



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, September 8, 2025

TIME: 5:00 p.m.

Join Zoom Meeting

<https://us06web.zoom.us/j/81545149589>

Meeting ID: 815 4514 9589

One tap mobile

+13052241968,,81545149589# US

A. Call to Order

B. Roll Call

C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of August 11, 2025
2. Discussion/Action – Site Plan, Vosters Electric Light Industrial Flex Building
3. Discussion/Action – Certified Survey Map, Pine Street Parking Lot
4. Discussion/Action – Certified Survey Map, Beardsley/Kadonsky
5. Discussion/Action – Rezoning, Little Chute Fire Station
6. Discussion/Action – Site Plan, Little Chute Fire Station
7. Items for Future Agenda
8. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 September 4, 2025

MINUTES OF THE PLAN COMMISSION MEETING OF AUGUST 11, 2025

Call to Order

The Plan Commission meeting was called to order at 5:00 PM by President Vanden Berg

Roll Call

PRESENT: President Vanden Berg
Jim Moes
Bill Van Berkel
Larry Van Lankvelt
Tom Lonsway

STAFF PRESENT: Jessica Titel
Beau Bernhoft
Robert Givens

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of July 14, 2025

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to approve the Plan Commission Meeting Minutes of July 14, 2025 as presented.

All Ayes – Motion Carried

Discussion/Possible Action—Certified Survey Map, Little Chute Fire Station Two-Lot CSM

An application for a two-lot CSM was recently submitted to the Village. The proposed CSM would combine the existing thirteen lots south of Hans Parkway into one lot and the three existing parcels north of Hans Parkway into a second lot. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on August 20 for final action. The CSM is attached to this report for Plan Commission review.

Moved by Commissioner Moes, seconded by Commissioner Van Berkel to approve the CSM as presented.

All Ayes – Motion Carried

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Berkel to Adjourn the Plan Commission Meeting at 5:04 p.m.

All Ayes – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael Vanden Berg, Village President

Attest: _____

Laurie Decker, Village Clerk



Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/3/25

Agenda Item Topic: **Site Plan – Vosters Electric Flex Building**

Prepared By: Jessica Titel, Community Development Department

Applicant: Brandon Robaidek, Robert E. Lee & Associates, Inc.

Owner: Bayland Buildings, Inc

Address/Parcel #: 1401 W. Evergreen Drive/Parcel #260439601

Request: An application for Site Plan review has been submitted for the construction of a new light industrial flex building.

Zoning Classification: ID Industrial District

Project Summary/Background: The project includes the construction of a new light industrial flex building on a vacant 2.11 acre parcel of land. The proposed building will be approximately 12,000 square in area. The project will include a parking lot with 36 parking spaces. Access to the site will be via Evergreen Drive.

The Village Board recently approved a Certified Survey Map to create the subject parcel.

Recommendation/Board Action: Staff is recommending Plan Commission approval of the Site Plan, subject to the satisfaction of all staff comments.

Respectfully Submitted,
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$600
Receipt #	
Account #	4-407
Date Received	

Site Plan Review Application (new construction, additions > 10,000 square feet)

PROPERTY OWNER	APPLICANT
Name: Bayland Buildings, Inc.	Name: Brandon Robaidek
Mailing Address: 3323 Bay Ridge Ct	Company: Robert E. Lee and Associates, Inc.
City/State/Zip: Hobart, WI 54155	Address: 1250 Centennial Centre Blvd
Phone: 920-371-6200	City/State/Zip: Hobart, WI 54155
Email: dobrien@baylandbuildings.com	Phone: 920-662-9641
	Email: brobaidek@releeinc.com

PROPERTY & PROJECT INFORMATION

Parcel Number: 260439600 (CSM in Progress)

Site Address/Location: 1401 West Evergreen Drive

Current Zoning: Industrial	Proposed Zoning: Industrial
Current Use: Vacant	Proposed Use: Contractor Shops
Current number of employees: 0	Proposed number of employees: 16
Existing building floor area: 0	Proposed building floor area: 12,000 s.f.
Existing number of parking stalls: 0	Proposed number of parking stalls: 18
Percent of existing impervious surface: 0	Percent of proposed impervious surface: 36.2%

Describe the proposed project:

The proposed development includes the construction of a 12,000 square foot building and paved area for drive lanes and parking.

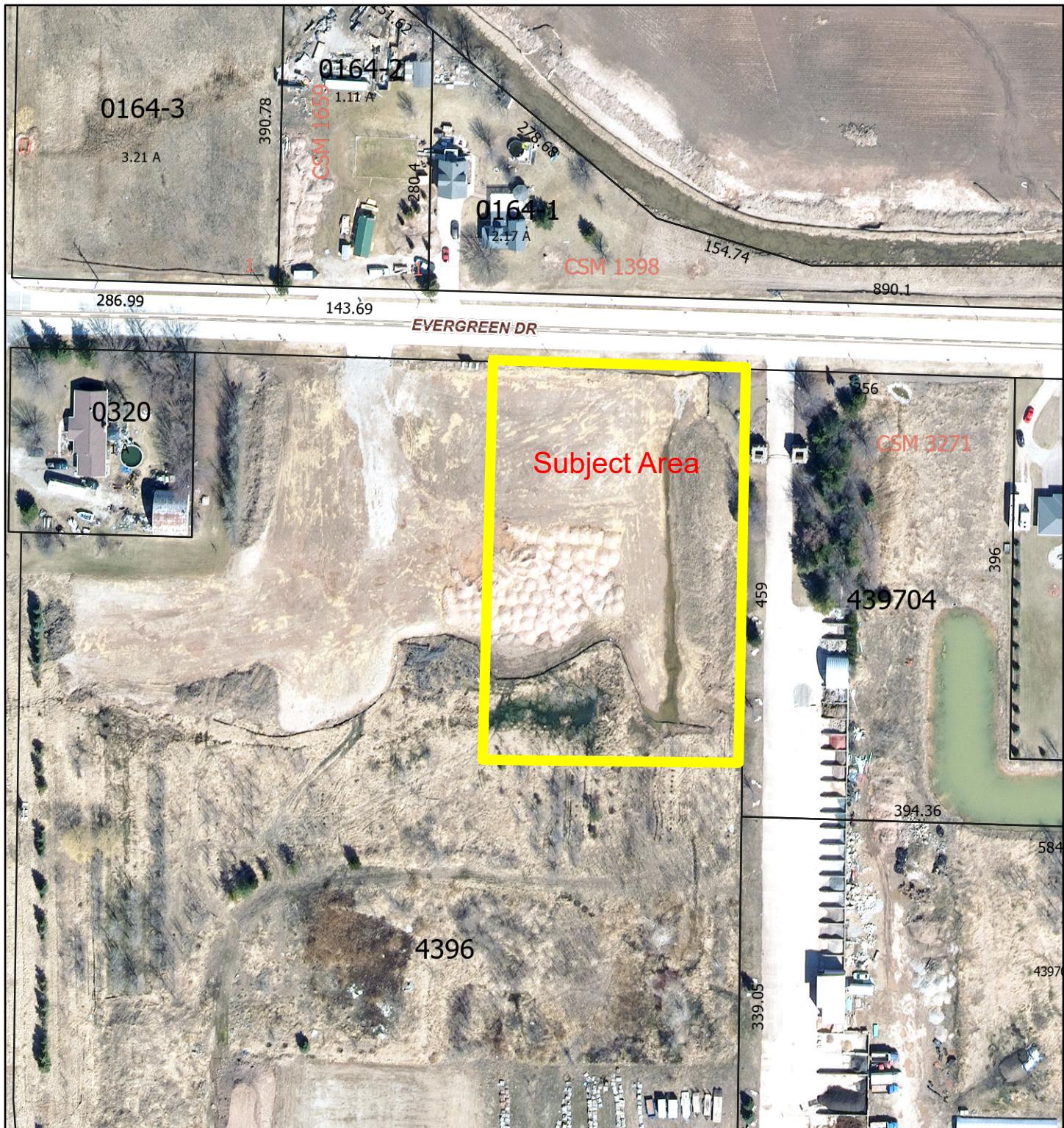
Applicant Statement

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

Applicant/Owner Signature:

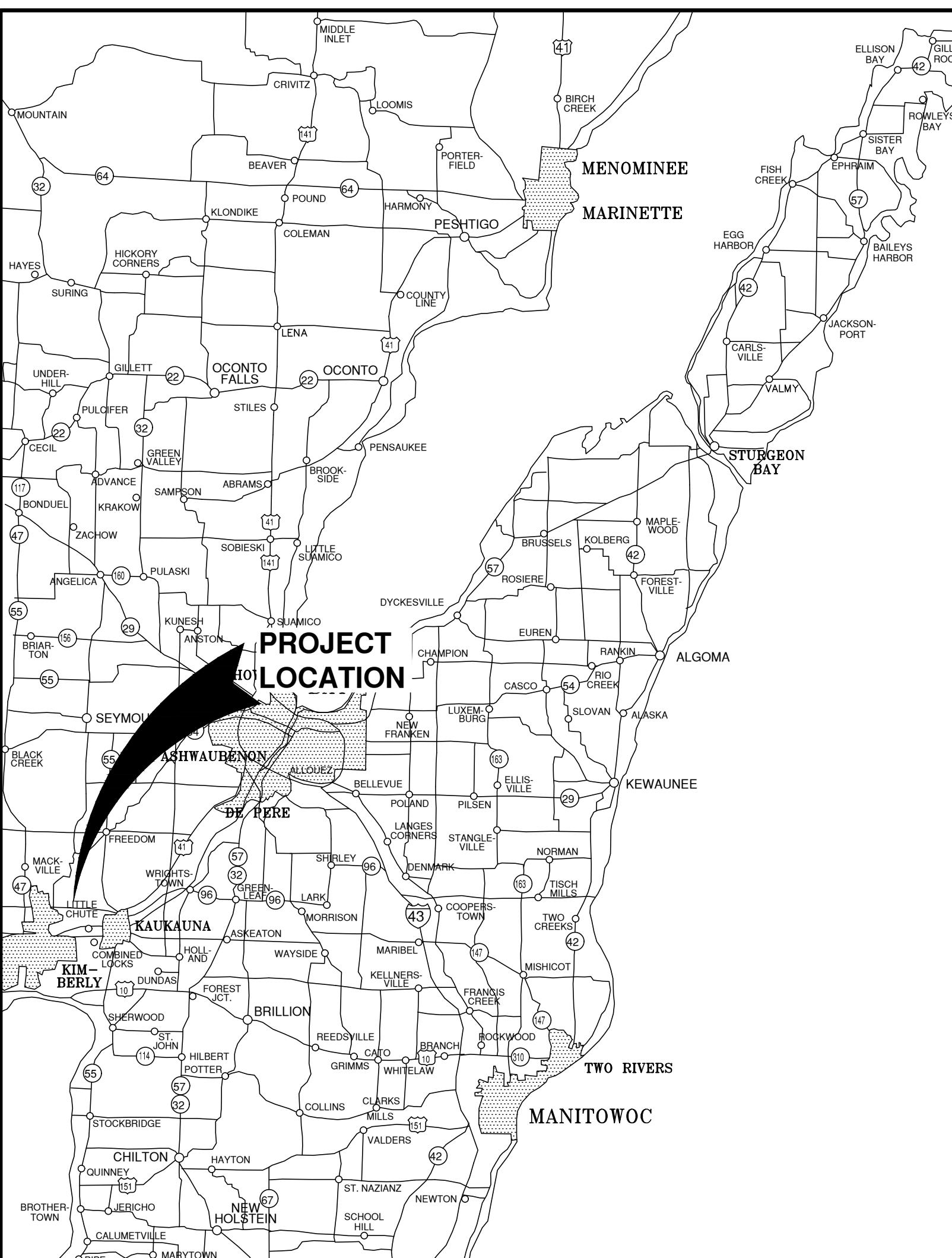
Date: 8/14/25

Vicinity Map - Vosters Electric Flex Building



VOSTERS ELECTRIC SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



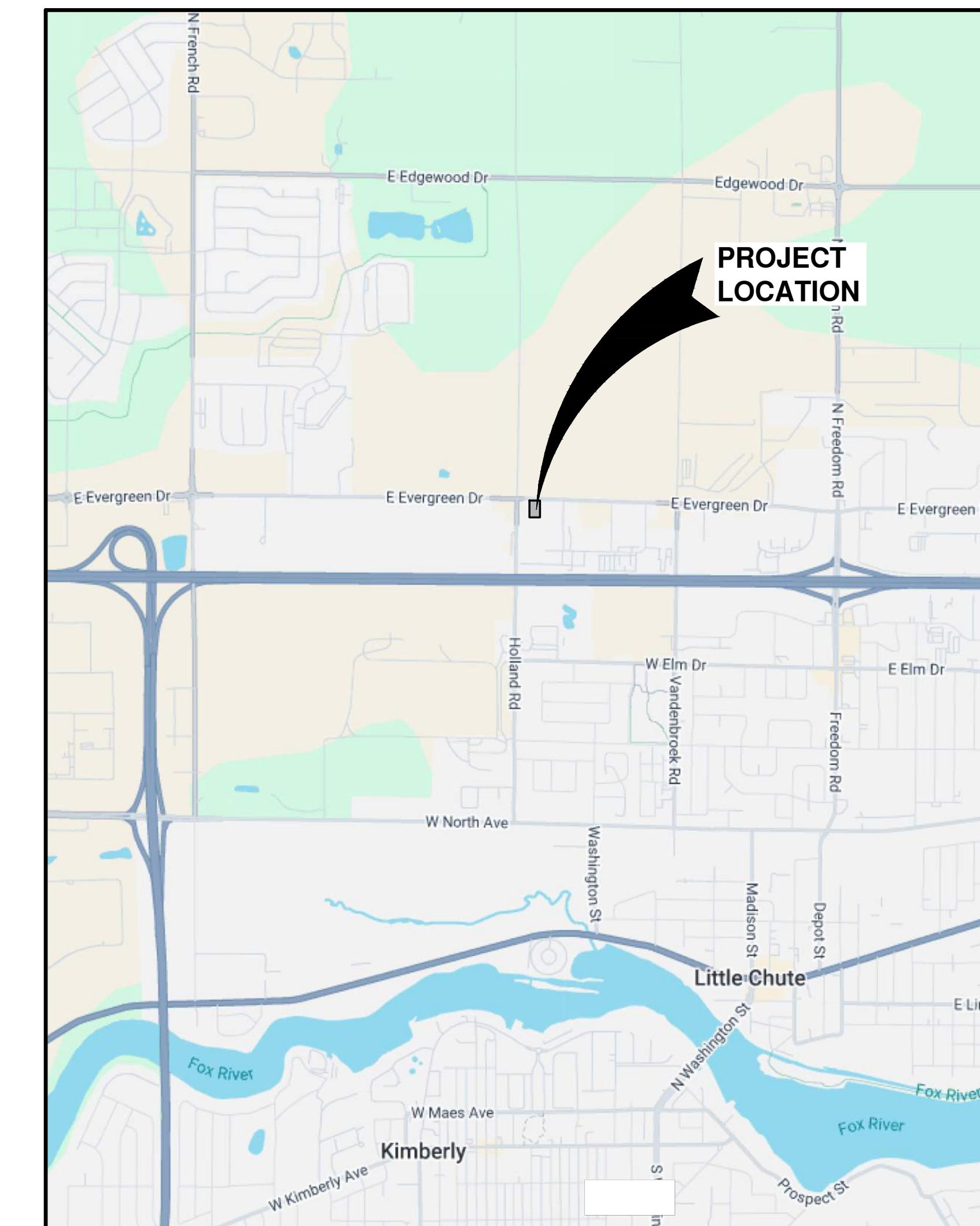
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

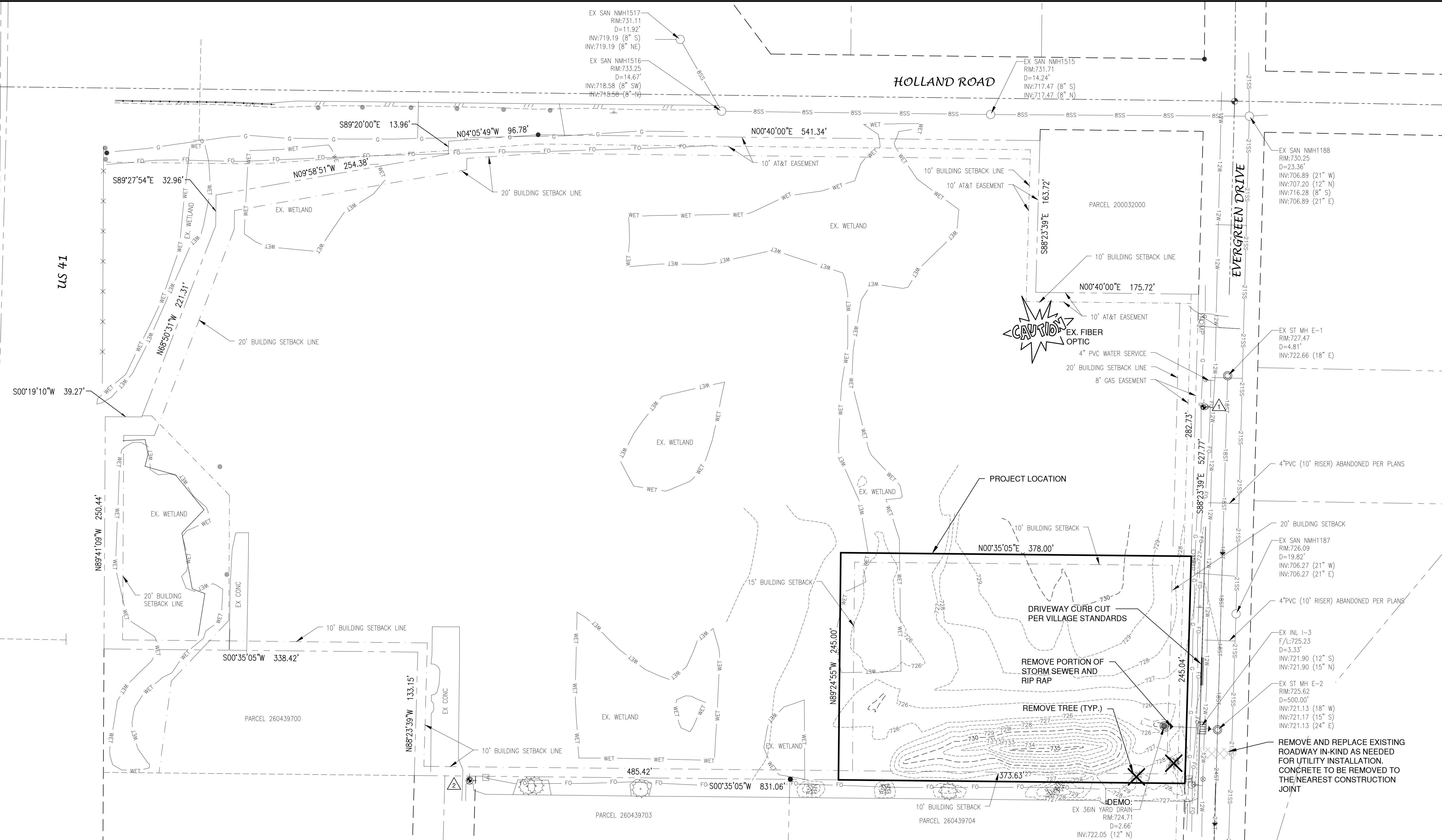
NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS

INDEX TO DRAWINGS

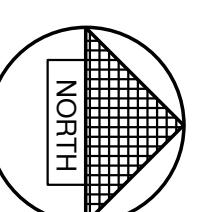
SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING PLAN
6	EROSION CONTROL PLAN
7	POUND DETAIL
8	MISCELLANEOUS DETAILS
9	MISCELLANEOUS DETAILS
10	MISCELLANEOUS DETAILS
11	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
12	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
13	EROSION CONTROL - SHEET FLOW DETAILS
14	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
15	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
16	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN



LOCATION MAP



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
1	BURY TAG ON HYDRANT	731.12
2	BURY TAG ON HYDRANT	729.97



A horizontal scale bar with a black segment in the middle. The text "SCALE IN FEET" is centered below the bar.

