



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, November 10, 2025

TIME: 5:00 p.m.

Join Zoom Meeting

<https://us06web.zoom.us/j/88423538498>

Meeting ID: 884 2353 8498

+16469313860, 88423538498# US

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of October 13, 2025
2. Discussion/Action – Certified Survey Map, Feldkamp (1800 Riverside Drive)
3. Discussion/Action – Certified Survey Map, Schommer (224 Paradise Drive)
4. Discussion/Action – Rezoning Request, Schumacher Condominiums (341 & 401 Patriot Drive)
5. Discussion/Action – Certified Survey Map, Schumacher Condominiums (341 & 401 Patriot Drive)
6. Discussion/Action – Schumacher Business Park Condominium Plat (341 & 401 Patriot Drive)
7. Discussion/Action – Site Plan, Schumacher Condominiums (341 & 401 Patriot Drive)
8. Items for Future Agenda
9. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 November 6, 2025

MINUTES OF THE PLAN COMMISSION MEETING OF OCTOBER 13, 2025

Call to Order

The Plan Commission meeting was called to order at 5:00 PM by Jim Moes.

Roll Call

PRESENT:

Jim Moes
Bill Van Berkel
Larry Van Lankvelt
Tom Lonsway

EXCUSED: President Vanden Berg

STAFF PRESENT: Jessica Titel (EXCUSED)

Beau Bernhoft
Robert Givens

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of October 13, 2025

Moved by Commissioner Van Berkel, seconded by Commissioner Moes to approve the Plan Commission Meeting Minutes of August 11, 2025 as presented.

All Ayes – Motion Carried

Discussion/Action—Certified Survey Map, Peeters (310 Rainbow)

Moved by Commissioner Van Lankvelt, seconded by Commissioner Lonsway to approve the CSM as presented.

All Ayes – Motion Carried

Discussion/Action – Certified Survey Map, Donato (524/526 Founders Way)

Moved by Commissioner Lonsway, seconded by Commissioner Van Lankvelt to approve the CSM as presented.

All Ayes – Motion Carried

Discussion/Action – Arts Property/Duquaine Development Company Annexation

Moved by Commissioner Lonsway, seconded by Commissioner Van Lankvelt to approve the annexation.

All Ayes – Motion Carried

Items for Future Agenda

Electronic Message Boards

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Van Lankvelt to Adjourn the Plan Commission Meeting at 5:20 p.m.

All Ayes – Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: _____

Beau Bernhoft, Interim Village Clerk



Item For Consideration Plan Commission

Plan Commission Meeting Date: 11/10/25 **Prepared On:** 11/4/25

Agenda Item Topic: CSM – Feldkamp, 1800 Riverside Drive

Prepared By: Jessica Titel, Community Development Department

Applicant: Jeff Rustick – Schuler & Associates, Inc.

Owner: Nola Feldkamp

Address/Parcel #: 1800 Riverside Drive / Parcel #s: 260146503 & 260146201

Request: A CSM combining two existing parcels owned by Nola Feldkamp was recently submitted to the Village. The proposed CSM would combine the two existing parcels resulting in one lot that is 1.158 acres in size. This CSM has been reviewed by staff and follows requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on November 19 for final action. The CSM is attached to this report for Plan Commission review.

Zoning Classification: RC Conventional Single-Family Residential

Background: Proposed Lot 1 will be 1.158 acres (50,461 square feet) in area. The lot is currently used for residential.

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board.

Respectfully Submitted,

Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$150
Receipt #	
Account #	101-34102
Date Received	

Certified Survey Map Application (4 lots or less)

PROPERTY OWNER	SURVEYOR/APPLICANT
Name: Nola Feldkamp	Name: Jeff Rustick
Mailing Address: 1800 Riverside Drive	Company: Schuler & Associates, Inc.
City/State/Zip: Kaukauna, WI 54130	Address: 2711 N. Mason Street, Suite F
Phone: 224-342-9651	City/State/Zip: Appleton, WI 54914
Email: nolafeldkamp@aol.com	Phone: 920-734-9107
	Email: jtr@schulerssociates.net

PROPERTY & PROJECT INFORMATION

Parcel Number: 260146503 & 260146201

Site Address/Location: 1800 Riverside Drive

Current Zoning: Residential Single-Family	Proposed Zoning: Residential Single-Family
Number of lots/outlots: 1	Total acreage/square feet: 50,461 sf

Reason for proposed certified survey map:

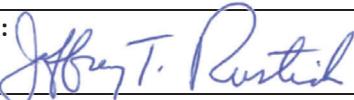
Owner wishes to combine parcels into one lot.

SUBMITTAL INCLUDES

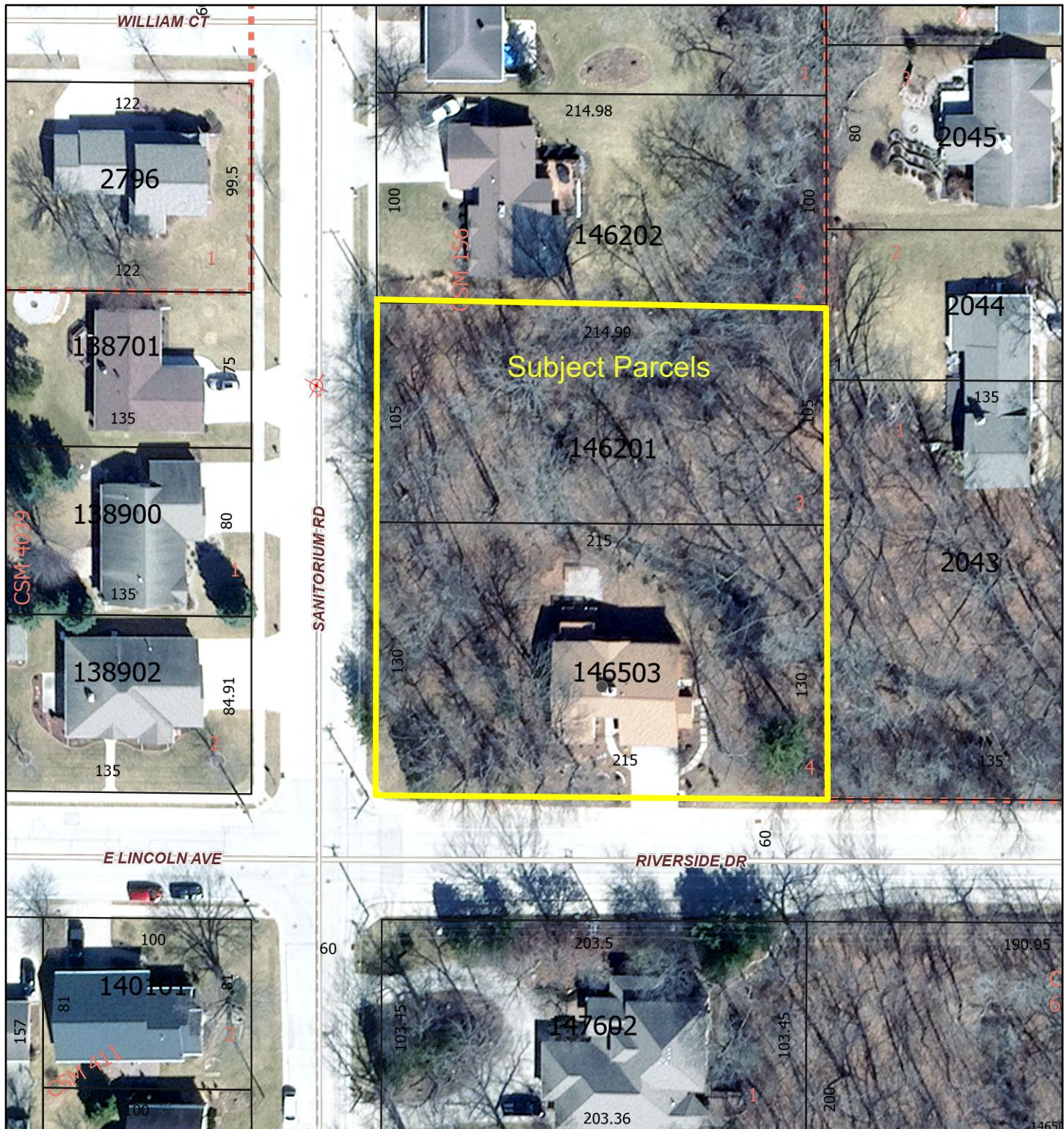
- Completed application form and fee (check made payable to Village of Little Chute)
- Digital copy of the proposed certified survey map in pdf format
- Drainage plan (if applicable) submitted in pdf format

APPLICANT STATEMENT

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

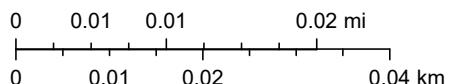
Owner/Agent Signature: 	Date: 11-3-2025
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Vicinity Map - Feldkamp CSM



11/3/2025, 4:04:05 PM

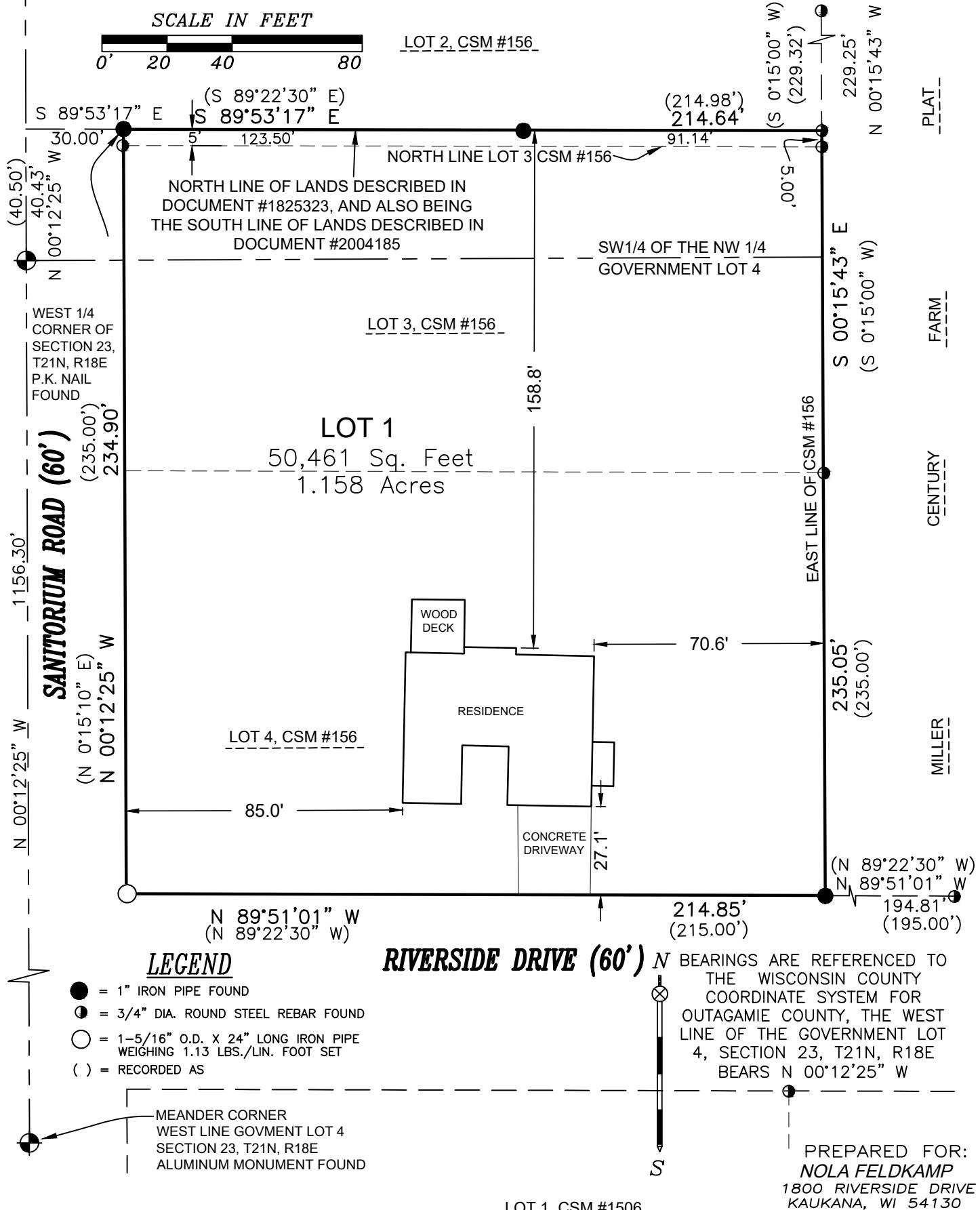
1:1,128



- Tax Parcel Information
- Plat Boundary Lines
- Plat Boundary
- PLSS Sections
- Monuments
- ✖ Quarter Corner
- Streets
- LOCAL
- Highway Labels

CERTIFIED SURVEY MAP

ALL OF LOTS 3, 4, AND THE SOUTHERLY 5 FEET OF LOT 2 OF CERTIFIED SURVEY MAP NO. 156 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 156 AS DOCUMENT NO. 745028 AND BEING PART OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) AND PART OF GOVERNMENT LOT 4, ALL BEING IN SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN



MICHAEL J. FRANK
WISCONSIN PROFESSIONAL LAND SURVEYOR

SCHULER & ASSOCIATES, INC.
LAND SURVEYORS & ENGINEERS
2711 N. MASON ST., SUITE F, APPLETON, WI 54914

L-25-4806
SHEET 1 OF 3

CERTIFIED SURVEY MAP

ALL OF LOTS 3, 4, AND THE SOUTHERLY 5 FEET OF LOT 2 OF CERTIFIED SURVEY MAP NO. 156 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 156 AS DOCUMENT NO. 745028 BEING PART OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST 1/4 (NW1/4) AND PART OF GOVERNMENT LOT 4, SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MICHAEL J. FRANK, WISCONSIN PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY: THAT I HAVE SURVEYED, COMBINED AND MAPPED, UNDER THE DIRECTION OF THE OWNERS OF SAID LAND, ALL OF LOTS 3, 4, AND THE SOUTHERLY 5 FEET OF LOT 2 OF CERTIFIED SURVEY MAP NO. 156 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 156 AS DOCUMENT NO. 745028 BEING PART OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST 1/4 (NW1/4) AND PART OF GOVERNMENT LOT 4, SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN. AND BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 12 MINUTES 25 SECONDS WEST 40.43 FEET, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 23, THENCE SOUTH 89 DEGREES 53 MINUTES 17 SECONDS EAST 30.00 FEET TO THE EAST RIGHT-OF- WAY LINE OF SANITORIUM ROAD AND THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 53 MINUTES 17 SECONDS EAST 214.64 FEET ALONG THE NORTH LINE OF LANDS DESCRIBED IN DOCUMENT NO. 1825323 AND ALSO BEING THE SOUTH LINE OF LANDS DESCRIBED IN DOCUMENT NO. 2004185. THENCE SOUTH 00 DEGREES 15 MINUTES 43 SECONDS EAST 235.05 ALONG THE EAST LINE OF SAID CERTIFIED SURVEY MAP NO. 156; THENCE NORTH 89 DEGREES 51 MINUTES 01 SECONDS WEST 214.85 FEET, ALONG THE NORTH RIGHT- OF-WAY LINE OF RIVERSIDE DRIVE; THENCE NORTH 00 DEGREES 12 MINUTES 25 SECONDS WEST 234.90 FEET, ALONG THE EAST RIGHT-OF-WAY LINE OF SANITORIUM ROAD TO THE POINT OF BEGINNING, CONTAINING 50,461 SQUARE FEET (1.158 ACRES) OF LAND MORE OR LESS, SUBJECT TO ALL EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE COMBINING OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF LITTLE CHUTE SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING, AND COMBINING THE SAME.

