



# AGENDA

## VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, September 8, 2025

TIME: 5:00 p.m.

Join Zoom Meeting

<https://us06web.zoom.us/j/81545149589>

Meeting ID: 815 4514 9589

One tap mobile

+13052241968,,81545149589# US

A. Call to Order

B. Roll Call

C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of August 11, 2025
2. Discussion/Action – Site Plan, Vosters Electric Light Industrial Flex Building
3. Discussion/Action – Certified Survey Map, Pine Street Parking Lot
4. Discussion/Action – Certified Survey Map, Beardsley/Kadonsky
5. Discussion/Action – Rezoning, Little Chute Fire Station
6. Discussion/Action – Site Plan, Little Chute Fire Station
7. Items for Future Agenda
8. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 September 4, 2025

## MINUTES OF THE PLAN COMMISSION MEETING OF AUGUST 11, 2025

### Call to Order

The Plan Commission meeting was called to order at 5:00 PM by President Vanden Berg

### Roll Call

PRESENT: President Vanden Berg  
Jim Moes  
Bill Van Berkel  
Larry Van Lankvelt  
Tom Lonsway

STAFF PRESENT: Jessical Titel  
Beau Bernhoft  
Robert Givens

### Public Appearance for Items Not on the Agenda

None

### Approval of Minutes from the Plan Commission Meeting of July 14, 2025

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to approve the Plan Commission Meeting Minutes of July 14, 2025 as presented.*

All Ayes – Motion Carried

### Discussion/Possible Action—Certified Survey Map, Little Chute Fire Station Two-Lot CSM

An application for a two-lot CSM was recently submitted to the Village. The proposed CSM would combine the existing thirteen lots south of Hans Parkway into one lot and the three existing parcels north of Hans Parkway into a second lot. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on August 20 for final action. The CSM is attached to this report for Plan Commission review.

*Moved by Commissioner Moes, seconded by Commissioner Van Berkel to approve the CSM as presented.*

All Ayes – Motion Carried

### Items for Future Agenda

None

### Adjournment

*Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Adjourn the Plan Commission Meeting at 5:04 p.m.*

All Ayes – Motion Carried

## VILLAGE OF LITTLE CHUTE

By: \_\_\_\_\_  
Michael Vanden Berg, Village President

Attest: \_\_\_\_\_  
Laurie Decker, Village Clerk



## Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/3/25

Agenda Item Topic: **Site Plan – Vosters Electric Flex Building**

Prepared By: Jessica Titel, Community Development Department

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**Applicant:** Brandon Robaidek, Robert E. Lee & Associates, Inc.

**Owner:** Bayland Buildings, Inc

**Address/Parcel #:** 1401 W. Evergreen Drive/Parcel #260439601

**Request:** An application for Site Plan review has been submitted for the construction of a new light industrial flex building.

**Zoning Classification:** ID Industrial District

**Project Summary/Background:** The project includes the construction of a new light industrial flex building on a vacant 2.11 acre parcel of land. The proposed building will be approximately 12,000 square in area. The project will include a parking lot with 36 parking spaces. Access to the site will be via Evergreen Drive.

The Village Board recently approved a Certified Survey Map to create the subject parcel.

**Recommendation/Board Action:** Staff is recommending Plan Commission approval of the Site Plan, subject to the satisfaction of all staff comments.

Respectfully Submitted,  
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$600
Receipt #	
Account #	4-407
Date Received	

## Site Plan Review Application (new construction, additions > 10,000 square feet)

PROPERTY OWNER		APPLICANT			
Name: Bayland Buildings, Inc.		Name: Brandon Robaidek			
Mailing Address: 3323 Bay Ridge Ct		Company: Robert E. Lee and Associates, Inc.			
City/State/Zip: Hobart, WI 54155		Address: 1250 Centennial Centre Blvd			
Phone: 920-371-6200		City/State/Zip: Hobart, WI 54155			
Email: dobrien@baylandbuildings.com		Phone: 920-662-9641			
		Email: brobaidek@releeinc.com			
PROPERTY & PROJECT INFORMATION					
Parcel Number: 260439600 (CSM in Progress)					
Site Address/Location: 1401 West Evergreen Drive					
Current Zoning: Industrial		Proposed Zoning: Industrial			
Current Use: Vacant		Proposed Use: Contractor Shops			
Current number of employees: 0		Proposed number of employees: 16			
Existing building floor area: 0		Proposed building floor area: 12,000 s.f.			
Existing number of parking stalls: 0		Proposed number of parking stalls: 18			
Percent of existing impervious surface: 0		Percent of proposed impervious surface: 36.2%			
Describe the proposed project: The proposed development includes the construction of a 12,000 square foot building and paved area for drive lanes and parking.					
Applicant Statement					
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.					
Applicant/Owner Signature:			Date: 8/14/25		





Village of Little Chute  
108 W Main St.  
Little Chute, WI 54140

Community Development Department  
PH: (920) 423-3870  
Email: jessica@littlechutewi.org

# Vicinity Map - Vosters Electric Flex Building



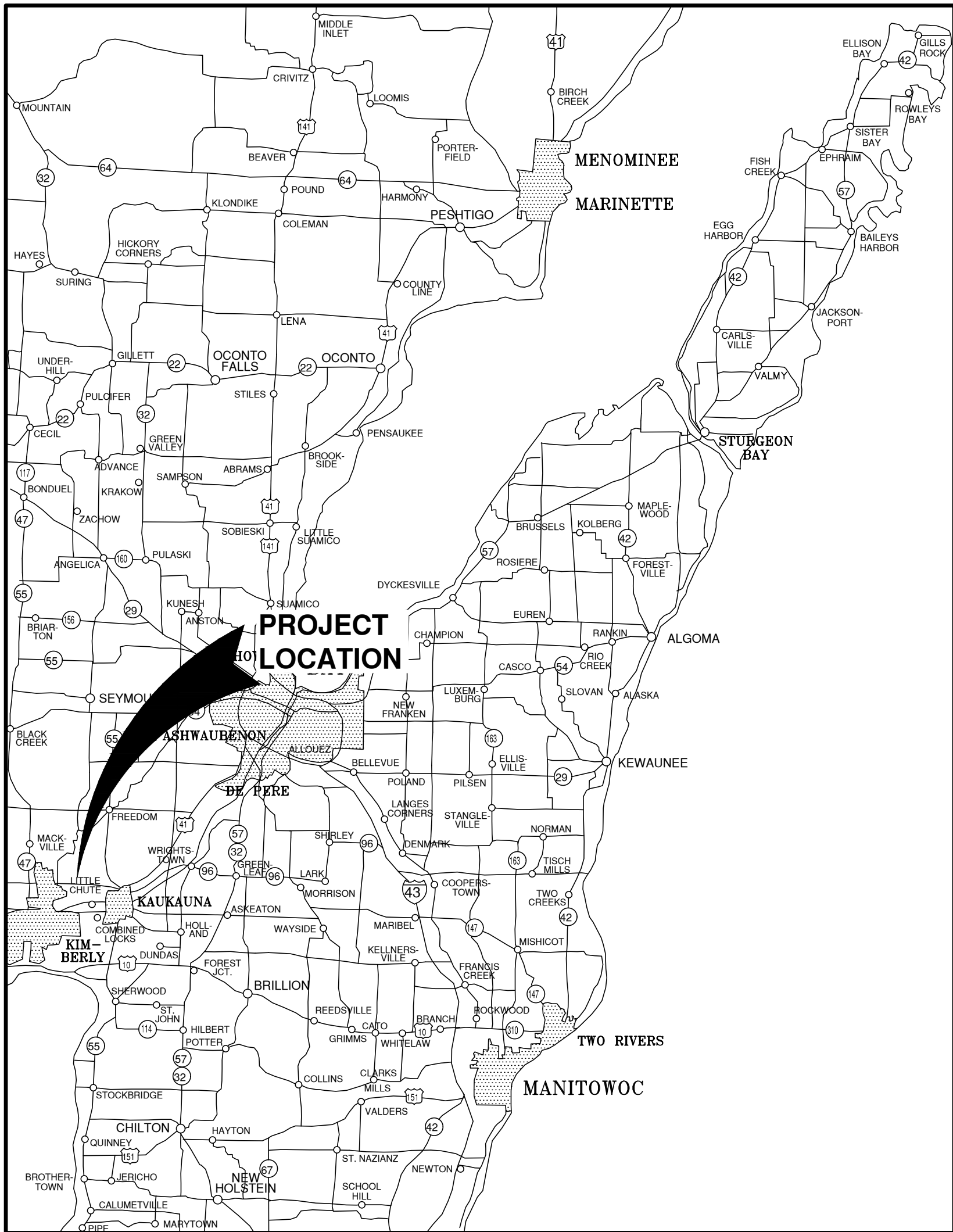
9/4/2025, 12:35:54 PM

 Tax Parcel Information  Streets  
 PLSS Sections  LOCAL

1:2,257  
0 0.01 0.03 0.05 mi  
0 0.02 0.04 0.08 km

VOSTERS ELECTRIC SITE DEVELOPMENT  
FOR BAYLAND BUILDINGS, INC.  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!  
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE  
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE  
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.  
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.  
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



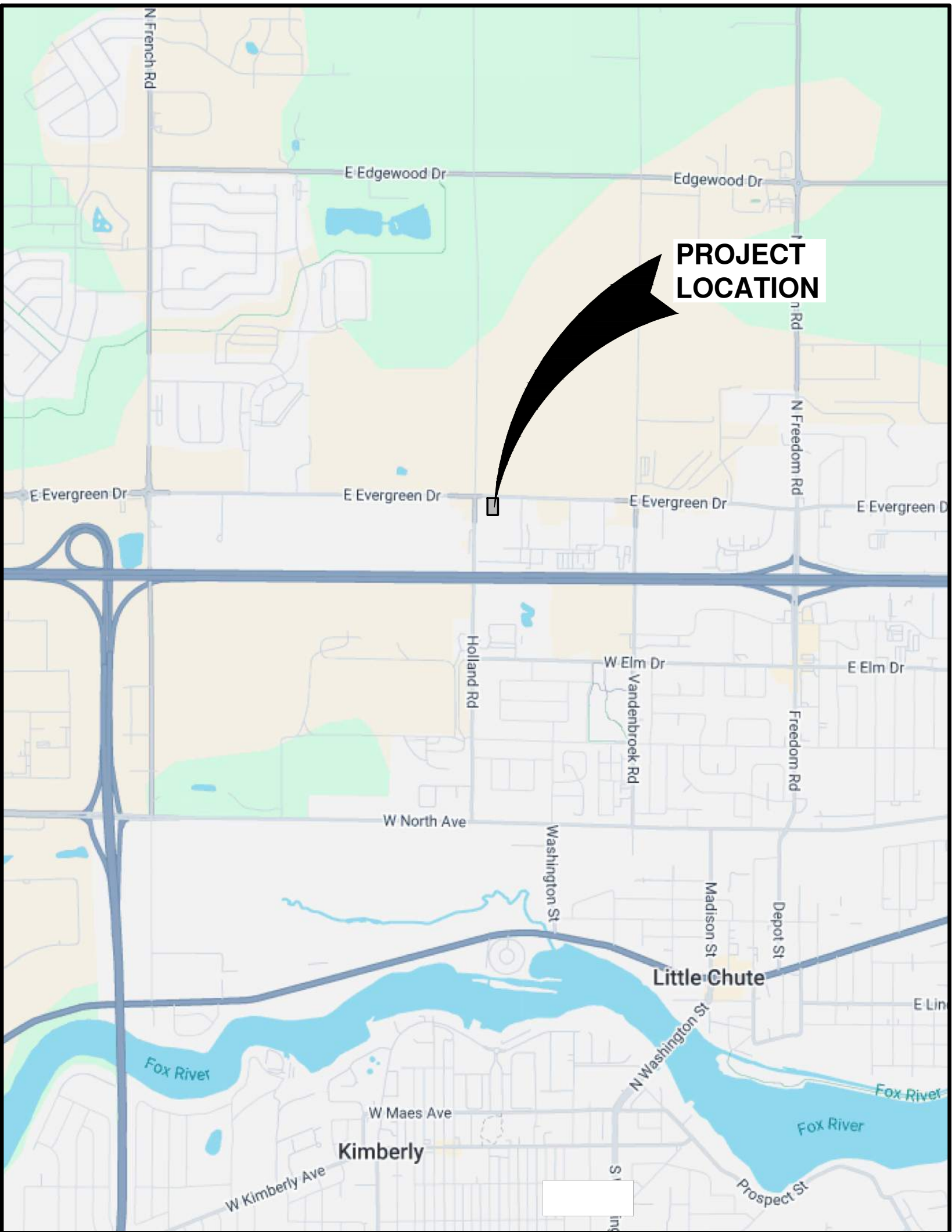
VICINITY MAP

NOTE:  
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE  
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES,  
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY  
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO  
EXCAVATION.

NOTE:  
ALL EROSION CONTROL MEASURES SHALL  
BE IN PLACE PRIOR TO CONSTRUCTION  
AND SHALL CONFORM TO THE WISCONSIN  
DEPARTMENT OF NATURAL RESOURCES  
CONSTRUCTION SITE EROSION CONTROL  
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

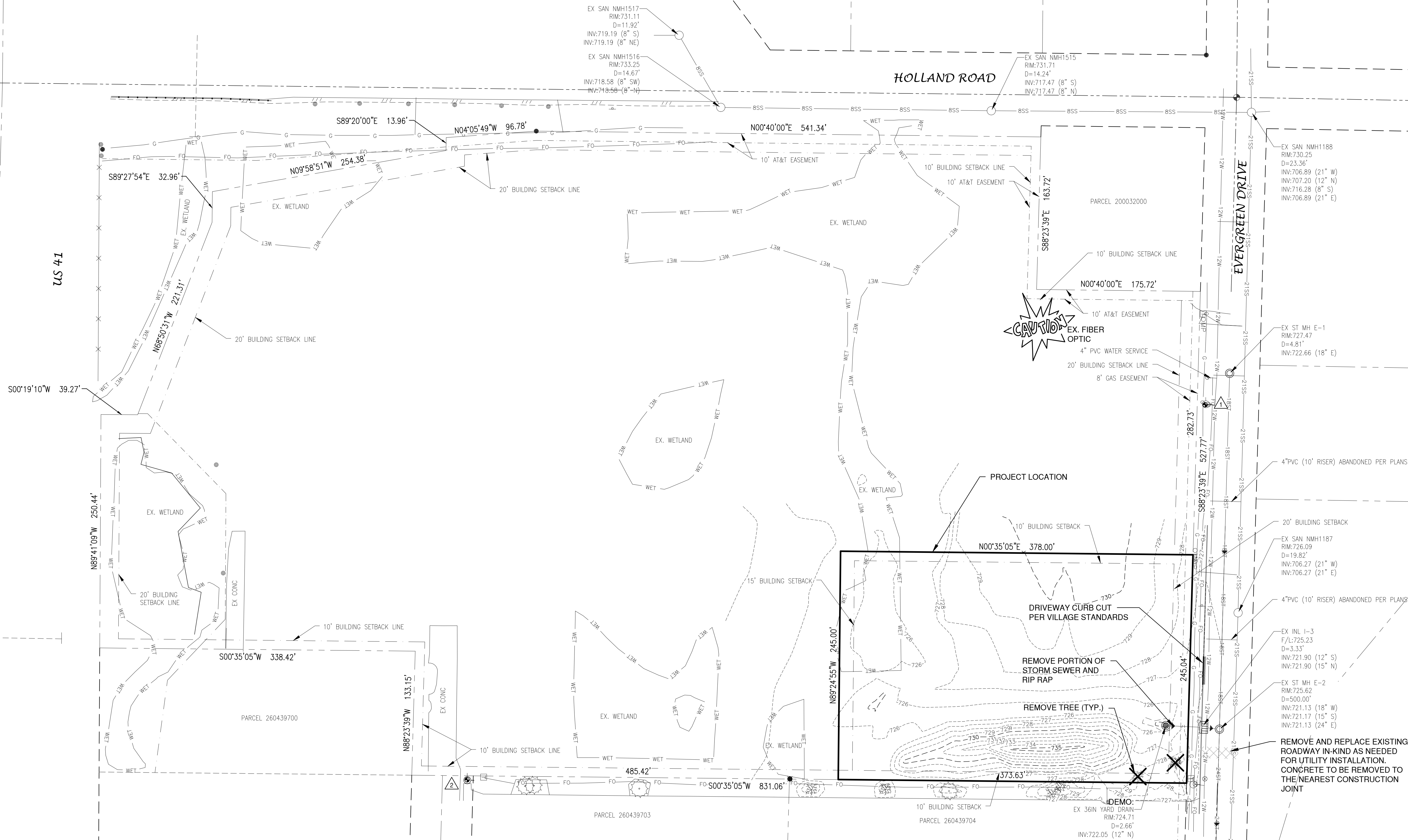
SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING PLAN
6	EROSION CONTROL PLAN
7	POND DETAIL
8	MISCELLANEOUS DETAILS
9	MISCELLANEOUS DETAILS
10	MISCELLANEOUS DETAILS
11	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
12	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
13	EROSION CONTROL - SHEET FLOW DETAILS
14	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
15	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
16	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN



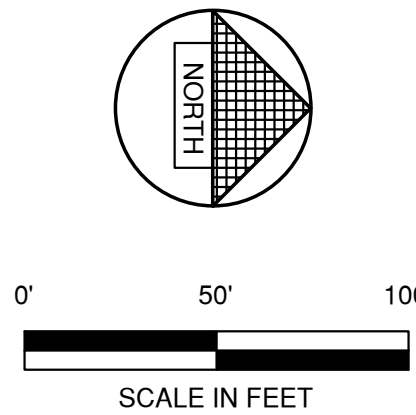
LOCATION MAP


NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	VOSTERS ELECTRIC SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	LOCATION MAPS AND INDEX TO DRAWINGS	DATE 07/2025 FILE 2035570C JOB NO. 2035570	REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO. C
								CHECKED					
								DESIGNED BDR					

File: R:\2020\20355701\443\20355701.dwg  
Plot Date: Aug 14, 2025 7:10:20m  
LAYOUT: EX SITE

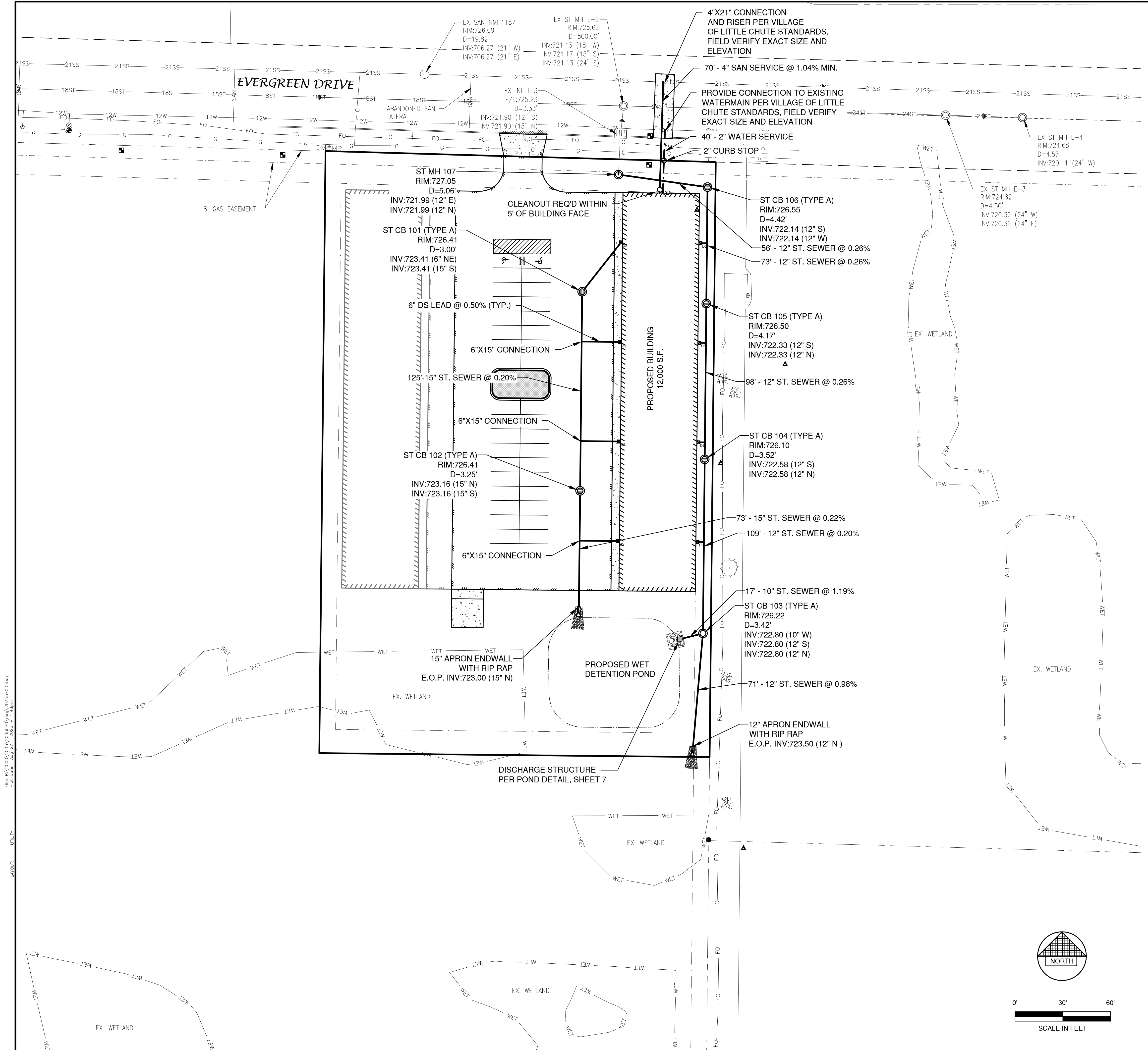


BENCHMARK		
BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.		
FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
1	BURY TAG ON HYDRANT	731.12
2	BURY TAG ON HYDRANT	729.97