NO.	DATE	APPROV.	REVISION

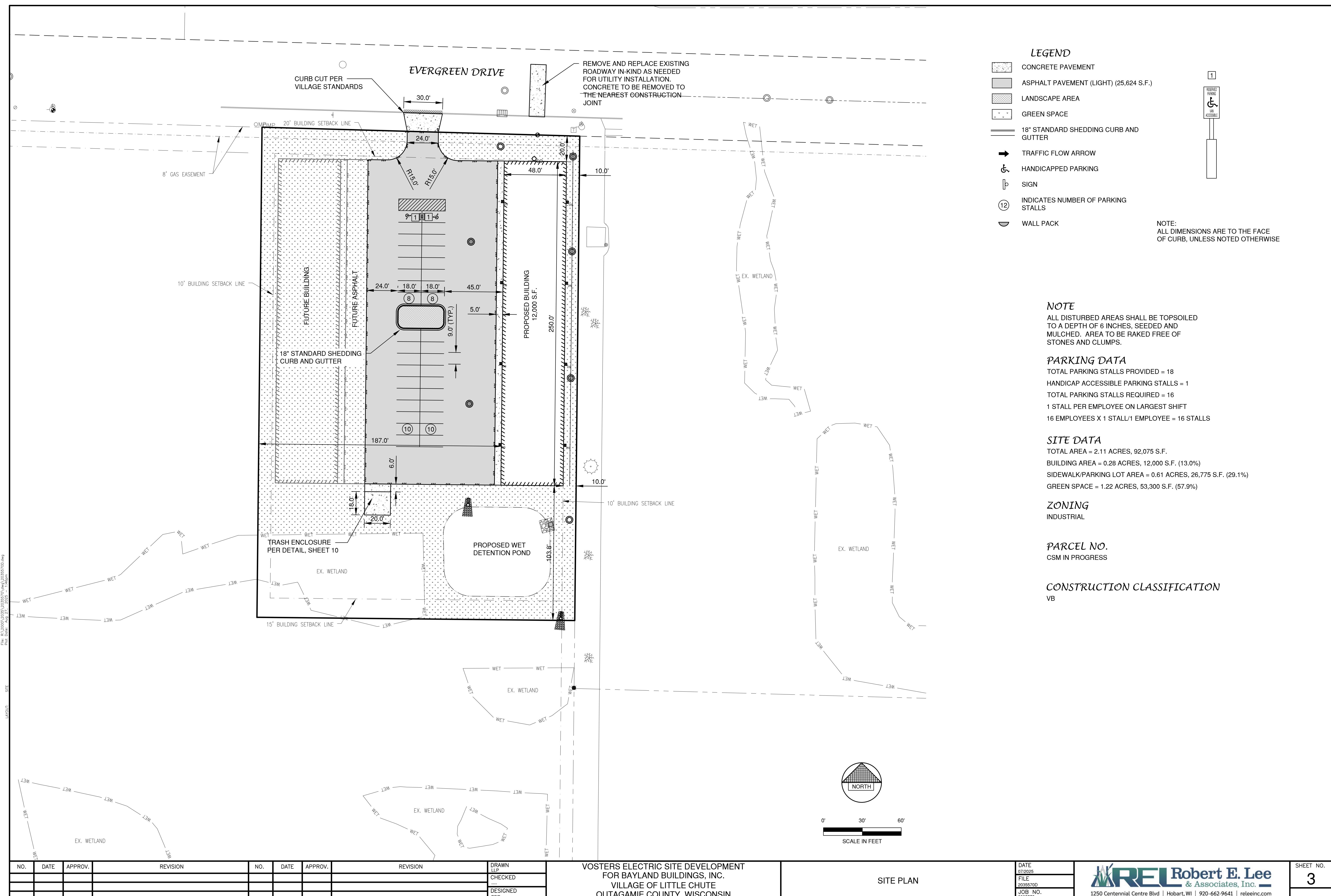
VOSTERS ELECTRIC SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

E
25

 **REL** Robert E. Lee
& Associates, Inc. releeinc.com
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641

SHEET NO
2



NO.	DATE	APPROV.	REVISION

NO.	DATE	APPROV.	REVISION

DRAWN LLP	VOSTERS ELECTRIC SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF LITTLE CHUTE QUITAGAMIE COUNTY, WISCONSIN
CHECKED	

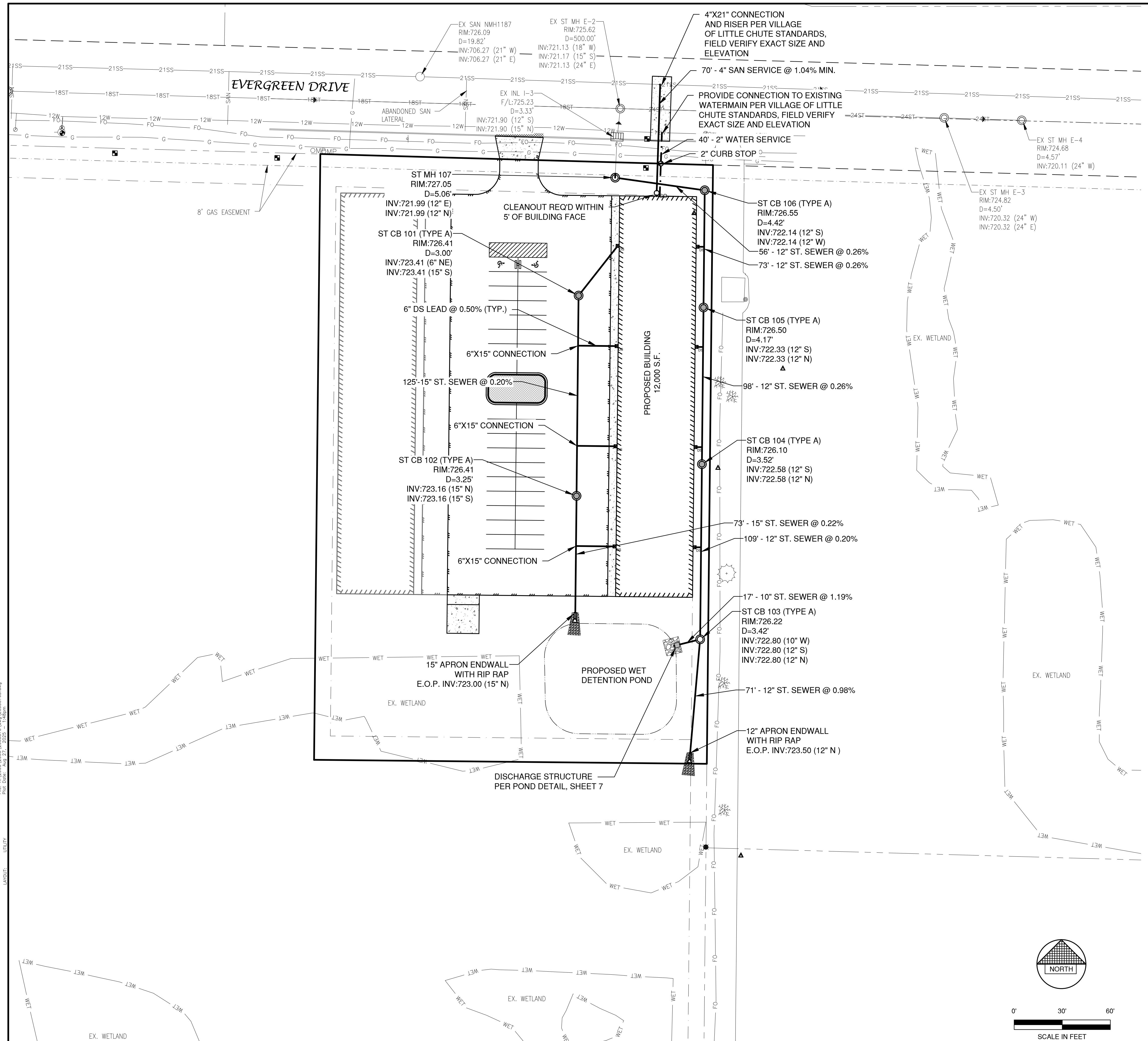
DESIGNED BDR	

SITE PL

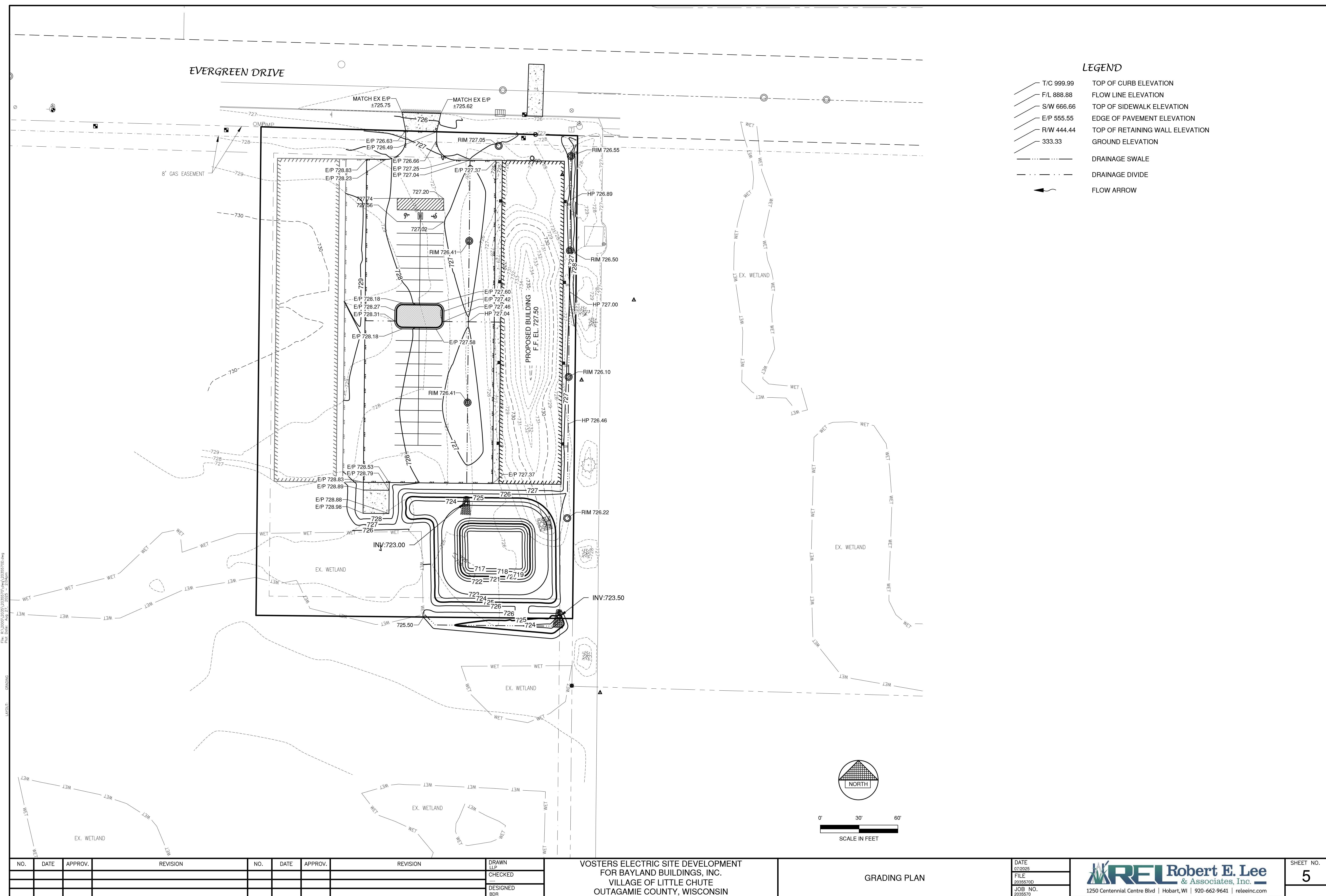
E
25
70D
NO.
70

 **REI** Robert E. Lee & Associates, Inc. releeinc.com
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releeinc.com

SHEET NO. 3



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	CHECKED ...	DESIGNED BDR



NO.	DATE	APPROV.

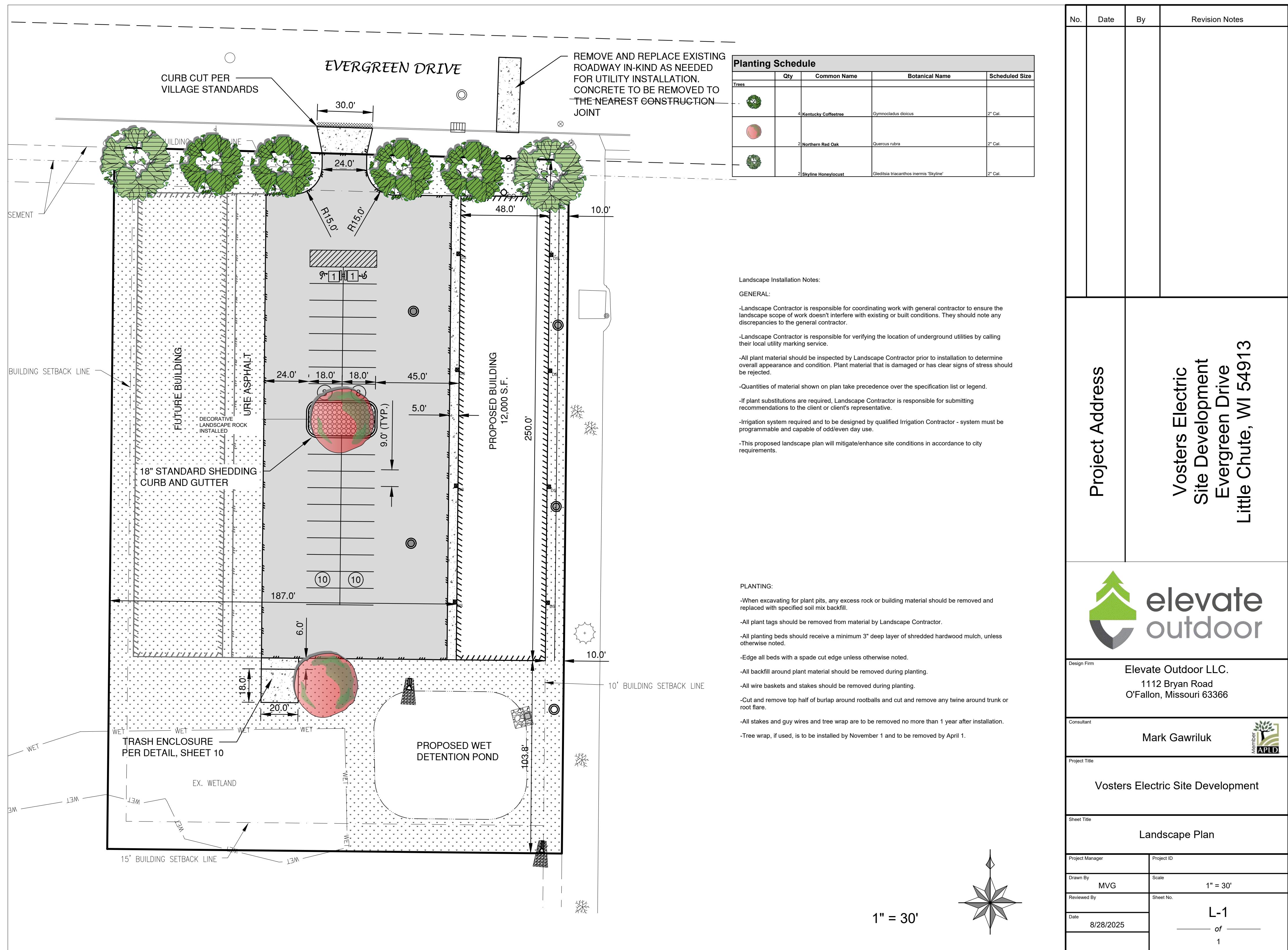
VOSTERS ELECTRIC SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

GRADING PLANS

DATE
7/2025
FILE
035570D
JOB NO.
035570

 **REI** Robert E. Lee
& Associates, Inc. 

SHEET NO
5



PROPOSED BUILDING FOR:
24-3860, WISCONSIN; COUNTY OF:SCALE VERIFICATION
THE BAR MEASURED 1' ON ORIGINAL
ADJUST SCALE ACCORDINGLYNOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE U.S. PATENT AND TRADEMARK ACT AS OF
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES THE ORIGINAL DESIGN CONCEPT AS WELL AS
THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,
UNAUTHORIZED COPIES OF THE PLANS OR ANY PART THEREOF,
REPRODUCED OR USED FOR THE PURPOSE OF CONSTRUCTION
OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: -

PROJECT
EXECUTIVE: MATT RITTER
(920)371-3462

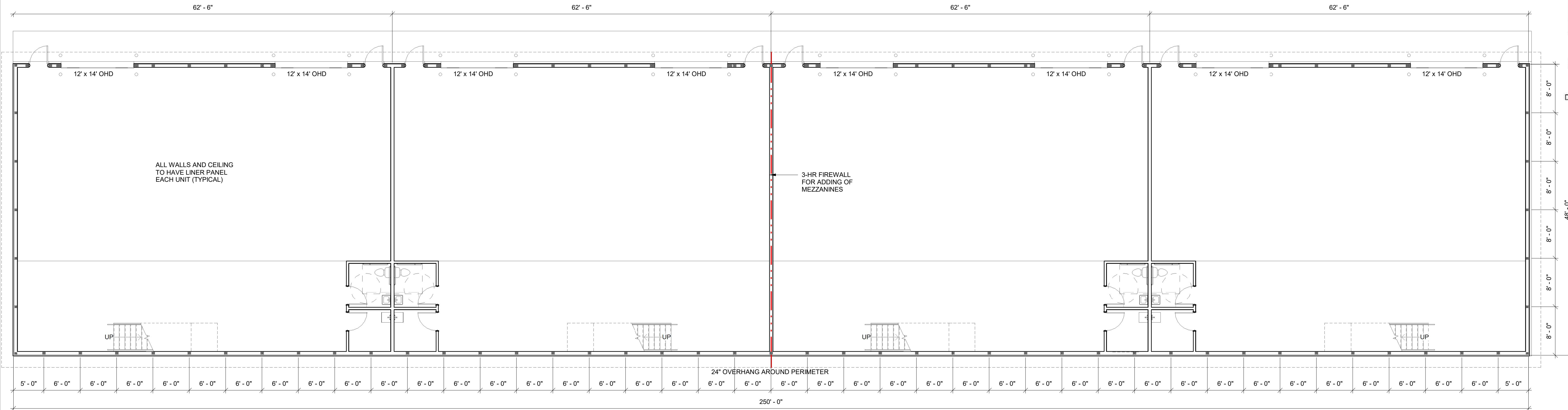
DRAWN BY: DPO

DATE: 09/12/2024

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

OVERALL FLOOR PLAN
A1.0

FLOOR PLAN - OVERALL

1/A1.0 SCALE = 1/8" = 1'-0"

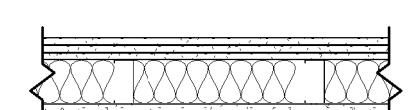
BASE LAYER 1/2" PROPRIETARY TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER
BASE APPLIED PARALLEL TO EACH SIDE OF 1 5/8" STEEL STUDS 24" O.C. WITH 1" TYPE S
DRYWALL SCREWS 24" O.C. SECOND LAYER 1/2" PROPRIETARY TYPE X GYPSUM
WALLBOARD OR GYPSUM VENEER BASE APPLIED TO EACH SIDE WITH 1 5/8" TYPE S
DRYWALL SCREWS 24" O.C. FACE LAYER 1/2" PROPRIETARY TYPE X GYPSUM
WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO
EACH SIDE WITH 2 1/4" TYPE S DRYWALL SCREWS 12" O.C. AND 1 1/2" TYPE G DRYWALL
SCREWS MIDWAY BETWEEN STUDS 1" ABOVE AND BELOW HORIZONTAL JOINTS FOR
RIGHT ANGLE APPLICATION.

