that this survey fully complies with the Chapter 236.34 of the Wisconsin Statutes, the Village of Little Chute Subdivision Ordinance, Subdivision Ordinance and is true and correct to the best of my knowledge and belief. Field work completed on 06/06/2024.

Dated this _____ day of _____, 2024

James R Sehloff, S-2692-008

CURVE TABLE

Curve	Radius	Arc Length	Delta	Chord Bearing	Chord Length	Bearing-In	Bearing-Out
C1	5622.51'	295.22'	3°00'30"	S89°31'40"W	295.19'	N88°58'04"W	S88°01'25"W

CERTIFIED SURVEY MAP

All of Lots 1 and 2, Certified Survey Map 5528, located in part of the Northwest 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Village of Little Chute, Outagamie County, Wisconsin.

OWNER'S CERTIFICATE:

Bella LLC, a Limited Liability Company, duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, does hereby certify that we caused the land described herein to be surveyed, mapped, and combined as represented on this Certified Survey Map.

We also certify that this Certified Survey Map is required to be submitted to the following for approval:

Village of Little Chute

Managing Member Bella LLC

Date

Print Name

STATE OF WISCONSIN)
COUNTY OF OCONTO) ss

Personally came before me this _____ day of _____ 2024, the above named owners to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public

My Commission Expires _____

James R Sehloff, S-2692-008

CERTIFIED SURVEY MAP

All of Lots 1 and 2, Certified Survey Map 5528, located in part of the Northwest 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Village of Little Chute, Outagamie County, Wisconsin.

Village of Little Chute Approval:

Approved by the Village of Little Chute Board on this _____ day of _____, 2024.

Michael Vanden Berg, Village President

Lori Decker, Village Clerk

Treasurers' Certificate:

We, being duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Lisa Remiker-Dewall, Date
V. Little Chute Finance Director

Trent Woelfel Date
Outagamie County Treasure

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property Owner of Record	Recording Information	Parcel Number(s)
BELA LLC	Doc 1221251	260127401 & 260127404