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	VOSTERS ELECTRIC SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	EXISTING SITE CONDITIONS	DATE 07/2025	 <b>Robert E. Lee</b> & Associates, Inc. 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO.
								CHECKED			FILE 20355701		2
								DESIGNED BBR			JOB NO. 2035570		



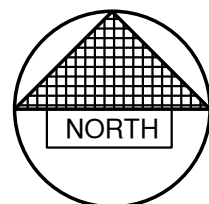


LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED STORM SEWER
- EXISTING STORM SEWER (SIZE NOTED)
- PROPOSED WATERMAIN
- EXISTING WATERMAIN (SIZE NOTED)
- PROPOSED
- EXISTING
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- LIFT STATION
- TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- YARD DRAIN
- STANDPIPE
- ROOF DOWNSPOUT
- DISCHARGE STRUCTURE

NOTE

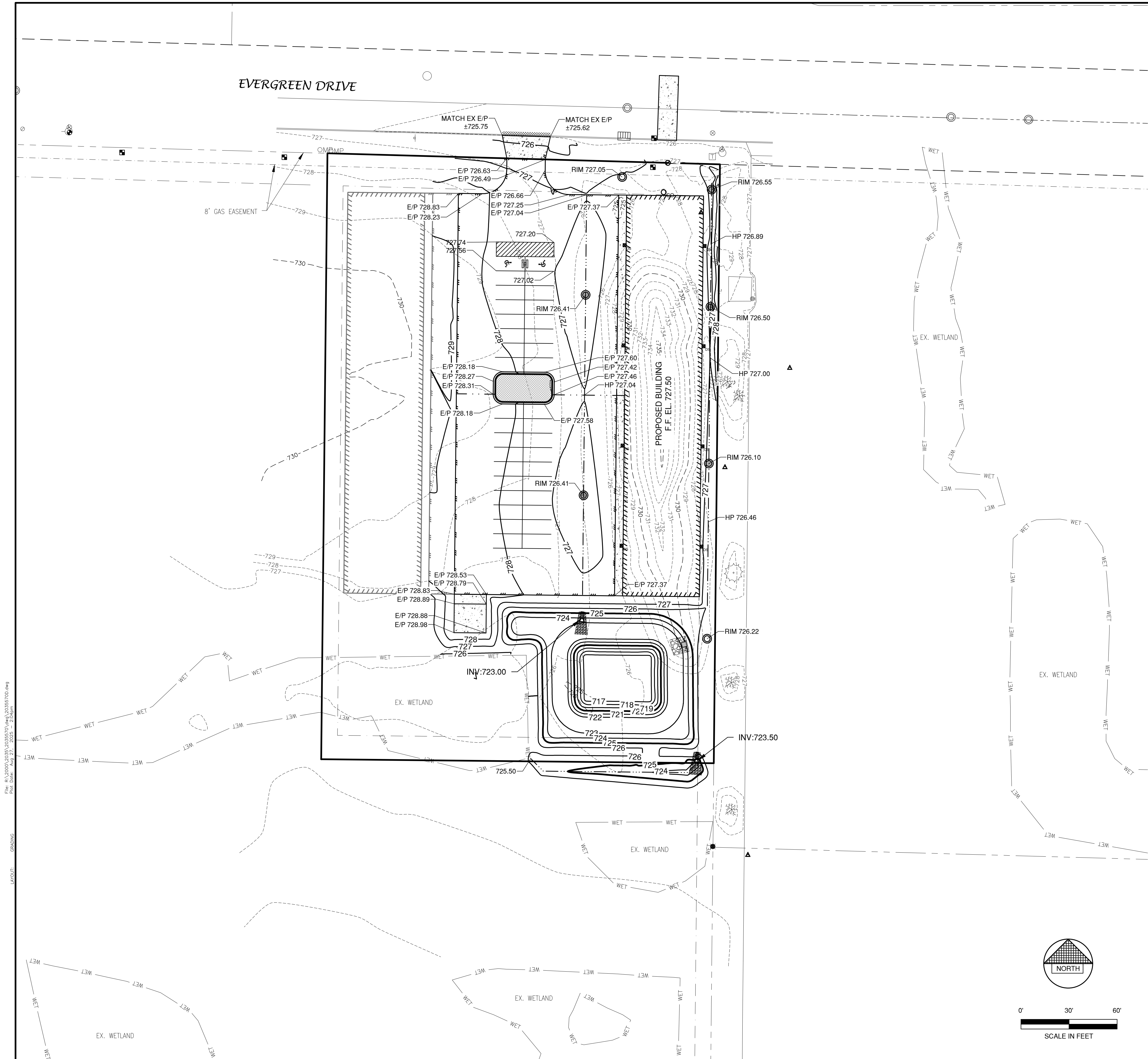
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
- SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
- FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
- ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



0' 30' 60'  
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	VOSTERS ELECTRIC SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	UTILITY PLAN	DATE 07/2025	 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO. 4
								CHECKED			FILE 20355700		
								DESIGNED BBR			JOB NO. 2035570		

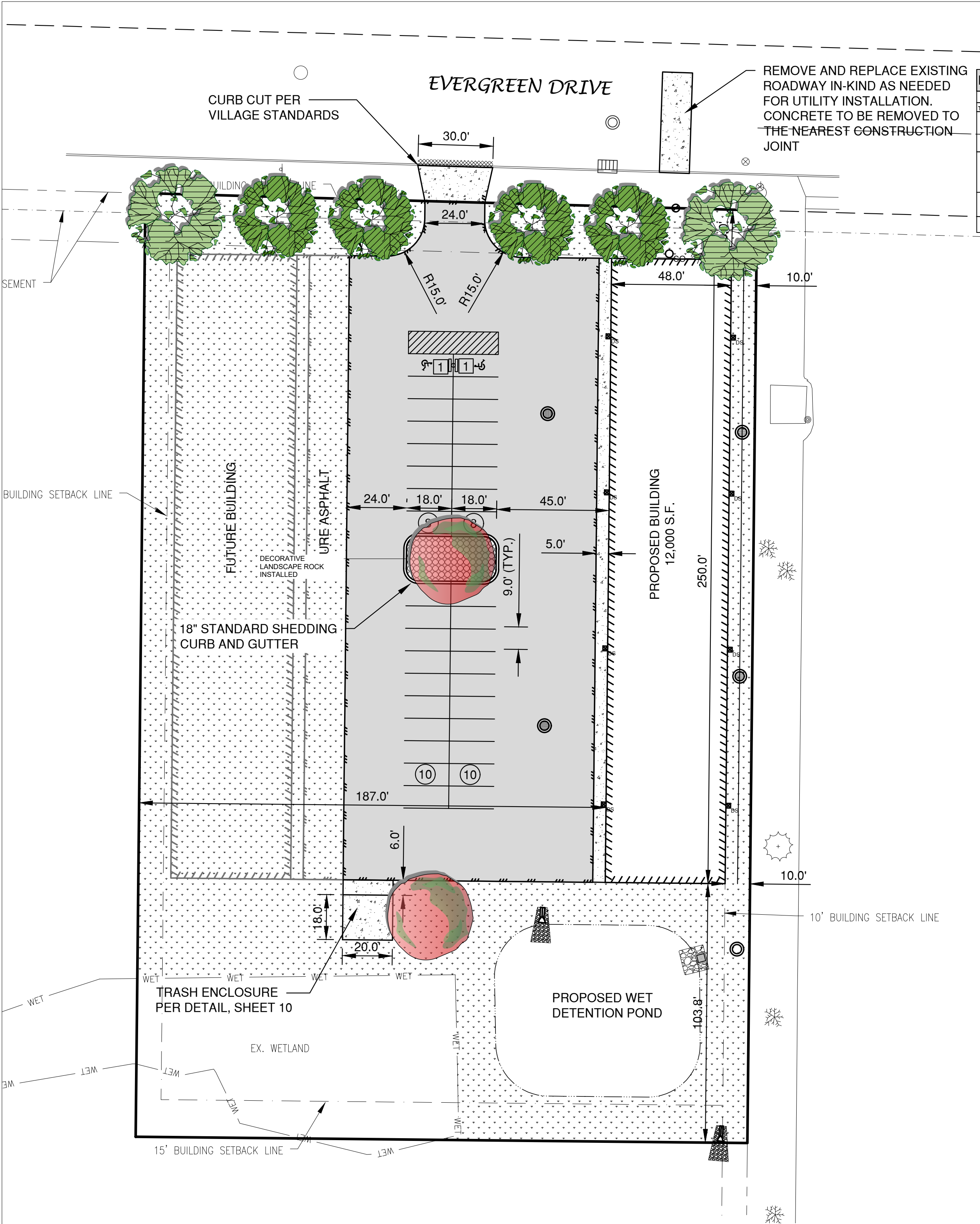
File: R:\2005-2015\20155700.dwg Plot Date: Aug 27, 2025 2:14pm  
GRADING  
LAYOUT






LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DIVIDE
- FLOW ARROW

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	VOSTERS ELECTRIC SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	GRADING PLAN	DATE 07/2025	 Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO. 5
								CHECKED			FILE 20355700		
								DESIGNED			JOB NO. 2035570		
								BDP					



Planting Schedule				
	Qty	Common Name	Botanical Name	Scheduled Size
Trees				
	4	Kentucky Coffeetree	Gymnocladus dioica	2" Cal.
	2	Northern Red Oak	Quercus rubra	2" Cal.
	2	Skyline Honeylocust	Gleditsia triacanthos inermis 'Skyline'	2" Cal.

Landscape Installation Notes:

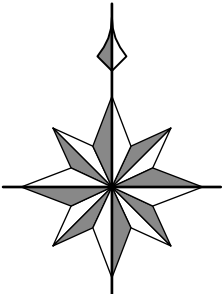
GENERAL:

- Landscape Contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
- Landscape Contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
- All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
- Quantities of material shown on plan take precedence over the specification list or legend.
- If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.
- Irrigation system required and to be designed by qualified Irrigation Contractor - system must be programmable and capable of odd/even day use.
- This proposed landscape plan will mitigate/enhance site conditions in accordance to city requirements.

PLANTING:

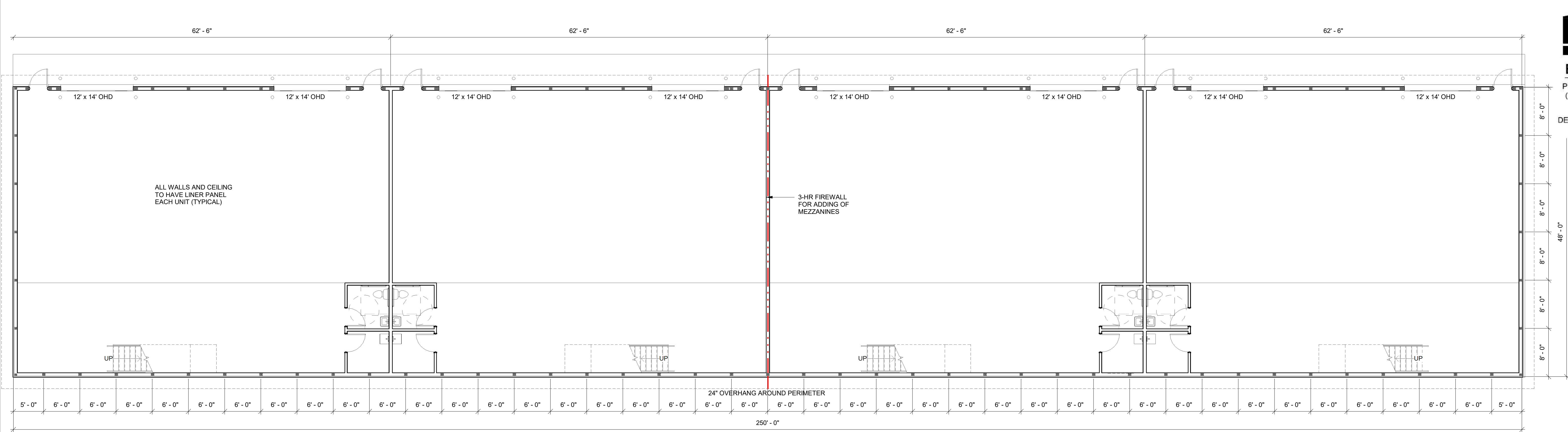
- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
- All plant tags should be removed from material by Landscape Contractor.
- All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
- Edge all beds with a spade cut edge unless otherwise noted.
- All backfill around plant material should be removed during planting.
- All wire baskets and stakes should be removed during planting.
- Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
- All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.
- Tree wrap, if used, is to be installed by November 1 and to be removed by April 1.

1" = 30'



No.	Date	By	Revision Notes
Project Address		Vosters Electric Site Development Evergreen Drive Little Chute, WI 54913	
<div>elevate outdoor</div>			
Design Firm		Elevate Outdoor LLC. 1112 Bryan Road O'Fallon, Missouri 63366	
Consultant		Mark Gawriluk <div></div>	
Project Title			
Vosters Electric Site Development			
Sheet Title			
Landscape Plan			
Project Manager		Project ID	
Drawn By MVG		Scale 1" = 30'	
Reviewed By		Sheet No.	
Date 8/28/2025		L-1 _____ of _____	
		1	

10/7/2024 2:11:36 PM



### FLOOR PLAN - OVERALL

1 /A1.0 SCALE = 1/8" = 1'-0"

BASE LAYER 1/2" PROPRIETARY TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE OF 1 5/8" STEEL STUDS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 24" O.C. SECOND LAYER 1/2" PROPRIETARY TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED TO EACH SIDE WITH 1 5/8" TYPE S DRYWALL SCREWS 24" O.C. FACE LAYER 1/2" PROPRIETARY TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE WITH 2 1/4" TYPE S DRYWALL SCREWS 12" O.C. AND 1 1/2" TYPE G DRYWALL SCREWS MIDWAY BETWEEN STUDS 1" ABOVE AND BELOW HORIZONTAL JOINTS FOR RIGHT ANGLE APPLICATION.

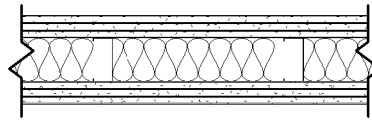
JOINTS STAGGERED 24" EACH LAYER AND SIDE. SOUND TESTED WITH 1 1/2" MINERAL FIBER INSULATION FRICTION FIT IN STUD SPACE. (NLB)

UNLESS OTHERWISE SPECIFIED, THE GYPSUM FACE LAYERS, EXCEPT THOSE WITH PREDECORATED OR METAL COVERED SURFACES, SHALL HAVE JOINTS TAPED (MINIMUM LEVEL 1 AS SPECIFIED IN GA-214, RECOMMENDED LEVELS OF GYPSUM BOARD FINISH) AND FASTENER HEADS TREATED. BASE LAYERS IN MULTI-LAYER SYSTEMS SHALL NOT BE REQUIRED TO HAVE JOINTS TAPED.

THICKNESS: 4-5/8"  
LIMITING HEIGHT: REFER TO MNFT" R.  
APPROX. WEIGHT: 13 PSF  
FIRE TESTS: UL R1319-138, 139  
5-27-82  
UL DESIGN U435

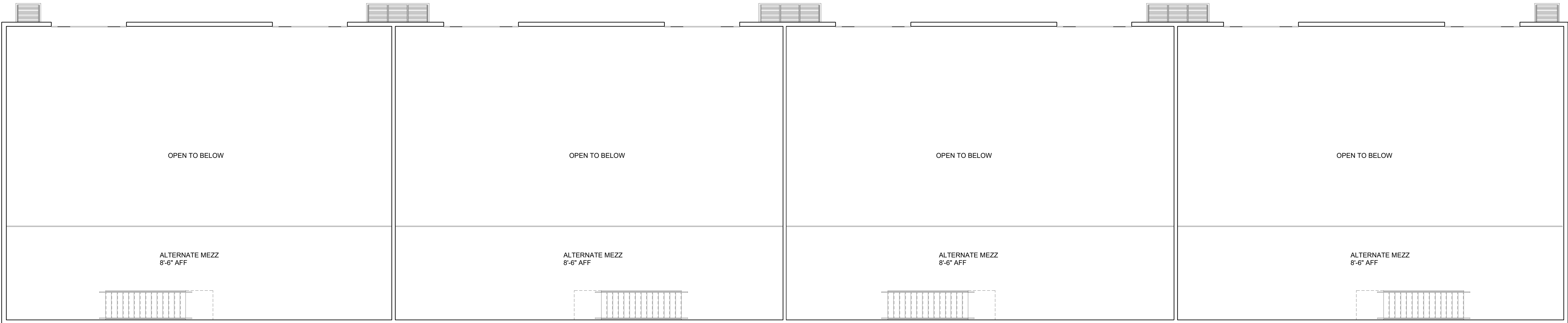
FIELD SOUND TEST: SA-830112

UNITED STATES GYPSUM COMPANY  
1/2" SHEETROCK BRAND GYPSUM  
PANELS, FIRECODE C CORE



### 3-HR MTL. STUD WALL GA FILE NO. WP 2800

3 /A1.0 SCALE = 3/4" = 1'-0"



### ALT. MEZZ

2 /A1.0 SCALE = 1/8" = 1'-0"



### BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:

24-3860

, WISCONSIN; COUNTY OF:

### SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO  
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER  
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED  
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS  
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION  
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL  
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND  
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION  
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING  
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF  
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY  
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: -

PROJECT  
EXECUTIVE: MATT RITTER  
(920)371-3462

DRAWN BY: DPO

DATE: 09/12/2024

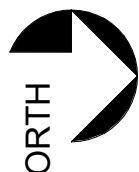
REVISIONS:

ISSUED FOR: CHECKED DATE:  
BY:

- ☒ PRELIMINARY  
☐ BID SET  
☐ DESIGN REVIEW  
☐ CHECKSET  
☐ CONSTRUCTION

OVERALL FLOOR PLAN

A1.0





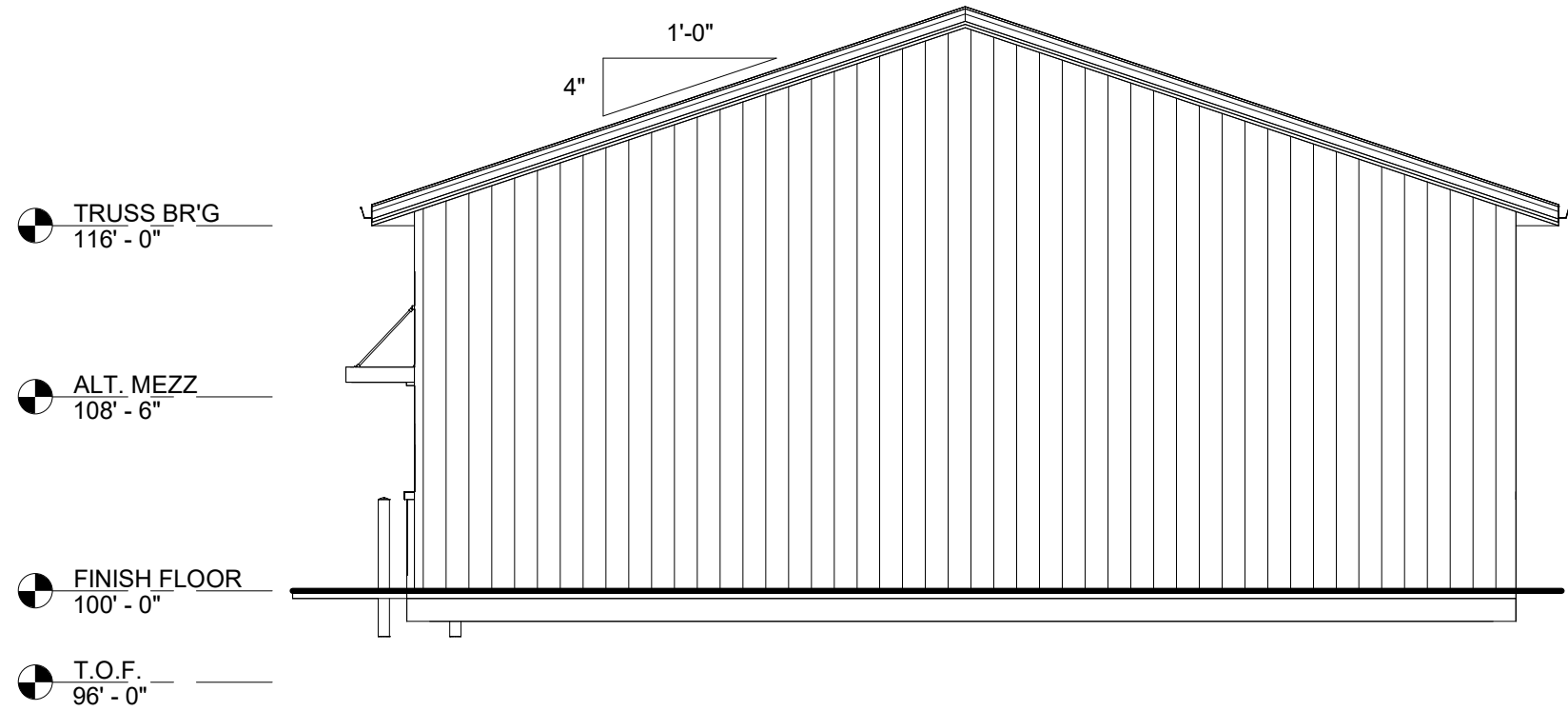
BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

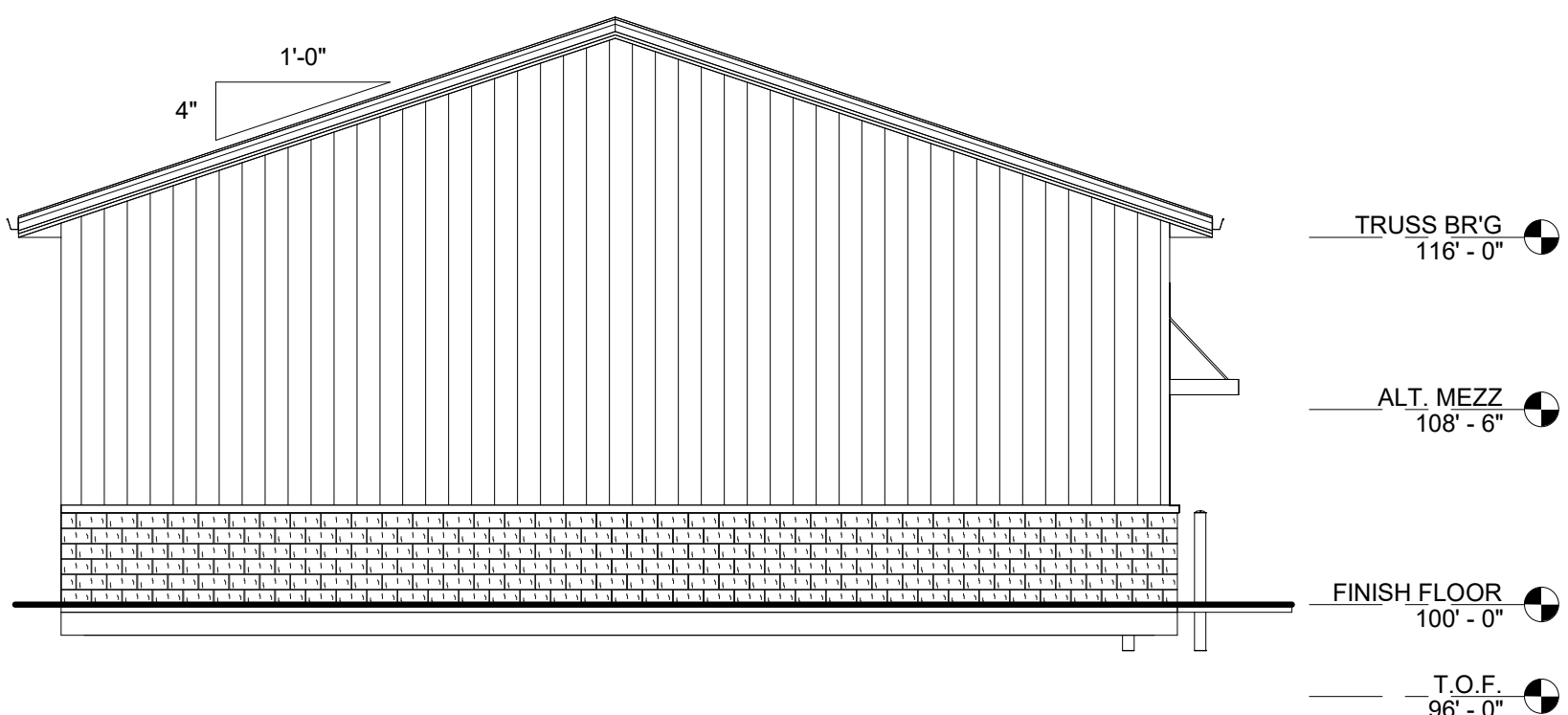
EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MB-1	LOCATION: WALL PANEL MATERIAL: 26GA SEMI-CONCEALED SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MB-2	LOCATION: WALL PANEL MATERIAL: HORIZONTAL MTL. PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
ACM-1	LOCATION: WALL PANEL MATERIAL: ALUMINUM COMPOSITE METAL PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
CP-1	LOCATION: WALL PANEL MATERIAL: PRECAST CONC. PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MR-1	LOCATION: ROOF PANEL MATERIAL: 26GA SSR SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:



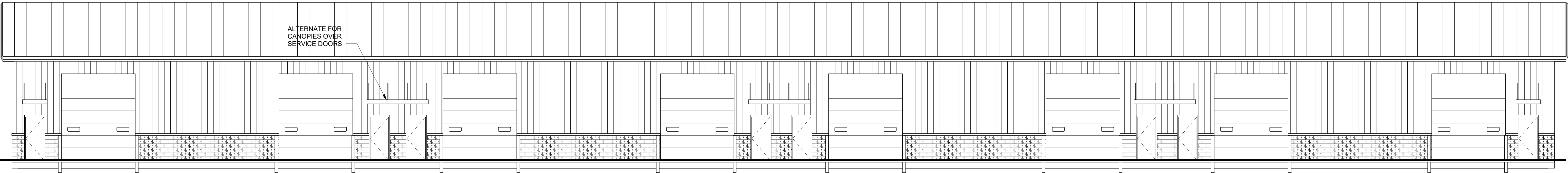
BUILDING ELEVATION - SOUTH

1 /A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - NORTH

4 /A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - WEST

2 /A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - EAST

3 /A2.0 SCALE = 1/8" = 1'-0"

PROPOSED BUILDING FOR:

24-3860

, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO  
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER  
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DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS  
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ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION  
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REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF  
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY  
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: -

PROJECT EXECUTIVE: MATT RITTER  
(920)371-3462

DRAWN BY: DPO

DATE: 09/12/2024

REVISIONS:

ISSUED FOR: CHECKED BY: DATE:

- ☒ PRELIMINARY  
☐ BID SET  
☐ DESIGN REVIEW  
☐ CHECKSET  
☐ CONSTRUCTION

EXTERIOR ELEVATIONS

A2.0



## Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/4/25

Agenda Item Topic: **CSM – Pine Street Parking Lot**

Prepared By: Jessica Titel, Community Development Department

---

**Applicant/Owner:** Village of Little Chute

**Location:** Pine Street public parking lot

**Parcel #s:** 260041100, 260042800, 260042900, 260043200, 260043300, 26004490, 260044800, 260044400 & 260041700 and Part of Parcel #s: 260041200, 260041300 & 260043100

**Request:** An application for a two-lot CSM was recently submitted for review. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on October 1 for final action. The CSM is attached to this report for Plan Commission review.

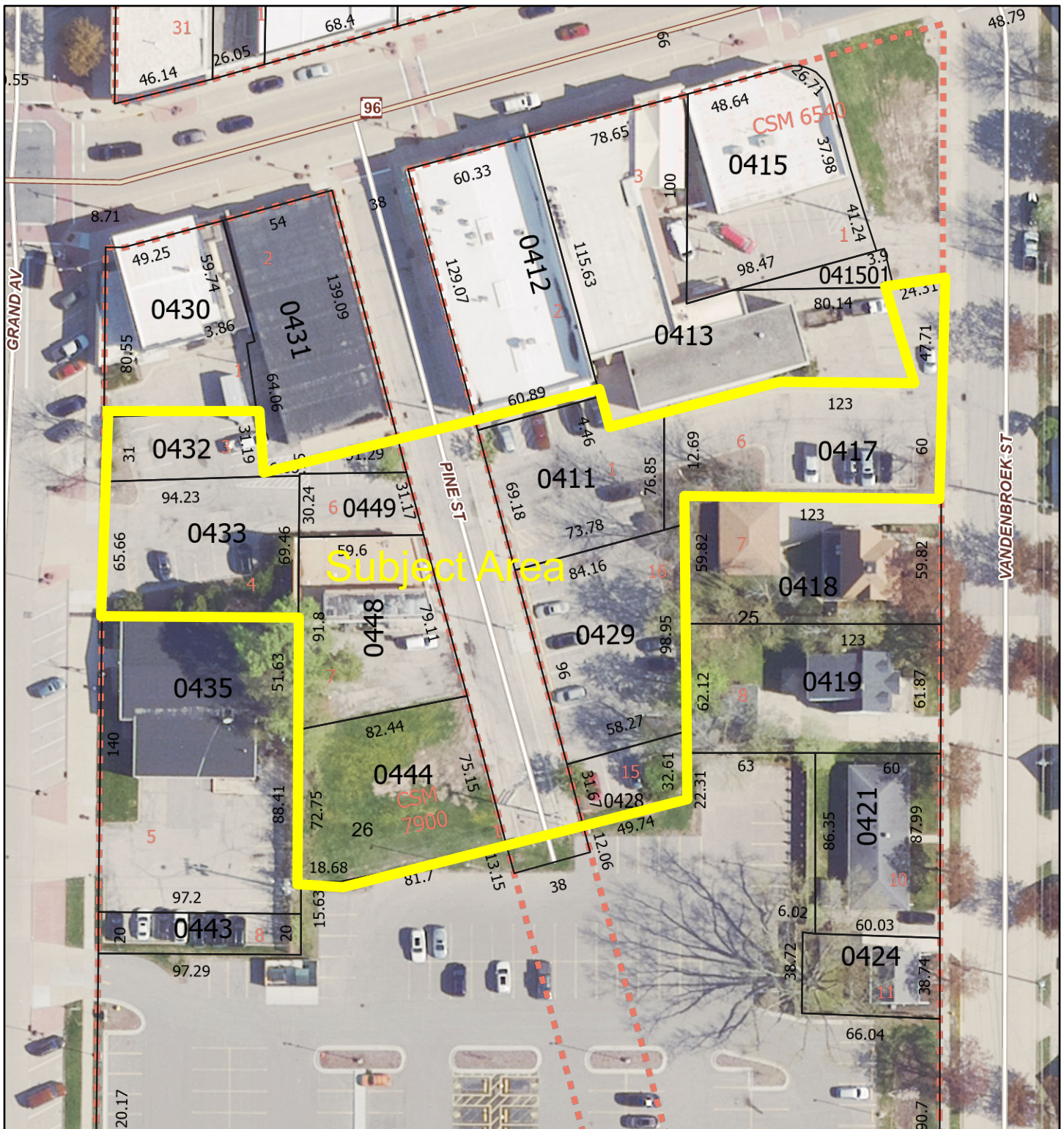
**Zoning Classification:** CBD Central Business District

**Background:** The CSM is being prepared to combine lots and clean up historic property lines in preparation for the reconstruction of the Pine Street public parking lot. The subject area currently contains public parking and vacant land. Quit claim deeds will be prepared to transfer small areas of private property to the Village to ensure all public improvement are located on Village owned property. The proposed CSM reflects the anticipated land transfers. Vacation of a portion of Pine Street has been initiated and the Village Board is expected to adopt to final resolution on October 1. The CSM will be presented for approval at the same meeting as the Pine Street vacation.

**Recommendation/Board Action:** Staff is recommending approval of this CSM to the Village Board, subject to satisfaction of all staff comments.

Respectfully Submitted,  
Jessica Titel, Community Development Director

# Vicinity Map - Pine Street Parking Lot CSM



9/4/2025, 11:57:04 AM

Tax Parcel Information Streets

PLSS Sections

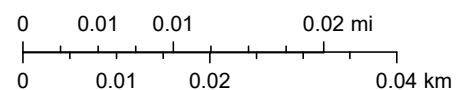
Plat Boundary Lines

Plat Boundary

LOCAL

STH

1:1,128



**Sheet 1 of 5**

Northeast Corner  
Section 21, T21N, R18E  
3/4" Rebar Found



Date \_\_\_\_\_

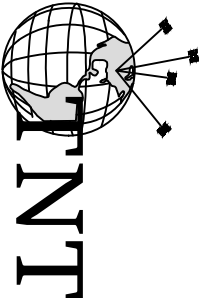
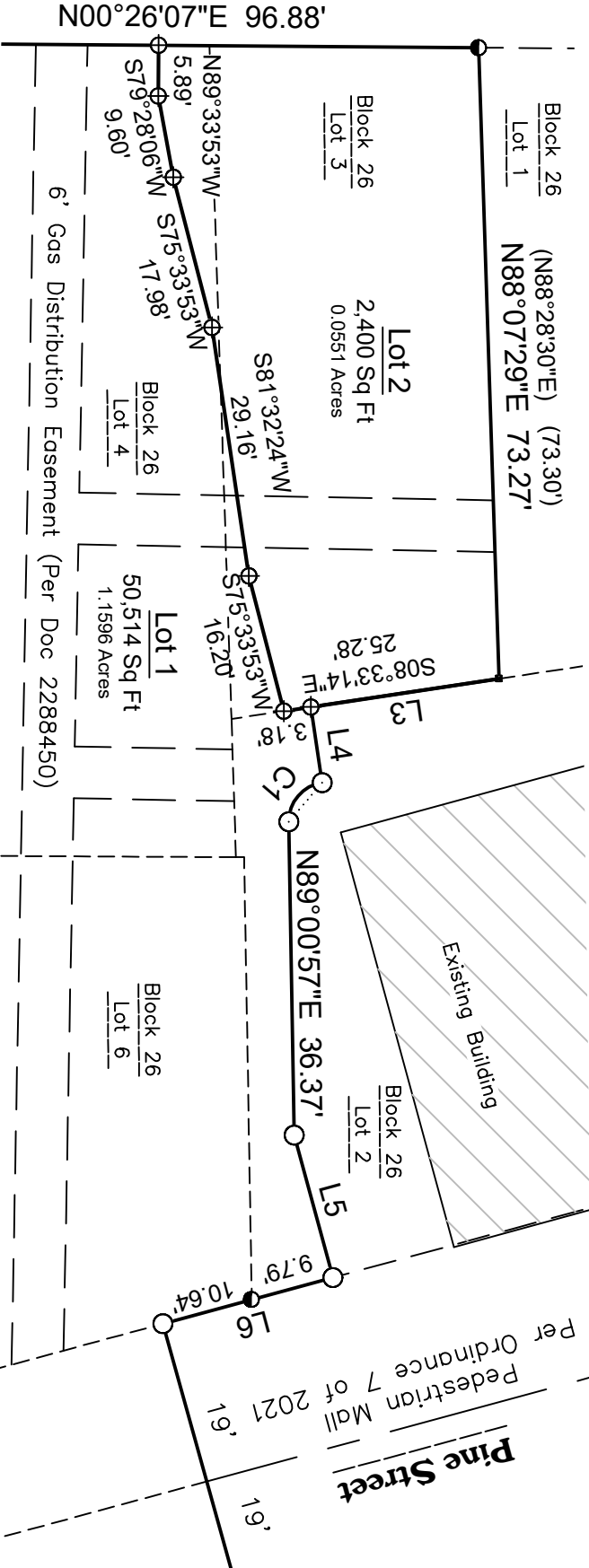
CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 26; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No \_\_\_\_\_ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

LEGEND

- 1.3" OD x18" Iron Pipe @ 1.68 lbs/LF Set
- ⊕ Cut Cross Set
- ▲ Masonry Nail, Set
- ▲ Masonry Nail, Found
- 1" Iron Pipe Found
- 3/4" Rebar Found
- ⊠ Cut Cross Found
- ⊠ Railroad Spike, Found
- ⊕ Section Corner As Noted

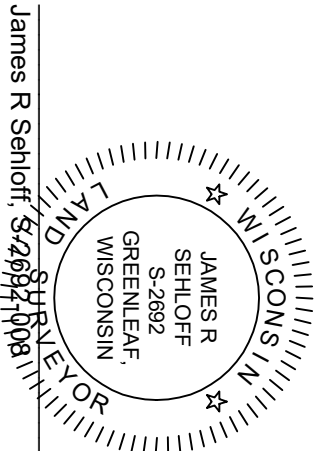
Grand Avenue (90')



Professional Land  
SURVEYORS Inc.