JOINTS STAGGERED 24" EACH LAYER AND SIDE. SOUND TESTED WITH 1 1/2" MINERAL
FIBER INSULATION FRICTION FIT IN STUD SPACE. (NLB)

UNLESS OTHERWISE SPECIFIED, THE GYPSUM FACE LAYERS, EXCEPT THOSE WITH
PREDECORATED OR METAL COVERED SURFACES, SHALL HAVE JOINTS TAPE (MINIMUM
LEVEL 1 AS SPECIFIED IN GA-214, RECOMMENDED LEVELS OF GYPSUM BOARD FINISH)
AND FASTENER HEADS TREATED. BASE LAYERS IN MULTI-LAYER SYSTEMS SHALL NOT
BE REQUIRED TO HAVE JOINTS TAPE.

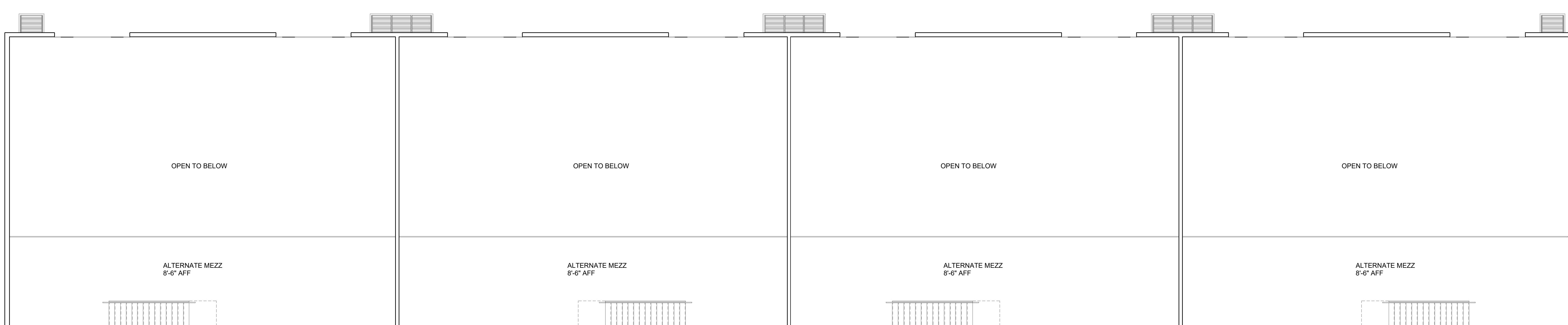
THICKNESS: 4-5/8"
LIMITING HEIGHT: REFER TO MNFT'R.
APPROX. WEIGHT: 13 PSF
FIRE TESTS: UL R1319-138, 139
5-27-82
UL DESIGN U435
FIELD SOUND TEST: SA-830112

UNITED STATES GYPSUM COMPANY
1/2" SHEETROCK BRAND GYPSUM
PANELS, FIRECODE C CORE



3-HR MTL. STUD WALL GA FILE NO. WP 2800

3/A1.0 SCALE = 3/4" = 1'-0"



ALT. MEZZ

2/A1.0 SCALE = 1/8" = 1'-0"

NORTH

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MB-1	LOCATION: WALL PANEL MATERIAL: 26GA SEMI-CONCEALED SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MB-2	LOCATION: WALL PANEL MATERIAL: HORIZONTAL MTL. PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
ACM-1	LOCATION: WALL PANEL MATERIAL: ALUMINUM COMPOSITE METAL PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
CP-1	LOCATION: WALL PANEL MATERIAL: PRECAST CONC. PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MR-1	LOCATION: ROOF PANEL MATERIAL: 26GA SSR SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:

PROPOSED BUILDING FOR:
24-3860
, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THE BAR MEASURES 1' ON ORIGINAL
ADJUST SCALE ACCORDINGLY

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DRAWN BY: DPO

DATE: 09/12/2024

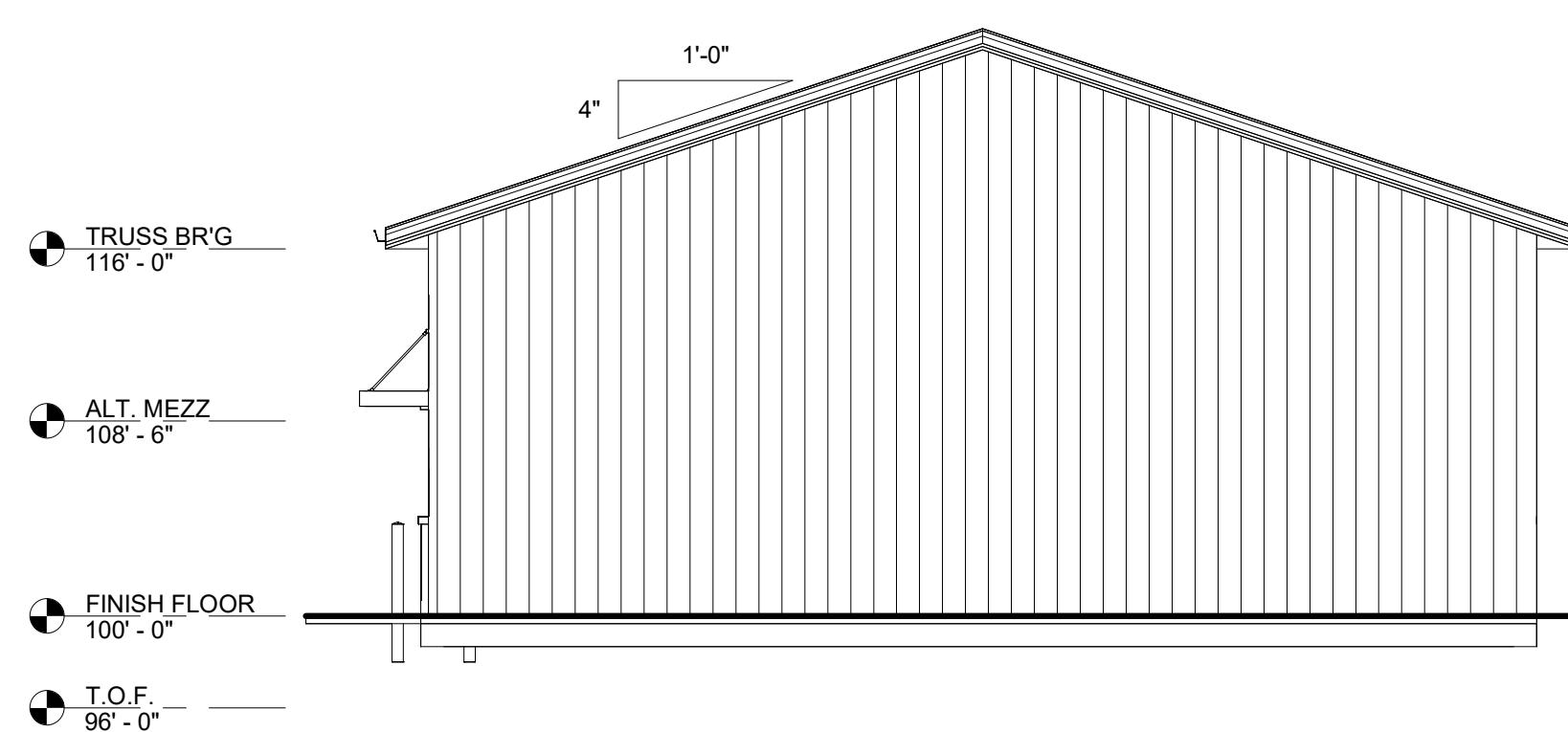
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

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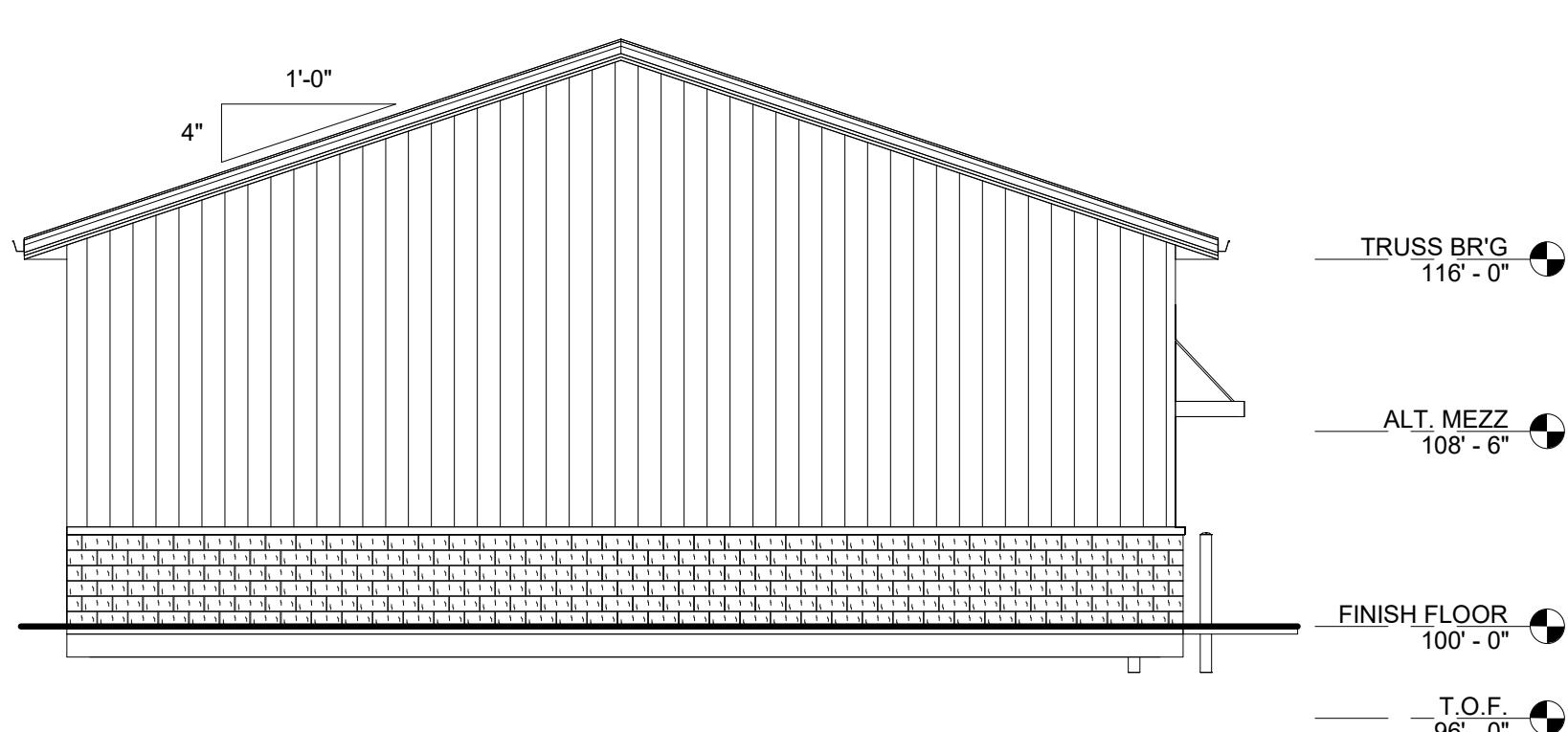
EXTERIOR ELEVATIONS

A2.0



BUILDING ELEVATION - SOUTH

1 /A2.0 SCALE = 1/8" = 1'-0"



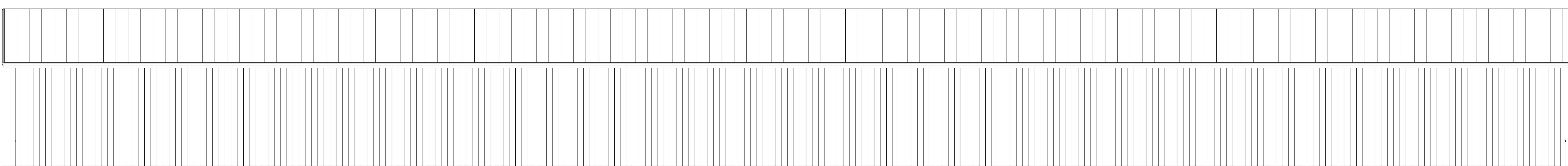
BUILDING ELEVATION - NORTH

4 /A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - WEST

2 /A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - EAST

3 /A2.0 SCALE = 1/8" = 1'-0"



Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/4/25

Agenda Item Topic: **CSM – Pine Street Parking Lot**

Prepared By: Jessica Titel, Community Development Department

Applicant/Owner: Village of Little Chute

Location: Pine Street public parking lot

Parcel #s: 260041100, 260042800, 260042900, 260043200, 260043300, 26004490, 260044800, 260044400 & 260041700 and Part of Parcel #s: 260041200, 260041300 & 260043100

Request: An application for a two-lot CSM was recently submitted for review. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on October 1 for final action. The CSM is attached to this report for Plan Commission review.

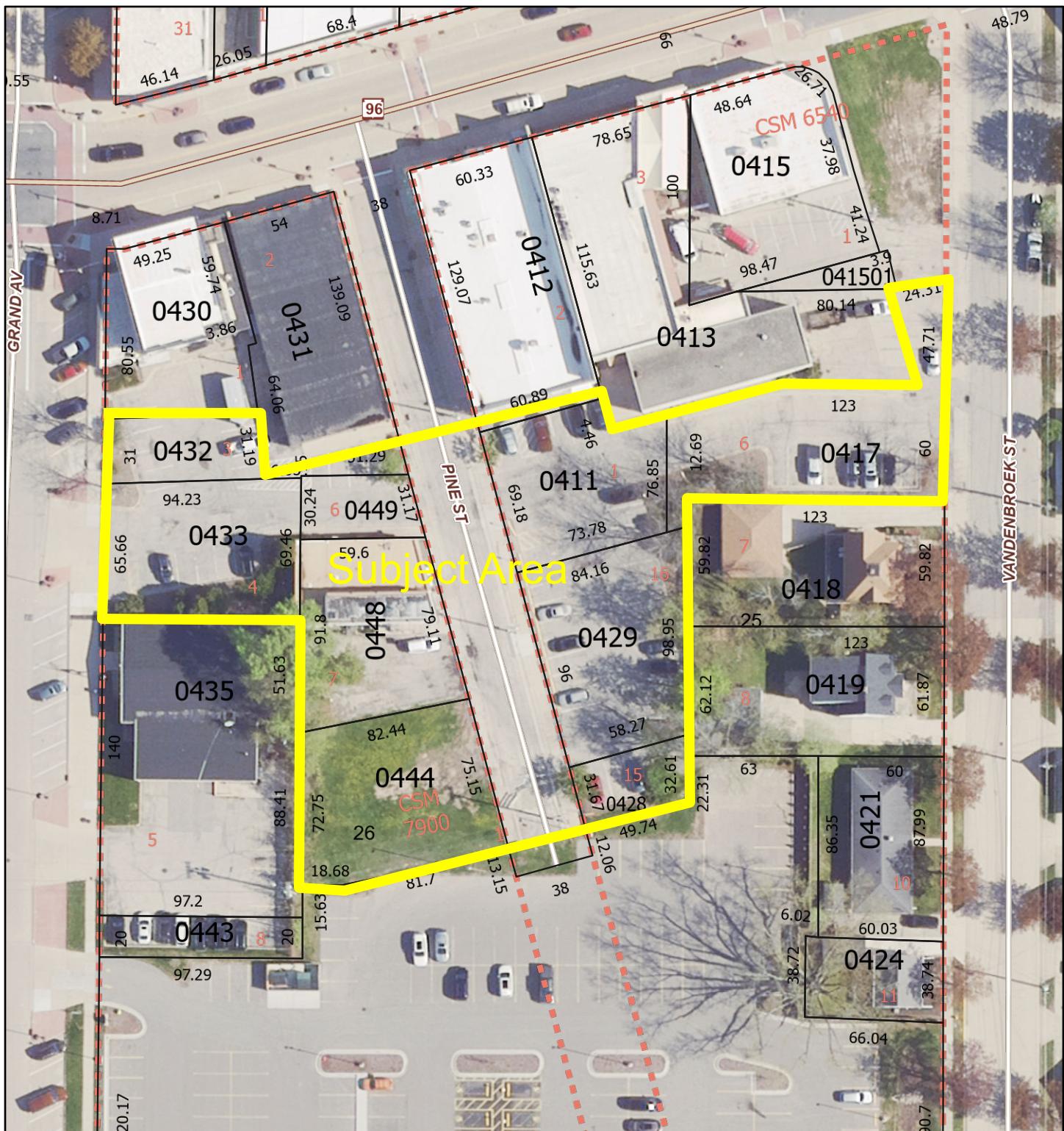
Zoning Classification: CBD Central Business District

Background: The CSM is being prepared to combine lots and clean up historic property lines in preparation for the reconstruction of the Pine Street public parking lot. The subject area currently contains public parking and vacant land. Quit claim deeds will be prepared to transfer small areas of private property to the Village to ensure all public improvement are located on Village owned property. The proposed CSM reflects the anticipated land transfers. Vacation of a portion of Pine Street has been initiated and the Village Board is expected to adopt to final resolution on October 1. The CSM will be presented for approval at the same meeting as the Pine Street vacation.