DATED THIS _____ DAY OF _____, 2025

MICHAEL J. FRANK
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2123

TREASURER'S CERTIFICATE:

WE HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

COUNTY TREASURER

DATE

VILLAGE TREASURER

DATE

THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENT: DOCUMENT NO. 1825323. THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NUMBER 260146503 AND 260146201, THE PROPERTY OWNER OF RECORD IS NOLA J. FELDKAMP REVOCABLE LIVING TRUST.

VILLAGE OF LITTLE CHUTE APPROVAL:

APPROVED BY THE VILLAGE OF LITTLE CHUTE ON THIS _____ DAY OF _____, 2025

MICHAEL VANDENBERG, VILLAGE PRESIDENT DATE

VILLAGE CLERK

DATE

CERTIFIED SURVEY MAP

ALL OF LOTS 3, 4, AND THE SOUTHERLY 5 FEET OF LOT 2 OF CERTIFIED SURVEY MAP NO. 156 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 156 AS DOCUMENT NO. 745028 BEING PART OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST 1/4 (NW1/4) AND PART OF GOVERNMENT LOT 4, SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

THE NOLA J. FELDKAMP REVOCABLE LIVING TRUST, AS OWNER, DOES HEREBY CERTIFY THAT SAID TRUST CAUSED THE LANDS ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED, AND MAPPED, AS REPRESENTED ON THIS MAP.

THE NOLA J. FELDKAMP REVOCABLE LIVING TRUST, DOES FUTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY s.236.10 OR 236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF LITTLE CHUTE.

NOLA J. FELDKAMP, TRUSTEE

STATE OF WISCONSIN))ss.
OUTAGAMIE COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2025, THE ABOVE NAMED, NOLA J. FELDKAMP, TRUSTEE OF THE NOLA J. FELDKAMP REVOCABLE LIVING TRUST, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGE THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES _____



Item For Consideration Plan Commission

Plan Commission Meeting Date: 11/10/25

Prepared On: 10/31/25

Agenda Item Topic: CSM – Schommer, 224 Paradise Drive

Prepared By: Jessica Titel, Community Development Department

Applicant: David Spielbauer – Meridian Surveying

Owner: Ned & Jill Schommer

Address/Parcel #: 224 Paradise Drive / Parcel #s: 260405400 & 260404400

Request: A CSM to combine two existing parcels owned by Ned & Jill Schommer was recently submitted to the Village. The proposed CSM would combine the two existing parcels resulting in one lot that is 25,114 square feet in size. This CSM has been reviewed by staff and follows requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on November 19 for final action. The CSM is attached to this report for Plan Commission review.

Zoning Classification: RC Conventional Single-Family Residential

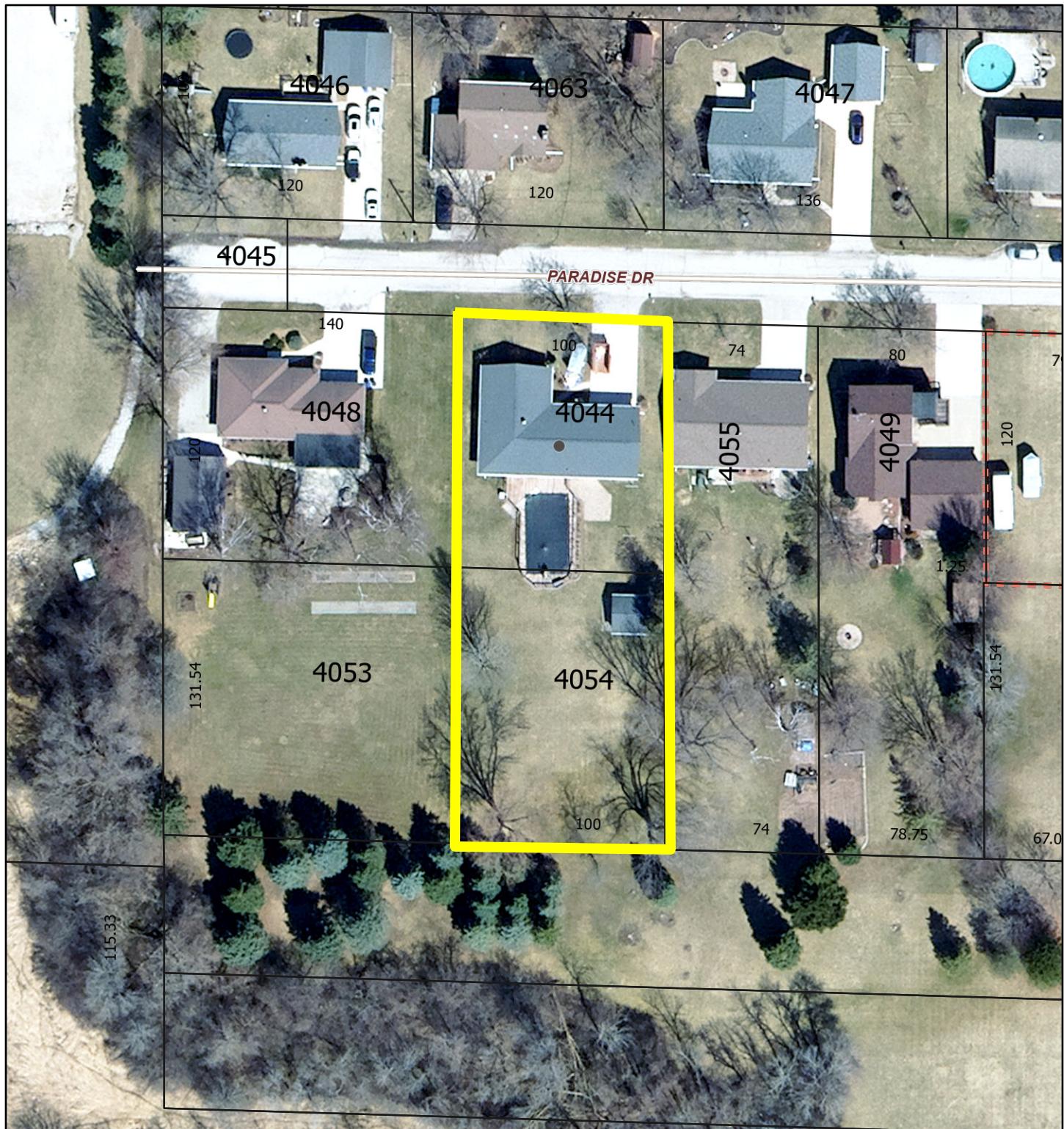
Background: Proposed Lot 1 will be 0.567 acres (25,114 square feet) in area. The lot is currently used as single-family residential.

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board.

Respectfully Submitted,

Jessica Titel, Community Development Director

Vicinity Map - Schommer CSM



10/31/2025, 1:29:28 PM

1:1,128

0 0.01 0.01 0.02 0.02 mi
0 0.01 0.01 0.02 0.04 km

 Tax Parcel Information Streets

 PLSS Sections

 LOCAL

Plat Boundary Lines

 Plat Boundary

Highway Labels



FOR OFFICE USE	
Application #	
Permit fee	\$150
Receipt #	
Account #	101-34102
Date Received	

Certified Survey Map Application (4 lots or less)

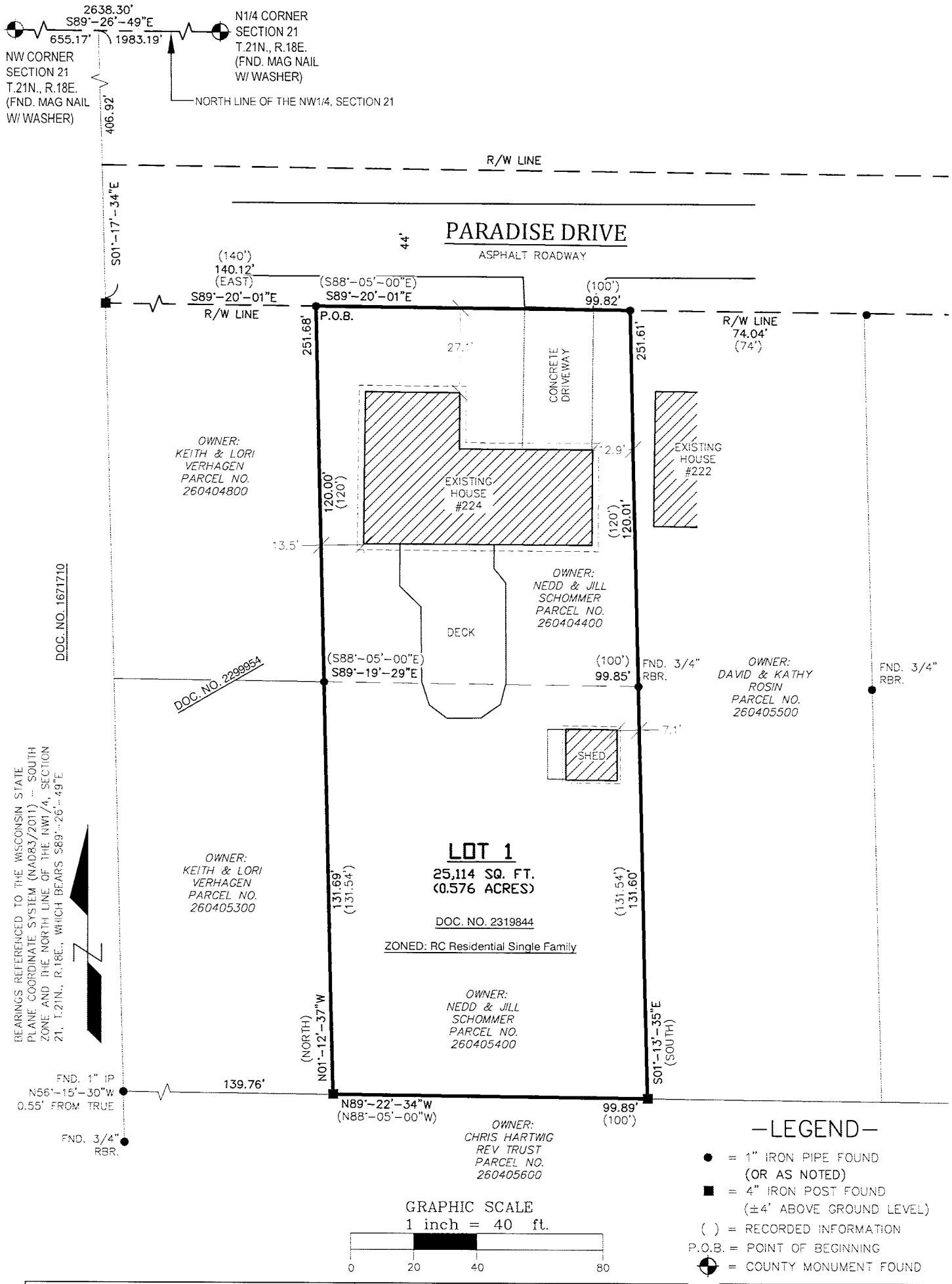
PROPERTY OWNER	SURVEYOR/APPLICANT
Name: <u>Mark Schommer</u>	Name: <u>David Spielbauer</u>
Mailing Address: <u>224 PARADISE DR.</u>	Company: <u>MERIDIAN SURVEYING</u>
City/State/Zip: <u>LITTLE CHUTE, WI 54140</u>	Address: <u>9637 FRIENDSHIP DR.</u>
Phone:	City/State/Zip: <u>Kaukauna, WI 54130</u>
Email:	Phone: <u>920-993-0881</u>
	Email: <u>DSPIELBAUER@MERIDIAN-WI.COM</u>
PROPERTY & PROJECT INFORMATION	
Parcel Number: <u>260405400 + 260404400</u>	
Site Address/Location: <u>224 PARADISE DR</u>	
Current Zoning:	Proposed Zoning: <u>RESIDENTIAL</u>
Number of lots/outlots: <u>2 combined to 1</u>	Total acreage/square feet: <u>0.58 AC</u>
Reason for proposed certified survey map: <u>COMBINE PARCEL 260405400 + 260404400 TO MAKE ONE INDIVIDUAL PARCEL</u>	
SUBMITTAL INCLUDES	
<ol style="list-style-type: none"> Completed application form and fee (check made payable to Village of Little Chute) Digital copy of the proposed certified survey map in pdf format Drainage plan (if applicable) submitted in pdf format 	
APPLICANT STATEMENT	
<p>I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.</p>	
Owner/Agent Signature: <u>D. A. Spielbauer</u>	Date: <u>10-15-25</u>

Village of Little Chute
108 W Main St.
Little Chute, WI 54140

Community Development Department
PH: (920) 423-3870
Email: jessica@littlechutewi.org

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NW1/4 OF THE NW1/4, SECTION 21, T.21N., R.18E., VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN



—LEGEND—

- = 1" IRON PIPE FOUND (OR AS NOTED)
- = 4" IRON POST FOUND (±4' ABOVE GROUND LEVEL)
- () = RECORDED INFORMATION
- P.O.B. = POINT OF BEGINNING
- = COUNTY MONUMENT FOUND

CERTIFIED SURVEY MAP NO. _____

A PARCEL OF LAND LOCATED IN THE NW1/4, OF THE NW1/4, SECTION 21, T.21N., R.18E., VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

Sheet 2 of 4

SURVEYOR'S CERTIFICATE

I, David A. Spielbauer, Wisconsin Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed, divided, mapped and monumented under the direction of Nedd Schommer a portion of land as recorded in Quit Claim Deed as Document Number 2319844 in the Office of the Register of Deeds for Outagamie County, located in the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4), Section Twenty-One (21), Township Twenty-One (21) North, Range Eighteen (18) East, Village of Little Chute, Outagamie County, Wisconsin containing 25,114 square feet (0.576 acres) of land and being described by:

Commencing at the NW Corner of section 21 thence S89°-26'-49"E 655.17 feet along the north line of said Section 21; thence S01°-17'-34"E 406.92 feet along the east line of lands described in document number 1671710 at the Outagamie County Register of Deeds to the Northwest corner of lands described in Document Number 2299954 at the Outagamie County Register of Deeds and the South Right of Way line of Paradise Drive; thence S89°-20'-01"E 140.12 feet (recorded as East 140 feet) along said South line to the Northwest corner of lands described in Document Number 2319844 at the Outagamie County Register of Deeds also being the point of beginning. Thence Continuing S89°-20'-01"E 99.82 feet along said South line (recorded as S88°-05'-00"E 100 feet); thence S01°-13'-35"E 251.61 feet, (recorded as South 251.54 feet); thence N89°-22'-34"W 99.89 feet (recorded as N88°-05'-00"W 100 feet); thence N01°-12'-37"W 251.68 feet, (recorded as North 251.54 feet) to the point of beginning. Being subject to any and all easements and restrictions of record.