2165 S. Broadway  
Green Bay, WI 54304  
(920)406-1477

Job # 0625-106  
T:\2025\0625-106- Little Chute - CSMDrawings\



Date



Scale: 1" = 20'

Bearings referenced East line of the  
Northeast 1/4 Section 21, T21N, R18E,  
published to bear S00°28'56"W  
Based on the Outagamie County  
Coordinate System

# CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No \_\_\_\_\_ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

SURVEYOR'S CERTIFICATE:  
I, James R Sehloff, Professional Land Surveyor S-2692, do hereby certify: that in full compliance with the provisions of Chapter 236.34 of Wisconsin Statutes, subdivision regulations of the Village of Little Chute; under the direction of Village of Little Chute, the property owner of subject parcels, I have surveyed, combined and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the combination of the lands surveyed; and that this land is Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2, and all of Lot 3, 4, 6 and 7 all in Block 26 of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1 Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin, containing 52,914 Square Feet (1.2147 Acres) described as follows:

Commencing at the East 1/4 Corner, Section 21, T21N, R18E; thence, along the East line of the Northeast 1/4 of said Section 21, N00°28'56"E, 21.66 feet; thence S89°58'59"W, 90.82 feet to the Northeast corner of Lot 7, Block 25 of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 said point being the point of beginning; thence, along the North line of said Lot 7, S89°58'59"W, 123.00 feet to the Northwest Corner of said Lot 7; thence, along the East line of Lots 6, 15 and 16 of said Block 25, S00°01'01"E, 144.25 feet to the Southeast corner of said Lot 15; thence, along the South line of said Lot 15, S74°01'30"W, 68.75 feet to the Center line of discontinued Pine Street; thence, along said Center line, N15°10'58"W, 0.14 feet to the Easterly extension of the South line of Certified Survey Map 7900; thence, along said extension and the South line of Certified Survey Map 7900 recorded as Document No 2194600, S78°27'10"W, 100.82 feet; thence, continuing along said South line, S89°07'32"W, 18.68 feet to a point on the East line of Lot 5, Block 26 of said 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute; thence, along said East line, N01°20'32"W, 72.65 feet; thence continuing along said East line, N00°17'28"E, 51.63 feet to the Northeast corner of said Lot 5; thence, along the North line of said Lot 5, N89°33'53"W, 94.29 feet to the East right of way line of Grand Avenue; thence, along said East right of way line, N00°26'07"E, 96.88 to the Northwest corner of Lot 3 of said Block 26; thence, along the North line of said Lot 3, N88°07'29"E 73.27 feet to the Northeast corner of said Lot 3; thence along the East line of said Lot 3, S08°33'14"E, 22.10 feet; thence N81°26'46"E, 8.88 feet; thence 6.52 Feet along a curve to the left, with a radius of 4.50 feet, and a chord bearing which bears S49°29'22"E, 5.96 feet; thence N89°00'57"E, 36.37 feet; thence N74°49'02"E, 17.13 feet to the West right of way line of Pine Street; thence, along said West right of way line, S15°10'58"E, 20.43 to the North line of Discontinued Pine Street as described in Document No \_\_\_\_\_; thence, along said North line, N74°29'20"E, 38.00 feet to the East right of way line of said Pine Street; thence N15°10'58"W, 25.83 feet; thence, along the face of a building on located on Lot 2 Block 25 and the extension thereof, N74°29'26"E, 79.53 feet to Westerly face of a building on Lot 3 of said Block 25; thence, along said Westerly face of a building, S15°19'28"E, 21.10 feet; thence N74°32'24"E, 64.76 feet; thence N89°59'43"E, 65.54 feet; thence N15°02'35"W, 47.82 feet to the Wout line of Lot 1 of Certified Survey Map 6540; thence, along said South line, N88°31'48"E, 2.47 feet to the South line of lands show to be Dedicated on said Certified Survey Map 6540; thence, along said South line, N74°29'20"E, 24.31 feet to West right of way line of Vandenbroek Street; thence, along said West right of way line, S00°00'20"W, 107.75 feet to the point of beginning, subject to all easements and restrictions of record.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025

James R. Sehloff, S-2692-008

Line Table			
Line	Bearing	(Recorded)	Distance
L1	S15°10'58"E		0.14'
L2	S89°07'32"W	(S89°26'46"W)	18.68'
L3	S08°33'14"E	(N08°12'13"W)	22.10'
L4	S81°26'46"W		8.88'
L5	N74°49'02"E		17.13'
L6	N15°10'58"W		20.43'
L7	N74°29'20"E		38.00'
L8	S15°10'58"E		25.83'
L9	S15°19'28"E		21.10'
L10	N15°02'35"W	(S14°43'44"W)	47.82'
L11	N88°31'48"E	(N88°51'47"W)	2.47'
L12	N74°29'20"E	(S74°49'17"W)	24.31'
L13	N01°20'28"W	(S00°59'27"E)	15.76'
L14	S08°33'14"E	(N08°12'13"W)	32.65'

Curve Table							
Curve	Radius	Arc Length	Delta	Chord Bearing	Chord Length	Bearing-In	Bearing-Out
C1	4.75'	6.88'	82°57'36.0"	S49°30'15"E	6.29'	S08°01'27"E	N89°00'57"E



TNT

Professional Land

SURVEYORS Inc.

2165 S. Broadway

Green Bay, WI 54304

(920)406-1477

Job # 0625-106

# CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No \_\_\_\_\_ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

CORPORATE OWNER'S CERTIFICATE:

The Village of Little Chute, A Municipal Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that the Village of Little Chute caused the land described herein to be surveyed, mapped and combined as represented on this Certified Survey Map. The Village of Little Chute also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

\_\_\_\_\_  
Michael Vanden Berg,                      Date  
Village President

STATE OF WISCONSIN)  
  
COUNTY OF \_\_\_\_\_) ss

Personally came before me this \_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_, the above named owners to me known to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public

My Commission Expires \_\_\_\_\_

**Village of Little Chute Approval:**  
Approved by the Village of Little Chute Board on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Michael Vanden Berg, Village President

\_\_\_\_\_  
Laurie Decker, Village Clerk



TNT

Professional Land

SURVEYORS Inc.

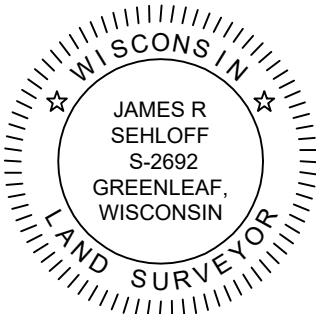
2165 S. Broadway

Green Bay, WI 54304

(920)406-1477

Job # 0625-106

T:\2025\0625-106- Little Chute - CSM\Drawings\



\_\_\_\_\_  
James R Sehloff, S-2692-008                      Date

# CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No \_\_\_\_\_ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

**Treasurers' Certificate:**

We, being duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Lisa Remiker-Dewall,  
V. Little Chute Finance Director

Date

Rochelle Oskey  
Outagamie County Treasure

Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property Owner of Record	Recording Information	Parcel Number(s)	Description
Village of Little Chute	Doc 1965991	260041100	<u>Block 25</u> Lot 1 Part
	Doc _____	260041200 Part	Lot 2 Part
	Doc _____	260041300 Part	Lot 1 & 3 Part
	Doc 1071767	260041700 Part	Lot 3 Part
	Doc 1007812	260041700 Part	Lot 6 Part
	Doc 858720	260042800	Lot 15 All
	Doc 854613	260042900	Lot 16 All
	Doc _____	260043100 Part	<u>Block 26</u> Lot 2 Part
	Doc 923217	260043200	Lot 3 All
	Doc 1082627	260043300	Lot 4 All
	Doc 1024366	260044900	Lot 6 All
	Doc 2341822	260044800	Lot 7 All
	Doc 2213196	260044400	Lot 1 CSM 7900 All
	Doc _____		Discontinued RW of Pine ST



James R Sehloff, S-2692-008

Date



## Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/4/25

Agenda Item Topic: CSM – Beardsley/Kadonsky

Prepared By: Jessica Titel, Community Development Department

---

**Applicant:** Matt Reider, Carow Land Surveying

**Owner:** Michael & Megan Beardsley (1701 W. Main Street) and James & Lorraine Kadonsky (1721 W. Main Street)

**Address/Parcel #:** 1701 & 1721 W. Main Street / Parcel #s: 260298000, 260297900 & 260297800

**Request:** An application for a two-lot CSM was recently submitted for review. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on September 17 for final action. The CSM is attached to this report for Plan Commission review.

**Zoning Classification:** RC Conventional Single-Family Residential

**Background:** The CSM is taking three existing lots and creating two new lots. The shared lot line on the west side of 1701 W. Main Street is being realigned to allow for the construction of a new two-car garage. The proposed CSM also combines the two parcels at 1721 W. Main Street, removing the existing lot line that currently runs through the home. Proposed Lot 1 will be 21,600 square feet and proposed Lot 2 will be 13,100 square feet. The subject area currently contains two existing homes.

**Recommendation/Board Action:** Staff is recommending approval of this CSM to the Village Board.

Respectfully Submitted,  
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$150
Receipt #	
Account #	4-402
Date Received	

## Certified Survey Map Application (4 lots or less)

PROPERTY OWNER		SURVEYOR/APPLICANT			
Name: <i>Mike Beardsley</i>		Name: <i>Matt Reider</i>			
Mailing Address: <i>1701 W. Main St.</i>		Company: <i>Carow Land Surveying</i>			
City/State/Zip: <i>Little Chute, WI 54140</i>		Address: <i>615 N. Lyndale Dr.</i>			
Phone: <i>920-750-8738</i>		City/State/Zip: <i>Appleton, WI 54914</i>			
Email: <i>mike.beardsley24@gmail.com</i>		Phone: <i>920-731-4168</i>			
		Email: <i>matt@clse.pro</i>			
PROPERTY & PROJECT INFORMATION					
Parcel Number: <i>260 297800, 260 297900 + 260 298000</i>					
Site Address/Location: <i>1701 W. Main St.</i>					
Current Zoning: <i>Res Single Fam</i>		Proposed Zoning: <i>Res Single Fam</i>			
Number of lots/outlots: <i>2</i>		Total acreage/square feet: <i>0.73</i>			
Reason for proposed certified survey map: <i>Adjusting lot line between existing parcels</i>					
SUBMITTAL INCLUDES					
<ol style="list-style-type: none"> <li>1. Completed application form and fee (check made payable to Village of Little Chute)</li> <li>2. Digital copy of the proposed certified survey map in pdf format</li> <li>3. Drainage plan (if applicable) submitted in pdf format</li> </ol>					
APPLICANT STATEMENT					
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.					
Owner/Agent Signature: <i>Matt S. Reider</i>		Date: <i>8-8-2025</i>			

Village of Little Chute  
108 W Main St.  
Little Chute, WI 54140

Community Development Department  
PH: (920) 423-3870  
Email: [jessica@littlechutewi.org](mailto:jessica@littlechutewi.org)

# Vicinity Map - Beardsley/Kadonsky CSM



9/4/2025, 10:09:22 AM

- ☐ Tax Parcel Information
- ☐ Display Parcel Lines
- ☐ Meander Line
- ☐ PLSS Sections
- ☐ Plat Boundary Lines
- ☐ Plat Boundary
- ☐ Streets
- ☐ STH

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING ALL OF LOTS 5, 6, & 7, AND PART OF LOT 8, ALL IN BLOCK 2  
OF "GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT" AS  
RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT  
LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST,  
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

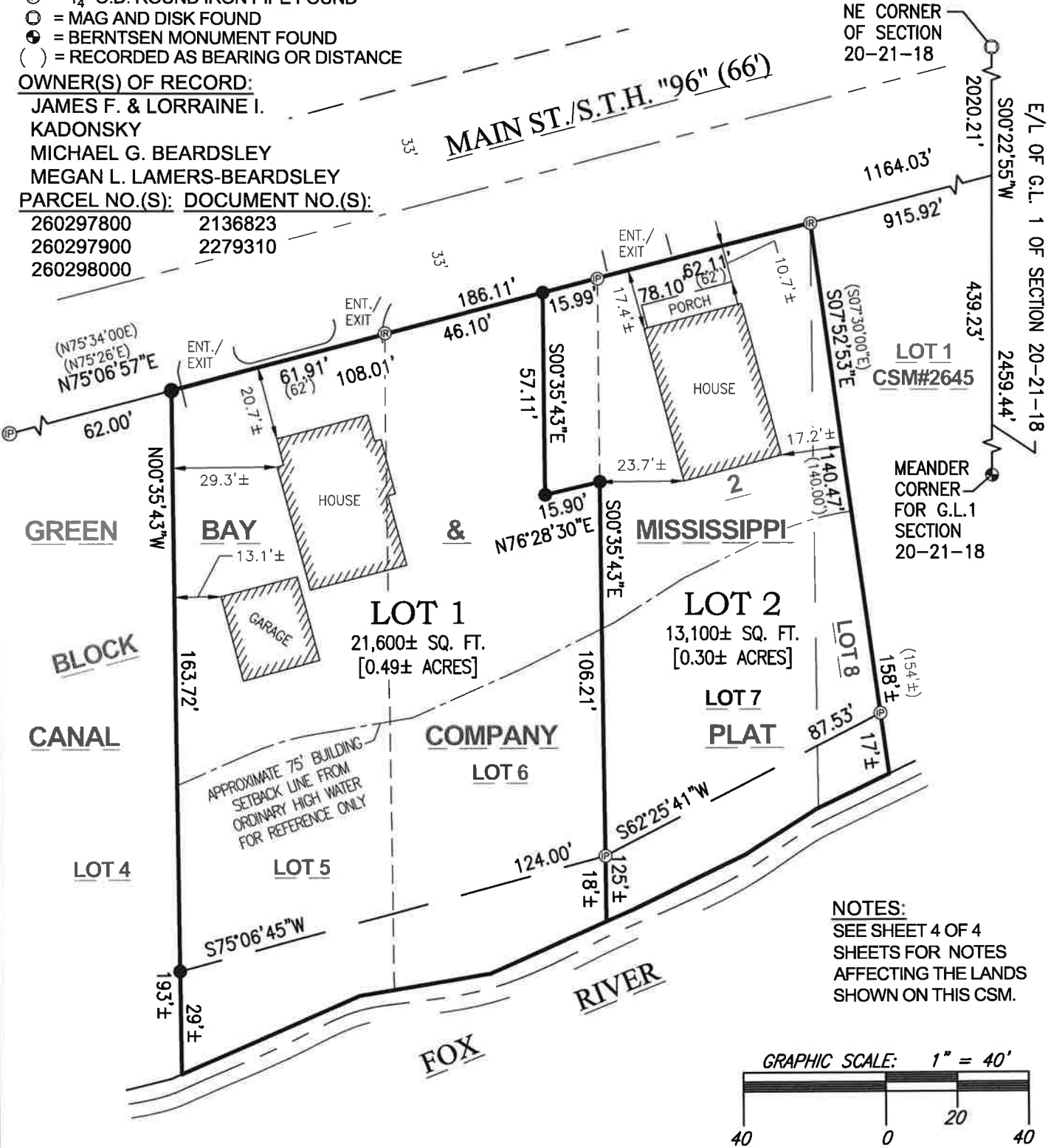
LEGEND:

- = 1 1/4" X 18" O.D. ROUND IRON PIPE SET,  
WEIGHING 1.68 LBS. PER LIN. FT.
- Ⓡ = 3/4" SOLID ROUND IRON REBAR FOUND
- Ⓢ = 1 1/4" O.D. ROUND IRON PIPE FOUND
- Ⓞ = MAG AND DISK FOUND
- ⦿ = BERNTSEN MONUMENT FOUND
- ( ) = RECORDED AS BEARING OR DISTANCE

PRESENT ZONING:  
RESIDENTIAL - SINGLE FAMILY

OWNER(S) OF RECORD:

JAMES F. & LORRAINE I.  
KADONSKY  
MICHAEL G. BEARDSLEY  
MEGAN L. LAMERS-BEARDSLEY  
PARCEL NO.(S): DOCUMENT NO.(S):  
260297800 2136823  
260297900 2279310  
260298000



NOTES:  
SEE SHEET 4 OF 4  
SHEETS FOR NOTES  
AFFECTING THE LANDS  
SHOWN ON THIS CSM.

NORTH IS REFERENCED  
TO THE EAST LINE OF  
GOVERNMENT LOT 1 OF  
SECTION 20, TOWNSHIP  
21 NORTH, RANGE 18  
EAST, VILLAGE OF LITTLE  
CHUTE, OUTAGAMIE  
COUNTY, WISCONSIN,  
WHICH BEARS  
S00°22'55"W PER THE  
WISCONSIN COUNTY  
COORDINATE SYSTEM  
(OUTAGAMIE COUNTY)

MATTHEW C. REIDER, PLS-3245 DATED  
CAROW LAND SURVEYING & ENVIRONMENTAL  
615 N. LYNNDAL DR., APPLETON, WI 54914  
N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2507.34 DATED:08/08/2025 DRAFTED BY:arn-NJO

**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

BEING ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY &  
MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN  
GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF  
LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, MATTHEW C. REIDER, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, COMBINED AND MAPPED ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S00°22'55"W, 2020.21 FEET ALONG THE EAST LINE OF GOVERNMENT LOT 1 OF SECTION 20 TO THE EASTERLY EXTENSION OF A SOUTH LINE OF MAIN STREET; THENCE S75°06'57"W, 915.92 FEET ALONG SAID EXTENSION AND SAID SOUTH LINE TO THE WESTERLY LINE OF CERTIFIED SURVEY MAP NO. 2645 AND THE POINT OF BEGINNING; THENCE S07°52'53"E, 140.47 FEET ALONG SAID WESTERLY LINE TO THE STARTING POINT OF A MEANDER LINE OF THE NORTH BANK OF THE FOX RIVER, SAID POINT BEARS N07°52'53"W A DISTANCE OF 17 FEET MORE OR LESS FROM SAID RIVER BANK; THENCE S62°25'41"W, 87.53 FEET ALONG SAID MEANDER LINE; THENCE NS75°06'45"W, 124.00 FEET ALONG SAID MEANDER LINE TO THE EAST LINE SAID LOT 5, BLOCK 2 AND THE TERMINATION POINT OF SAID MEANDER LINE, SAID POINT BEARS N00°35'43"W A DISTANCE OF 29 FEET MORE OR LESS FROM SAID RIVER BANK; THENCE N00°35'43"W, 163.72 FEET ALONG SAID WEST LINE TO THE SOUTH LINE OF MAIN STREET; THENCE N75°06'57"E, 186.11 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING. INCLUDING ALL OF THAT LAND LYING BETWEEN THE ABOVE DESCRIBED MEANDER LINE AND THE NORTH BANK OF THE FOX RIVER BOUNDED BY THE EXTENSION OF THE RESPECTIVE LINES OF THE ABOVE DESCRIBED PARCEL TO SAID RIVER BANK. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF MICHAEL BEARDSLEY,  
1701 W. MAIN STREET, LITTLE CHUTE, WISCONSIN 54140.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND MUNICIPAL CODE SECTION 42-62 OF THE VILLAGE OF LITTLE CHUTE.

MATTHEW C. REIDER, PLS-3245 DATED  
CAROW LAND SURVEYING CO., INC.  
615 N. LYNNDAL DR., APPLETON, WI 54914  
N5841 S.T.H. "47-55", SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2507.34 (RFR) 8-8-2025

**NOTES:**

- 1) THE PROPERTY OWNERS OF RECORD IS (ARE): JAMES F. & LORRAINE I. KADONSKY, MICHAEL G. BEARDSLEY & MEGAN L. BEARDSLEY.
- 2) THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NO.S: 260297800 260297900 & 260298000.
- 3) THIS CSM IS WHOLLY CONTAINED WITHIN LANDS DESCRIBED IN: DOCUMENT NO. 2136823 & 2279310.

**VILLAGE BOARD APPROVAL:**

WE HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP WAS APPROVED BY THE  
VILLAGE OF LITTLE CHUTE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT

DATED      CLERK  
SHEET 2 OF 4 SHEETS

DATED

**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

BEING ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

**OWNER'S CERTIFICATE:**

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF LITTLE CHUTE.

WITNESS THE HAND AND SEAL OF SAID OWNER(S):

JAMES F. KADONSKY

LORRAINE I. KADONSKY

STATE OF WISCONSIN )  
 )SS  
COUNTY OF \_\_\_\_\_ )

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE ABOVE NAMED PERSON(S) TO ME KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES

**OWNER'S CERTIFICATE:**

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF LITTLE CHUTE.

WITNESS THE HAND AND SEAL OF SAID OWNER(S):

MICHAEL G. BEARDSLEY

MEGAN L. LAMERS-BEARDSLEY

STATE OF WISCONSIN )  
 )SS  
COUNTY OF \_\_\_\_\_ )

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE ABOVE NAMED PERSON(S) TO ME KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

MATTHEW C. REIDER, PLS-3245 DATED  
CAROW LAND SURVEYING CO., INC.  
615 N. LYNNDAL DR., APPLETON, WI 54914  
N5841 S.T.H. "47-55", SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2507.34 (RFR) 8-8-2025

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

BEING ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

**TREASURER’S CERTIFICATE:**

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LAND INCLUDED ON THIS CERTIFIED SURVEY MAP.