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board, subject to satisfaction of all staff comments.

Respectfully Submitted,
Jessica Titel, Community Development Director

Vicinity Map - Pine Street Parking Lot CSM



9/4/2025, 11:57:04 AM

1:1,128

Tax Parcel Information Streets

— LOCAL

PLSS Sections

Plat Boundary Lines

Plat Boundary

CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 5, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No _____ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of

Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

Northeast Corner
Section 21, T21N, R18E
3/4" Rebar Found

CSM 6540

Block 25



Professional Land
SURVEYORS Inc.
2165 S. Broadway
Green Bay, WI 54304
(920)406-1477

Job # 0625-106
T: (2025)0625-106-Little Chute - CSM(Drawings)

0
60
120

Grand Avenue

(N00°47'08"E)
S00°26'07"W
280.00'

120.14' 19.86' (20.00')

Block 26
Lot 3

Block 26
Lot 4

Existing Building

(N89°12'52"W)
94.29' (94.33')

(N00°26'07"E)
96.88'

59.76'

Block 26
Lot 5

(S00°59'27"E)
(N01°19'12"W)

72.65'

Block 26
Lot 6

(S00°38'29"W)
51.63'

Block 26
Lot 7

(S00°17'28"E)
50,514 Sq Ft

1.1596 Acres

Block 26
Lot 8

(S00°01'01"E)
(S00°20'00"W)

144.25'

Block 25
Lot 16

(S78°27'10"N)
(81.74')
(81.78')

22.37'

Block 25
Lot 15

(S74°01'30"N)
(49.74')
(49.74')

121.98'

Block 25
Lot 14

(N00°20'00"E)
566.71'

189.15'

Block 25
Lot 13

(S74°27'53"N)
(68.75')
(67.42')

100.82'

Block 25
Lot 12

(N74°22'31"E)
CSM 8692

Ingress/Egress &
Parking Easement &
(Per Doc 2213196)

CSM 7900

Block 25
Lot 1

(S78°27'10"N)
(81.74')
(81.78')

2616.27'

East 1/4 Corner
Section 21, T21N, R18E
Berntsen Monument Found

E/L of the Northeast 1/4
Section 21, T21N R18E
S00°28'56"W 2637.93'

21.66'

30'

30'

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21.66'

30'

2616.27'

CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 5, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No _____ all being part of the 1985 Amendment to

1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

Sheet 2 of 5

LEGEND

- 1.3" OD x 18" Iron Pipe @ 1.68 lbs/LF Set
- ◊ Cut Cross Set
- ▲ Masonry Nail, Set
- Masonry Nail, Found
- 1" Iron Pipe Found
- ▣ Cut Cross Found
- Railroad Spike, Found
- Section Corner As Noted

Grand Avenue (90')

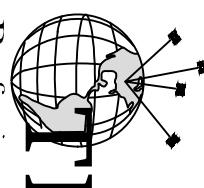
Block 26 (N88°28'30"E) (73.30')
 Lot 1 N88°07'29"E 73.27'

Block 26 (N88°28'30"E) (73.30')
 Lot 2 2,400 Sq Ft 0.0551 Acres
 Block 26 (N88°28'30"E) (73.30')
 Lot 3 25.28 508°33'41"E 31.48
 5.89' 29.16' 16.20' 1.8° 3.18' 1.8°
 N89°33'53"W S75°33'53"N
 5.89' 17.98' 1.1596 Acres
 9.60' 29.16' 16.20' 1.8° 3.18' 1.8°
 S81°32'24"W
 Block 26 (N88°28'30"E) (73.30')
 Lot 4 50,514 Sq Ft 1.1596 Acres
 9.60' 29.16' 16.20' 1.8° 3.18' 1.8°
 6' Gas Distribution Easement (Per Doc 2288450)

Block 26 (N89°00'57"E 36.37')
 Lot 1 50,514 Sq Ft 1.1596 Acres
 Block 26 (N89°00'57"E 36.37')
 Lot 2 2021' 1.79' 10.64' 1.1596 Acres
 Block 26 (N89°00'57"E 36.37')
 Lot 6 2021' 1.79' 10.64' 1.1596 Acres

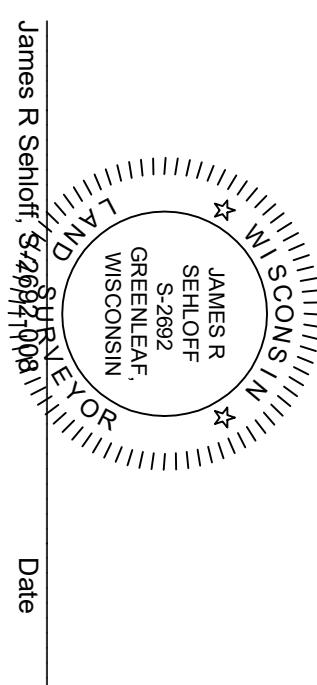
Existing Building

Pine Street
 Pedestrian Mill
 Ordinance 7 Mft
 1.9' 1.9' 1.9'



Professional Land
Surveyors Inc.

SURVEYORS
2165 S. Broadway
Green Bay, WI 54304
(920)406-1477
Job # 0625-106



Date

Scale: 1" = 20'
 0 20 40

CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No _____ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

SURVEYOR'S CERTIFICATE:

I, James R Sehloff, Professional Land Surveyor S-2692, do hereby certify: that in full compliance with the provisions of Chapter 236.34 of Wisconsin Statutes, subdivision regulations of the Village of Little Chute; under the direction of Village of Little Chute, the property owner of subject parcels, I have surveyed, combined and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the combination of the lands surveyed; and that this land is Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2, and all of Lot 3, 4, 6 and 7 all in Block 26 of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1 Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin, containing 52,914 Square Feet (1.2147 Acres) described as follows:

Commencing at the East 1/4 Corner, Section 21, T21N, R18E; thence, along the East line of the Northeast 1/4 of said Section 21, N00°28'56"E, 21.66 feet; thence S89°58'59"W, 90.82 feet to the Northeast corner of Lot 7, Block 25 of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 said point being the point of beginning; thence, along the North line of said Lot 7, S89°58'59"W, 123.00 feet to the Northwest Corner of said Lot 7; thence, along the East line of Lots 6, 15 and 16 of said Block 25, S00°01'01"E, 144.25 feet to the Southeast corner of said Lot 15; thence, along the South line of said Lot 15, S74°01'30"W, 68.75 feet to the Center line of discontinued Pine Street; thence, along said Center line, N15°10'58"W, 0.14 feet to the Easterly extension of the South line of Certified Survey Map 7900; thence, along said extension and the South line of Certified Survey Map 7900 recorded as Document No 2194600, S78°27'10"W, 100.82 feet; thence, continuing along said South line, S89°07'32"W, 18.68 feet to a point on the East line of Lot 5, Block 26 of said 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute; thence, along said East line, N01°20'32"W, 72.65 feet; thence continuing along said East line, N00°17'28"E, 51.63 feet to the Northeast corner of said Lot 5; thence, along the North line of said Lot 5, N89°33'53"W, 94.29 feet to the East right of way line of Grand Avenue; thence, along said East right of way line, N00°26'07"E, 96.88 to the Northwest corner of Lot 3 of said Block 26; thence, along the North line of said Lot 3, N88°07'29"E 73.27 feet to the Northeast corner of said Lot 3; thence along the East line of said Lot 3, S08°33'14"E, 22.10 feet; thence N81°26'46"E, 8.88 feet; thence 6.52 Feet along a curve to the left, with a radius of 4.50 feet, and a chord bearing which bears S49°29'22"E, 5.96 feet; thence N89°00'57"E, 36.37 feet; thence N74°49'02"E, 17.13 feet to the West right of way line of Pine Street; thence, along said West right of way line, S15°10'58"E, 20.43 to the North line of Discontinued Pine Street as described in Document No _____; thence, along said North line, N74°29'20"E, 38.00 feet to the East right of way line of said Pine Street; thence N15°10'58"W, 25.83 feet; thence, along the face of a building on located on Lot 2 Block 25 and the extension thereof, N74°29'26"E, 79.53 feet to Westerly face of a building on Lot 3 of said Block 25; thence, along said Westerly face of a building, S15°19'28"E, 21.10 feet; thence N74°32'24"E, 64.76 feet; thence N89°59'43"E, 65.54 feet; thence N15°02'35"W, 47.82 feet to the Wout line of Lot 1 of Certified Survey Map 6540; thence, along said South line, N88°31'48"E, 2.47 feet to the South line of lands show to be Dedicated on said Certified Survey Map 6540; thence, along said South line, N74°29'20"E, 24.31 feet to West right of way line of Vandenbroek Street; thence, along said West right of way line, S00°00'20"W, 107.75 feet to the point of beginning, subject to all easements and restrictions of record.

Dated this _____ day of _____, 2025

James R. Sehloff, S-2692-008

Line Table			
Line	Bearing	(Recorded)	Distance
L1	S15°10'58"E		0.14'
L2	S89°07'32"W	(S89°26'46"W)	18.68'
L3	S08°33'14"E	(N08°12'13"W)	22.10'
L4	S81°26'46"W		8.88'
L5	N74°49'02"E		17.13'
L6	N15°10'58"W		20.43'
L7	N74°29'20"E		38.00'
L8	S15°10'58"E		25.83'
L9	S15°19'28"E		21.10'
L10	N15°02'35"W	(S14°43'44"W)	47.82'
L11	N88°31'48"E	(N88°51'47"W)	2.47'
L12	N74°29'20"E	(S74°49'17"W)	24.31'
L13	N01°20'28"W	(S00°59'27"E)	15.76'
L14	S08°33'14"E	(N08°12'13"W)	32.65'

Curve Table							
Curve	Radius	Arc Length	Delta	Chord Bearing	Chord Length	Bearing-In	Bearing-Out
C1	4.75'	6.88'	82°57'36.0"	S49°30'15"E	6.29'	S08°01'27"E	N89°00'57"E

Sheet 3 of 5

CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No _____ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

CORPORATE OWNER'S CERTIFICATE:

The Village of Little Chute, A Municipal Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that the Village of Little Chute caused the land described herein to be surveyed, mapped and combined as represented on this Certified Survey Map. The Village of Little Chute also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

Michael Vanden Berg, _____
Village President

Date

STATE OF WISCONSIN)

COUNTY OF _____) ss

Personally came before me this _____ day of _____ 20____, the above named owners to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public

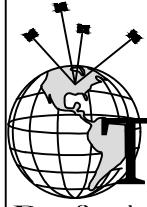
My Commission Expires _____

Village of Little Chute Approval:

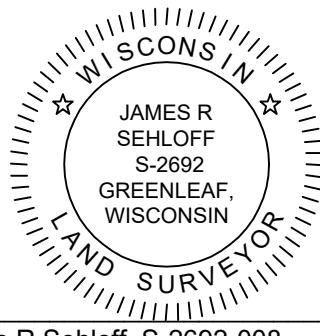
Approved by the Village of Little Chute Board on this _____ day of _____, 20____.

Michael Vanden Berg, Village President

Laurie Decker, Village Clerk


TNT
Professional Land
SURVEYORS Inc.
2165 S. Broadway
Green Bay, WI 54304
(920)406-1477
Job # 0625-106

T:\2025\0625-106- Little Chute - CSM\Drawings\



James R Sehloff, S-2692-008

Date

CERTIFIED SURVEY MAP

Part of Lots 1, 2, 3, 6 and all of Lots 15 and 16 Block 25; part Lots 2 and all of Lot 3, 4, 6 and 7 all in Block 26 and part of the Discontinued right of way of Pine Street recorded in Document No _____ all being part of the 1985 Amendment to 1917 Assessors Plat of the Village of Little Chute recorded as Document No 912267 and all of Lot 1, Certified Survey Map 7900, recorded as Document No 2194600, all located in part of the Southeast 1/4 of the Northeast 1/4 and part of Government Lot 1 Section 21, T21N, R18E, Village of Little Chute, Outagamie County Wisconsin.

Treasurers' Certificate:

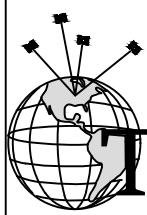
We, being duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

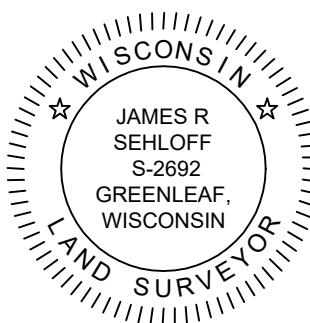
Lisa Remiker-Dewall, Date
V. Little Chute Finance Director

Rochelle Oskey, Date
Outagamie County Treasure

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

Property Owner of Record	Recording Information	Parcel Number(s)	Description
Village of Little Chute	Doc 1965991	260041100	Block 25
	Doc _____	260041200 Part	Lot 1 Part
	Doc _____	260041300 Part	Lot 2 Part
	Doc 1071767	260041700 Part	Lot 1 & 3 Part
	Doc 1007812	260041700 Part	Lot 3 Part
	Doc 858720	260042800	Lot 6 Part
	Doc 854613	260042900	Lot 15 All
			Lot 16 All
	Doc _____	260043100 Part	Block 26
	Doc 923217	260043200	Lot 2 Part
	Doc 1082627	260043300	Lot 3 All
	Doc 1024366	260044900	Lot 4 All
	Doc 2341822	260044800	Lot 6 All
	Doc 2213196	260044400	Lot 7 All
			Lot 1 CSM 7900 All
	Doc _____		Discontinued RW of Pine ST

**TNT**
Professional Land
SURVEYORS *Inc.*
2165 S. Broadway
Green Bay, WI 54304
(920)406-1477
Job # 0625-106
T:\2025\0625-106- Little Chute - CSM\Drawings



James R Sehloff, S-2692-008

Date



Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/4/25

Agenda Item Topic: CSM – Beardsley/Kadonsky

Prepared By: Jessica Titel, Community Development Department

Applicant: Matt Reider, Carow Land Surveying

Owner: Michael & Megan Beardsley (1701 W. Main Street) and James & Lorraine Kadonsky (1721 W. Main Street)

Address/Parcel #: 1701 & 1721 W. Main Street / Parcel #s: 260298000, 260297900 & 260297800

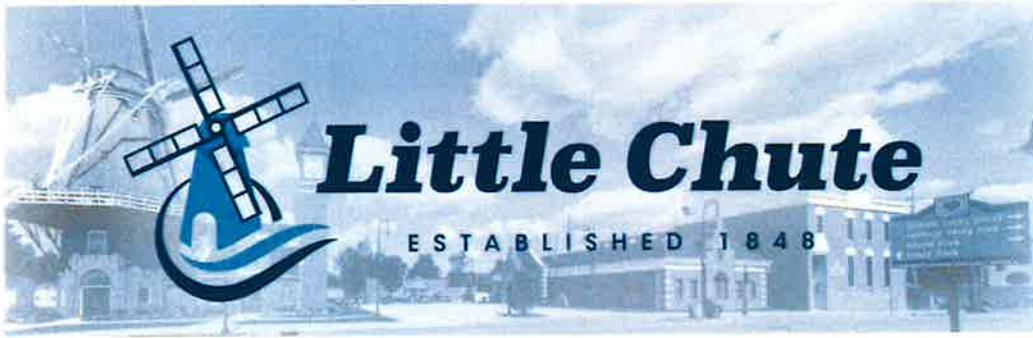
Request: An application for a two-lot CSM was recently submitted for review. This CSM has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on September 17 for final action. The CSM is attached to this report for Plan Commission review.

Zoning Classification: RC Conventional Single-Family Residential

Background: The CSM is taking three existing lots and creating two new lots. The shared lot line on the west side of 1701 W. Main Street is being realigned to allow for the construction of a new two-car garage. The proposed CSM also combines the two parcels at 1721 W. Main Street, removing the existing lot line that currently runs through the home. Proposed Lot 1 will be 21,600 square feet and proposed Lot 2 will be 13,100 square feet. The subject area currently contains two existing homes.

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board.

Respectfully Submitted,
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$150
Receipt #	
Account #	4-402
Date Received	

Certified Survey Map Application (4 lots or less)

PROPERTY OWNER	SURVEYOR/APPLICANT
Name: <i>Mike Beardsley</i>	Name: <i>Matt Rider</i>
Mailing Address: <i>1701 W. Main St.</i>	Company: <i>Carow Land Surveying</i>
City/State/Zip: <i>Little Chute, WI 54140</i>	Address: <i>615 N. Lyndale Dr.</i>
Phone: <i>920-750-8798</i>	City/State/Zip: <i>Appleton, WI 54914</i>
Email: <i>mike.beardsley24@gmail.com</i>	Phone: <i>920-731-4168</i>
	Email: <i>matt@clcse.com</i>

PROPERTY & PROJECT INFORMATION

Parcel Number: *260297800, 260297900 & 260298000*

Site Address/Location: *1701 W. Main St.*

Current Zoning:

Res Single Fam

Proposed Zoning:

Res Single Fam

Number of lots/outlots:

2

Total acreage/square feet:

0.73

Reason for proposed certified survey map:

Adjusting lot line between existing parcels

SUBMITTAL INCLUDES

- Completed application form and fee (check made payable to Village of Little Chute)
- Digital copy of the proposed certified survey map in pdf format
- Drainage plan (if applicable) submitted in pdf format

APPLICANT STATEMENT

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

Owner/Agent Signature: <i>Matt Rider</i>	Date: <i>8-8-2025</i>
--	-----------------------

Vicinity Map - Beardsley/Kadonsky CSM



9/4/2025, 10:09:22 AM

1:1,128

0 0.01 0.01 0.02 0.04
0 0.01 0.01 0.02 0.04 km

- Tax Parcel Information
- Display Parcel Lines
- Meander Line
- PLSS Sections
- Plat Boundary Lines
- Plat Boundary
- Streets
- STH

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 5, 6, & 7, AND PART OF LOT 8, ALL IN BLOCK 2
OF "GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT" AS
RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT
LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST,
VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

LEGEND:

- = 1 1/4" X 18" O.D. ROUND IRON PIPE SET,
WEIGHING 1.68 LBS. PER LIN. FT.
- ◎ = 3/4" SOLID ROUND IRON REBAR FOUND
- = 1 1/4" O.D. ROUND IRON PIPE FOUND
- = MAG AND DISK FOUND
- = BERNTSEN MONUMENT FOUND
- () = RECORDED AS BEARING OR DISTANCE

PRESENT ZONING:
RESIDENTIAL - SINGLE FAMILY

OWNER(S) OF RECORD:

JAMES F. & LORRAINE I.