That such is a correct representation of all exterior boundaries of the land surveyed.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Subdivision Ordinance of Outagamie County and the Village of Little Chute, in surveying, dividing, monumenting and mapping the same.

Dated this _____ day of _____, 2025.

Wisconsin Professional Land Surveyor
David A. Spielbauer S-3247

Survey Notes:

- This CSM is wholly located in lands described in Document No: 2319844
- Parcel No's.: 260404400 and 260405400
- Owner(s) of Record: Nedd Schommer and Jill Schommer
- Site Address: 224 Paradise Dr. Little Chute, WI. 54140

CERTIFIED SURVEY MAP NO. _____

A PARCEL OF LAND LOCATED IN THE NW1/4, OF THE NW1/4, SECTION 21, T.21N., R.18E., VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

Sheet 3 of 4

OWNER'S CERTIFICATE

As owner(s), I (we) hereby certify that I (we) caused the land on this Certified Survey Map to be surveyed, divided, monumented & mapped as represented on this map. I (we) also certify that this plat is required by s. 236.10 or 236.12 to be submitted to the following for approval or objection: Village of Little Chute, Outagamie County.

Nedd Schommer

Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2025.

The above owner(s) to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Notary Public _____ Wisconsin.

My Commission Expires _____

OWNER'S CERTIFICATE

As owner(s), I (we) hereby certify that I (we) caused the land on this Certified Survey Map to be surveyed, divided, monumented & mapped as represented on this map. I (we) also certify that this plat is required by s. 236.10 or 236.12 to be submitted to the following for approval or objection: Village of Little Chute, Outagamie County.

Jill Schommer

Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2025.

The above owner(s) to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Notary Public _____ Wisconsin.

My Commission Expires _____

CERTIFIED SURVEY MAP NO. _____

A PARCEL OF LAND LOCATED IN THE NW1/4, OF THE NW1/4, SECTION 21, T.21N., R.18E., VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

Sheet 4 of 4

VILLAGE BOARD CERTIFICATE:

This Certified Survey Map has been approved by the Village Board of the Village of Little, Outagamie County, Wisconsin in the _____ day of _____, 2025.

Michael Vanden Berg
Village President

Date

Laurie Decker
Village Clerk

Date

VILLAGE TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the Village of Little Chute, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid assessments as of this _____ day of _____, 2025 on any lands included in this Certified Survey Map.

Lisa Remiker-Dewall
Finance Director

Date

COUNTY TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the County of Outagamie, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid assessments as of this _____ day of _____, 2025 on any lands included in this Certified Survey Map.

County Treasurer

Date



Item For Consideration Plan Commission

Plan Commission Meeting Date: 11/10/25

Prepared On: 11/4/25

Agenda Item Topic: Rezoning Request – Schumacher Condominiums

Prepared By: Jessica Titel, Community Development Department

Applicant: Scott Anderson – Davel Engineering & Environmental, Inc.

Owners: 4 Roberts, LLC and Romenesko Developments, Inc.

Address/Parcel #: 341 Patriot Drive & 401 Patriot Drive / Parcel #s: 260446200 and 260446300

Request: A request has been submitted to rezone the subject properties from CH Commercial Highway District to RM Multi-Family District to accommodate a proposed duplex condominium development.

Background: The requests are being made to accommodate the proposed Schumacher Condominium Development. That development will include 9 duplex buildings for a total of 18 units. The development will include an internal private drive to access each unit. The land is currently undeveloped and is adjacent to the newer Founders Estates Subdivision.

This Rezoning Request is being filed in conjunction with the Schumacher Condominium development on the subject parcels. The project includes applications for: Condominium Plat, Site Plan, Rezoning and Certified Survey Map. All of which have been filed concurrently and will be presented at the 11/10 Plan Commission meeting and the 12/3 Village Board meeting.

Comprehensive Plan Consistency: The Village of Little Chute Comprehensive Plan 2016-2036 and Future Land Use Map are intended to guide Village growth and development in an organized, efficient manner. Evaluating the proposed rezoning for consistency with relevant goals, objectives, and policies is necessary in determining if changes to the Zoning Map are appropriate. The proposed rezoning appears to be consistent with the following excerpts from the Village's Comprehensive Plan:



Item For Consideration

Plan Commission

- Housing Chapter Recommendation: *The Village should increase the diversity of housing options in order to attract the needs associated with the retiring baby boomers and the millennial generation. Diversity will likely mean more multi family, town house or smaller footprint owner occupied units.*
- Land Use Chapter Recommendation: *Annexations will likely occur to accommodate future single-family, two-family and multifamily housing units in the village. Presently, there is limited land available in the village zoned for single-family housing units and served by public utilities. Likewise, land is quite limited to accommodate multi-family housing.* The proposed rezoning will support the development of new, much needed, housing that will use existing infrastructure.
- Land Use Chapter Recommendation: *The village is well positioned to accommodate a variety of market demands for housing, commercial, industrial and recreational development which can be attractive to retain existing residents while appealing to new future residents.*

RECOMMENDATION/PLAN COMMISSION ACTION: Staff is recommending approval of the proposed rezoning to the Village Board and to set a public hearing for December 3, 2025.

Respectfully Submitted,
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$450
Receipt #	
Account #	101-34110
Date Received	

Rezoning Request

PROPERTY OWNER	APPLICANT
Name: Romenesco Developments Inc.	Name: Scott Andersen
Mailing Address: 1818 E Wisconsin Ave.	Company: Davel Engineering & Environmental Inc.
City/State/Zip: Appleton, WI 54911	Address: 1164 Province Terrace
Phone: (920) 731-5850	City/State/Zip: Menasha, WI 54952
Email: office@rdi2build.com	Phone: (920) 560-6569
	Email: scott@davel.pro

PROPERTY & PROJECT INFORMATION

Parcel Number: 260446200 & 260446300

Site Address/Location: 341 & 401 Patriot Dr., Little Chute, WI 54140

Legal description of the land proposed for rezoning (also provide electronic copy in Word format):
Schumacher Business Park Lot 6 & Lot 7

Current Zoning: Commercial Highway District Proposed Zoning: Residential Multi-Family

Current Use(s): Vacant Proposed Use(s): Two Family Condominium

Total acreage/square feet: 2.75 acres

PLEASE STATE THE REASON(S) AND JUSTIFICATION FOR THE REZONING REQUEST

Create condominium plat with 9 buildings (18 units).

Romenesco Developments and 4Roberts are partnering on this project.
Parcel 260446300 is owned by Romenesco Developments, Inc.
Parcel 260446200 is owned by 4Roberts.

APPLICANT STATEMENT

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

Owner/Agent Signature:

Signed by:
Phil Romenesco

Date:

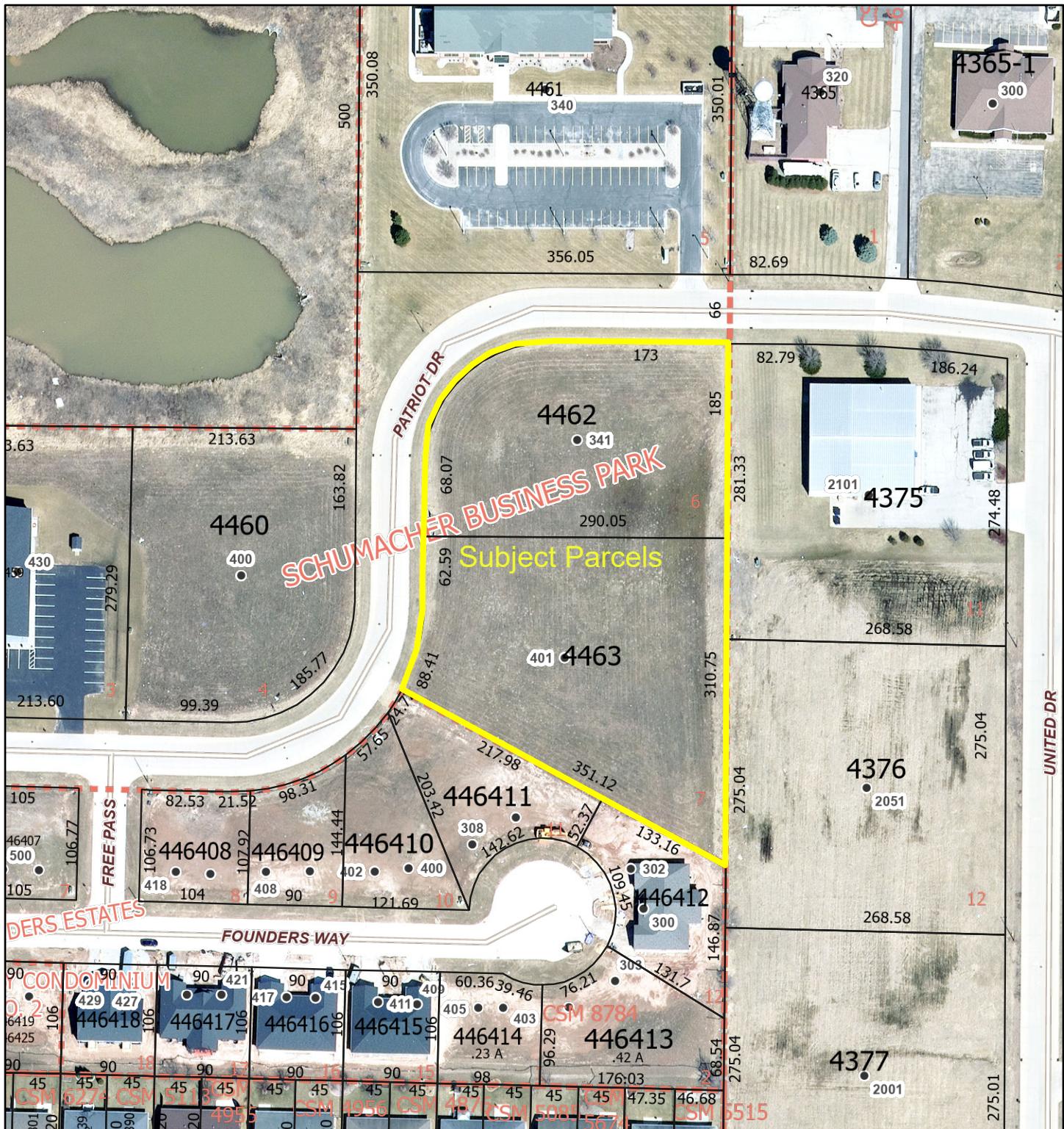
10/20/2025

Village of Little Chute
108 W Main St.
Little Chute, WI 54140

Community Development Department
PH: (920) 423-3870
Email: jessica@littlechutewi.org

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Vicinity Map - Schumacher Condominiums



11/4/2025, 3:37:47 PM

1·2 257

Tax Parcel Information

Plat Boundary Lines

• Property Address

Plat Boundary

PLSS Sections

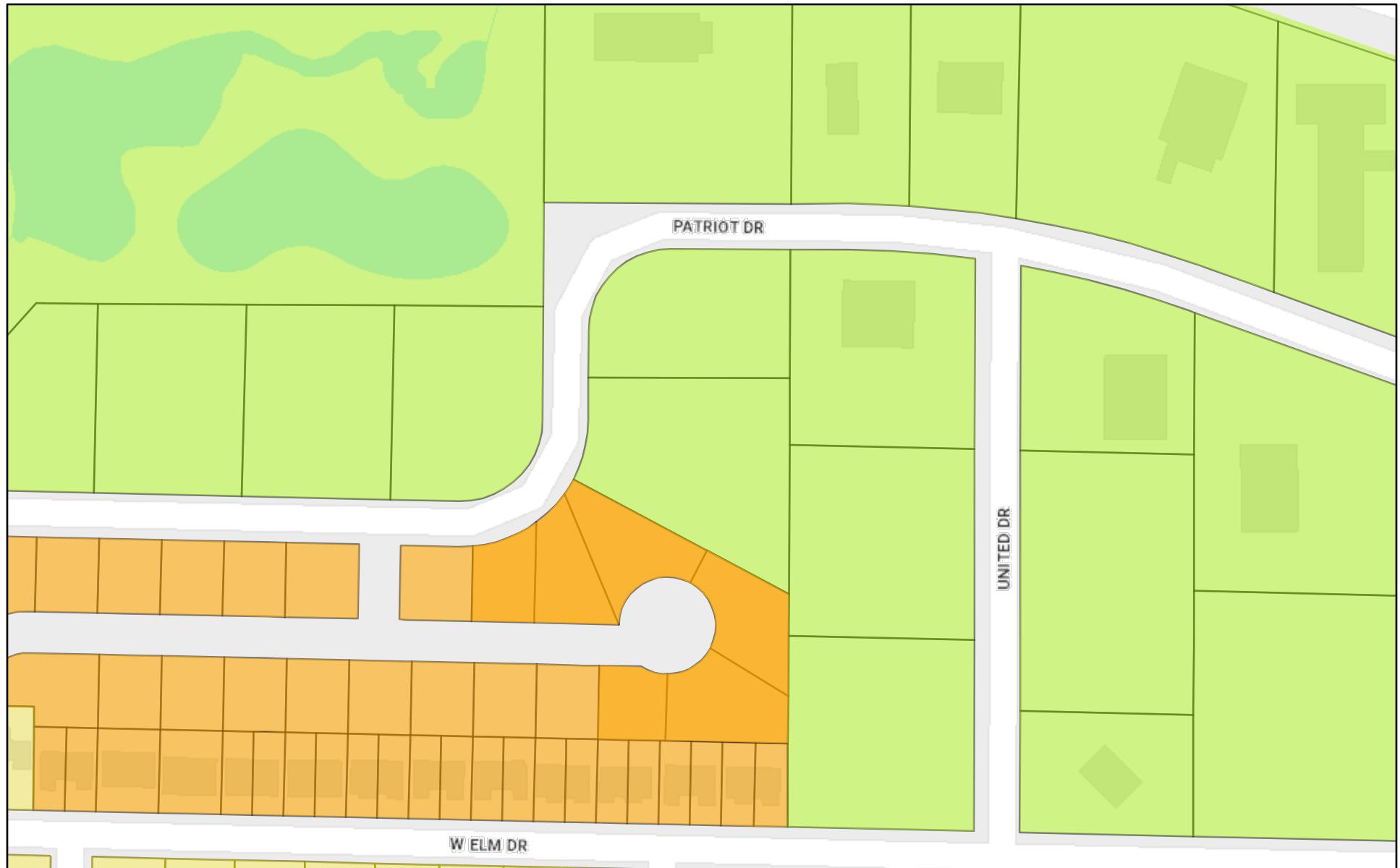
Streets

LOCAL

Highway Labels

A diagram showing two number lines. The top number line starts at 0 and ends at 0.05 mi, with tick marks at 0, 0.01, 0.03, and 0.05 mi. The bottom number line starts at 0 and ends at 0.08 km, with tick marks at 0, 0.02, 0.04, and 0.08 km. The two number lines are aligned at 0 and 0.05 mi/km, but the bottom line is scaled by a factor of 1.60934.