_____	_____	_____	_____
VILLAGE TREASURER	DATED	COUNTY TREASURER	DATED

**NOTES:**

- THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP OF THE LOTS HEREON. SALE OR TRANSFER OF THE LOTS REQUIRES A DEED.
- FIELD SURVEY DATE: 7-21-25
- PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY, ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS SHOULD BE VERIFIED WITH THE VILLAGE OF LITTLE CHUTE.
- THE ORDINARY HIGH WATER MARK SETBACK IS NOT BASED ON AN OFFICIAL DETERMINATION AND PRIOR TO ANY BUILDING, AN OFFICIAL DETERMINATION OF THE ORDINARY HIGH WATER MUST BE MADE BY THE VILLAGE OF LITTLE CHUTE OR OTHER AUTHORIZED PERSON.
- ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1 OF THE STATE CONSTITUTION.
- THE LOCATION OF THE APPROXIMATE ORDINARY HIGH WATER MARK SHALL BE THE POINT ON THE BANK OF A NAVIGABLE STREAM OR ON THE SHORE OF A LAKE UP TO WHICH THE PRESENCE AND ACTION OF SURFACE WATER IS SO CONTINUOUS AS TO LEAVE A DISTINCTIVE MARK BY EROSION, DESTRUCTION OF TERRESTRIAL VEGETATION, OR OTHER EASILY RECOGNIZED CHARACTERISTICS.

\_\_\_\_\_  
MATTHEW C. REIDER, PLS-3245 DATED  
CAROW LAND SURVEYING CO., INC.  
615 N. LYNNDAL DR., APPLETON, WI 54914  
N5841 S.T.H. “47-55”, SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2507.34 (RFR) 8-8-2025



## Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/3/25

Agenda Item Topic: Rezoning – Little Chute Fire Station

Prepared By: Jessica Titel, Community Development Department

**Applicant/Owner:** Village of Little Chute

**Address:** 1105 Depot Street

**Request:** A request has been submitted to rezone the subject property from RC Conventional Single-Family to IT Institutional District to accommodate the future Little Chute Fire Station.

**Background:** The proposed Little Chute Fire Station is planned to be constructed on the subject parcels. Section 44-55(a) of the Zoning Code states: *The intent of this district is to provide for areas of the community where public or semipublic institutional uses are or can be established and to ensure that such areas will continue in this use unless otherwise approved by the village.* The proposed IT Institutional zoning district is consistent with the proposed fire station use and the zoning district that best suits municipal uses. The Village Board recently approved a Certified Survey Map to combine the subject parcels. CSM #8913 is attached.

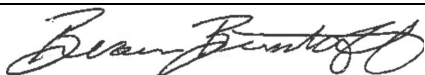
**RECOMMENDATION/PLAN COMMISSION ACTION:** Staff is recommending approval of the proposed rezoning to the Village Board and to set a public hearing for October 15, 2025.

Respectfully Submitted,  
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$450
Receipt #	
Account #	101-34110
Date Received	

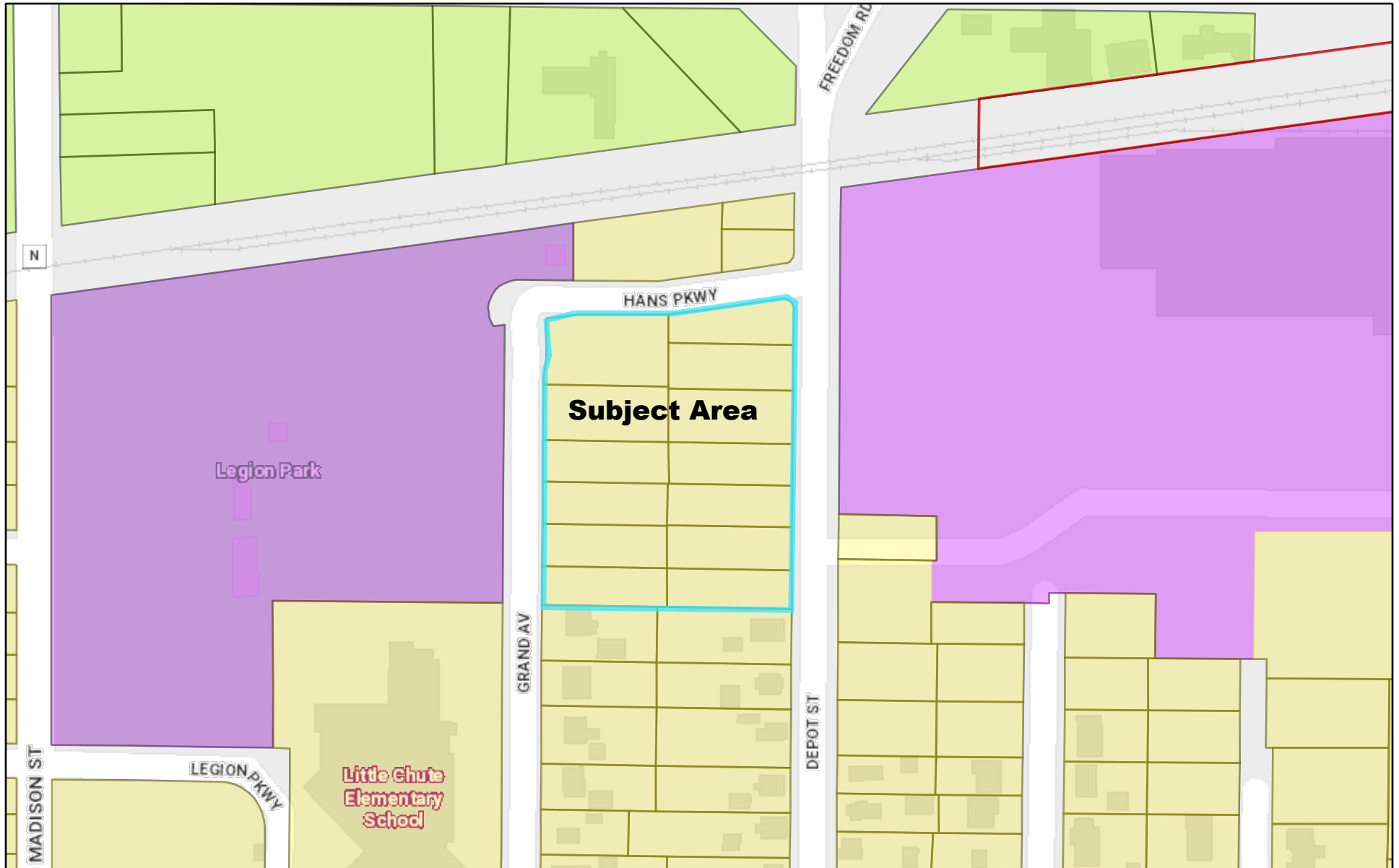
## Rezoning Request

PROPERTY OWNER		APPLICANT	
Name:		Name:	
Mailing Address:		Company:	
City/State/Zip:		Address:	
Phone:		City/State/Zip:	
Email:		Phone:	
		Email:	
PROPERTY & PROJECT INFORMATION			
Parcel Number:			
Site Address/Location:			
Legal description of the land proposed for rezoning (also provide electronic copy in Word format):			
Current Zoning:		Proposed Zoning:	
Current Use(s):		Proposed Use(s):	
Total acreage/square feet:			
PLEASE STATE THE REASON(S) AND JUSTIFICATION FOR THE REZONING REQUEST			
APPLICANT STATEMENT			
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.			
Owner/Agent Signature:		Date:	
		09/03/2025	

Village of Little Chute  
108 W Main St.  
Little Chute, WI 54140

Community Development Department  
PH: (920) 423-3870  
Email: [jessica@littlechutewi.org](mailto:jessica@littlechutewi.org)

# Current Zoning Map



9/3/2025, 1:58:01 PM

Zoning

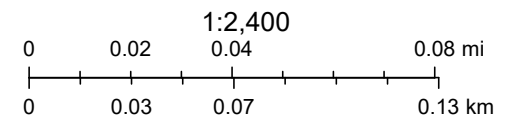
CH: Commercial Highway District

ID: Industrial District

RC: Conventional Single-Family District

No Designation

Parcels



Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute  
Robert E. Lee & Associates, Inc., Outagamie County





## Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/3/25

Agenda Item Topic: **Site Plan – Little Chute Fire Station**

Prepared By: Jessica Titel, Community Development Department

---

**Applicant/Owner:** Village of Little Chute

**Address/Parcel #:** 1105 Depot Street

**Request:** An application for Site Plan review has been submitted for the construction of a new fire station.

**Zoning Classification:** Proposed to be rezoned from RC Conventional Single-Family District to IT Institutional District. See rezoning IFC.

**Project Summary/Background:** The project includes the construction of a new Little Chute Fire Station on a vacant 3.52 acre parcel of land. The main access to the site is located on Hans Parkway and the fire rescue vehicles will exit onto Depot Street. The project will include 52 parking spaces.

The Village Board recently approved a Certified Survey Map to combine the subject parcels.

**Recommendation/Board Action:** Staff is recommending Plan Commission approval of the Site Plan, subject to the satisfaction of all staff comments.

**Procedural Note:** *If approved by the Plan Commission, the site plan will be presented to the Village Board at the same meeting as the rezoning.*

Respectfully Submitted,  
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$600
Receipt #	
Account #	101-34110
Date Received	

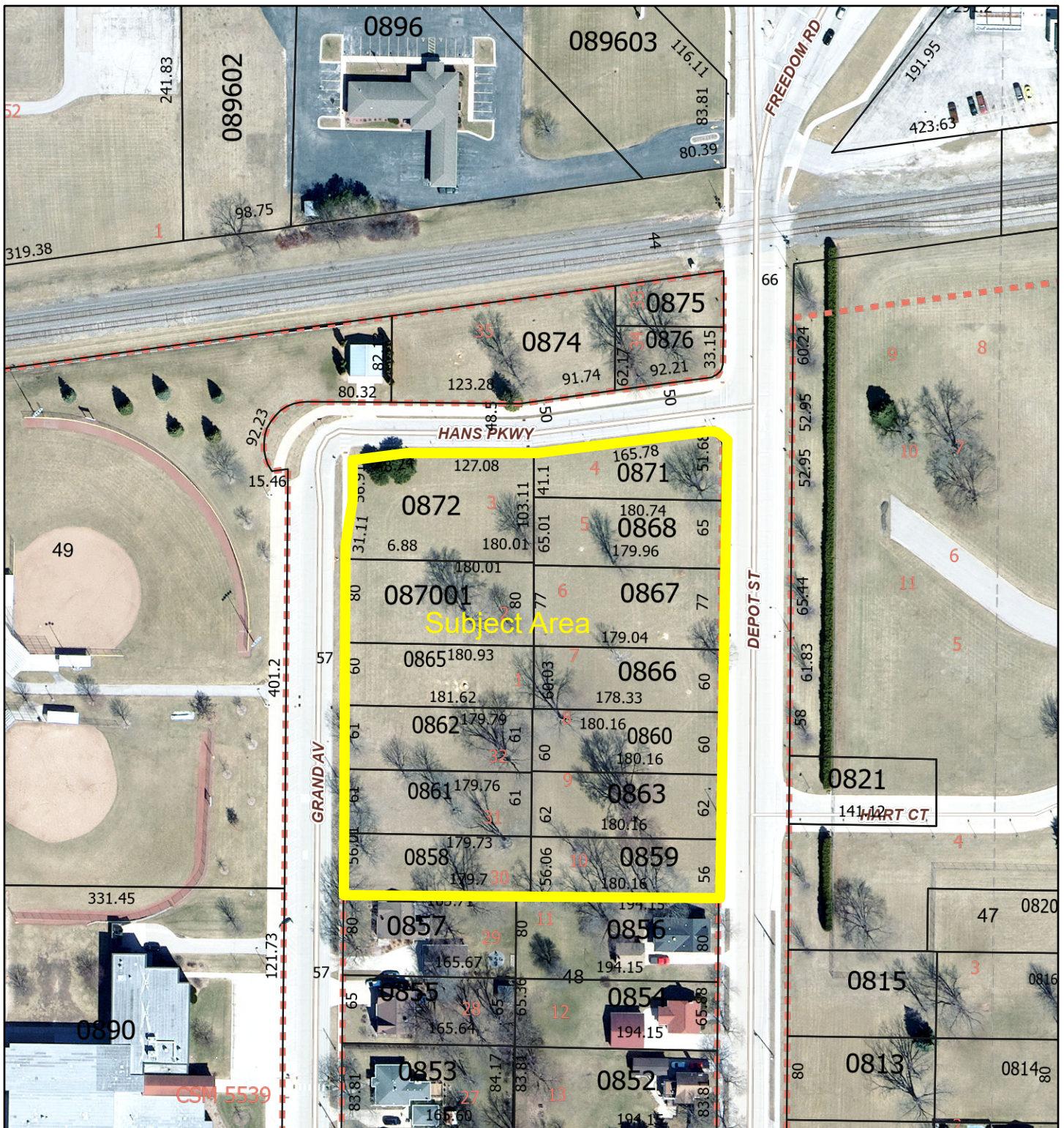
## Site Plan Review Application (new construction, additions > 10,000 square feet)

PROPERTY OWNER		APPLICANT	
Name:		Name:	
Mailing Address:		Company:	
City/State/Zip:		Address:	
Phone:		City/State/Zip:	
Email:		Phone:	
		Email:	
PROPERTY & PROJECT INFORMATION			
Parcel Number:			
Site Address/Location:			
Current Zoning:		Proposed Zoning:	
Current Use:		Proposed Use:	
Current number of employees:		Proposed number of employees:	
Existing building floor area:		Proposed building floor area:	
Existing number of parking stalls:		Proposed number of parking stalls:	
Percent of existing impervious surface:		Percent of proposed impervious surface:	
Describe the proposed project:			
Applicant Statement			
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.			
Applicant/Owner Signature:		Date:	

Village of Little Chute  
108 W Main St.  
Little Chute, WI 54140

Community Development Department  
PH: (920) 423-3870  
Email: [jessica@littlechutewi.org](mailto:jessica@littlechutewi.org)

## Vicinity Map - Little Chute Fire Station



9/3/2025, 2:23:26 PM

1:2,257

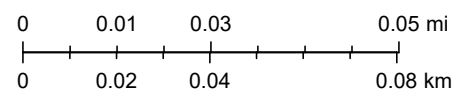
☐ Tax Parcel Information Streets

## PLSS Sections

LOCAL

— PVT

## Plat Boundary Lines

 Plat Boundary

LEGEND  
(PROPOSED FEATURES)

- XX"

TREE REMOVAL (INCH DIAMETER)
- REMOVE CONCRETE PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE CURB & GUTTER
- SAWCUT EXISTING PAVEMENT
- REMOVE EXISTING STORM SEWER
- PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C503)
- PROPOSED HEAVY DUTY CONCRETE (SEE DETAIL ON SHEET C503)
- PROPOSED BUILDING FOOTPRINT
- PROPOSED 4" CONCRETE SIDEWALK W/ 3" C.A.B.C.
- PROPOSED 7" CONCRETE SIDEWALK W/ 3" C.A.B.C.
- 4" TOPSOIL, SEED, & MULCH
- NO-MOW SEED MIX (SEE SPECIFICATIONS FOR MIX DETAILS)
- PROPOSED LANDSCAPING AREA — SEE SHEET L100 FOR DETAILS
- PROPOSED SWALE
- ①

PAVEMENT MARKING — ADA PARKING SYMBOL (SEE DETAIL ON SHEET C503)
- ②

PAVEMENT MARKING — AISLE, 4-INCH, WHITE (3' O.C. SPACING)
- ③

POST MOUNTED ADA SIGNAGE (SEE DETAIL ON SHEET C503)
- ④

PAVEMENT MARKING, 4-INCH WHITE
- 18"

PROPOSED 18" REJECT CURB & GUTTER (SEE DETAIL ON SHEET C503)
- PROPOSED STONE TRACKING PAD (WDNR TECH. STANDARD 1057)
- PROPOSED CLASS II EROSION CONTROL MAT (WDNR TECH. STANDARD 1052)
- CLASS III, URBAN TYPE B EROSION MAT (WDNR TECH. STANDARD 1052)
- 1062

PROPOSED DITCH CHECK (WDNR TECH. STANDARD 1062)
- PROPOSED INLET PROTECTION, TYPE-D (WDNR TECH. STANDARD 1060)
- 2.0%

PROPOSED FINISHED SLOPE
- 600  
600.00

PROPOSED CONTOUR & SPOT GRADE
- 600  
600.00

EXISTING CONTOUR & SPOT GRADE
- X EX: 600.00

EXISTING SPOT GRADE TO MATCH
- X 600.00

FINISHED PAVEMENT SPOT GRADE

LEGEND

- ( ) INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

ENGINEER AND LANDSCAPE ARCHITECT:



100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754

rasmith.com

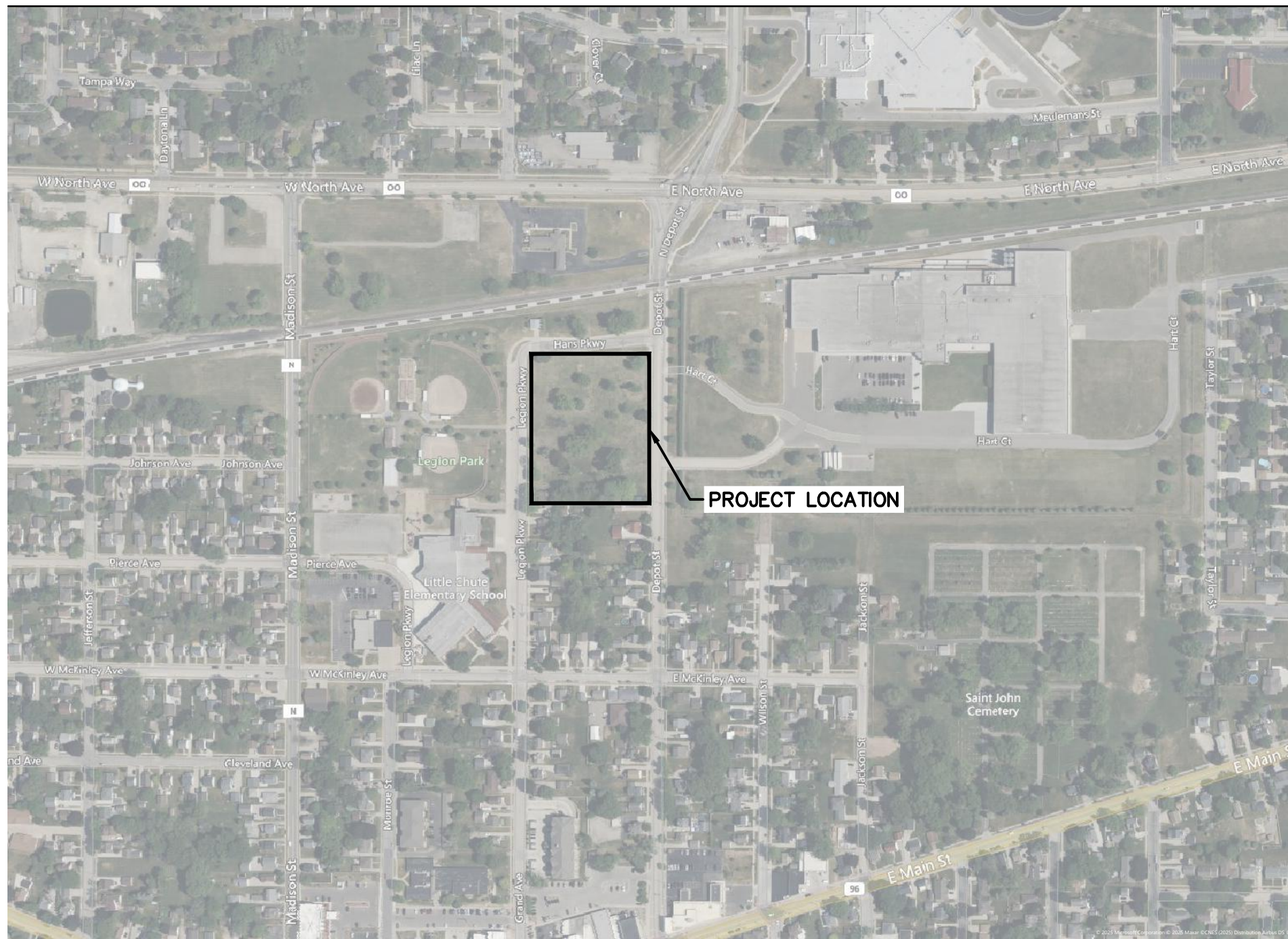
DEVELOPER / OWNER:

VILLAGE OF LITTLE CHUTE  
108 W. MAIN STREET  
LITTLE CHUTE, WI 54140

BEAU BERNHOFT, VILLAGE ADMINISTRATOR  
BEAU@LITTLECHUTEWI.ORG  
(920)423-3850

# SITE PLANS FOR LITTLE CHUTE FIRE STATION 1105 DEPOT STREET LITTLE CHUTE, WI

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	COVER SHEET
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	SITE PLAN
C300	UTILITY PLAN
C400	GRADING PLAN
C401-402	GRADING DETAILS
C500-503	CONSTRUCTION DETAILS
L100	SITE LANDSCAPE PLAN
L200	LANDSCAPING DETAILS & NOTES
E100	SITE PHOTOMETRY PLANS
E200-220	LIGHT FIXTURE CUT SHEETS
A111-112	FLOOR PLANS
A201	ARCHITECTURAL ELEVATIONS
A211	ARCHITECTURAL ELEVATIONS (ALTERNATE)
A300-A306	ARCHITECTURAL RENDERINGS

VILLAGE OF LITTLE CHUTE  
LITTLE CHUTE FIRE STATION  
1105 DEPOT STREET  
Little Chute, WI

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SEH Project  
Checked By  
Drawn By

181826  
BLH  
JWF

Project Status  
CONSTRUCTION DOCUMENTS

Issue Date  
08/15/2025

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE
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Appleton, WI 54911-5754

rasmith.com

C000

EXISTING SITE:  
THE PROPOSED FACILITIES DEVELOPMENT IS LOCATED AT THE SOUTHWEST CORNER OF DEPOT STREET & HANS PARKWAY (PARCEL IDS: 260086500, 260087001, 260087200, 260087100, 260086800, 26086700, 260086600, 260086000, 260086300, 260085900) IN THE VILLAGE OF LITTLE CHUTE, WI.