KADONSKY

MICHAEL G. BEARDSLEY

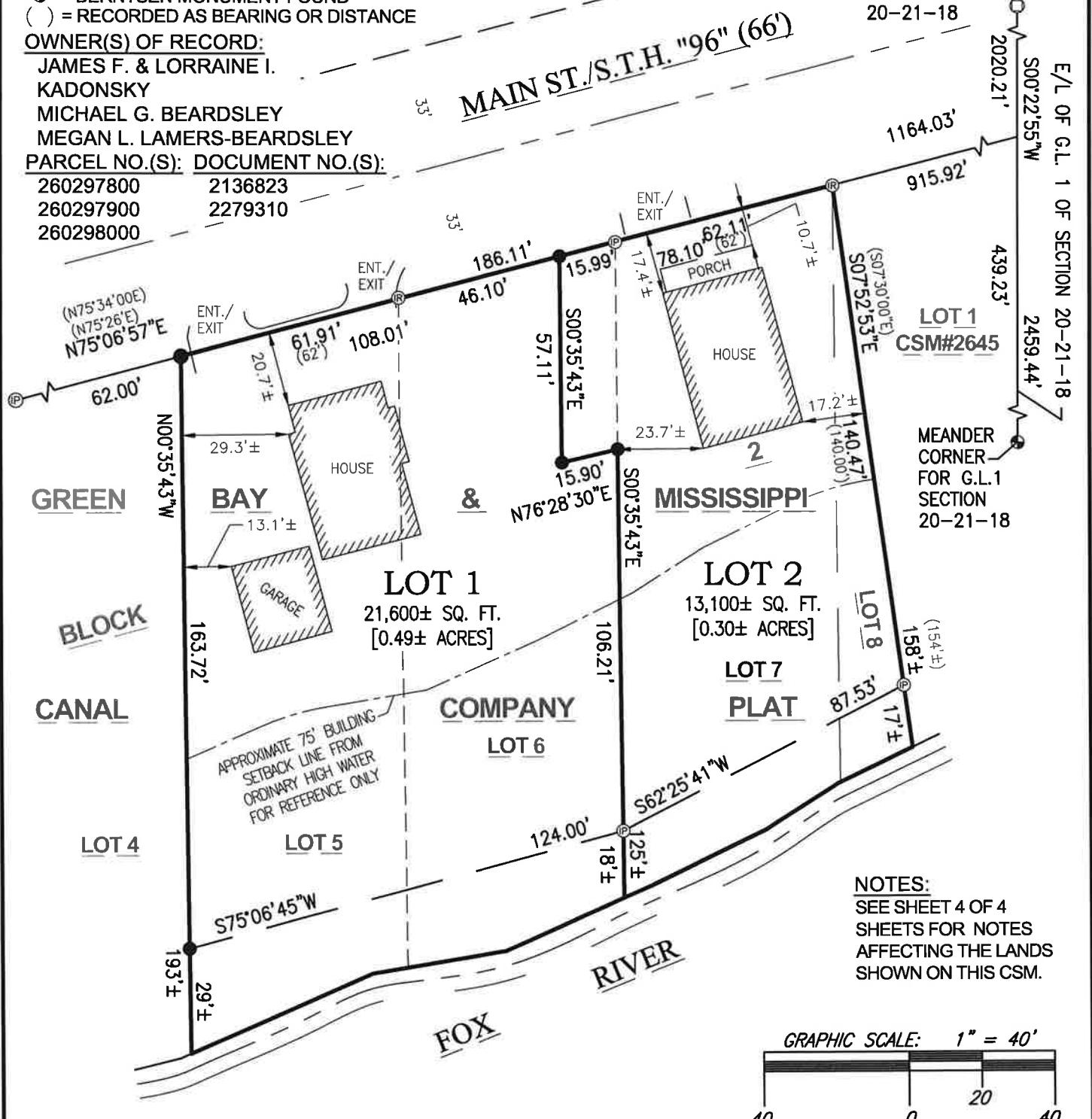
MEGAN L. LAMERS-BEARDSLEY

PARCEL NO.(S): DOCUMENT NO.(S):

260297800 2136823

260297900 2279310

260298000



MATTHEW C. REIDER, PLS-3245 DATED
CAROW LAND SURVEYING & ENVIRONMENTAL
615 N. LYNNDALE DR., APPLETON, WI 54914
N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166
PHONE: (920)731-4168
A2507.34 DATED:08/08/2025 DRAFTED BY:arn-NJO

NORTH IS REFERENCED TO THE EAST LINE OF GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN, WHICH BEARS S00°22'55"W PER THE WISCONSIN COUNTY COORDINATE SYSTEM (OUTAGAMIE COUNTY)

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW C. REIDER, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, COMBINED AND MAPPED ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S00°22'55"W, 2020.21 FEET ALONG THE EAST LINE OF GOVERNMENT LOT 1 OF SECTION 20 TO THE EASTERLY EXTENSION OF A SOUTH LINE OF MAIN STREET; THENCE S75°06'57"W, 915.92 FEET ALONG SAID EXTENSION AND SAID SOUTH LINE TO THE WESTERLY LINE OF CERTIFIED SURVEY MAP NO. 2645 AND THE POINT OF BEGINNING; THENCE S07°52'53"E, 140.47 FEET ALONG SAID WESTERLY LINE TO THE STARTING POINT OF A MEANDER LINE OF THE NORTH BANK OF THE FOX RIVER, SAID POINT BEARS N07°52'53"W A DISTANCE OF 17 FEET MORE OR LESS FROM SAID RIVER BANK; THENCE S62°25'41"W, 87.53 FEET ALONG SAID MEANDER LINE; THENCE NS75°06'45"W, 124.00 FEET ALONG SAID MEANDER LINE TO THE EAST LINE SAID LOT 5, BLOCK 2 AND THE TERMINATION POINT OF SAID MEANDER LINE, SAID POINT BEARS N00°35'43"W A DISTANCE OF 29 FEET MORE OR LESS FROM SAID RIVER BANK; THENCE N00°35'43"W, 163.72 FEET ALONG SAID WEST LINE TO THE SOUTH LINE OF MAIN STREET; THENCE N75°06'57"E, 186.11 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING. INCLUDING ALL OF THAT LAND LYING BETWEEN THE ABOVE DESCRIBED MEANDER LINE AND THE NORTH BANK OF THE FOX RIVER BOUNDED BY THE EXTENSION OF THE RESPECTIVE LINES OF THE ABOVE DESCRIBED PARCEL TO SAID RIVER BANK. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF MICHAEL BEARDSLEY, 1701 W. MAIN STREET, LITTLE CHUTE, WISCONSIN 54140.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND MUNICIPAL CODE SECTION 42-62 OF THE VILLAGE OF LITTLE CHUTE.

MATTHEW C. REIDER, PLS-3245 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDALE DR., APPLETON, WI 54914
N5841 S.T.H. "47-55", SHAWANO, WI 54166
PHONE: (920)731-4168
A2507.34 (RFR) 8-8-2025

NOTES:

- 1) THE PROPERTY OWNERS OF RECORD IS (ARE): JAMES F. & LORRAINE I. KADONSKY, MICHAEL G. BEARDSLEY & MEGAN L. BEARDSLEY.
- 2) THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NO.S: 260297800 260297900 & 260298000.
- 3) THIS CSM IS WHOLLY CONTAINED WITHIN LANDS DESCRIBED IN: DOCUMENT NO. 2136823 & 2279310.

VILLAGE BOARD APPROVAL:

WE HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP WAS APPROVED BY THE VILLAGE OF LITTLE CHUTE ON THIS _____ DAY OF _____, 20 ____.

PRESIDENT

DATED
SHEET 2 OF 4 SHEETS

DATED

CERTIFIED SURVEY MAP NO.

BEING ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF LITTLE CHUTE.

WITNESS THE HAND AND SEAL OF SAID OWNER(S):

JAMES F. KADONSKY

LORRAINE J. KADONSKY

COUNTY OF _____)
PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE
NAMED PERSON(S) TO ME KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING
INSTRUMENT AND ACKNOWLEDGED THE SAME.

**NOTARY PUBLIC
MY COMMISSION EXPIRES**

OWNER'S CERTIFICATE:

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF LITTLE CHUTE.

WITNESS THE HAND AND SEAL OF SAID OWNER(S):

MICHAEL G. BEARDSLEY

MEGAN L. LAMERS-BEARDSLEY

COUNTY OF _____)
PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE
NAMED PERSON(S) TO ME KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING
INSTRUMENT AND ACKNOWLEDGED THE SAME

**NOTARY PUBLIC
MY COMMISSION EXPIRES**

MATTHEW C. REIDER, PLS-3245 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDALE DR., APPLETON, WI 54914
N5841 S.T.H. "47-55", SHAWANO, WI 54166
PHONE: (920)731-4168
A2507 34 (RFR) 8-8-2025

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 5, 6 & 7 AND PART OF LOT 8, ALL IN BLOCK 2 OF GREEN BAY & MISSISSIPPI CANAL COMPANY PLAT AS RECORDED IN DOCUMENT NO. 196651, LOCATED IN GOVERNMENT LOT 1 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LAND INCLUDED ON THIS CERTIFIED SURVEY MAP.

VILLAGE TREASURER	DATED	COUNTY TREASURER	DATED
-------------------	-------	------------------	-------

NOTES:

- THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP OF THE LOTS HEREON. SALE OR TRANSFER OF THE LOTS REQUIRES A DEED.
- FIELD SURVEY DATE: 7-21-25
- PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY, ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS SHOULD BE VERIFIED WITH THE VILLAGE OF LITTLE CHUTE.
- THE ORDINARY HIGH WATER MARK SETBACK IS NOT BASED ON AN OFFICIAL DETERMINATION AND PRIOR TO ANY BUILDING, AN OFFICIAL DETERMINATION OF THE ORDINARY HIGH WATER MUST BE MADE BY THE VILLAGE OF LITTLE CHUTE OR OTHER AUTHORIZED PERSON.
- ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1 OF THE STATE CONSTITUTION.
- THE LOCATION OF THE APPROXIMATE ORDINARY HIGH WATER MARK SHALL BE THE POINT ON THE BANK OF A NAVIGABLE STREAM OR ON THE SHORE OF A LAKE UP TO WHICH THE PRESENCE AND ACTION OF SURFACE WATER IS SO CONTINUOUS AS TO LEAVE A DISTINCTIVE MARK BY EROSION, DESTRUCTION OF TERRESTRIAL VEGETATION, OR OTHER EASILY RECOGNIZED CHARACTERISTICS.

MATTHEW C. REIDER, PLS-3245 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDALE DR., APPLETON, WI 54914
N5841 S.T.H. "47-55", SHAWANO, WI 54166
PHONE: (920)731-4168
A2507.34 (RFR) 8-8-2025

SHEET 4 OF 4 SHEETS



Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/3/25

Agenda Item Topic: Rezoning – Little Chute Fire Station

Prepared By: Jessica Titel, Community Development Department

Applicant/Owner: Village of Little Chute

Address: 1105 Depot Street

Request: A request has been submitted to rezone the subject property from RC Conventional Single-Family to IT Institutional District to accommodate the future Little Chute Fire Station.

Background: The proposed Little Chute Fire Station is planned to be constructed on the subject parcels. Section 44-55(a) of the Zoning Code states: *The intent of this district is to provide for areas of the community where public or semipublic institutional uses are or can be established and to ensure that such areas will continue in this use unless otherwise approved by the village.* The proposed IT Institutional zoning district is consistent with the proposed fire station use and the zoning district that best suits municipal uses. The Village Board recently approved a Certified Survey Map to combine the subject parcels. CSM #8913 is attached.

RECOMMENDATION/PLAN COMMISSION ACTION: Staff is recommending approval of the proposed rezoning to the Village Board and to set a public hearing for October 15, 2025.

Respectfully Submitted,
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$450
Receipt #	
Account #	101-34110
Date Received	

Rezoning Request

PROPERTY OWNER	APPLICANT
Name:	Name:
Mailing Address:	Company:
City/State/Zip:	Address:
Phone:	City/State/Zip:
Email:	Phone:
	Email:

PROPERTY & PROJECT INFORMATION

Parcel Number:

Site Address/Location:

Legal description of the land proposed for rezoning (also provide electronic copy in Word format):

Current Zoning: Proposed Zoning:

Current Use(s): Proposed Use(s):

Total acreage/square feet:

PLEASE STATE THE REASON(S) AND JUSTIFICATION FOR THE REZONING REQUEST

APPLICANT STATEMENT

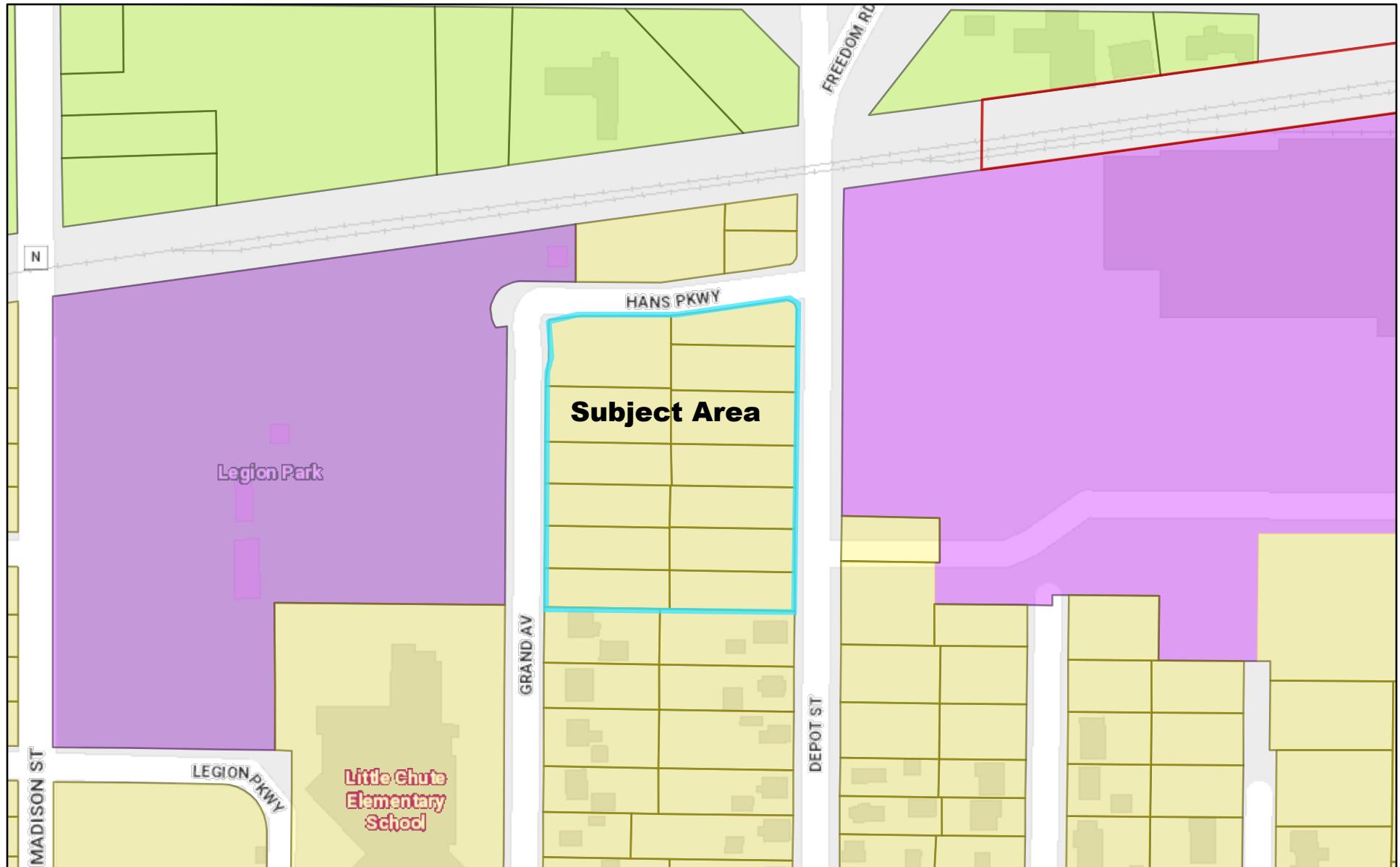
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

Owner/Agent Signature:

Date:

09/03/2025

Current Zoning Map



9/3/2025, 1:58:01 PM

Zoning

CH: Commercial Highway District

ID: Industrial District

RC: Conventional Single-Family District

No Designation

Parcels

1:2,400
0 0.02 0.04 0.08 mi
0 0.03 0.07 0.13 km

Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute

Robert E. Lee & Associates, Inc., Outagamie County

Sarah R. Van Camp

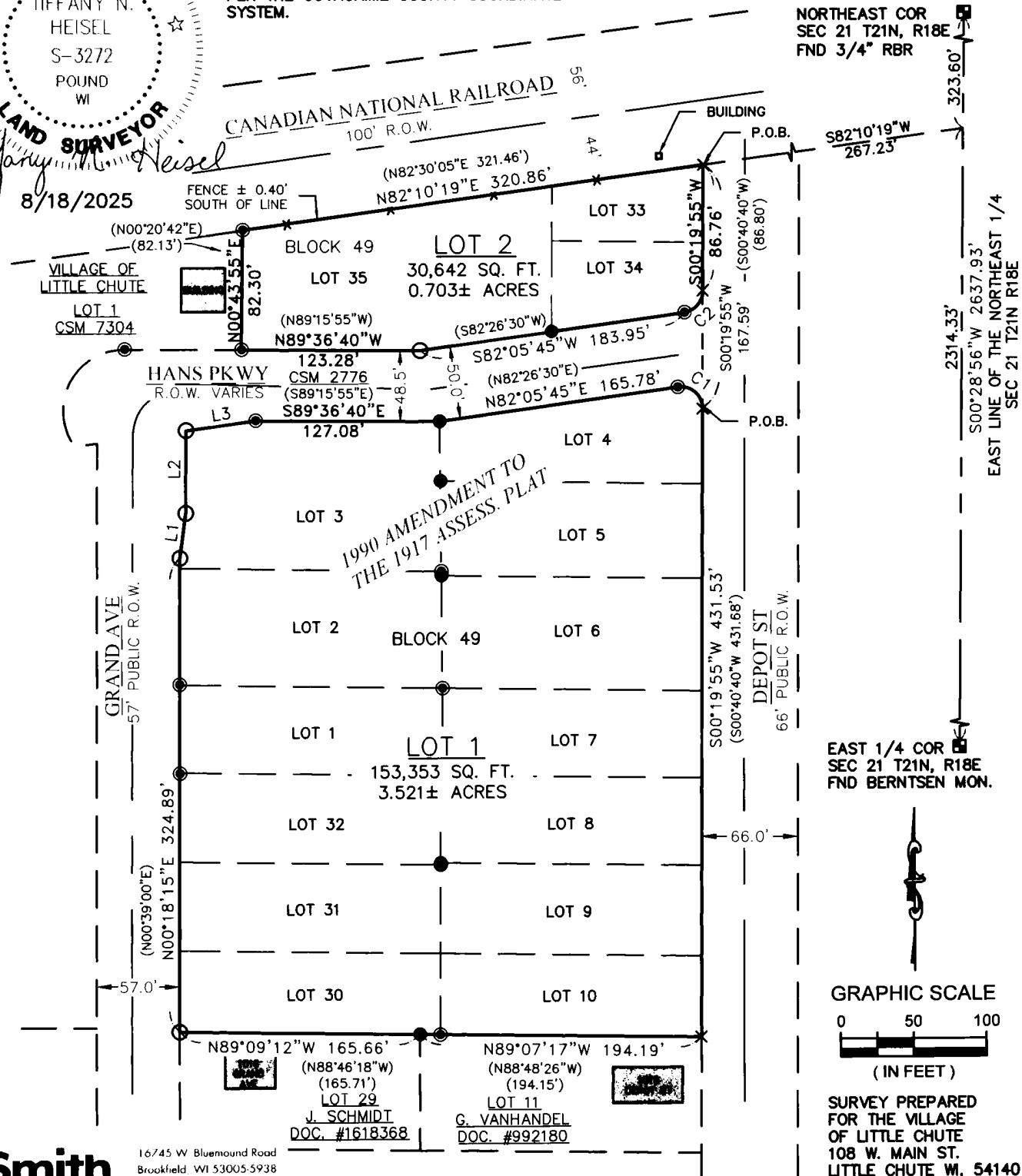
**SARAH R VAN CAMP, REGISTER OF DEEDS
Return via MAIL (REGULAR)
PASMITH**

CERTIFIED SURVEY MAP NO.