Zoning Map



11/4/2025, 4:37:38 PM

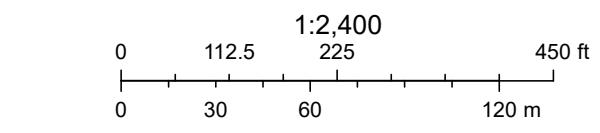
Zoning

CH: Commercial Highway District

RC: Conventional Single-Family District

RT: Two-Family Residential District

Parcels



Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute

Robert E. Lee & Associates, Inc., Outagamie County



Item For Consideration Plan Commission

Plan Commission Meeting Date: 11/10/25

Prepared On: 11/4/25

Agenda Item Topic: CSM – Schumacher Condominiums

Prepared By: Jessica Titel, Community Development Department

Applicant: Scott Anderson – Davel Engineering & Environmental, Inc.

Owner: 4 Roberts, LLC and Romenesko Developments, Inc.

Address/Parcel #: 341 Patriot Drive & 401 Patriot Drive / Parcel #s: 260446200 and 260446300

Request: A CSM combining two existing parcels was recently submitted to the Village. The proposed CSM would result in one lot that is 2.74 acres in size. This CSM has been reviewed by staff and follows requirements in Sec 42-64. After Plan Commission review, this CSM will move to the Village Board on December 3 for final action. The CSM is attached to this report for Plan Commission review.

Zoning Classification: Proposed to be rezoned from CH Commercial Highway to RM Multi-Family Residential. See the Rezoning request IFC that is being presented at this 11/10 Plan Commission meeting as well.

Background: Proposed Lot 1 will be 2.74 acres (119,399 square feet) in area. The lot is currently undeveloped and is being combined to accommodate a future duplex condominium development.

This CSM is being filed in conjunction with the Schumacher Condominium development on the subject parcels. The project includes applications for: Condominium Plat, Site Plan, Rezoning and the Certified Survey Map. All of which have been filed concurrently and will be presented at the 11/10 Plan Commission meeting and the 12/3 Village Board meeting.



Item For Consideration Plan Commission

Recommendation/Board Action: Staff is recommending approval of this CSM to the Village Board, subject to satisfaction of all staff comments.

Procedural Note: *The CSM will be presented to the Village Board at the same meeting as the rezoning.*

Respectfully Submitted,

Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$150
Receipt #	
Account #	101-34102
Date Received	

Certified Survey Map Application (4 lots or less)

PROPERTY OWNER	SURVEYOR/APPLICANT
Name: Romenesko Developments Inc	Name: Scott Andersen
Mailing Address: 1818 E. Wisconsin Ave	Company: Davel Engineering & Environmental Inc.
City/State/Zip: Appleton, WI 54911	Address: 1164 Province Terrace
Phone: (920) 731-5850	City/State/Zip:
Email: office@rdi2build.com	Phone: (920) 560-6569
	Email: scott@davel.pro

PROPERTY & PROJECT INFORMATION

Parcel Number: 260446200 & 260446300

Site Address/Location: 341 & 401 Patriot Dr., Little Chute 54140

Current Zoning: Commercial Highway District	Proposed Zoning: Residential Multi-Family
---	---

Number of lots/outlots: 1	Total acreage/square feet: 2.75 acres
---------------------------	---------------------------------------

Reason for proposed certified survey map:

Combine lots to create condominium plat with 9 buildings (18 units).

Romenesko Developments and 4Roberts are partnering on this project. Parcel 260446300 is owned by Romenesko Developments, Inc. Parcel 260446200 is owned by 4Roberts.

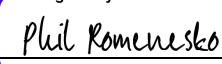
SUBMITTAL INCLUDES

- Completed application form and fee (check made payable to Village of Little Chute)
- Digital copy of the proposed certified survey map in pdf format
- Drainage plan (if applicable) submitted in pdf format

APPLICANT STATEMENT

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

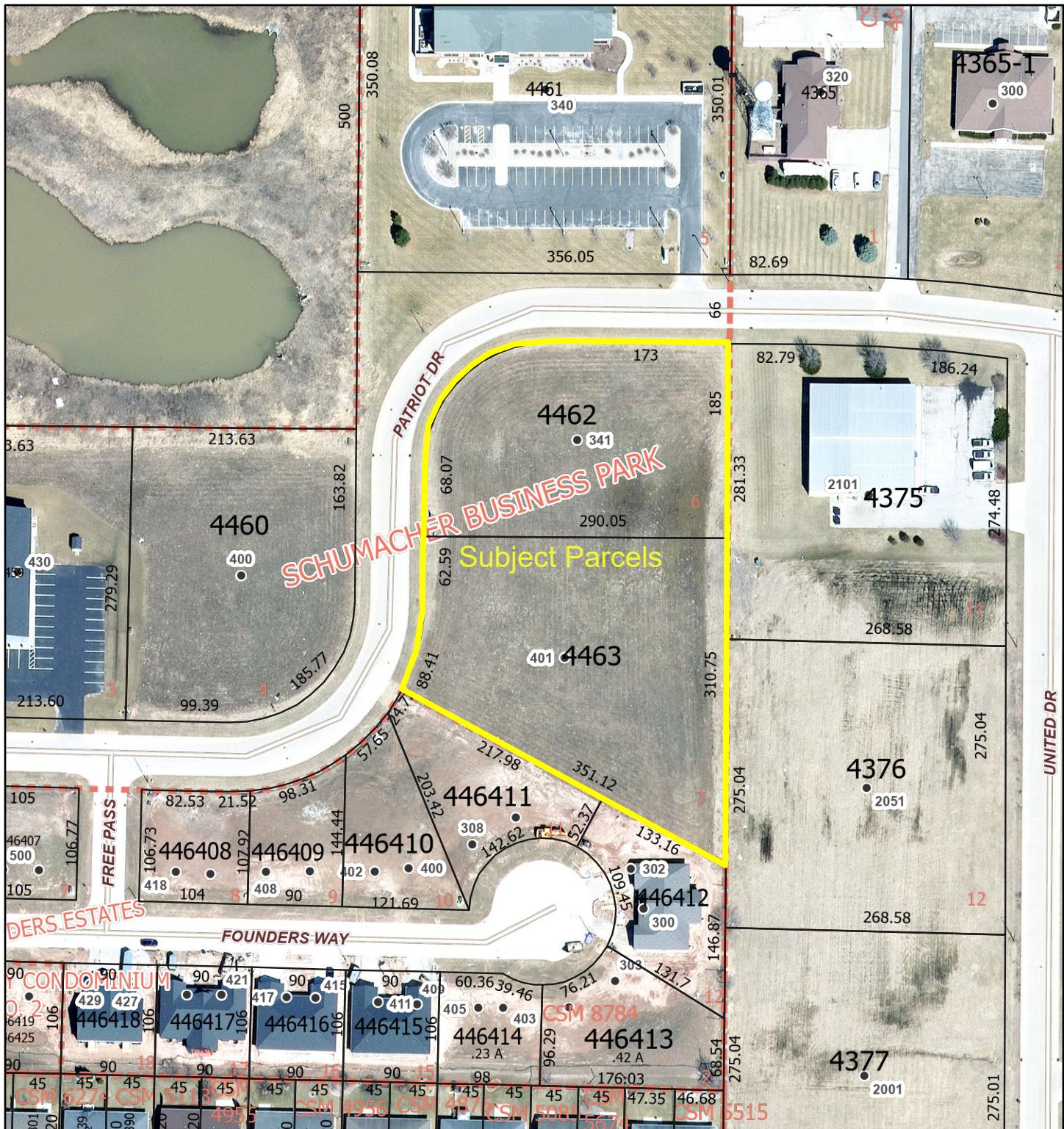
Owner/Agent Signature:

Signed by:

 Phil Romenesko
 EBAA4AB1F4B3404...

Date:

10/20/2025

Vicinity Map - Schumacher Condominiums



11/4/2025, 3:37:47 PM

1·2 257

Tax Parcel Information

Plat Boundary Lines

- **Property Address**

Plat Boundary

PLSS Sections

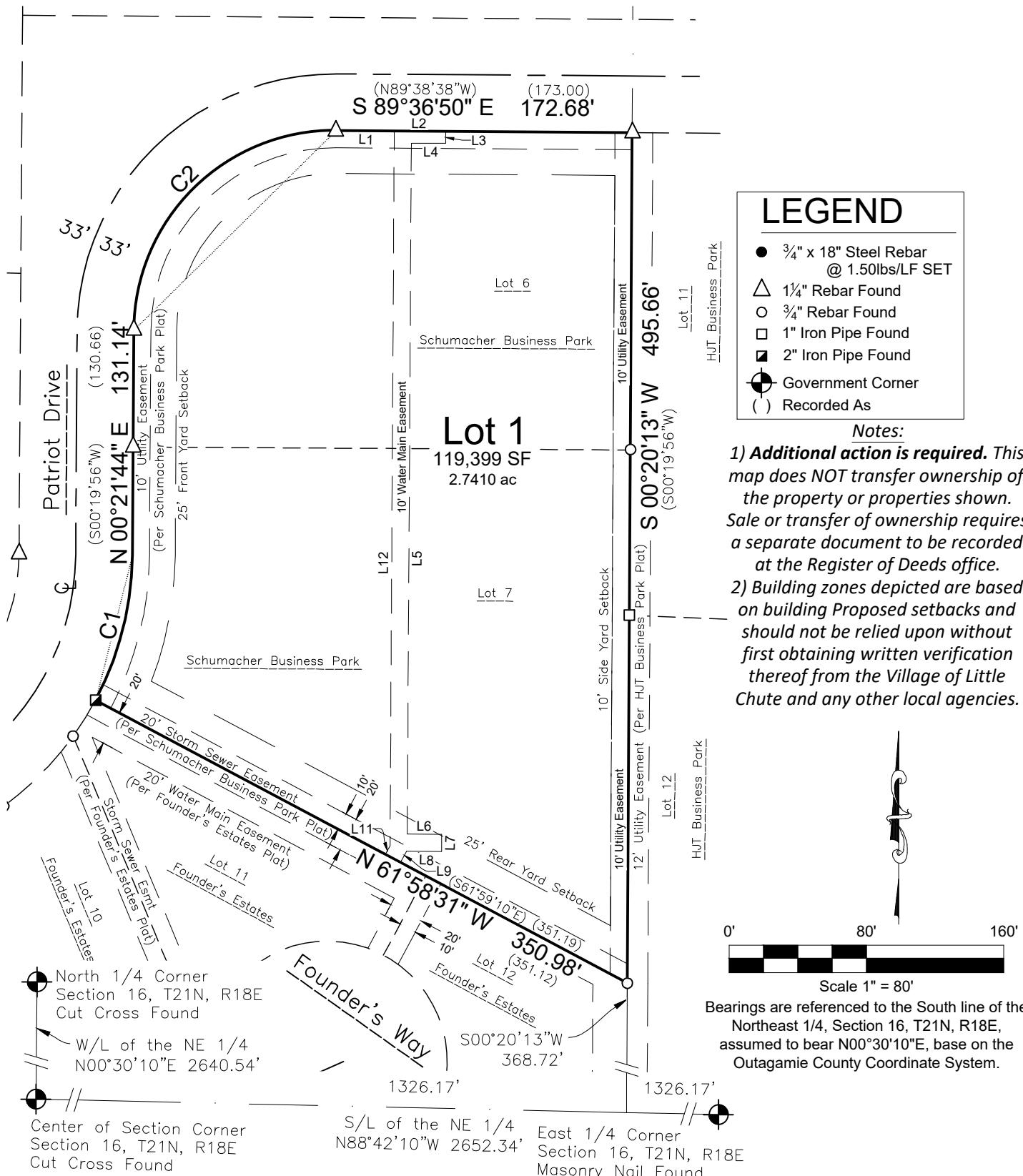
Streets

LOCAL

Highway Labels

Certified Survey Map No. _____

All of Lot 6 and 7 of Schumacher Business Park, Located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.



Survey for:
Romenesko Development Inc
1818 E. Wisconsin Ave.
Appleton, WI 54911



**DAVEL ENGINEERING &
ENVIRONMENTAL, INC.**

Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davel.pro

Scott R. Andersen
Professional Land Surveyor
No. S-3169

Date
File: 8999CSM.dwg
Date: 10/20/2025
Drafted By: scott
Sheet: 1 of 6

Certified Survey Map No. _____

All of Lot 6 and 7 of Schumacher Business Park, located in
Part of the Southwest 1/4 of the Northeast 1/4 of Section
16 of Section 16, Township 21 North, Range 18 East,
Village of Little Chute, Outagamie County, Wisconsin

Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute and Outagamie County, and under the direction of Romenesko Development Inc & 4 Roberts LLC, the property owners of said land, I have surveyed, combined and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 6 and 7 of Schumacher Business Park (Doc. 1661814), located in part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 119,399 Square Feet (2.7410 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this _____ day of _____, 2025.

Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169

LINE TABLE		
Line	Bearing	Length
L1	S 89°36'50" E	34.02'
L2	S 89°36'50" E	30.00'
L3	S 00°23'10" W	7.00'
L4	N 89°36'50" W	20.00'
L5	S 00°20'10" W	402.70'
L6	S 89°39'47" E	20.00'
L7	S 00°20'13" W	10.00'
L8	N 89°39'47" W	20.40'
L9	S 28°09'14" W	7.39'
L10	N 61°58'31" W	10.00'
L11	N 28°09'14" E	5.80'
L12	N 00°20'13" E	416.47'

CURVE TABLE										
Curve	Radius	Chord Direction		Chord Length		Arc Length		Central Angle		Tangent Bearing-in/out (Tangent)
C1	183.00'	N 14°14'24" E	(S14°10'23"W)	87.20'	(87.56')	88.04'	(88.41')	27°33'56"	(27°40'54")	N28°01'22"E /N00°27'25"E
C2	117.00'	N 45°22'27" E	(N45°49'07"E)	165.50'	(166.86)	183.83'	(185.77')	90°01'26"	(90°58'22")	N00°21'44"E /S89°36'50"E

Certified Survey Map No. _____

All of Lot 6 and 7 of Schumacher Business Park, located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin

Owner's Certificate

4 Roberts, LLC, a Limited Liability Company duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, combined and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said 4 Roberts, LLC., has caused these presents to be

signed by its authorized representatives, located at, _____, Wisconsin, and its corporate seal to be hereunto affixed

this _____ day of _____, 20_____

In the Presence of: 4 Roberts, LLC.

Managing Member

Print Name

Date

State of Wisconsin)
)
)SS
 _____ County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____My Commission Expires_____

Scott R. Andersen
Professional Land Surveyor
No. S-3169

File: 8999CSM.dwg
Date: 10/20/2025
Drafted By: scott
Sheet: 3 of 6

Certified Survey Map No. _____

All of Lot 6 and 7 of Schumacher Business Park, located in
Part of the Southwest 1/4 of the Northeast 1/4 of Section
16 of Section 16, Township 21 North, Range 18 East,
Village of Little Chute, Outagamie County, Wisconsin

Corporate Owner's Certificate

Romensko Developments, Inc., a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, combined and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said Romensko Developments, Inc., has caused these presents to be

signed by its authorized representatives, located at, _____, Wisconsin, and its corporate seal to be hereunto affixed

this _____ day of _____, 20_____.

In the Presence of: Romensko Developments, Inc.

By _____ By _____

print name _____ print name _____

Title _____ Title _____

State of Wisconsin)
)ss
)
_____ County)

Personally came before me this _____ day of _____, 20_____,

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

My commission expires: _____.

Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 8999CSM.dwg
Date: 10/20/2025
Drafted By: scott
Sheet: 4 of 6

Certified Survey Map No. _____

All of Lot 6 and 7 of Schumacher Business Park, located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin Watermain Easement

Romenesko Development Inc. & 4 Roberts, LLC (the "Grantor") hereby grants, conveys, and warrants unto to the Village of Little Chute (the "Village"), its successors and assigns, the perpetual right and easement to construct, install, maintain, operate, repair, inspect, replace, add, relocate and remove in the Easement Area, as indicated on the plat, upon, in, over, through and across lands owned by the Grantor so that the Village may maintain and install a watermain and appurtenances in the Easement Area. The easements are subject to the following conditions:

- i. Access: The Village and its agents shall have the right of reasonable ingress and egress to, over and across the Grantor's land adjacent to and upon the Easement area, as well as over the area and under the surface of the Easement Area to install, lay, operate, repair and maintain a the watermain and appurtenances.
- ii. Restoration: If the Village performs any work within the Easement Area, upon completion of that work the Village shall, at its cost, restore any damages to property, lawns, or pavement in the Easement Area and immediate surrounding area and all improvements thereupon, caused by the construction and or maintenance of the storm sewer main and appurtenances.
- iii. Nature of Easements: The easement and agreements contained in this Agreement shall run with the land, be appurtenant to and shall pass with the title to the Easement Area and any portion thereof; and may not be transferred separately from, or severed from, title to the Easement Area or the dominant tenement thereto.
- iv. Buildings and Structures: The Grantor, along with their successors and assigns, agrees within the Easement Area not to construct or place buildings, structures or other improvements, or place additional water, sewer, drainage, electric, gas, or communication facilities without the express written consent of the Village.
- v. Landscaping and Vegetation: No plantings and landscaping are allowed within the Easement Area that will interfere with the easement rights herein granted.

The grant of the two above easements shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Romenesko Development Inc.

Authorized Member	Print Name & Title	Date
-------------------	--------------------	------

4 Roberts, LLC

Authorized Member	Print Name & Title	Date
-------------------	--------------------	------

Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by

Romenesko Development Inc. & 4 Roberts, LLC, Grantor, to:

Kaukauna Utilities, Grantee
Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,
AT&T, Grantee,
Spectrum, Grantee,
and
TDS Metrocom, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of the two above easements shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Romenesko Development Inc.

Authorized Member	Print Name & Title	Date
-------------------	--------------------	------

4 Roberts, LLC	Print Name & Title	Date
----------------	--------------------	------

Authorized Member	Print Name & Title	Date
-------------------	--------------------	------

Scott R. Andersen
Professional Land Surveyor
No. S-3169

Date

File: 8999CSM.dwg
Date: 10/20/2025
Drafted By: scott
Sheet: 5 of 6

Certified Survey Map No. _____

All of Lot 6 and 7 of Schumacher Business Park, Located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin

Village Board Approval Certificate

Approved by the Village of Little Chute, Outagamie County, Wisconsin, by the Village Board on _____ day of _____, 2025.

Village President

Print Name

Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Little Chute.

Village Clerk

Print Name

Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer

Print Name

Date

County Treasurer

Print Name

Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owner of record:
Romenesko Developments, Inc.
4 Roberts LLC

Recording Information:
Doc. 2272488
Doc. 2132256

Parcel Number(s):
260446300
260446200

Scott R. Andersen
Professional Land Surveyor
No. S-3169

File: 8999CSM.dwg
Date: 10/20/2025
Drafted By: scott
Sheet: 6 of 6



Item For Consideration

Plan Commission

Plan Commission Meeting Date: 11/10/25

Prepared On: 11/5/25

Agenda Item Topic: Schumacher Condominium Plat

Prepared By: Jessica Titel, Community Development Department

Applicant: Scott Anderson – Davel Engineering & Environmental, Inc.

Owner: 4 Roberts, LLC and Romenesko Developments, Inc.

Address/Parcel #: 341 Patriot Drive & 401 Patriot Drive / Parcel #s: 260446200 and 260446300

Request: The applicant has submitted a request for an 18-unit condominium plat on 2.74 acres. This Condo Plat has been reviewed by staff and follows the requirements in Sec 42-8. After Plan Commission review, this Condo Plat will move to the Village Board on December 3 for public hearing and final action. The Condo Plat is attached to this report for Plan Commission review.

Zoning Classification: Proposed to be rezoned from CH Commercial Highway to RM Multi-Family Residential. See the Rezoning request IFC that is being presented at this 11/10 Plan Commission meeting as well.

Background/Project Summary: The proposed development will include 9 duplex buildings for a total of 18 units. The development will include an internal private drive to access each unit. Parking is provided in attached garages and driveways in front of the garages. The water main extension to serve the development will be public and a Developers Agreement will be prepared for the installation by the developer. The land is currently undeveloped and is adjacent to the newer Founders Estates Subdivision, which includes 23 lots zoned for two-family development.

This Condominium Plat is being filed in conjunction with the Schumacher Condominium development on the subject parcels. The project includes applications for: Condominium Plat, Site Plan, Rezoning and Certified Survey Map. All of which have been filed concurrently and will be presented at the 11/10 Plan Commission meeting and the 12/3 Village Board meeting.



**Item For Consideration
Plan Commission**

Recommendation/Board Action: Staff is recommending approval of the Schumacher Condominium Plat to the Village Board, subject to the satisfaction of all staff comments and to set a public hearing for December 3, 2025.

Respectfully Submitted,
Jessica Titel, Community Development Director

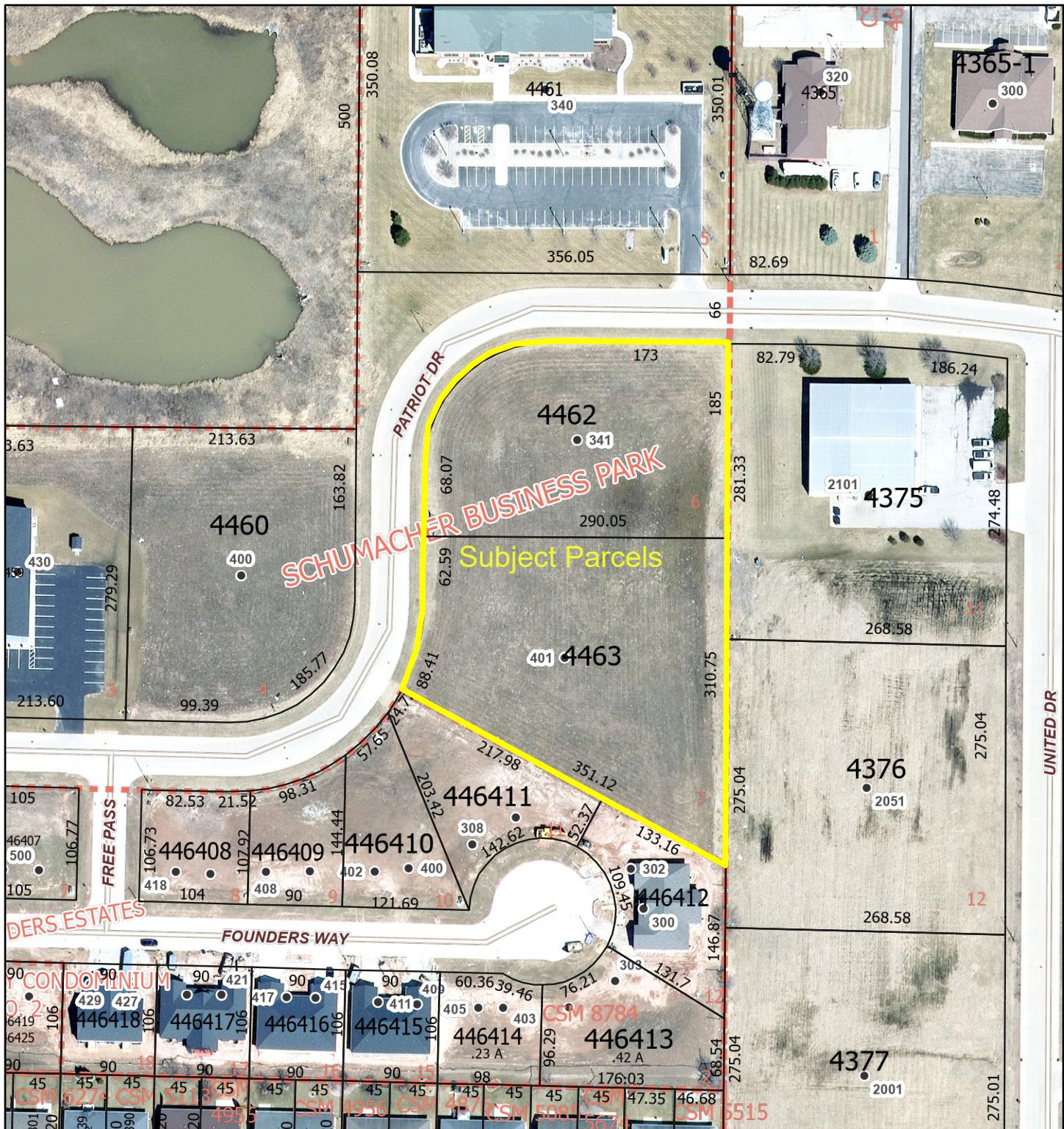


FOR OFFICE USE	
Permit fee	Pre Plat: \$200+\$20/lot Final/Condo Plat: \$300
Receipt	
Account	4-402
Date Received	

Preliminary and Final Plat Application

TYPE OF SUBDIVISION APPLICATION			
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input checked="" type="checkbox"/> CONDOMINIUM PLAT	<input type="checkbox"/> EXTRATERRITORIAL
PROPERTY OWNER		SURVEYOR/APPLICANT	
Name: Romenesko Developments Inc		Name: Scott Andersen	
Mailing Address: 1818 E Wisconsin Ave		Company: Davel Engineering & Environmental Inc.	
City/State/Zip: Appleton, WI 54911		Address: 1164 Province Terrace	
Phone: (920) 731-5850		City/State/Zip: Menasha, WI 54952	
Email: office@rdi2build.com		Phone: (920) 560-6569	
		Email: scott@davel.pro	
PROPERTY & PROJECT INFORMATION			
Parcel Number(s): 260446200 & 260446300			
Site Address/Location: 341 & 401 Patriot Dr., Little Chute 54140			
Current Zoning: Commercial Highway District		Proposed Zoning: Residential Multi-Family	
Number of Lots and Outlots: 1		Total Acreage: 2.75 acres	
SUBMITTAL INCLUDES			
<ol style="list-style-type: none"> Completed application form and fee (check made payable to Village of Little Chute) Digital copy of the application, proposed plat, engineering plans and other supplemental documentation in pdf format (see below for a detailed list of submittal requirements) to jessica@littlechutewi.org One hard copy of the full submittal 			
APPLICANT STATEMENT			
<p>I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.</p>			
Owner/Agent Signature:		<p>Signed by:</p> <div style="border: 1px solid blue; padding: 2px; display: inline-block;">Phil Romenesko</div> <p>EBAA4AB1F4B3404...</p>	
		Date: 10/20/2025	

Vicinity Map - Schumacher Condominiums



11/4/2025, 3:37:47 PM

1·2 257

Tax Parcel Information

Plat Boundary Lines

• Property Address

Plat Boundary

PLSS Sections

Streets

LOCAL

Highway Labels

A diagram showing two number lines. The top number line is labeled '0', '0.01', '0.03', and '0.05 mi'. The bottom number line is labeled '0', '0.02', '0.04', and '0.08 km'. Both number lines have tick marks every 0.01 mi or 0.02 km.

Schumacher Business Park Condominium

Lot 1, Certified Survey Map No. _____, Located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

Notes:

Limited Common Elements are depicted on this plat as "L.C.E." and are part attached to the unit which it is adjacent to.