PROPOSED SITE LEGAL DESCRIPTION:  
Commencing at the Northeast corner of Section 21, T21N, R18E, thence S00°28'56"W along the East line of the Northeast ¼ a distance of 323.60 feet; thence S82°10'19"W to the West Right of Way line of Depot St. and the South Right of Way line of the Canadian National Railroad a distance of 267.23 feet; thence S00°19'55"W along the said West Right of Way line and its extension to the end of an arc being on the South Right of Way line of Hans Parkway described in Certified Survey Map #2776, a distance of 167.59 feet to the Point of Beginning of Lot 1.

Thence S00°19'55"W along the West Right of Way line of Depot Street to the Northeast Corner of Lot 11of the 1990 Amendment to the 1917 Assessors Plat of the Village of Little Chute, a distance of 431.53 feet;thence N89°07'17"W along the North line of said assessors plat to the Northeast corner of Lot 29 a distance of 194.19 feet; thence N89°09'12"W along the North line of Lot 29 to the Northwest corner of said lot and the East Right of Way line of Grand Avenue a distance of 165.66 feet; thence N00°18'15"E along the said East Right of Way line to the Southeast corner of Certified Survey Map #2776 a distance of 324.89 feet; thence N07°40'59"E along the said East Right of Way line, a distance of 31.12 feet; thence N00°18'15"E along said East Right of Way line to the South Right of Way Line of Hans Parkway, a distance of 56.75 feet; thence N82°05'45"E along the South Right of Way line of Hans Parkway, a distance of 48.24 feet; thence S89°36'40"E along said South Right of Way line a distance of 127.08 feet; thence N82°05'45"E along the said South Right of Way line, to the beginning of a curve, a distance of 165.78 feet; thence 25.72 feet along the arc of said curve, with a radius of 15.00 feet, having a chord bearing S48°47'10"E and distance of 22.68 feet to the Point of Beginning.

Said parcel of land contains 153,353 square feet (3.521 acres) more or less, and is together with and subject to any easements, covenants, and restrictions of record.

Part of Lots 3, 4, 34, and 35, and All of Lots 1, 2, 5-10, and 30-33, Block 49, of the 1990 Amendment to the1917 Assessors Plat of the Village of Little Chute, Being Part of the Northeast 1/4 of the Northeast 1/4 of Section 21, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

EXISTING LEGEND

△ BENCHMARK

■ SECTION CORNER

● IRON PIPE FOUND

○ IRON PIPE SET

○ BOLLARD

✦ SOIL BORING/MONITORING WELL/CORE LOCATION

✦ FLAGPOLE

✦ MAILBOX

✦ SIGN

▲ BILLBOARD

□ CONTROL BOX

✦ TRAFFIC SIGNAL

✦ RAILROAD CROSSING SIGNAL

□ CABLE PEDESTAL

□ POWER POLE

✦ GUY POLE

✦ LIGHT POLE

✦ GROUND OR OTHER SPOT SHOT

♿ HANDICAPPED PARKING

⊗ ELECTRIC MANHOLE

⊗ ELECTRIC PEDESTAL

⊗ ELECTRIC METER

⊗ TELEPHONE MANHOLE

⊗ TELEPHONE PEDESTAL

FO MARKED FIBER OPTIC

✦ GAS VALVE

✦ GAS METER

⊗ STORM MANHOLE

⊗ ROUND INLET

✦ SQUARE INLET

✦ STORM SEWER END SECTION

⊗ SANITARY MANHOLE

✦ SANITARY CLEANOUT OR SEPTIC VENT

⊗ SANITARY INTERCEPTOR MANHOLE

⊗ MISCELLANEOUS MANHOLE

⊗ WATER VALVE

✦ HYDRANT

⊗ WATER SERVICE CURB STOP

⊗ WATER MANHOLE

✦ WELL

✦ WATER SURFACE

✦ WETLANDS FLAG

★ MARSH

★ CONIFEROUS TREE

○ DECIDUOUS TREE

○ SHRUB

— EDGE OF TREES

— STORM SEWER

— WATERMAIN

— MARKED GAS MAIN

— MARKED ELECTRIC

— OVERHEAD WIRES

— BUREAU ELEC. SERV.

— MARKED TELEPHONE

— MARKED CABLE TV LINE

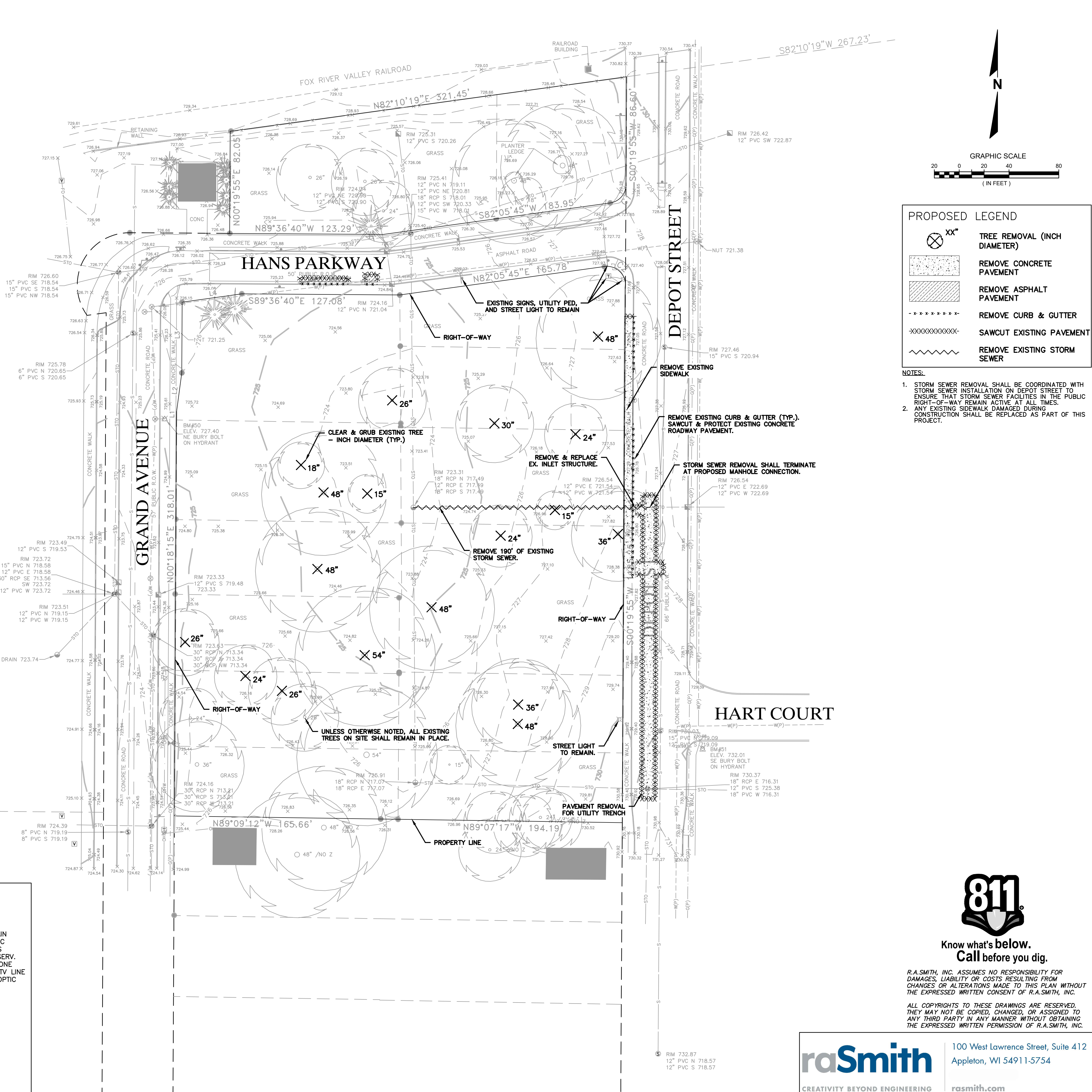
— MARKED FIBER OPTIC

— FORCE MAIN

Line Table		
Line #	Direction	Length
L1	N00°18'15"E	6.88
L2	N07°40'59"E	31.12
L3	N00°18'15"E	56.91
L4	N82°05'45"E	48.24

Curve Table				
Curve #	Length	Radius	Chord Bearing	Chord
C1	21.41	15.00	S41°12'50"W	19.64
C2	25.72	15.00	S48°47'10"E	22.68

BENCHMARK TABLE		
BENCHMARK NUMBER	DESCRIPTION	ELEVATION
BM #50	NE BURY BOLT ON HYD	727.40
BM #51	SE BURY BOLT ON HYD	732.01
BM #52	NE BURY BOLT ON HYD	730.68



PROPOSED LEGEND

✦ XX"

✦

✦

✦

✦

✦

TREE REMOVAL (INCH DIAMETER)

REMOVE CONCRETE PAVEMENT

REMOVE ASPHALT PAVEMENT

REMOVE CURB & GUTTER

SAWCUT EXISTING PAVEMENT

REMOVE EXISTING STORM SEWER

- NOTES:
1. STORM SEWER REMOVAL SHALL BE COORDINATED WITH STORM SEWER INSTALLATION ON DEPOT STREET TO ENSURE THAT STORM SEWER FACILITIES IN THE PUBLIC RIGHT-OF-WAY REMAIN ACTIVE AT ALL TIMES.
  2. ANY EXISTING SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS PART OF THIS PROJECT.



Project Owner

VILLAGE OF LITTLE CHUTE  
LITTLE CHUTE FIRE STATION  
1105 DEPOT STREET  
Little Chute, WI

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SEH Project Checked By Drawn By 181826 BLH JWF

Project Status Issue Date CONSTRUCTION DOCUMENTS 08/15/2025

REVISION SCHEDULE

REV. # DESCRIPTION DATE

EXISTING CONDITIONS & DEMO PLANS



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raSmith

CREATIVITY BEYOND ENGINEERING

100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754

rasmith.com

C100



STORM SEWER COMPUTATIONS:

UPSTREAM MANHOLE	DOWNSTREAM MANHOLE	ROOF AREA/ DRAINAGE	PAVEMENT AREA/ DRAINAGE	GRASS AREA/ DRAINAGE	*TOTAL DRAINAGE	PIPE CAPACITY
CONN-2	MH-10	10,805 SF/ 416 GPM	NONE	NONE	416 GPM	1150 GPM
MH-10	CB-2	NONE	NONE	NONE	416 GPM	499 GPM
CB-2	FES-200	NONE	13,742 SF/ 423 GPM	4,891 SF/ 47 GPM	885 GPM	2050 GPM
CONN-1	CB-1	5,408 SF/ 208 GPM	NONE	NONE	208 GPM	518 GPM
CB-1	FES-100	NONE	525 SF/ 16 GPM	41,822 SF/ 402 GPM	628 GPM	2050 GPM

\*ALL DRAINAGE QUANTITIES ASSUME A 10-YEAR DESIGN STORM

CATCH BASIN DRAINAGE AREAS:

CB-1 DRAINAGE AREA= 42,347 SQUARE FEET (0.97 ACRES)  
PAVEMENT AREA= 525 SQUARE FEET (0.01 ACRES)  
GRASS AREA= 41,822 SQUARE FEET (0.96 ACRES)

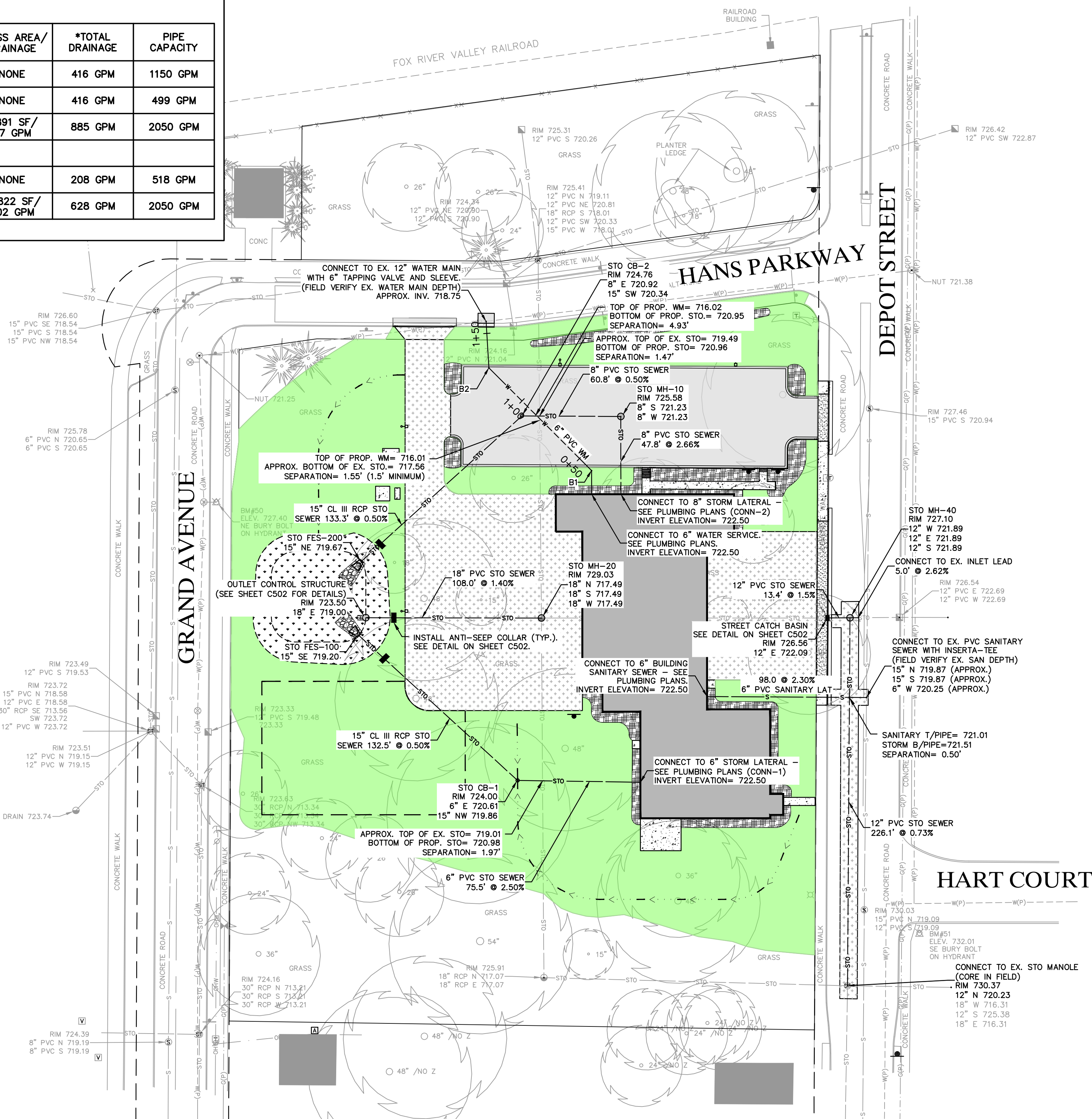
CB-2 DRAINAGE AREA= 18,633 SQUARE FEET (0.43 ACRES)  
PAVEMENT AREA= 13,742 SQUARE FEET (0.32 ACRES)  
GRASS AREA= 4,891 SQUARE FEET (0.11 ACRES)

WATER SERVICE:

NUMBER OF WATER SUPPLY FIXTURE UNITS: 475 WSFU  
WATER LATERAL DEMAND: 120GPM  
FIRE PROTECTION: WET SPRINKLER SYSTEM PER NFPA 13

SANITARY SERVICE:

SANITARY LATERAL DEMAND: 150DFU



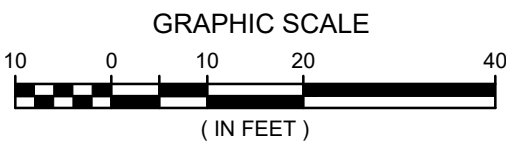
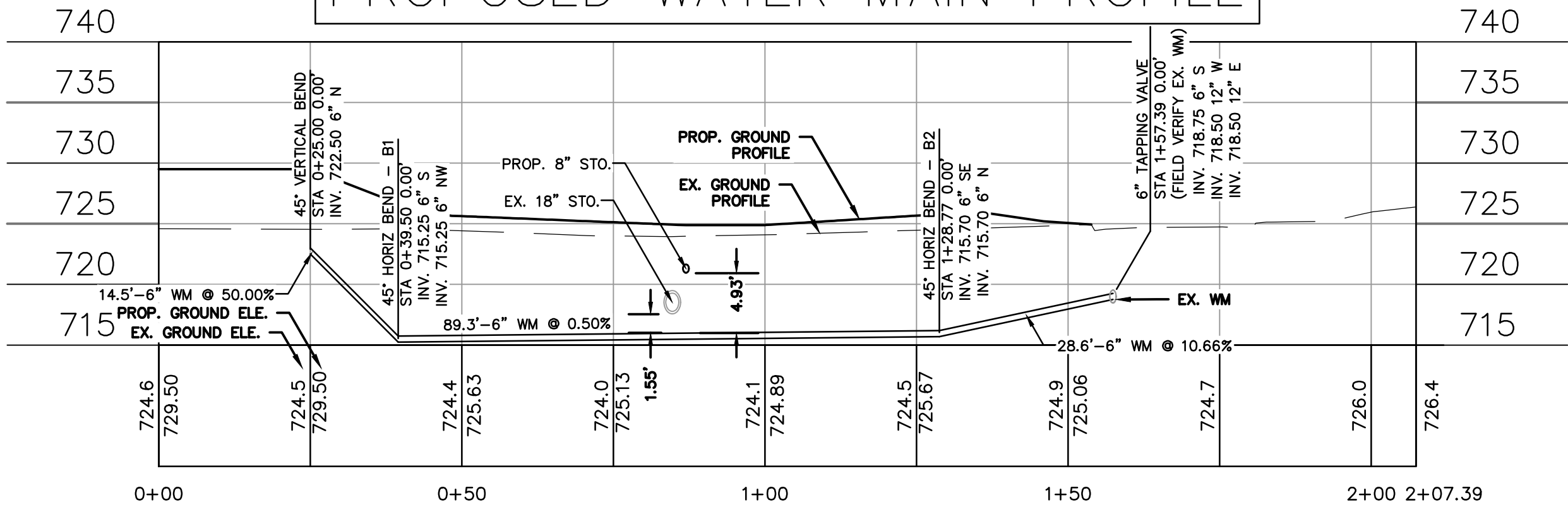
UTILITY NOTES:

1. ALL PIPE LENGTHS ARE FROM CENTER-TO-CENTER OF STRUCTURE.
2. THE CONTRACTOR SHALL VERIFY AND LOCATE THE LOCATION AND ELEVATION OF THE BUILDING UTILITY CONNECTIONS WITH THE BUILDING CONTRACTOR.
3. THE CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTION ELEVATIONS. DISCREPANCIES BETWEEN PLAN GRADES AND EXISTING GRADES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
4. ALL WATER MAIN BENDS SHALL BE INSTALLED WITH BUTTRESSES. SEE SHEET CS01 FOR BUTTRESS DETAILS & STANDARD VALVE BOX SETTING DETAILS.
5. SEE SHEET CS02 FOR POND CROSS-SECTION, APRON ENDWALL, OUTLET CONTROL STRUCTURE, MANHOLE, AND CATCH BASIN DETAILS.
6. ALL STORM SEWER SHALL BE INSTALLED WITH BROWN TRACER WIRE AS A MEANS TO LOCATE THE NON-METALLIC STORM BUILDING SEWER.
7. ALL WATER PIPING SHALL BE INSTALLED WITH BLUE TRACER WIRE AS A MEANS TO LOCATE THE NON-METALLIC POTABLE WATER PIPING.