Part of Lots 3, 4, 34, and 35, and All of Lots 1, 2, 5-10, and 30-33, Block 49, of the 1990 Amendment to the 1917 Assessors Plat of the Village of Little Chute, Being Part of the Northeast 1/4 of the Northeast 1/4 of Section 21, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

- INDICATES FOUND 3/4" IRON REBAR
 - INDICATES FOUND 1" O.D. IRON PIPE
 - ✗ INDICATES SET CHISELED CROSS
 - INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.
 - OUTAGAMIE COUNTY CORNER MONUMENT RECORD

ALL BEARINGS ARE REFERENCED TO THE
EAST LINE OF THE NE 1/4 OF SECTION 21,
T21N, R18E, WHICH BEARS 500°28'56"W
PER THE OUTAGAMIE COUNTY COORDINATE
SYSTEM.



raSmith
CREATIVITY BEYOND ENGINEERING

16745 W Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
ezsmith@bellsouth.net

SURVEY PREPARED
FOR THE VILLAGE
OF LITTLE CHUTE
108 W. MAIN ST.
LITTLE CHUTE WI. 54140



Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/8/25

Prepared On: 9/3/25

Agenda Item Topic: **Site Plan – Little Chute Fire Station**

Prepared By: Jessica Titel, Community Development Department

Applicant/Owner: Village of Little Chute

Address/Parcel #: 1105 Depot Street

Request: An application for Site Plan review has been submitted for the construction of a new fire station.

Zoning Classification: Proposed to be rezoned from RC Conventional Single-Family District to IT Institutional District. See rezoning IFC.

Project Summary/Background: The project includes the construction of a new Little Chute Fire Station on a vacant 3.52 acre parcel of land. The main access to the site is located on Hans Parkway and the fire rescue vehicles will exit onto Depot Street. The project will include 52 parking spaces.

The Village Board recently approved a Certified Survey Map to combine the subject parcels.

Recommendation/Board Action: Staff is recommending Plan Commission approval of the Site Plan, subject to the satisfaction of all staff comments.

Procedural Note: *If approved by the Plan Commission, the site plan will be presented to the Village Board at the same meeting as the rezoning.*

Respectfully Submitted,
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$600
Receipt #	
Account #	101-34110
Date Received	

Site Plan Review Application (new construction, additions > 10,000 square feet)

PROPERTY OWNER	APPLICANT
Name:	Name:
Mailing Address:	Company:
City/State/Zip:	Address:
Phone:	City/State/Zip:
Email:	Phone:
	Email:

PROPERTY & PROJECT INFORMATION

Parcel Number:	
Site Address/Location:	
Current Zoning:	Proposed Zoning:
Current Use:	Proposed Use:
Current number of employees:	Proposed number of employees:
Existing building floor area:	Proposed building floor area:
Existing number of parking stalls:	Proposed number of parking stalls:
Percent of existing impervious surface:	Percent of proposed impervious surface:

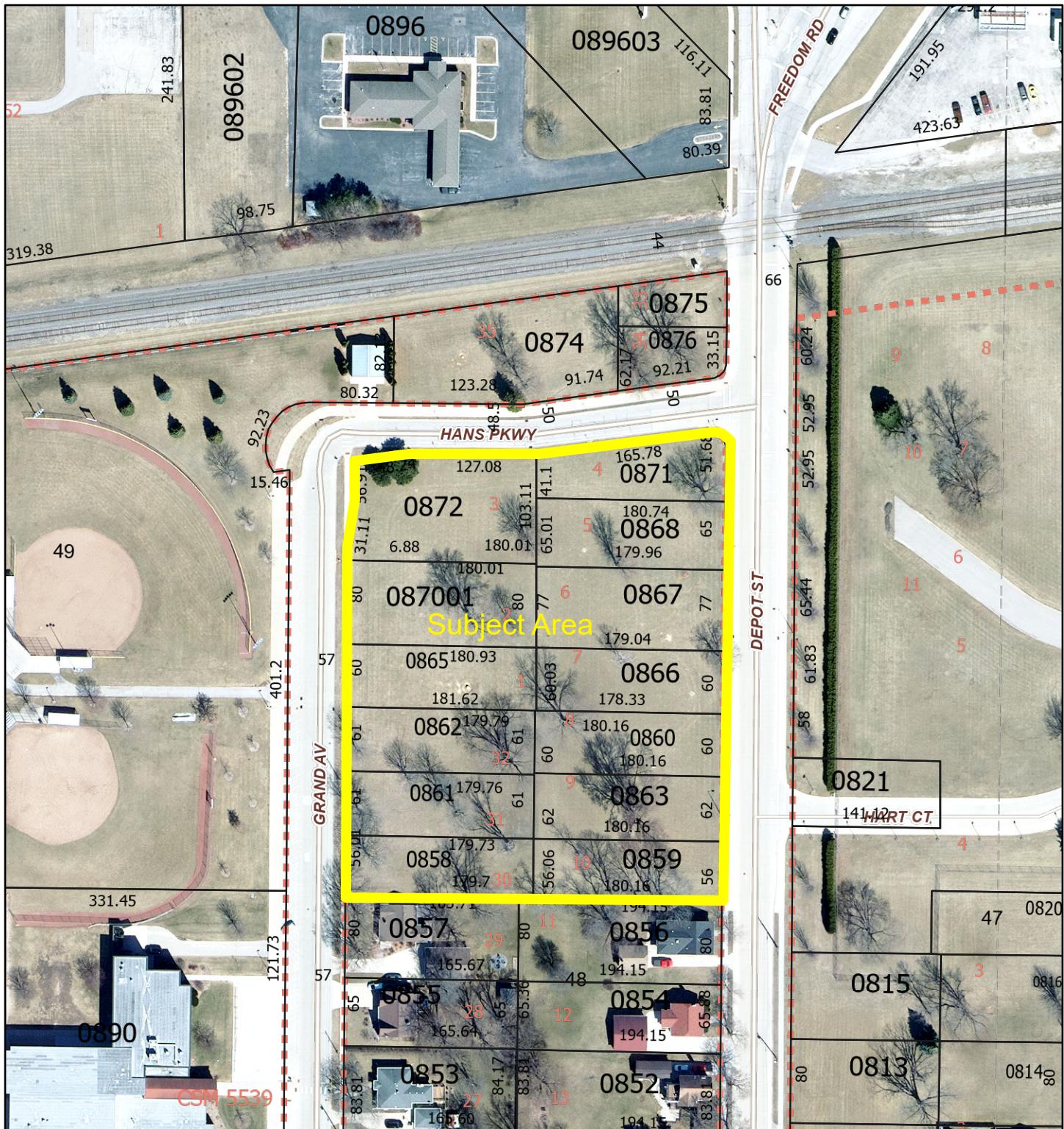
Describe the proposed project:

Applicant Statement

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

Applicant/Owner Signature:	Date:
----------------------------	-------

Vicinity Map - Little Chute Fire Station



9/3/2025, 2:23:26 PM

1:2.257

Tax Parcel Information Streets

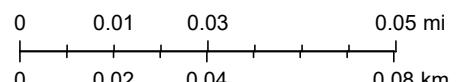
PLSS Sections

Plot Boundaries

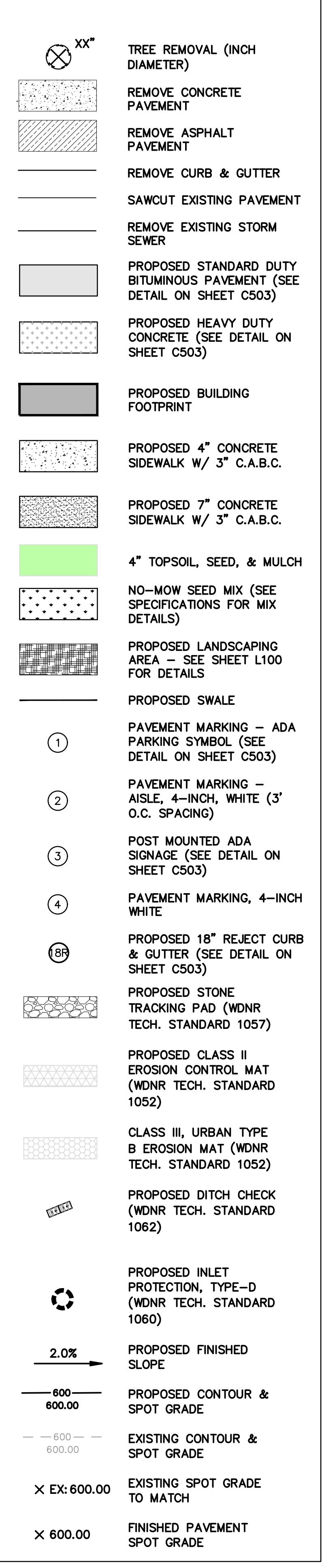
Plot Boundary Lines

— LOCAL

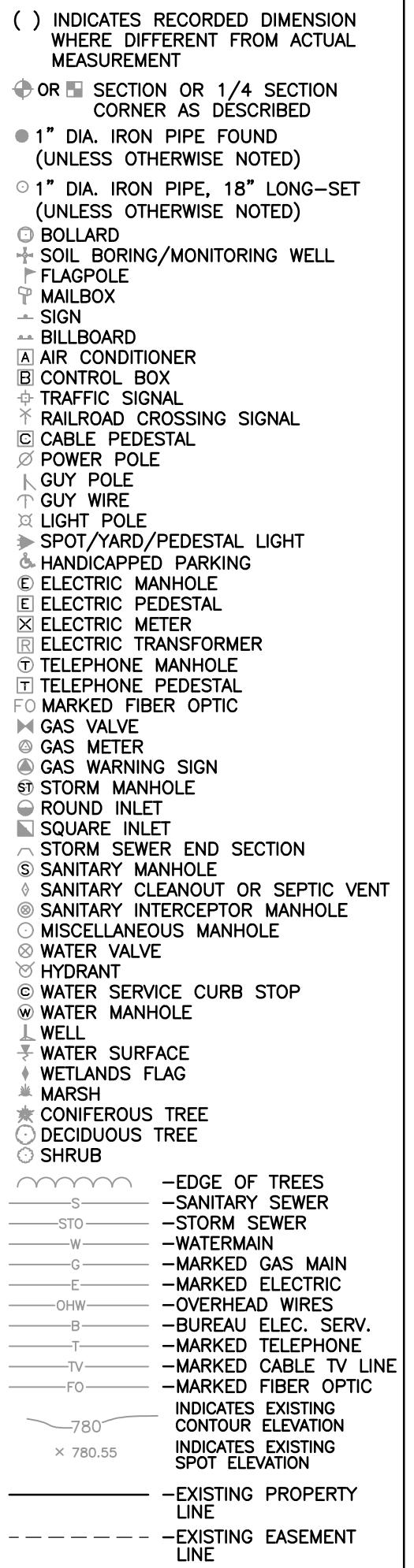
— PVT



LEGEND
(PROPOSED FEATURES)

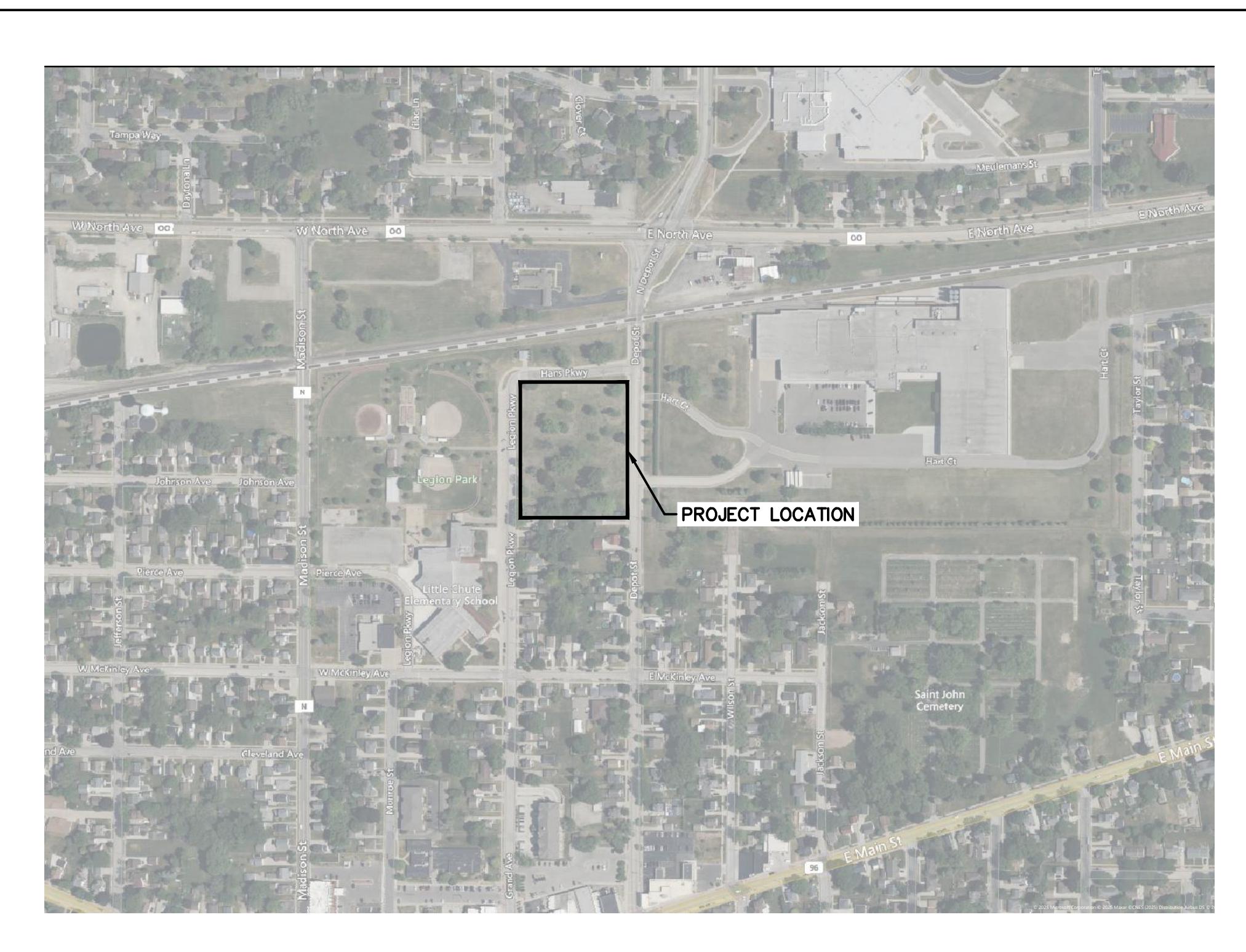


LEGEND



SITE PLANS FOR LITTLE CHUTE FIRE STATION 1105 DEPOT STREET LITTLE CHUTE, WI

VICINITY MAP



ENGINEER AND LANDSCAPE ARCHITECT:



100 West Lawrence Street, Suite 412
Appleton, WI 54911-5754
rasmith.com

DEVELOPER / OWNER:

VILLAGE OF LITTLE CHUTE
108 W. MAIN STREET
LITTLE CHUTE, WI 54140

BEAU BERNHOFT, VILLAGE ADMINISTRATOR
BEAU@LITTLECHUTEWI.ORG
(920)423-3850

NOTES:

ZONING DESCRIPTION

EXISTING: RESIDENTIAL
PROPOSED: INSTITUTIONAL (FIRE STATION)

STATE BUILDING CODE CLASSIFICATION:

B - BUSINESS
A - ASSEMBLY
S2 - VEHICLE STORAGE



Civil Plans Only



Project Owner

VILLAGE OF LITTLE CHUTE
LITTLE CHUTE FIRE STATION
1105 DEPOT STREET
Little Chute, WI

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SEH Project
Checked By
Drawn By
BLH
JWF