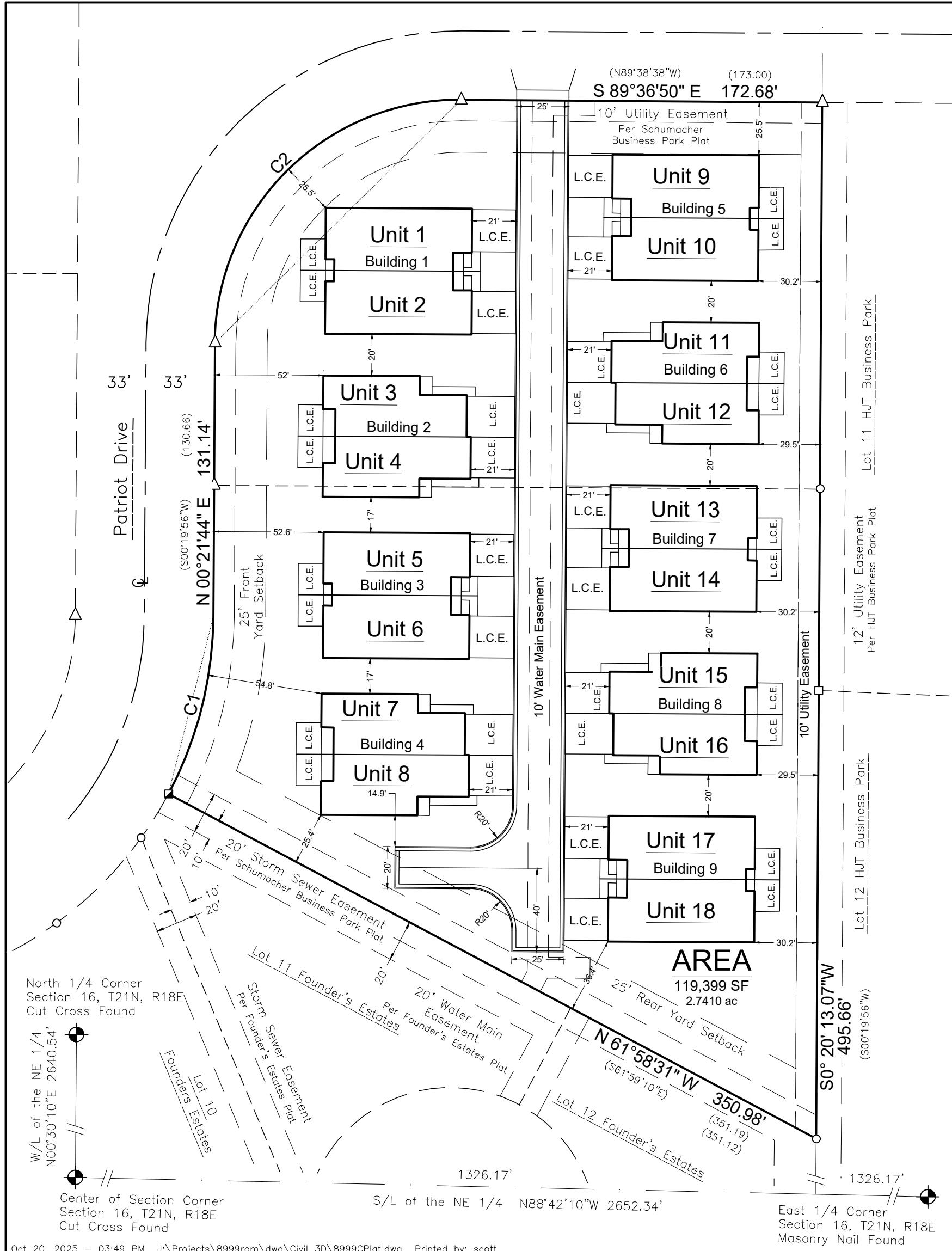
Limited Common Elements Include:
Patios, Service Walks, Stoops and Driveways

All areas within the condominium boundary are Common Elements unless depicted as "Unit" or "L.C.E.".

Surveyors Certificate

I, Scott R. Andersen, Professional Land Surveyor, do hereby certify that this plat is a correct representation of the condominium described and that the identification and location of each unit, limited common elements, and the common elements can be determined from this plat.

Scott R. Andersen,
Wisconsin Professional Land Surveyor No. S-3169

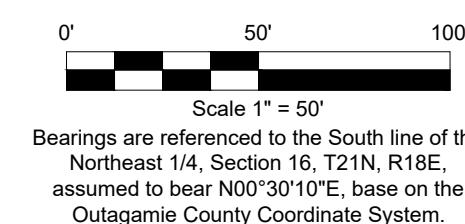


LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- △ 1/4" Rebar Found
- 3/4" Rebar Found
- 2" Iron Pipe Found
- 1" Iron Pipe Found
- Government Corner

CURVE TABLE

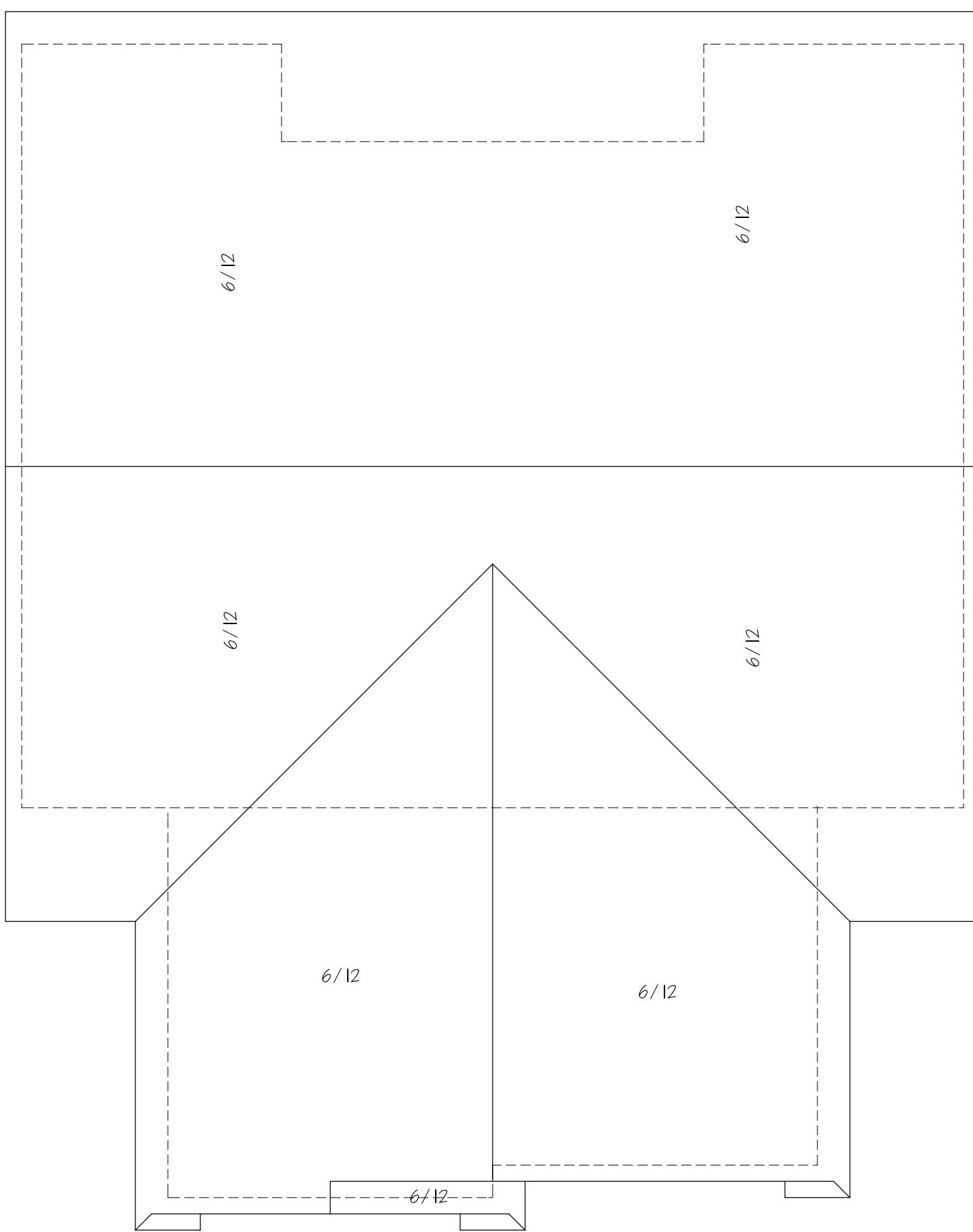
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in/out (Tangent)
C1	183.00'	N 14°14'24" E	(S14°10'23"W)	87.20' (87.56')	88.04' (88.41')	27°33'56" (27°40'54") N28°01'22"E /N00°27'25"E (27°40'54")
C2	117.00'	N 45°22'27" E	(N45°49'07"E)	165.50' (166.86)	183.83' (185.77')	90°01'26" (90°58'22") N00°21'44"E /S89°36'50"E (90°58'22")



File: 8999CPlat.dwg
Date: 10/20/2025
Drafted By: scott
Sheet: 1 of 2



DAVEL ENGINEERING &
ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davel.pro



BIRD'S EYE VIEW
SCALE = 1/8" = 1'-0"

24" OVERHANG ON ALL EAVES
12" OVERHANG ON ALL GABLES

FRONT ELEVATION
SCALE = 1/4" = 1'-0"

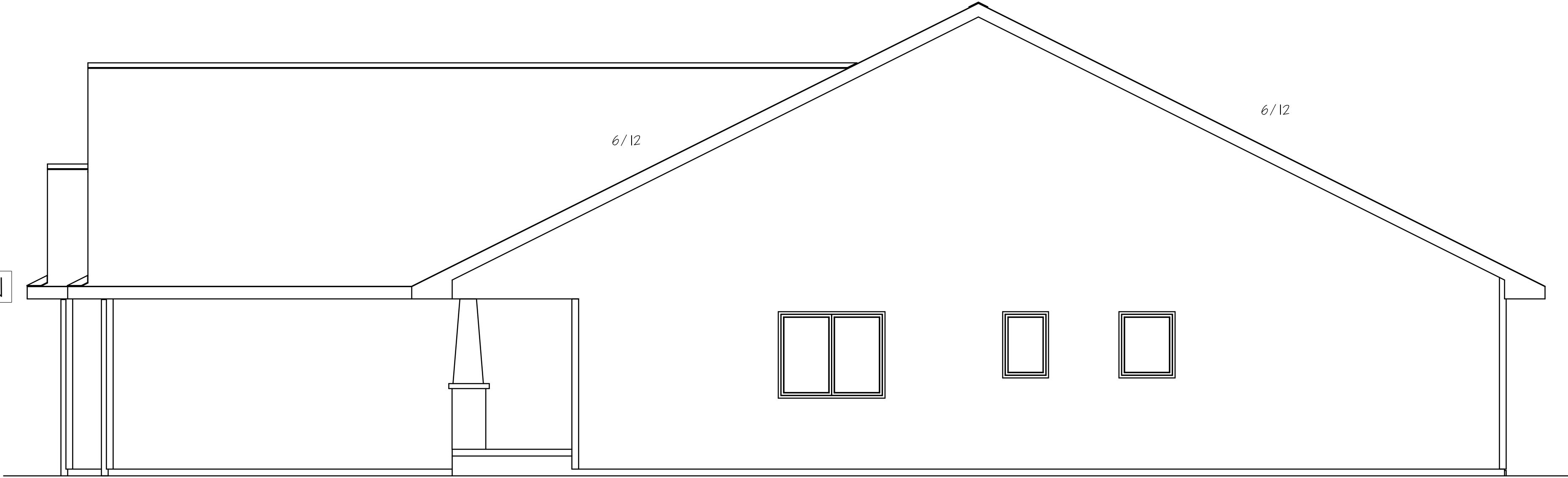


2"-0" OVERHANG ON ALL EAVES
1'-0" OVERHANG ON ALL GABLES

BACK ELEVATION
SCALE = 1/4" = 1'-0"



RIGHT ELEVATION
SCALE = 1/4" = 1'-0"



LEFT ELEVATION
SCALE = 1/8" = 1'-0"

These drawings have been prepared to meet professional standards and practices. However, local zoning may require changes. Home Builders Code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions and make sure that these plans meet current government requirements in your area.

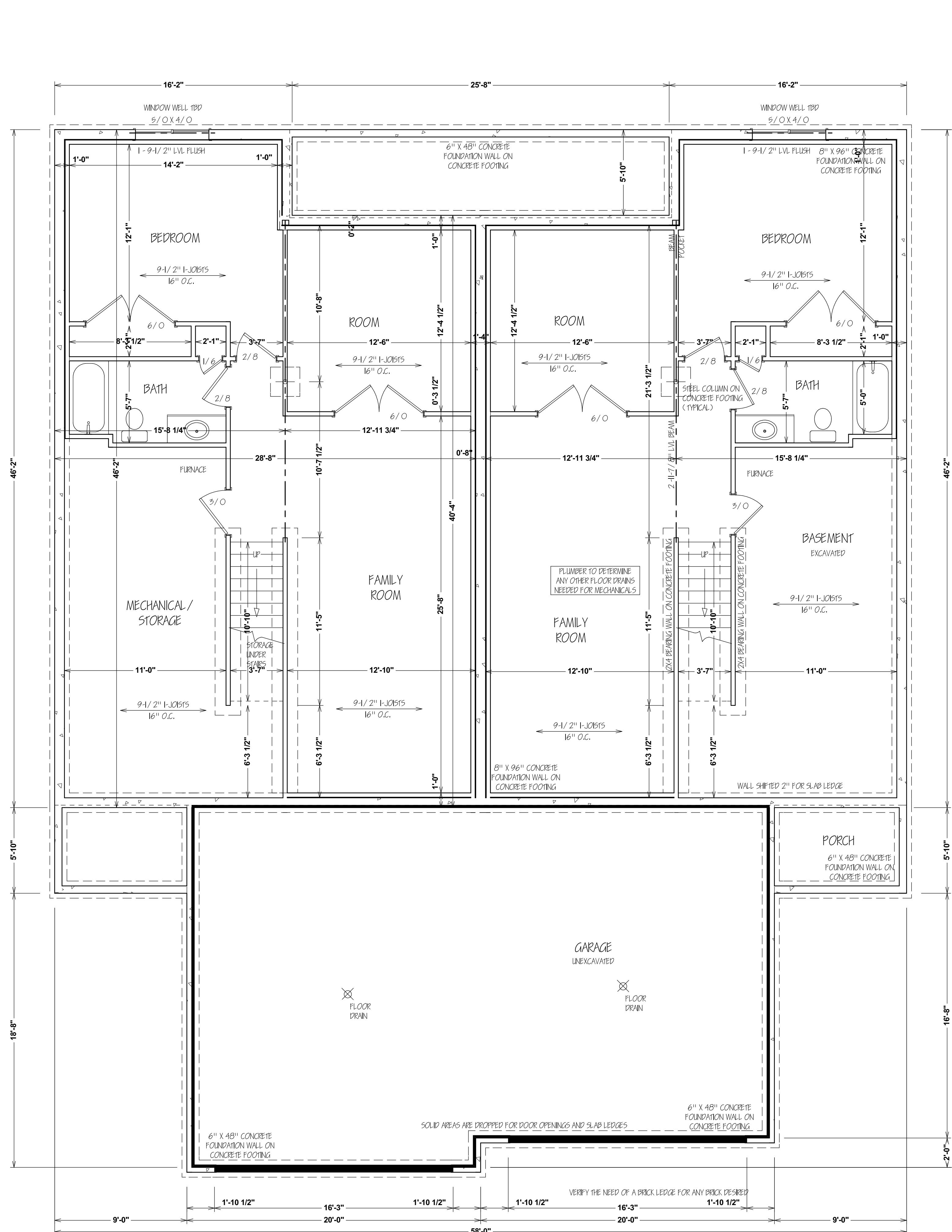
TORBORG'S
TORBORG'S WAPACA LUMBER
HOME SHOWCASE CENTER
1682 RAYTON STREET
WAPACA, WI 54698