FLUSHING AND DISINFECTION OF POTABLE WATER SUPPLY SYSTEMS - SPS382.401(8)(10)

1. BEFORE A NEWLY CONSTRUCTED WATER SUPPLY SYSTEM IS TO BE PUT INTO USE, THE PIPING OF THE SYSTEM SHALL BE FLUSHED WITH WATER AND DISINFECTED. EACH WATER OUTLET SHALL BE FLUSHED BEGINNING WITH THE OUTLET CLOSEST TO THE BUILDING CONTROL VALVE AND THEN EACH SUCCESSIVE OUTLET IN THE SYSTEM. THE FLUSHING AT EACH WATER OUTLET SHALL CONTINUE FOR AT LEAST 1 MINUTE AND UNTIL THE WATER APPEARS CLEAR AND WITH NO TRACE OF DISINFECTANT AT THE OUTLET.
2. NEW PRIVATE WATER MAINS AND EXTENSIONS TO PRIVATE WATER MAINS SHALL BE DISINFECTED PRIOR TO USE IN ACCORDANCE WITH AWWA C651 OR THE FOLLOWING METHOD:
  - a. THE PIPE SYSTEM SHALL BE FLUSHED WITH CLEAN WATER UNTIL NO DIRTY WATER APPEARS AT THE POINTS OF OUTLET.
  - b. THE SYSTEM OR PART THEREOF SHALL BE FILLED WITH A SOLUTION OF WATER AND CHLORINE CONTAINING AT LEAST 50 PARTS PER MILLION OF CHLORINE AND THE SYSTEM OR PART THEREOF SHALL BE VALVED OFF AND ALLOWED TO STAND FOR 24 HOURS OR THE SYSTEM OR PART THEREOF SHALL BE FILLED WITH A SOLUTION OF WATER AND CHLORINE CONTAINING AT LEAST 200 PARTS PER MILLION OF CHLORINE AND ALLOWED TO STAND FOR 3 HOURS.
  - c. FOLLOWING THE ALLOWED STANDING TIME, THE SYSTEM SHALL BE FLUSHED WITH CLEAN POTABLE WATER.
  - d. THE PROCEDURES SHALL BE REPEATED IF IT IS SHOWN BY A BACTERIOLOGICAL EXAMINATION THAT CONTAMINATION STILL EXISTS IN THE SYSTEM.
3. THE DEPARTMENT MAY REQUIRE A WATER QUALITY ANALYSIS TO BE DONE FOR A NEW OR REPAIRED WATER SUPPLY SYSTEM. THE ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTABLE NATIONALLY RECOGNIZED LABORATORY PRACTICES. IF THE WATER SUPPLY SYSTEM HAS BEEN DISINFECTED, WATER SAMPLES FOR THE ANALYSIS MAY NOT BE TAKEN SOONER THAN 24 HOURS AFTER DISINFECTION.
4. NEW OR REPAIRED COMBINATION WATER SERVICES OR COMBINATION PRIVATE WATER MAINS SHALL BE FLUSHED AND DISINFECTED PRIOR TO USE IN ACCORDANCE WITH NFPA 24.

PROPOSED WATER MAIN PROFILE



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**raSmith**  
CREATIVITY BEYOND ENGINEERING

100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754  
rasmith.com



Project Owner

VILLAGE OF LITTLE CHUTE  
LITTLE CHUTE FIRE STATION  
1105 DEPOT STREET  
Little Chute, WI

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SEH Project  
Checked By  
Drawn By

181826  
BLH  
JWF

Project Status  
CONSTRUCTION DOCUMENTS

Issue Date  
08/15/2025

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE
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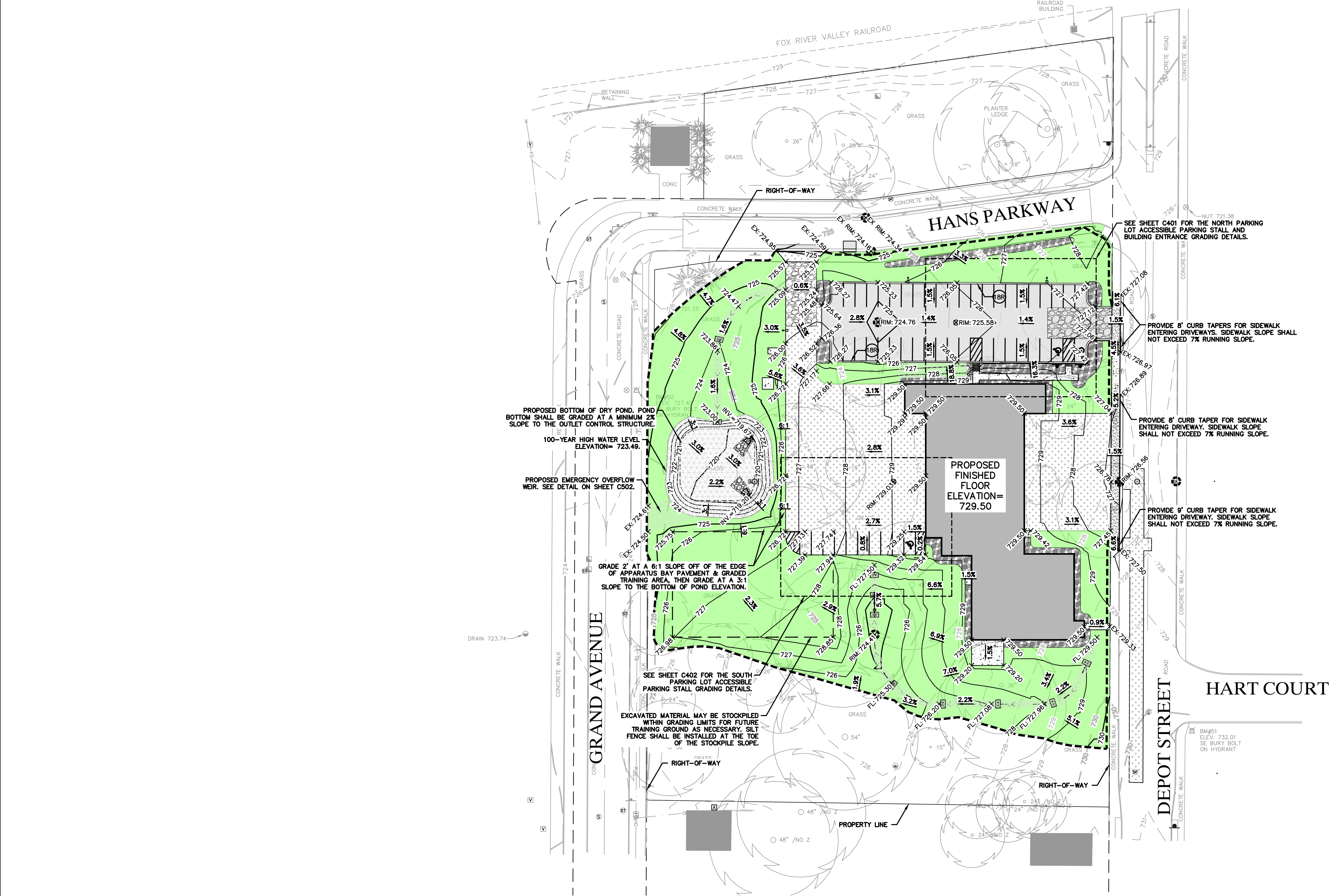
UTILITY PLAN

C300

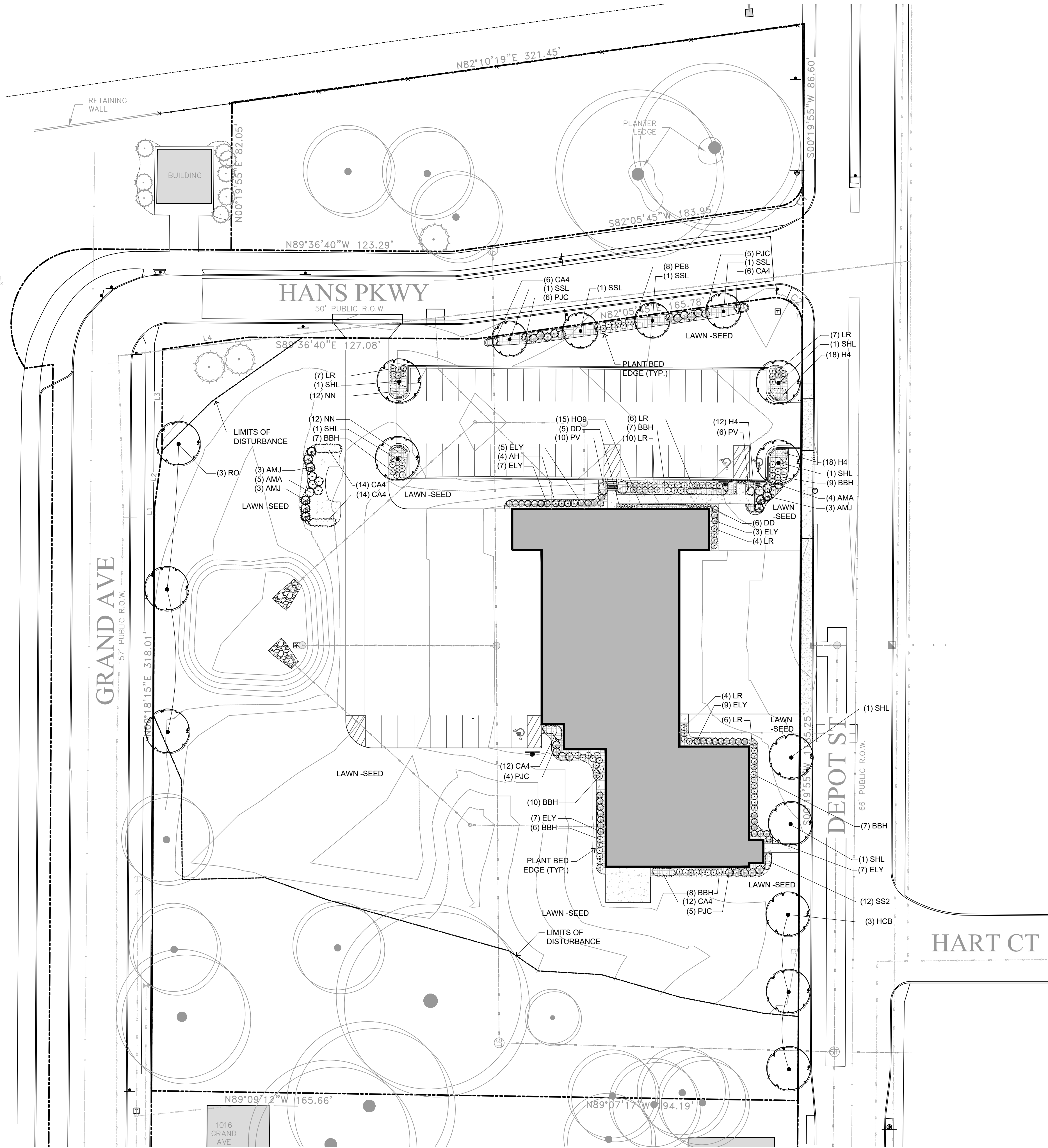
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EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION.
2. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE. STABILIZE AS INDICATED IN THE LEGEND.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
4. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
5. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
6. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
7. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
8. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
9. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
10. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT REACHES HALF THE HEIGHT OF THE FENCE. THE SILT FENCE SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
11. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
13. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
14. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
15. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
16. ALL SEEDING AREAS WILL BE FERTILIZED, RESEED, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
17. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
18. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
19. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.



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PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
EVERGREEN TREES							
AMJ	9	Ames Juniper	Juniperus chinensis 'Ames'	6' HT	B&B	Spacing as shown	8' x 6'
SHADE TREES							
HCB	3	Common Hackberry	Celtis occidentalis	2 1/2' CAL	B&B	Spacing as shown	50' x 50'
SHL	6	Shademaster Locust	Gleditsia triacanthos inermis 'Shademaster'	2 1/2' CAL	B&B	Spacing as shown	50' x 35'
RO	3	Red Oak	Quercus rubra	2 1/2' CAL	B&B	Spacing as shown	70' x 70'
SSL	4	Sweet Street Linden	Tilia americana 'Krommi'	2 1/2' CAL	B&B	Spacing as shown	50' x 25'
DECIDUOUS SHRUBS							
AMA	9	Autumn Magic Black Chokeberry	Aronia melanocarpa 'Autumn Magic'	24" HT	CONT	Spacing as shown	4' x 6'
DD	11	Yuki Cherry Blossom® Deutzia	Deutzia x 'NCDX2'	15" HT	CONT	Spacing as shown	2' x 2'
LR	44	Kodiak® Orange Diervilla	Diervilla x 'G2X88544'	15" HT	CONT	Spacing as shown	3.5' x 3.5'
AH	4	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	18" HT	CONT	Spacing as shown	4' x 4'
BBH	54	B&B® Hydrangea	Hydrangea paniculata 'ILVO80'	18" HT	CONT	Spacing as shown	3' x 3.5'
PE8	8	Little Joker® Ninebark	Physocarpus opulifolius 'Hoogi021'	18" HT	CONT	Spacing as shown	3.5' x 3.5'
EVERGREEN SHRUBS							
PJC	21	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT	Spacing as shown	2' x 5'
ELY	38	Everflow Yew	Taxus x media 'Everflow'	15" HT	B&B	Spacing as shown	1.5' x 5'
ORNAMENTAL GRASSES							
CA4	78	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing	5' x 2'
PV	16	Ruby Ribbons® Switch Grass	Panicum virgatum 'RR1'	1 GAL	CONT	30" Spacing	3' x 2.5'
SS2	12	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	1 GAL	CONT	18" Spacing	2.5' x 1.5'
PERENNIALS							
H4	60	Happy Returns Daylily	Heemerocallis x 'Happy Returns'	4 1/2"	POT	18" Spacing	1.5' x 1.5'
HO9	15	Blue Cadet Hosta	Hosta x 'Blue Cadet'	4 1/2"	POT	24" Spacing	1.25' x 2.5'
NN	24	Junior Walker™ Catmint	Nepeta x 'baassenii' 'Novanepjun'	4 1/2"	POT	24" Spacing	1.5' x 2.5'



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Appleton, WI 54911-5754

rasmith.com



Project Owner

VILLAGE OF LITTLE CHUTE  
LITTLE CHUTE FIRE STATION

1105 DEPOT STREET  
Little Chute, WI

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SEH Project  
Checked By

181826  
REW  
REW

Project Status

Issue Date

CONSTRUCTION DOCUMENTS

08/15/2025

REVISION SCHEDULE

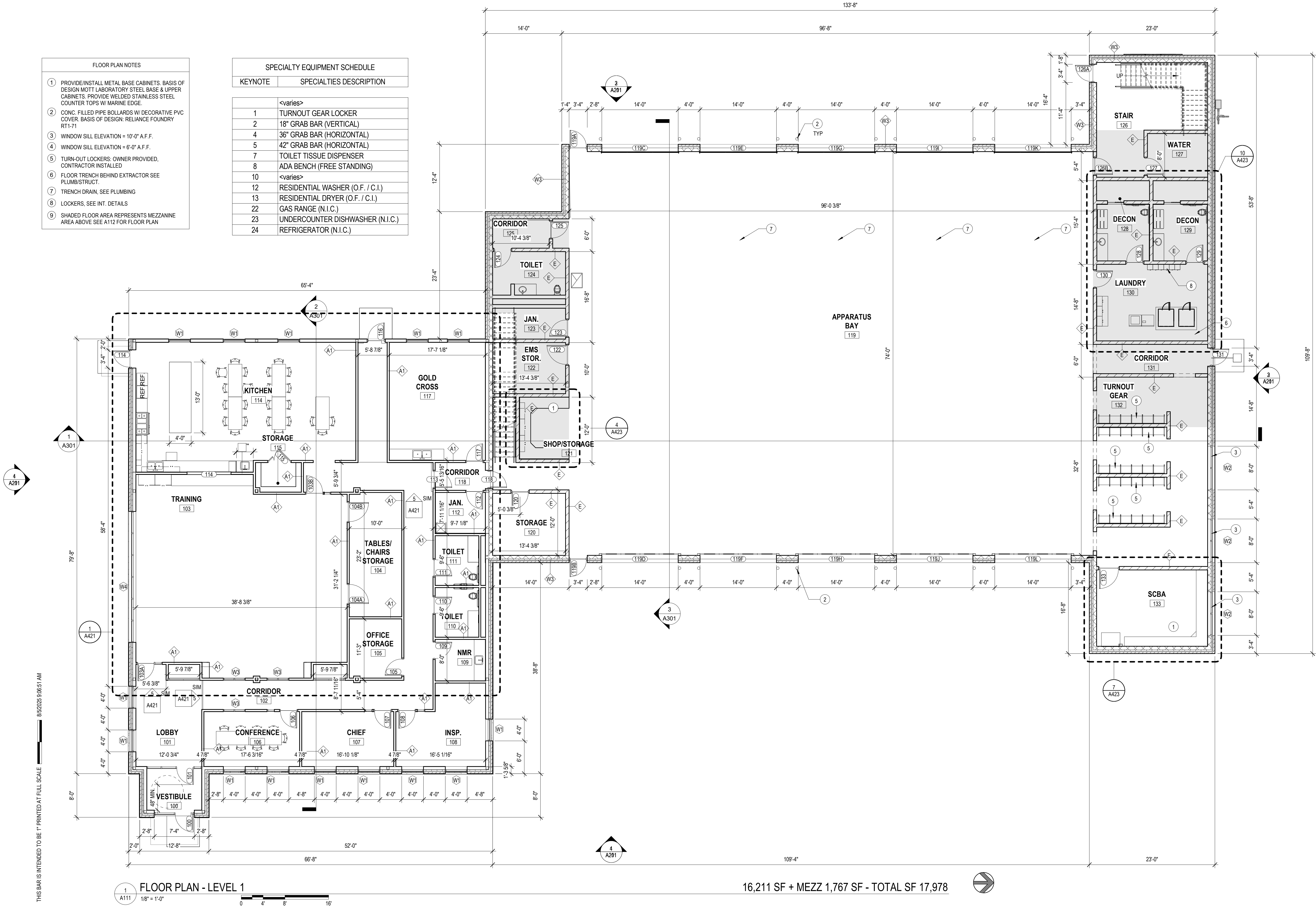
REV. # DESCRIPTION DATE

SITE LANDSCAPE PLAN

L100

- FLOOR PLAN NOTES
- 1 PROVIDE/INSTALL METAL BASE CABINETS, BASIS OF DESIGN MOTT LABORATORY STEEL BASE & UPPER CABINETS. PROVIDE WELDED STAINLESS STEEL COUNTER TOPS W/ MARINE EDGE.
  - 2 CONC. FILLED PIPE BOLLARDS W/ DECORATIVE PVC COVER, BASIS OF DESIGN: RELIANCE FOUNDRY RT1-71
  - 3 WINDOW SILL ELEVATION = 10'-0" A.F.F.
  - 4 WINDOW SILL ELEVATION = 6'-0" A.F.F.
  - 5 TURN-OUT LOCKERS: OWNER PROVIDED, CONTRACTOR INSTALLED
  - 6 FLOOR TRENCH BEHIND EXTRACTOR SEE PLUMB/STRUCT.
  - 7 TRENCH DRAIN, SEE PLUMBING
  - 8 LOCKERS, SEE INT. DETAILS
  - 9 SHADED FLOOR AREA REPRESENTS MEZZANINE AREA ABOVE SEE A112 FOR FLOOR PLAN

SPECIALTY EQUIPMENT SCHEDULE	
KEYNOTE	SPECIALTIES DESCRIPTION
	<varies>
1	TURNOUT GEAR LOCKER
2	18" GRAB BAR (VERTICAL)
4	36" GRAB BAR (HORIZONTAL)
5	42" GRAB BAR (HORIZONTAL)
7	TOILET TISSUE DISPENSER
8	ADA BENCH (FREE STANDING)
10	<varies>
12	RESIDENTIAL WASHER (O.F. / C.I.)
13	RESIDENTIAL DRYER (O.F. / C.I.)
22	GAS RANGE (N.I.C.)
23	UNDERCOUNTER DISHWASHER (N.I.C.)
24	REFRIGERATOR (N.I.C.)