Project Status
CONSTRUCTION DOCUMENTS
Issue Date
08/15/2025

REVISION SCHEDULE
REV. #
DESCRIPTION
DATE



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COVER SHEET

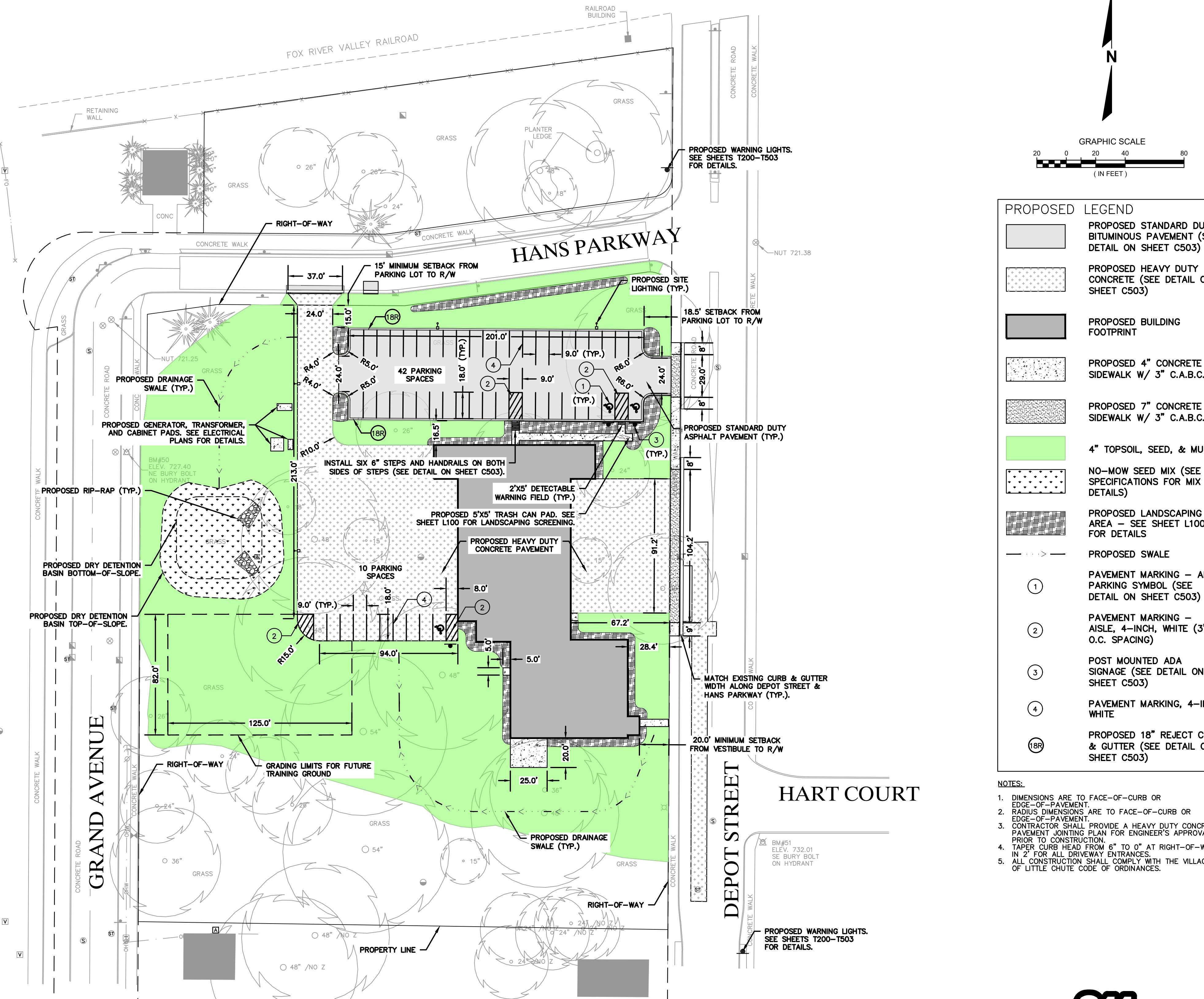
C000

IMPERVIOUS AREA CALCULATIONS:
 TOTAL LOT AREA= 153,332 SQUARE FEET (3.52 ACRES)
 EXISTING IMPERVIOUS SURFACE AREA= 0 SQUARE FEET (0 ACRES)
 EXISTING PEROVIOUS SURFACE AREA= 153,332 SQUARE FEET (3.52 ACRES)
 PROPOSED IMPERVIOUS SURFACE AREA= 53,496 SQUARE FEET (1.23 ACRES)
 ROOF= 16,213 SQUARE FEET (0.37 ACRES)
 PAVEMENT= 37,283 SQUARE FEET (0.86 ACRES)
 PROPOSED PEROVIOUS SURFACE AREA= 99,836 SQUARE FEET (2.29 ACRES)
 PROPOSED IMPERVIOUS LOT COVERAGE= 34.9%
 INCREASE IN IMPERVIOUS LOT COVERAGE= 34.9%

PARKING CALCULATIONS:
 EXISTING SITE USES: OPEN SPACE (RESIDENTIAL)
 NUMBER OF EXISTING EMPLOYEES= 0
 GROSS FLOOR AREA OF EXISTING BUILDING= 0 SQUARE FEET
 PROPOSED SITE USE: FIRE STATION (INSTITUTIONAL)
 NUMBER OF PROPOSED EMPLOYEES= 0
 GROSS FLOOR AREA OF PROPOSED BUILDING= 16,213 SQUARE FEET
 REQUIRED PARKING STALLS= 47 SPACES (ONE PER 350 SQUARE FEET OF PUBLIC ADMINISTRATIVE OFFICE FLOOR SPACE - VILLAGE OF LITTLE CHUTE CHAPTER 44 - SEC. 44-55(G)(8))
 PROVIDED PARKING STALLS= 52 SPACES
 REQUIRED HANDICAPPED ACCESSIBLE PARKING SPACES= 3 SPACES (MINIMUM NUMBER OF SPACES PERMITTED FOR PARKING LOTS WITH 51 TO 75 STALLS PER ADA.GOV)
 PROVIDED HANDICAPPED ACCESSIBLE PARKING SPACES= 3 SPACES

EXISTING LEGEND

△ BENCHMARK	EDGE OF TREES
■ SECTION CORNER	■ GAS VALVE
● IRON PIPE FOUND	● GAS METER
○ IRON PIPE SET	○ STORM MANHOLE
○ BOLLARD	■ STORM SEWER
+	— WATERMAIN
SOIL BORING/MONITORING WELL/CORE LOCATION	— MARKED GAS MAIN
FLUSSPOLE	— MARKED ELECTRIC
MAILBOX	— MARKED TELEPHONE
— SIGN	— MARKED CABLE TV LINE
— BILLBOARD	— MARKED FIBER OPTIC
□ CONTROL BOX	— FORCE MAIN
◆ TRAFFIC SIGNAL	○ WATER SERVICE CURB STOP
— RAILROAD CROSSING SIGNAL	○ WATER MANHOLE
□ CABLE PEDESTAL	■ WELL
○ POWER POLE	— WATER SURFACE
— GUY POLE	— WINDS FLAG
— GUY WIRE	— MARSH
— LIGHT POLE	— CONIFEROUS TREE
— GROUND OR OTHER SPOT SHOT	— DECIDUOUS TREE
— HAZARDOUS PARKING	— SHRUB
— ELECTRIC MANHOLE	
— ELECTRIC PEDESTAL	
— TELEPHONE MANHOLE	
— TELEPHONE PEDESTAL	



VILLAGE OF LITTLE CHUTE
LITTLE CHUTE FIRE STATION

1105 DEPOT STREET
Little Chute, WI

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STORM SEWER COMPUTATIONS:

UPSTREAM MANHOLE	DOWNSTREAM MANHOLE	ROOF AREA/ DRAINAGE	PAVEMENT AREA/ DRAINAGE	GRASS AREA/ DRAINAGE	*TOTAL DRAINAGE	PIPE CAPACITY
CONN-2	MH-10	10,805 SF/ 416 GPM	NONE	NONE	416 GPM	1150 GPM
MH-10	CB-2	NONE	NONE	NONE	416 GPM	499 GPM
CB-2	FES-200	NONE	13,742 SF/ 423 GPM	4,891 SF/ 47 GPM	885 GPM	2050 GPM
CONN-1	CB-1	5,408 SF/ 208 GPM	NONE	NONE	208 GPM	518 GPM
CB-1	FES-100	NONE	525 SF/ 16 GPM	41,822 SF/ 402 GPM	628 GPM	2050 GPM

*ALL DRAINAGE QUANTITIES ASSUME A 10-YEAR DESIGN STORM

CATCH BASIN DRAINAGE AREAS

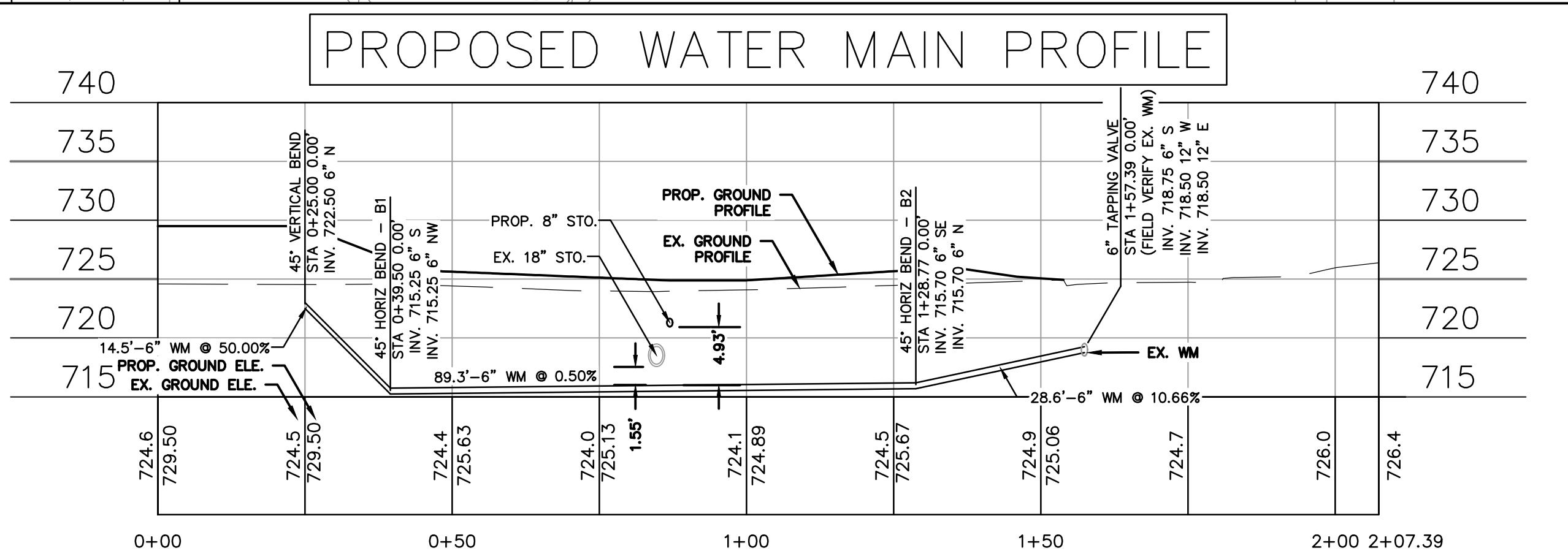
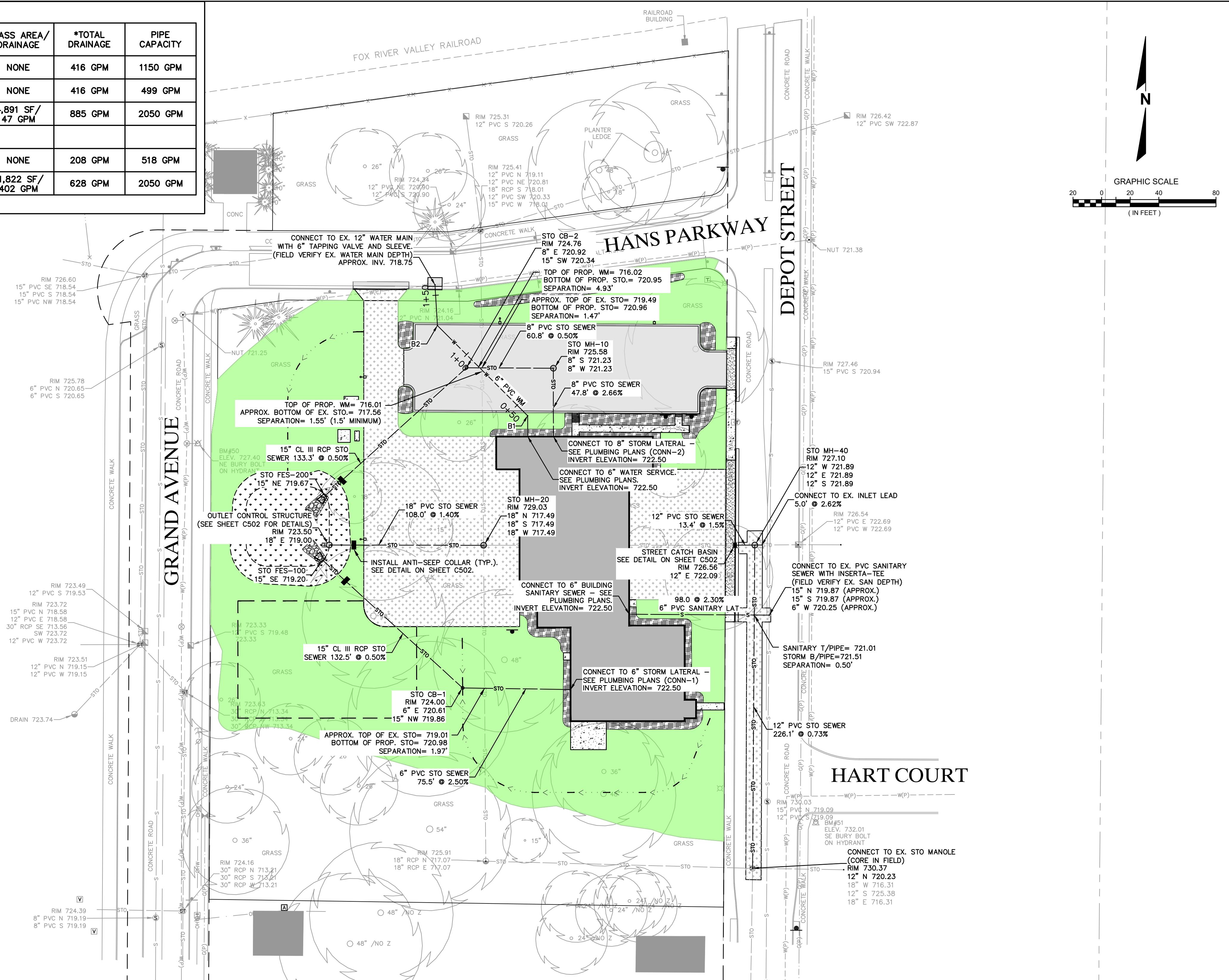
CATCH BASIN DRAINAGE AREAS:
CB-1 DRAINAGE AREA= 42,347 SQUARE FEET (0.97 ACRE)
PAVEMENT AREA= 525 SQUARE FEET (0.01 ACRES)
GRASS AREA= 41,822 SQUARE FEET (0.96 ACRES)

GRASS AREA= 41,822 SQUARE FEET (0.96 ACRES)
CB-2 DRAINAGE AREA= 18,633 SQUARE FEET (0.43 ACRES)
PAVEMENT AREA= 13,742 SQUARE FEET (0.32 ACRES)

PAVEMENT AREA= 13,742 SQUARE FEET
GRASS AREA= 4,891 SQUARE FEET

WATER SERVICE: NUMBER OF WATER SUPPLY FIXTURE UNITS: 475 WSFU
WATER LATERAL DEMAND: 1200GPM

SANITARY SERVICE:



NOTES:

- GHTS ARE FROM CENTER-TO-CENTER OF
TOR SHALL VERIFY AND LOCATE THE
ELEVATION OF THE BUILDING UTILITY
WITH THE BUILDING CONTRACTOR.
TOR SHALL VERIFY ALL UTILITY
ELEVATIONS. DISCREPANCIES BETWEEN
AND EXISTING GRADES SHALL BE
REPORTED TO THE ENGINEER.
AIN BENDS SHALL BE INSTALLED WITH
SEE SHEET C501 FOR BUTTRESS DETAILS
VALVE BOX SETTING DETAILS.
602 FOR POND CROSS-SECTION, APRON
LET CONTROL STRUCTURE, MANHOLE, AND
DETAILS.
EWER SHALL BE INSTALLED WITH BROWN
AS A MEANS TO LOCATE THE
C STORM BUILDING SEWER.
PING SHALL BE INSTALLED WITH BLUE
AS A MEANS TO LOCATE THE
C POTABLE WATER PIPING.

SINFECTON OF POTABLE WATER
- SPS382.40(8)(i):

The logo for SEH, featuring a stylized 'S' and 'E' composed of three curved black lines, with a larger 'H' positioned below them.