DATE	DRAWN BY
11/27/12	A. MARCY
REV.	ROBBERS
12/10/12	NARROW DUPLEX
1/9/13	
1 OF 3	

1/2" OSB SHEATHING
ENGINEERED ROOF TRUSSES 24" O.C.
ASPHALT SHINGLES OVER 15# FELT
HURRICANE CLIPS 7" HEEL
2 X 6 SUB FACIA
ALUMINUM SOFFIT AND FACA
R-19 INSULATION
7/16" OSB SHEATHING
2 X 6 PRECUT STUDS 16" O.C.
DOUBLE 4" VINYL SIDING
THERM. INSULATION
9-1/2" RIM BOARD
2 X 6 PLATE
SILL SEAL
ANCHORED
1/2" FOAM INSULATION
WATER PROOFING
16" X 8" CONTINUOUS
POURED REINFORCED
CONCRETE FOOTING
DRAIN TILE
GRAVEL FILL
UNDISTURBED SOIL

TYPICAL WALL SECTION

SCALE = 1/4" = 1'-0"



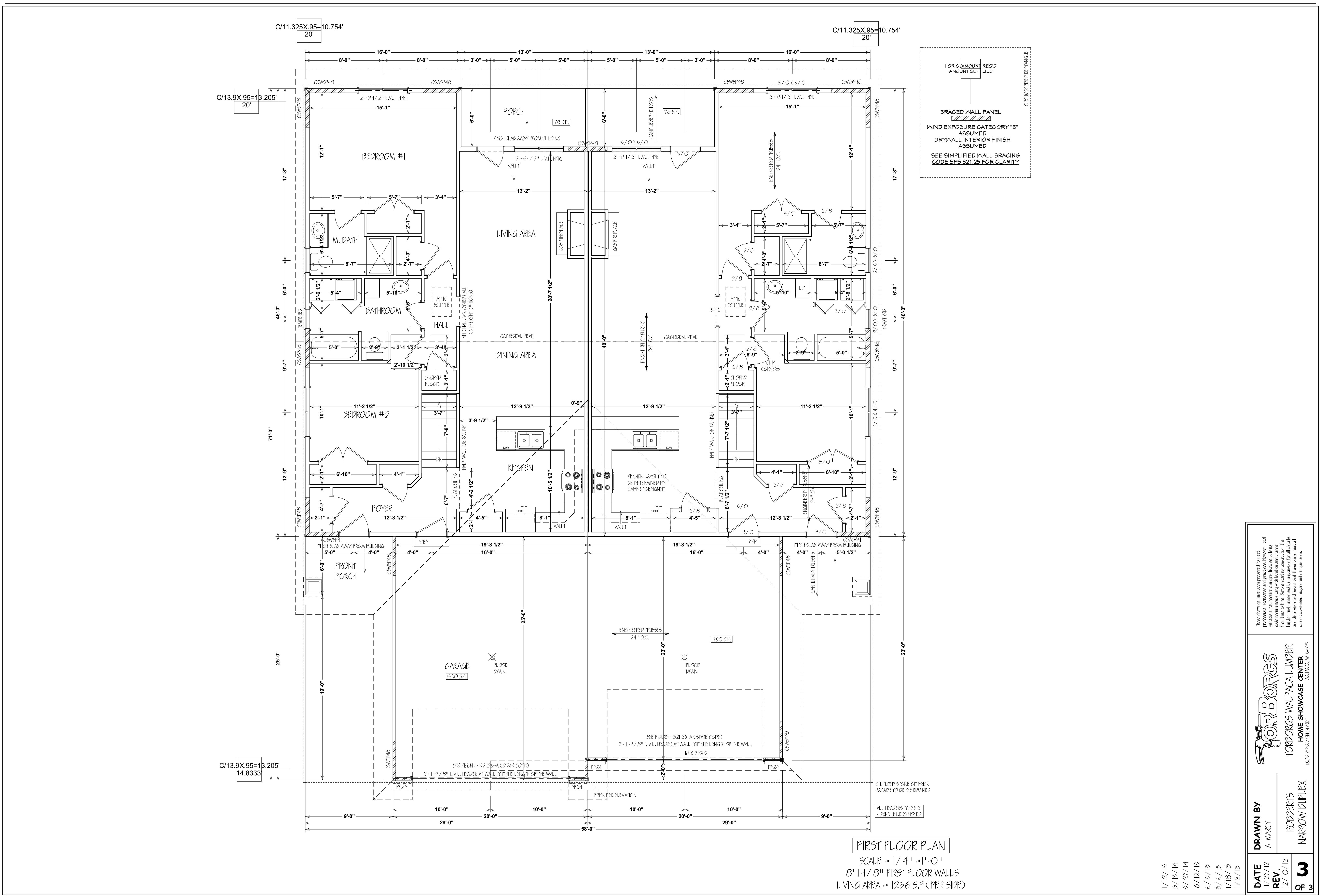
FOUNDATION PLAN

SCALE = 1/4" = 1'-0"

DATE	11/12/15
REV.	12/10/12
ROBBERS	
NARROW DUPLEX	
2	OF 3

These drawings have been prepared to meet
professional standards and practices. However, local
variations in codes and practices, changes, laws, building
code requirements, vary with location and change
from time to time. Before starting construction, the
builder must review and be responsible for all details
and ensure that these plans meet
current government requirements in your area.

TORBORG'S
TORBORG'S WAPACA LUMBER
HOME SHOWCASE CENTER
1682 RAYTON STREET
WAPACA, WI 54698





LEFT ELEV

SCALE: 0.0625" = 1'-0"



REAR ELEV

SCALE: 0.0625" = 1'-0"



RIGHT ELEV

SCALE: 0.0625" = 1'-0"



FRONT ELEV

SCALE: 1/8" = 1'-0"

ROMENESKO DEVELOPMENTS **RDI**

1818 E Wisconsin Ave
Appleton WI 54911

PHONE: (920) 731-5850
rdi-appleton@att.net

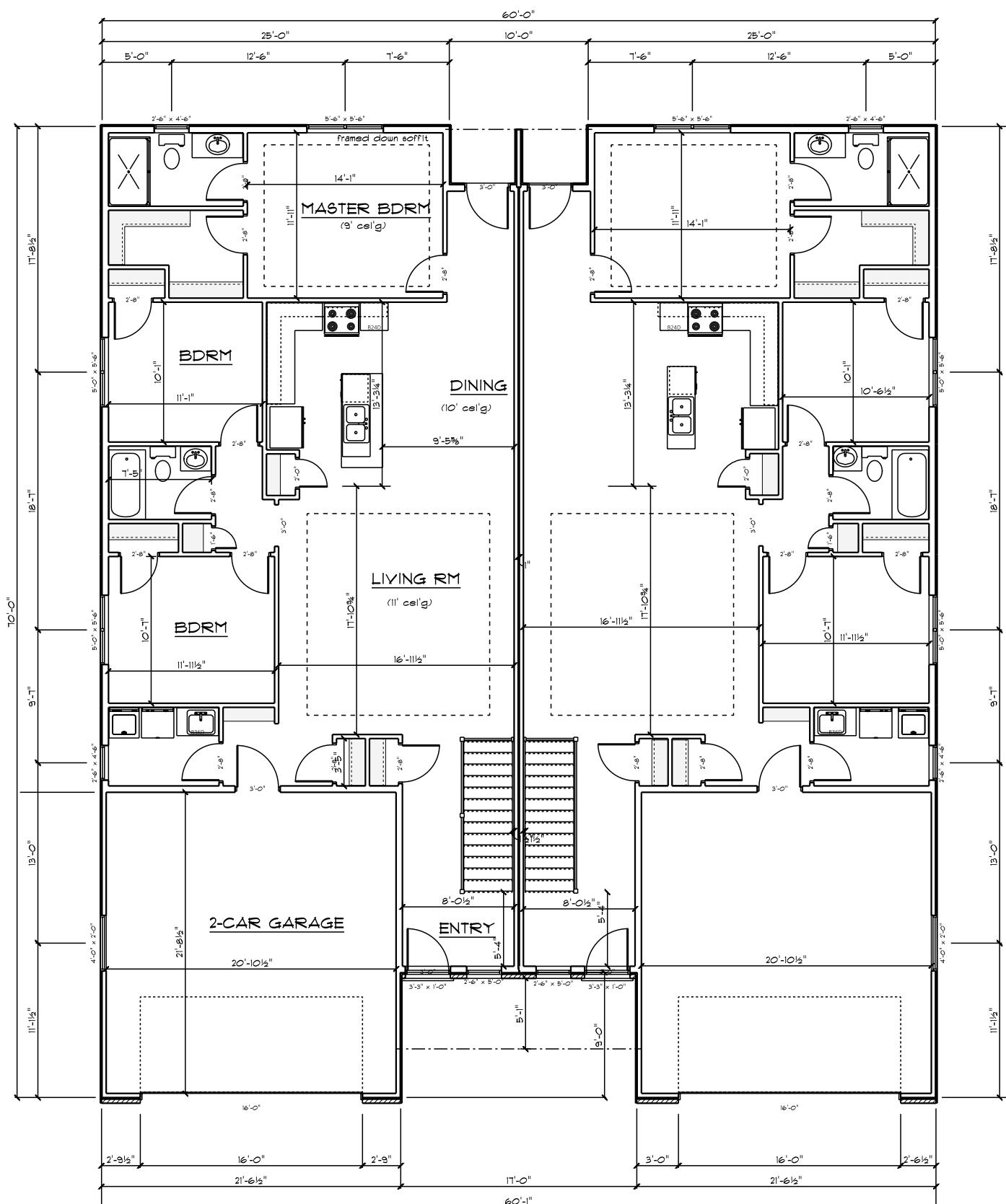
SECTION LETTER
A
111
PAGE NUMBERS

C&M Land Investments, LLC

Patriot Drive - Little Chute

1818 E Wisconsin Av
Appleton WI 54911

PAGE: 1 / 3
ELEVATIONS



NARROW DUPLEX - PLAN

SCALE: 1" = 10'-0"

ROMENESKO DEVELOPMENTS **RDI**

1818 E Wisconsin Ave
Appleton WI 54911

PHONE: (920) 731-5850
rdi-appleton@att.net

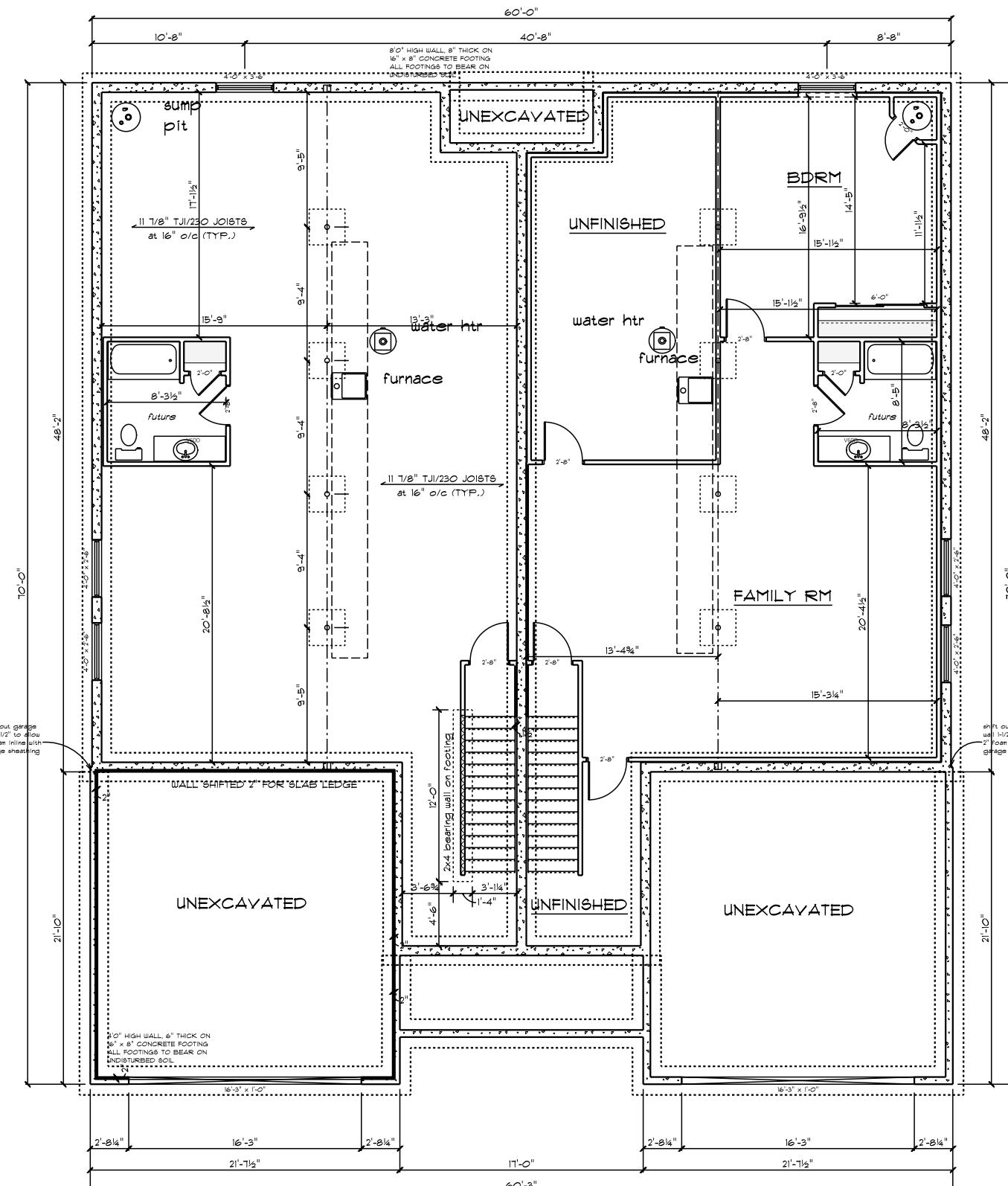
SECTION LETTER
A-11
PAGE NUMBERS

C&M Land Investments, LLC

Patriot Drive - Little Chute

1818 E Wisconsin Av
Appleton WI 54911

PAGE: 2 / 3
FLOOR PLAN



NARROW DUPLEX - FOUNDATION

SCALE: 1" = 10'-0"

ROMENESKO DEVELOPMENTS **RDI**

1818 E Wisconsin Ave
Appleton WI 54911

PHONE: (920) 731-5850
rdi-appleton@att.net

SECTION LETTER
A
11
PAGE NUMBERS

C&M Land Investments, LLC

Patriot Drive - Little Chute

1818 E Wisconsin Av
Appleton WI 54911

PAGE:
3 / 3
FOUNDATION



Item For Consideration Plan Commission

Plan Commission Meeting Date: 11/10/25

Prepared On: 11/5/25

Agenda Item Topic: Site Plan - Schumacher Condominiums

Prepared By: Jessica Titel, Community Development Department

Applicant: Mitchell Bauer – Davel Engineering & Environmental, Inc.