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LITTLE CHUTE FIRE DEPARTMENT

Little Chute, WI

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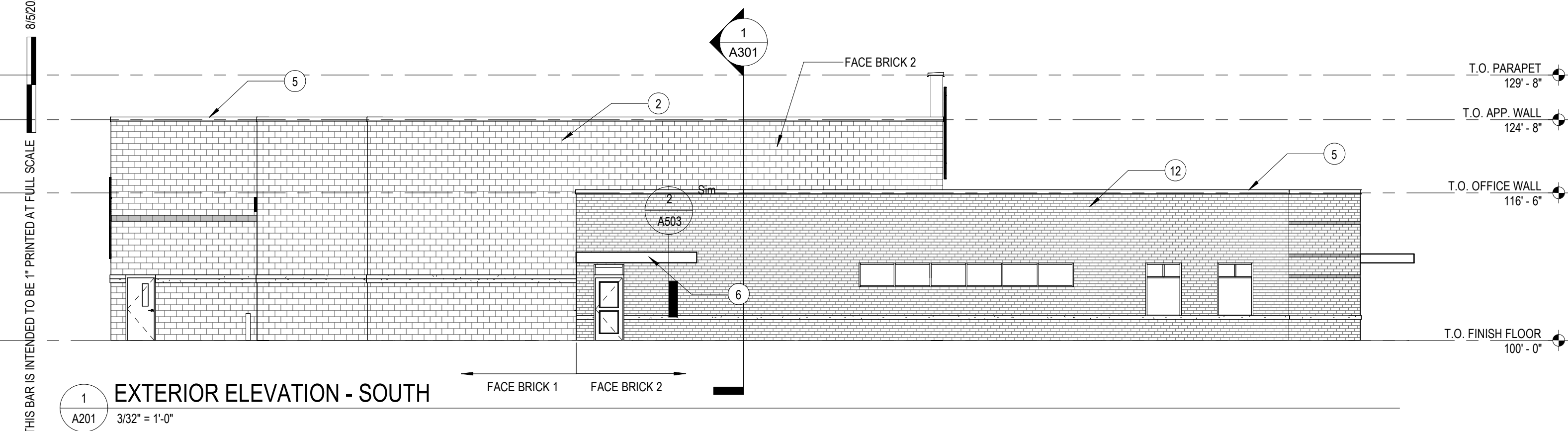
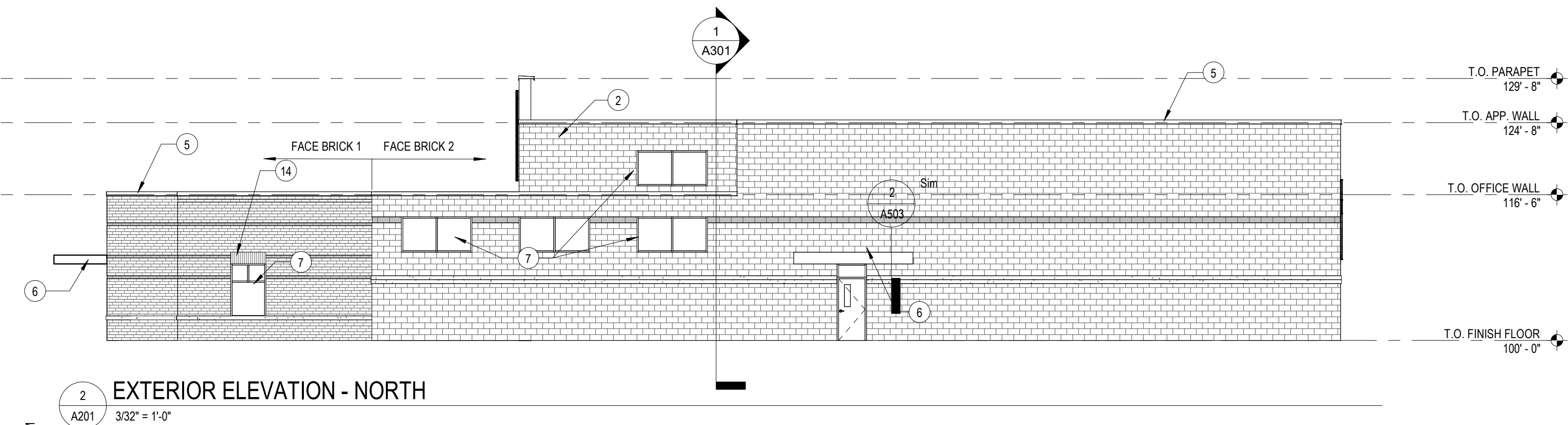
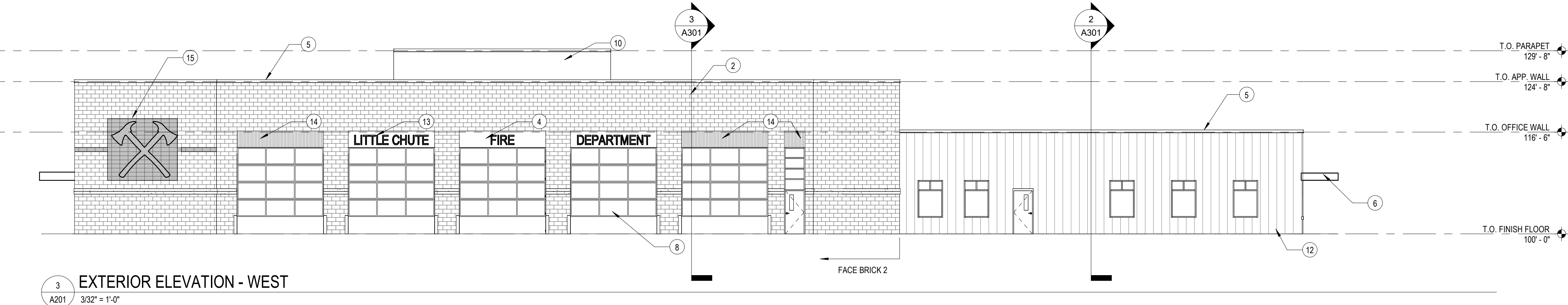
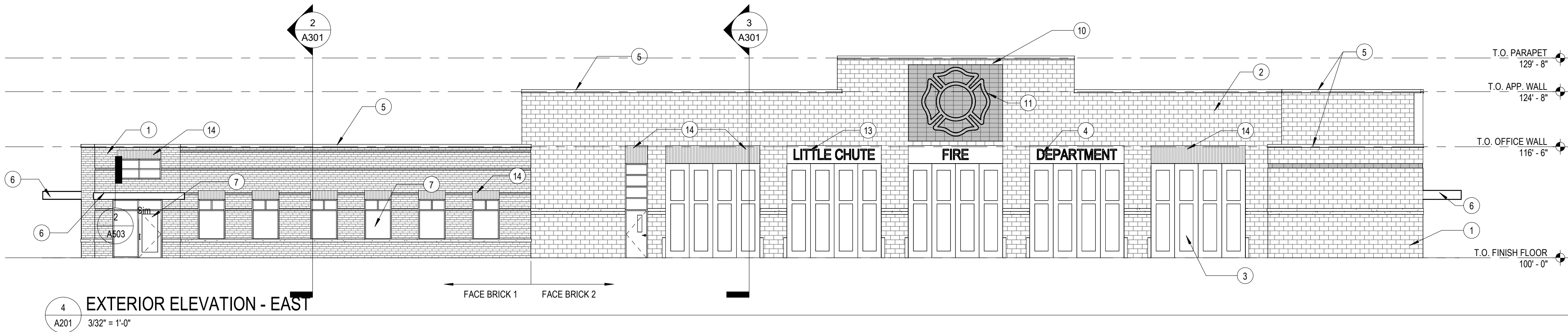
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SEH Project 181826  
Checked By TMF  
Drawn By TCD

Project Status 90% Review  
Issue Date 07/30/25

FLOOR PLAN - LEVEL 1

A111



EXTERIOR ELEVATION FINISHES	
1	CAST STONE VENEER
2	CONC. BRICK
3	BI-PARTING DOORS 14"W X 14"H BASIS OF DESIGN: DOOR ENGINEERING COMPANY PERFORMANCE SERIES FF30 LAYOUT B (RED)
4	PRECAST LINTEL AT EACH APP DOOR OPENING (TYP 6)
5	CONTINUOUS PERIMETER METAL PARAPET COPING. BASIS OF DESIGN: PAC-CLAD SIERRA TAN
6	OVERHANGS
7	ALUM. STOREFRONT OPENINGS
8	12 LITE (3/SECTION) SECTIONAL OVERHEAD DOORS (PAINT RED)
9	HOLLOW METAL DOOR (INSULATED) & FRAME. PAINT TO MATCH ALUM WINDOW FRAMES
10	WRAP ROOF MEMBRANE UP BACKSIDE OF PARAPET FEATURE
11	BACK-LIT MALTESE CROSS (15 COURSES HIGH X 10 COURSES WIDE TACK BOND INSET 3/8")
12	EXPOSED FASTENER ARCH. METAL PANEL, CHARCOAL
13	ENGRAVED LETTERS INTO PRECAST (PAINT BLACK)
14	DOUBLE SOLIDER COURSE OVER WINDOW/OH DOON OPENING
15	BACK LIT FIRE AXE (14 COURSES HIGH X 8 COURSES WIDE STACK BOND INSET 3/8")
FACE BRICK - 1 HERITAGE COLLECTION OR SIMILAR COLOR: REGENCY RED BLEND SIZE: STANDARD FACING OPTIONS: SMOOTH	
FACE BRICK - 2 HERITAGE COLLECTION OR SIMILAR COLOR: REGENCY RED BLEND SIZE: UTILITY FACING OPTIONS: SMOOTH	
BRICK COURSES SHADED ON THE EXTERIOR ELEVATIONS ARE TO BE RECESSED FROM THE OUTSIDE FACE 3/8"	

ALTERNATE FOR USE OF STONE.

Project Owner

LITTLE CHUTE FIRE DEPARTMENT

Little Chute, WI

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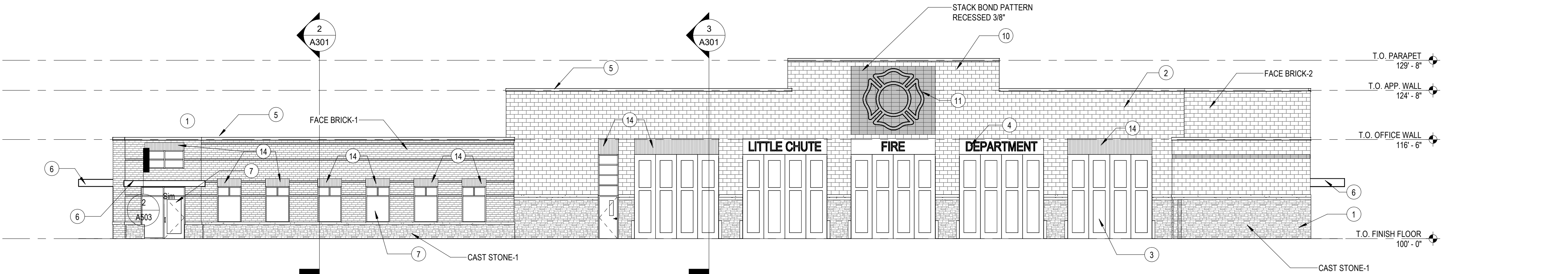
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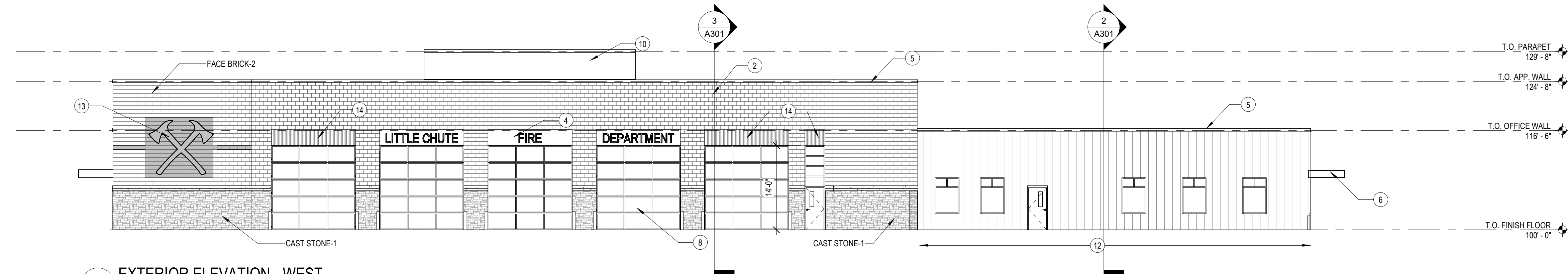
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EXTERIOR ELEVATIONS



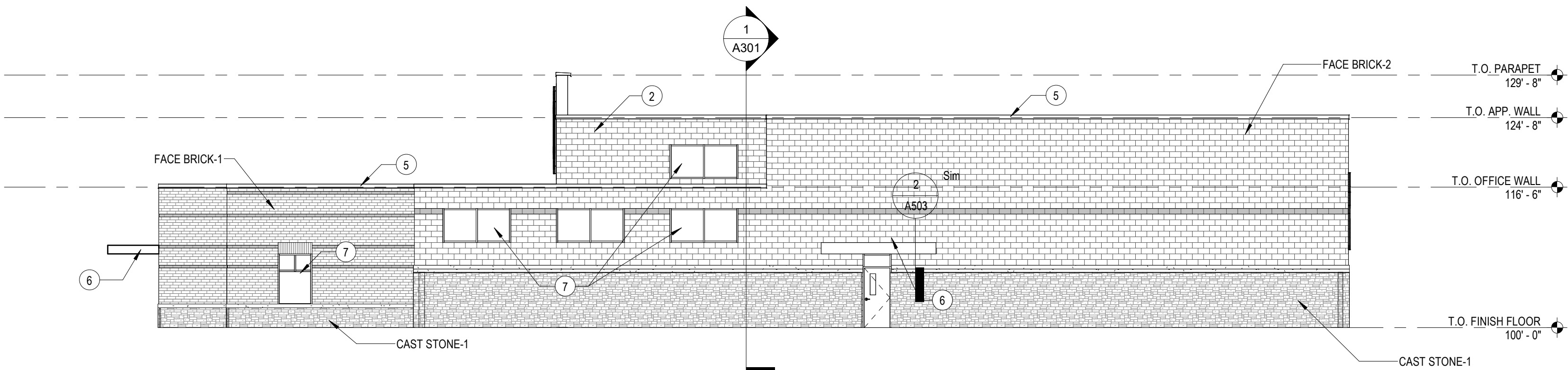
1  
A211  
3/32" = 1'-0"

EXTERIOR ELEVATION - EAST



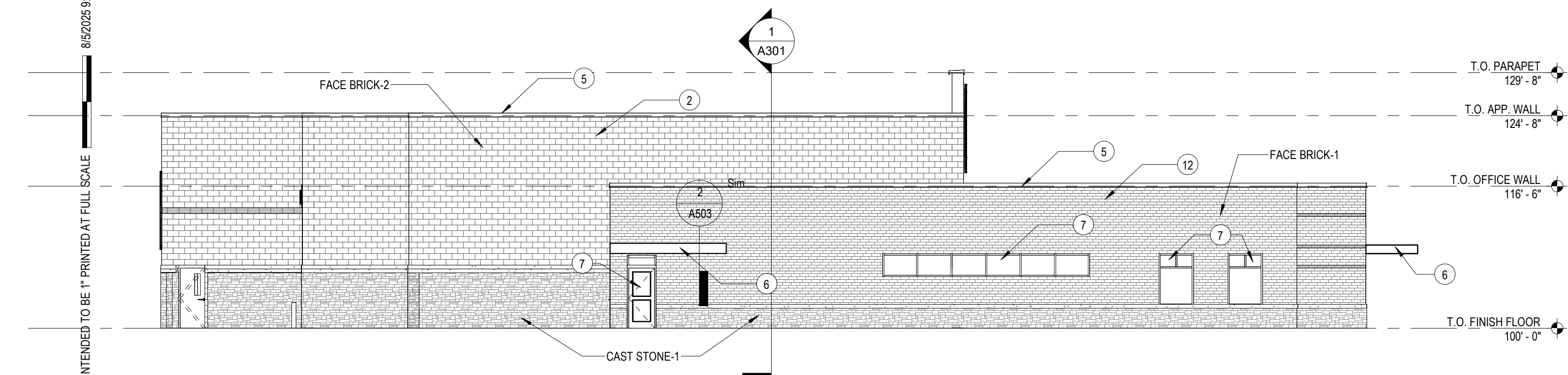
2  
A211  
3/32" = 1'-0"

EXTERIOR ELEVATION - WEST



3  
A211  
3/32" = 1'-0"

EXTERIOR ELEVATION - NORTH



4  
A211  
3/32" = 1'-0"

EXTERIOR ELEVATION - SOUTH

EXTERIOR ELEVATION FINISHES	
1	CAST STONE VENEER AS ALTERNATE
2	CONC. BRICK
3	BI-PARTING DOORS 14"W X 14"H BASIS OF DESIGN- DOOR ENGINEERING COMPANY PERFORMANCE SERIES FF30 LAYOUT B (RED)
4	PRECAST LINTEL AT DOOR OPENING
5	CONTINUOUS PERIMETER METAL PARAPET COPING. BASIS OF DESIGN: PAC-CLAD SIERRA TAN
6	OVERHANGS
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11	BACK-LIT MALTESE CROSS
12	EXPOSED FASTENER ARCH. METAL PANEL, CHARCOAL
13	BACK LIT FIRE AX
14	DOUBLE SOLDIER COURSE ABOVE OPENING

CAST STONE - 1	REFLECTION STONE OR SIMILAR COLOR: CLARITY SIZE: STANDARD
FACE BRICK - 1	HERITAGE COLLECTION OR SIMILAR COLOR: REGENCY RED BLEND SIZE: STANDARD FACING OPTIONS: SMOOTH
FACE BRICK - 2	HERITAGE COLLECTION OR SIMILAR COLOR: REGENCY RED BLEND SIZE: UTILITY FACING OPTIONS: SMOOTH
BRICK COURSES SHADED ON THE EXTERIOR ELEVATIONS ARE TO BE RECESSED FROM THE OUTSIDE FACE 3/8"	



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LITTLE CHUTE FIRE DEPARTMENT

Little Chute, WI

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Drawn By	TCD

Project Status	Issue Date
90% Review	07/30/25

REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

EXTERIOR ELEVATIONS -  
ALTERNATE

A211

AXON VIEW - ALL BRICK



A300

AXON VIEW - STONE BASE



A301

# DEPOT ST PERSPECTIVE - ALL BRICK



## DEPOT ST PERSPECTIVE - STONE BASE



A302

HANS PKWY PERSPECTIVE - ALL BRICK



HANS PKWY PERSPECTIVE - STONE BASE



GRAND AVE PERSPECTIVE - ALL BRICK



GRAND AVE PERSPECTIVE - STONE BASE