VILLAGE OF LITTLE CHUTE
LITTLE CHUTE FIRE STATION

11105 DEPOT STREET
Little Chute, WI

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Project Status

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REVISION SCHED

UTILITY PLAN

811

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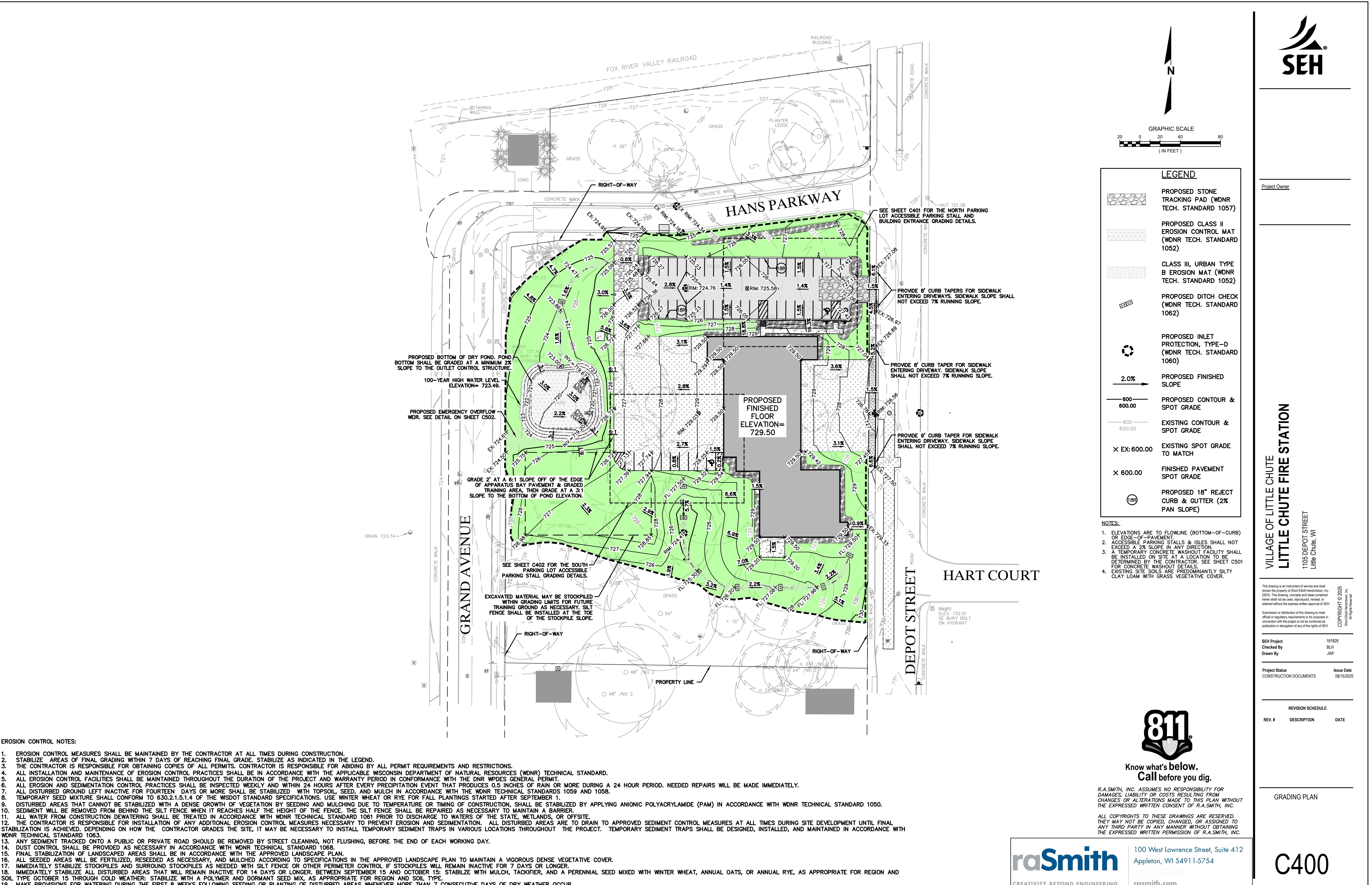
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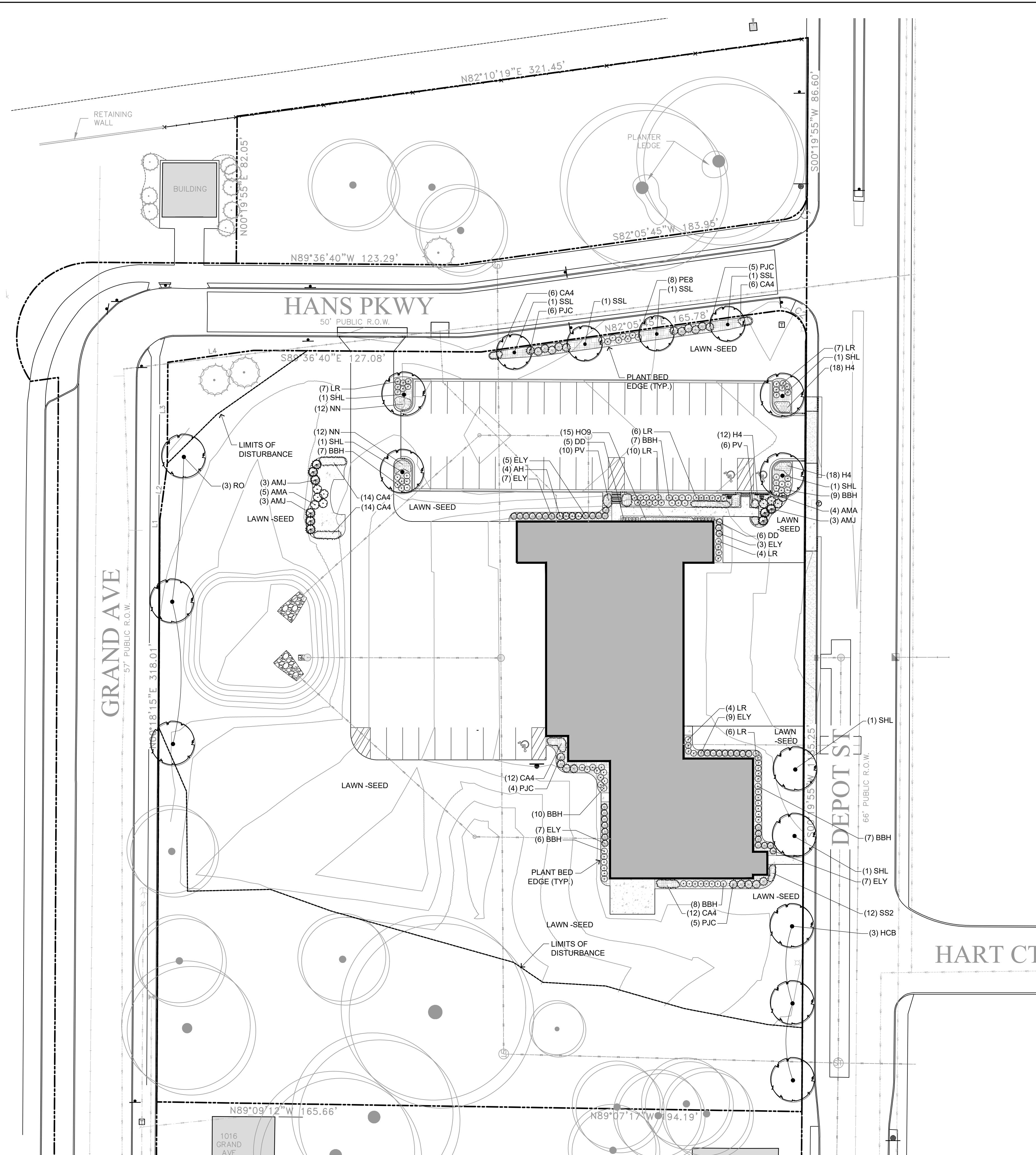
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PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
EVERGREEN TREES							
AMJ	9	Ames Juniper	Juniperus chinensis 'Ames'	6' HT	B&B	Spacing as shown	8' x 6'
SHADE TREES							
HCB	3	Common Hackberry	Celtis occidentalis	2 1/2' CAL	B&B	Spacing as shown	50' x 50'
SHL	6	Shademaster Locust	Gleditsia triacanthos inermis 'Shademaster'	2 1/2' CAL	B&B	Spacing as shown	50' x 35'
RO	3	Red Oak	Quercus rubra	2 1/2' CAL	B&B	Spacing as shown	70' x 70'
SSL	4	Sweet Street Linden	Tilia americana 'Kromm'	2 1/2' CAL	B&B	Spacing as shown	50' x 25'
DECIDUOUS SHRUBS							
AMA	9	Autumn Magic Black Chokeberry	Aronia melanocarpa 'Autumn Magic'	24" HT	CONT	Spacing as shown	4' x 6'
DD	11	Yuki Cherry Blossom® Deutzia	Deutzia x 'NCDX2'	15" HT	CONT	Spacing as shown	2' x 2'
LR	44	Kodiak® Orange Dierilla	Dierilla x 'GZK8544'	15" HT	CONT	Spacing as shown	3.5' x 3.5'
AH	4	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	18" HT	CONT	Spacing as shown	4' x 4'
BBH	54	Bobo® Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT	CONT	Spacing as shown	3' x 3.5'
PE8	8	Little Joke® Ninebark	Physocarpus opulifolius 'Hoogoi21'	18" HT	CONT	Spacing as shown	3.5' x 3.5'
EVERGREEN SHRUBS							
PJC	21	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT	Spacing as shown	2' x 5'
ELY	38	Everflow Yew	Taxus x media 'Everflow'	15" HT	B&B	Spacing as shown	1.5' x 5'
ORNAMENTAL GRASSES							
CA4	78	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing	5' x 2'
PV	16	Ruby Ribbons® Switch Grass	Panicum virgatum 'RRI'	1 GAL	CONT	30" Spacing	3' x 2.5'
SS2	12	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	1 GAL	CONT	18" Spacing	2.5' x 1.5'
PERENNIALS							
H4	60	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4 1/2"	POT	18" Spacing	1.5' x 1.5'
HO9	15	Blue Cadet Hosta	Hosta x 'Blue Cadet'	4 1/2"	POT	24" Spacing	1.25' x 2.5'
NN	24	Junior Walker™ Catmint	Nepeta x faassenii 'Novanepjun'	4 1/2"	POT	24" Spacing	1.5' x 2.5'

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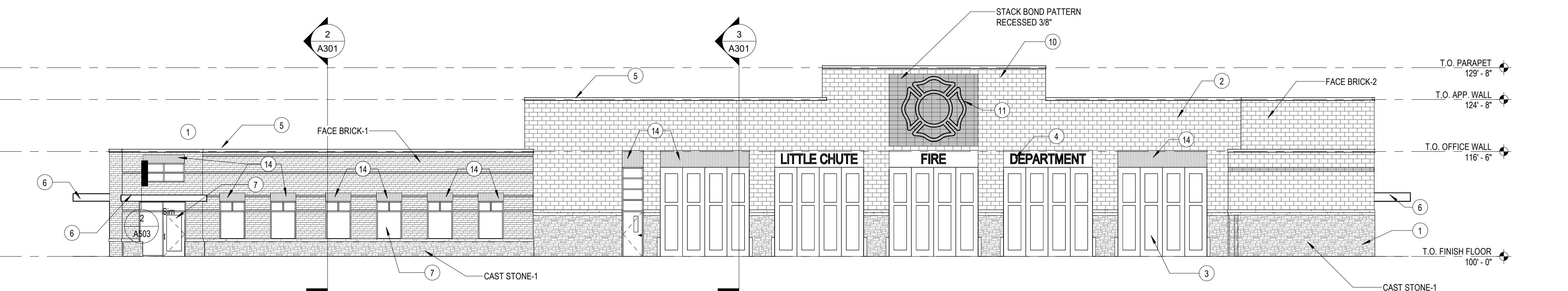
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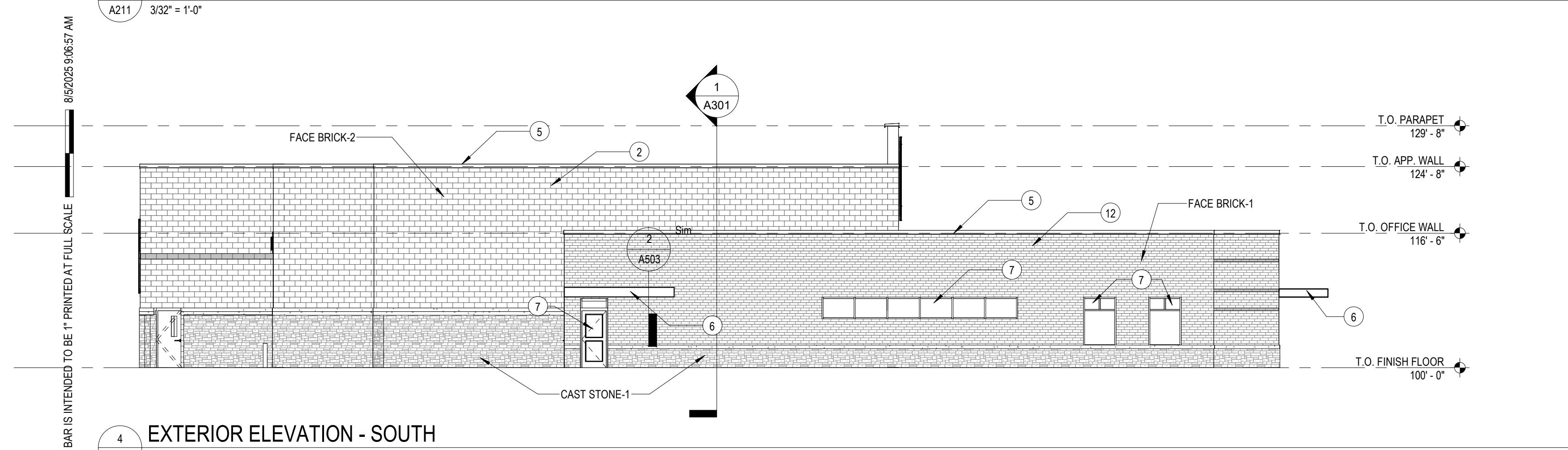
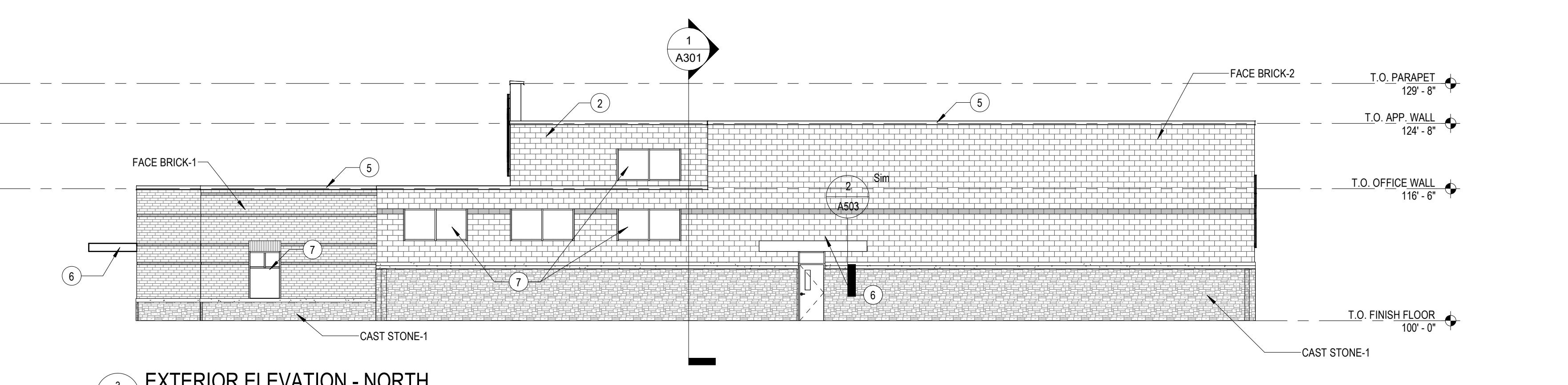
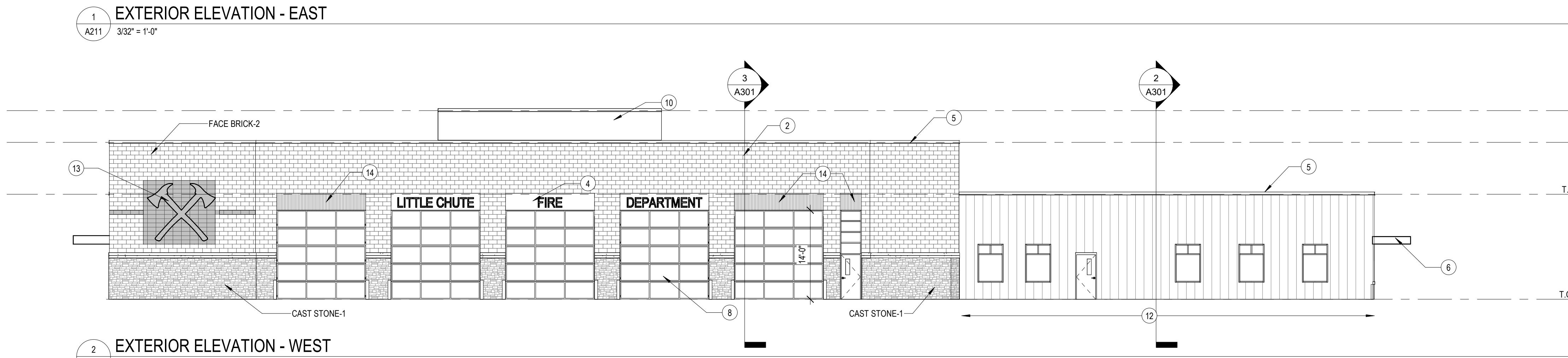
NOT FOR
CONSTRUCTION

LITTLE CHUTE FIRE DEPARTMENT

Little Chute, WI



EXTERIOR ELEVATION FINISHES	
1	CAST STONE VENEER AS ALTERNATE
2	CONC. BRICK
3	BI-PARTING DOORS 14'W X 14'H BASIS OF DESIGN: DOOR ENGINEERING COMPANY PERFORMANCE SERIES FF30 LAYOUT B (RED)
4	PRECAST LINTEL AT DOOR OPENING
5	CONTINUOUS PERIMETER METAL PARAPET COPING. BASIS OF DESIGN: PAC-CLAD SIERRA TAN
6	OVERHANGS
7	ALUM. STOREFRONT OPENINGS
8	12 LITE (3 SECTION) SECTIONAL OVERHEAD DOORS (PAINT RED)
9	HOLLOW METAL DOOR (INSULATED) & FRAME. PAINT TO MATCH ALUM WINDOW FRAMES
10	WRAP ROOF MEMBRANE UP BACKSIDE OF PARAPET FEATURE
11	BACK-LIT MALTESE CROSS
12	EXPOSED FASTENER ARCH. METAL PANEL, CHARCOAL
13	BACK LIT FIRE AX
14	DOUBLE SOLDIER COURSE ABOVE OPENING
CAST STONE - 1 REFLECTION STONE OR SIMILAR COLOR: CLARITY SIZE: STANDARD	
FACE BRICK - 1 HERITAGE COLLECTION OR SIMILAR COLOR: REGENCY RED BLEND SIZE: STANDARD FACING OPTIONS: SMOOTH	
FACE BRICK - 2 HERITAGE COLLECTION OR SIMILAR COLOR: REGENCY RED BLEND SIZE: UTILITY FACING OPTIONS: SMOOTH	
BRICK COURSES SHADED ON THE EXTERIOR ELEVATIONS ARE TO BE RECESSED FROM THE OUTSIDE FACE 3/8"	



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SEH Project
Checked By
Drawn By

TMF
TCD

Project Status
90% Review

Issue Date
07/30/25

REVISION SCHEDULE

REV. #

DESCRIPTION

DATE

EXTERIOR ELEVATIONS - ALTERNATE

A211

AXON VIEW - ALL BRICK



A300

AXON VIEW - STONE BASE



A301

DEPOT ST PERSPECTIVE - ALL BRICK



DEPOT ST PERSPECTIVE - STONE BASE



A302

HANS PKWY PERSPECTIVE - ALL BRICK



A303

HANS PKWY PERSPECTIVE - STONE BASE



A304

GRAND AVE PERSPECTIVE - ALL BRICK



A305

GRAND AVE PERSPECTIVE - STONE BASE



A306