Owner: 4 Roberts, LLC and Romenesko Developments, Inc.

Address/Parcel #: 341 Patriot Drive & 401 Patriot Drive / Parcel #s: 260446200 and 260446300

Request: An application for Site Plan review has been submitted for the construction of an 18-unit duplex condominium development.

Zoning Classification: Proposed to be rezoned from CH Commercial Highway to RM Multi-Family Residential. See the Rezoning request IFC that is being presented at this 11/10 Plan Commission meeting as well.

Background/Project Summary: The proposed development will include 9 duplex buildings for a total of 18 units on 2.74 acres. The development will include an internal private drive to access each unit. Parking is provided in attached garages and driveways in front of the garages. The water main extension to serve the development will be public and a Developers Agreement will be prepared for installation by the developer. The land is currently undeveloped and is adjacent to the newer Founders Estates Subdivision, which includes 23 lots zoned for two-family development.

This Site Plan application is being filed in conjunction with the Schumacher Condominium development on the subject parcels. The project includes applications for: Condominium Plat, Site Plan, Rezoning and Certified Survey Map. All of which have been filed concurrently and will be presented at the 11/10 Plan Commission meeting and the 12/3 Village Board meeting.



Item For Consideration

Plan Commission

Recommendation/Board Action: Staff is recommending approval of the Site Plan, subject to the approval of the rezoning request and satisfaction of all staff comments.

Procedural Note: *The site plan will be presented to the Village Board at the same meeting as the rezoning.*

Respectfully Submitted,
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$600
Receipt #	
Account #	4-407
Date Received	

Site Plan Review Application (new construction, additions > 10,000 square feet)

PROPERTY OWNER	APPLICANT
Name: Romenesko Developments, Inc.	Name: Mitchell Bauer, P.E.
Mailing Address: 1818 E Wisconsin Ave	Company: Davel Engineering & Environmental, Inc.
City/State/Zip: Appleton, WI 54911	Address: 1164 Province Terrace
Phone: (920) 731-5850	City/State/Zip: Menasha, WI 54952
Email: office@rdi2build.com	Phone: (920) 560-6572
	Email: mitch@davel.pro

PROPERTY & PROJECT INFORMATION

Parcel Number: 260446200 & 260446300

Site Address/Location: 341 & 401 Patriot Dr., Little Chute 54140

Current Zoning: Commercial Highway District	Proposed Zoning: Residential Multi-Family
Current Use: vacant	Proposed Use: residential
Current number of employees: 0	Proposed number of employees: 0
Existing building floor area: 0	Proposed building floor area: varies
Existing number of parking stalls: 0	Proposed number of parking stalls: 36 garage, 36 outside
Percent of existing impervious surface: 0	Percent of proposed impervious surface: 48.17%

Describe the proposed project:

Nine multi-family duplex buildings (18 units) with attached garages. Shared private driveway.

Romenesko Developments and 4Roberts are partnering on this project.

Parcel 260446300 is owned by Romenesko Developments, Inc.

Parcel 260446200 is owned by 4Roberts.

Applicant Statement

I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.

Applicant/Owner Signature:

Signed by:

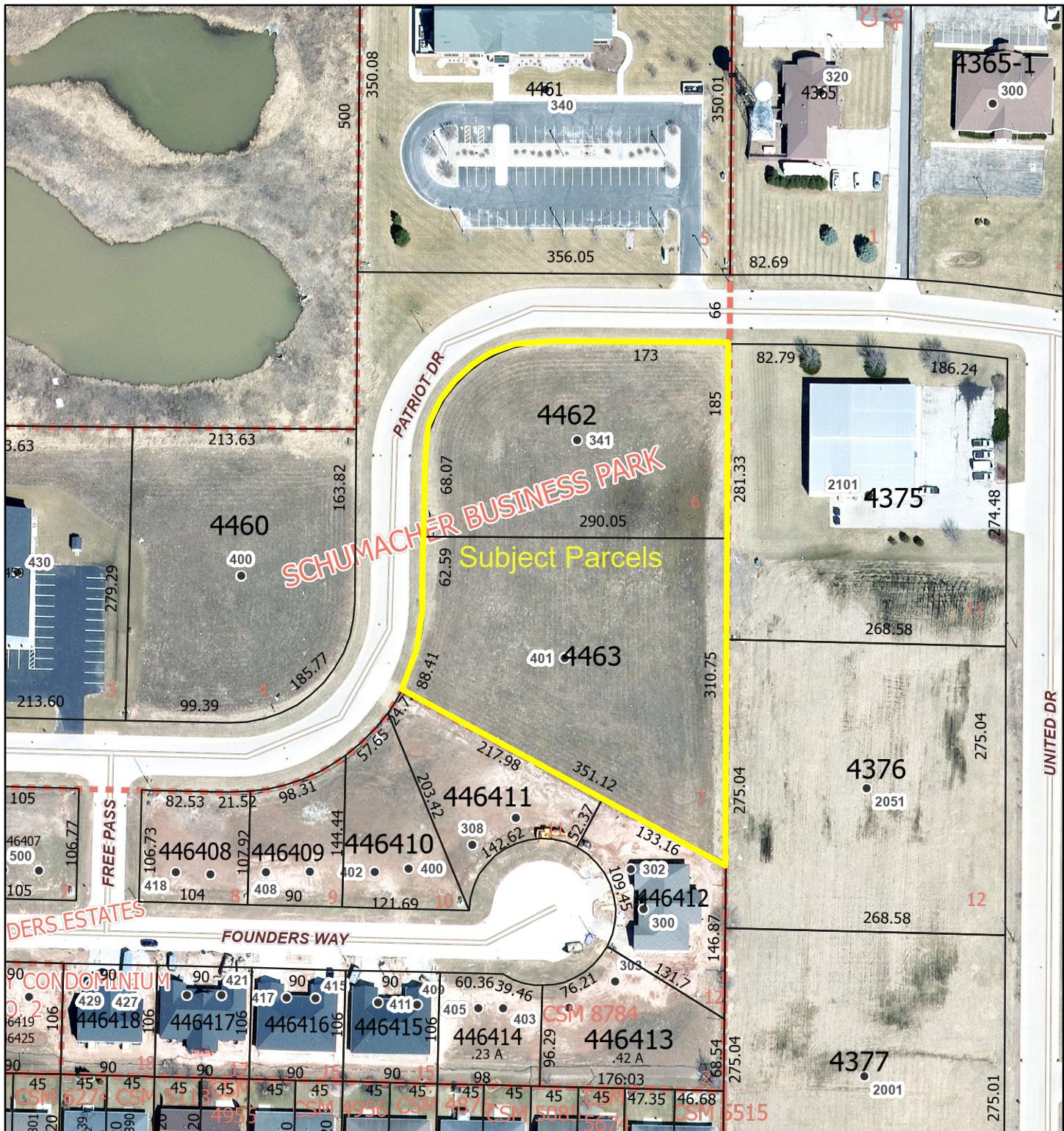
Phil Romenesko

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Date:

10/20/2025

Vicinity Map - Schumacher Condominiums



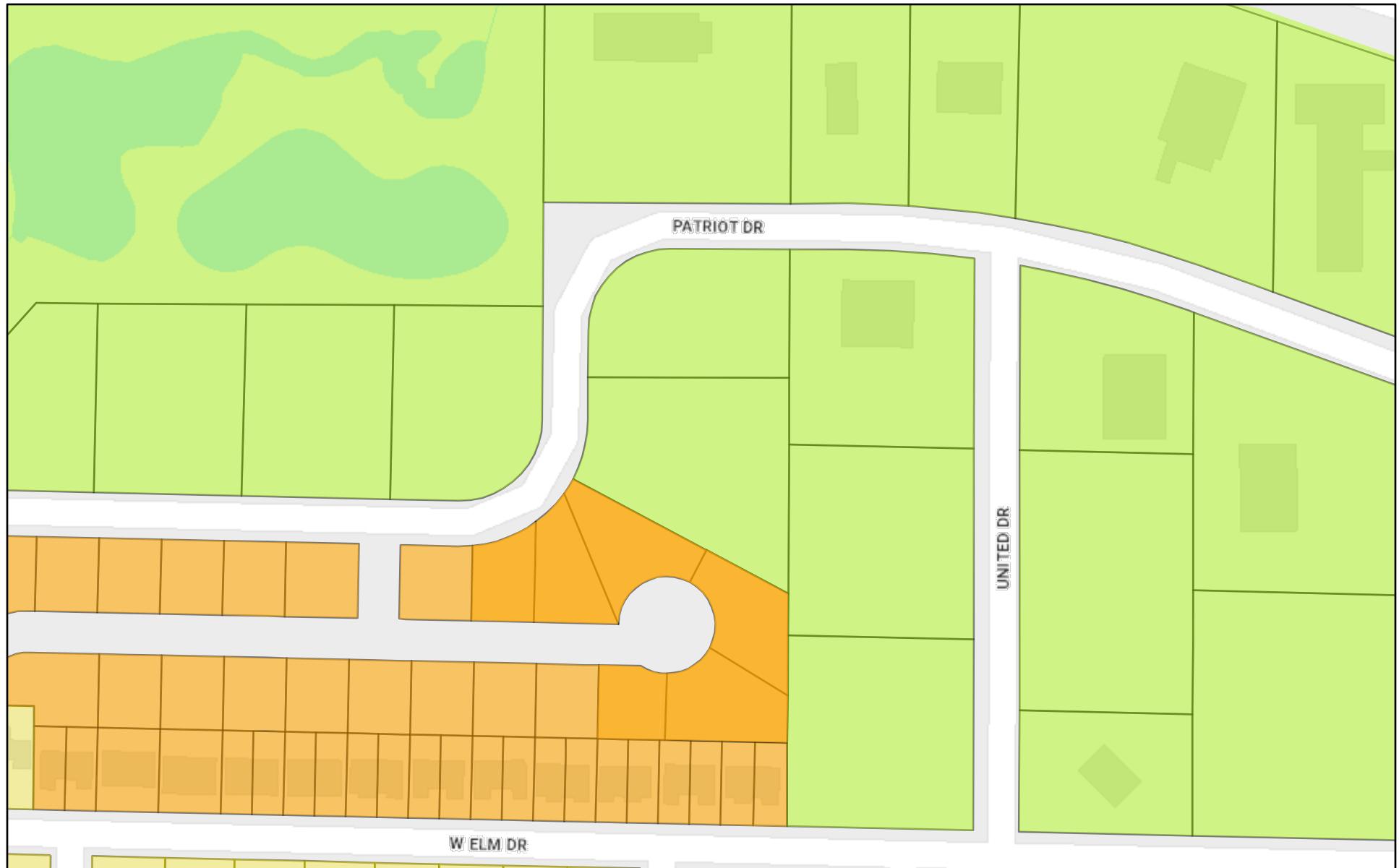
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0 0.01 0.03 0.05 mi
0 0.02 0.04 0.08 km

- Tax Parcel Information
- Plat Boundary Lines
- Property Address
- Plat Boundary
- Streets
- PLSS Sections
- LOCAL
- Highway Labels

Zoning Map



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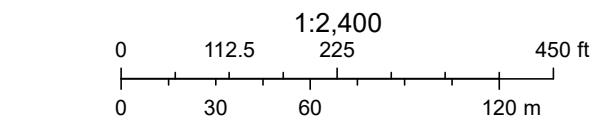
Zoning

CH: Commercial Highway District

RC: Conventional Single-Family District

RT: Two-Family Residential District

Parcels



Robert E. Lee & Associates, Inc., Outagamie County

Village of Little Chute

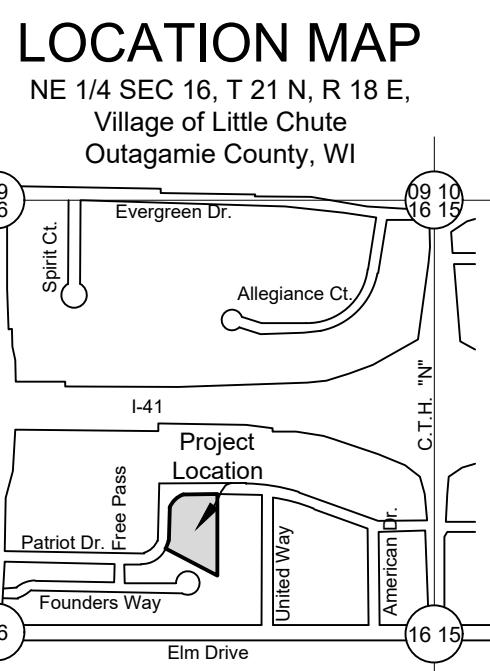
Robert E. Lee & Associates, Inc., Outagamie County

SITE PLAN

Schumacher Business Park Lots 6 & 7
Village of Little Chute, Outagamie County, WI
For: Romenesko Developments, Inc.

PRELIMINARY

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Author: MDB
Last Saved by: mitch
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LOCATION MAP
NE 1/4 SEC 16, T. 21 N, R. 18 E.
Village of Little Chute
Outagamie County, WI
Project Location
Patriot Dr. Free Pass
Founders Way
United Way
American
Elm Drive
NO SCALE

SITE INFORMATION:

Legal Description: Lot 6 & 7 of Schumacher Business Park
Parcel #: 260446200, 260446300
Current Use: Vacant
Proposed Use: Multi-Family Homes (Condos)

Current Zoning: Commercial Highway District-CH
Proposed Zoning: RM Multi-Family Residential District
Adjacent Zoning:
North - Commercial Highway District-CH
South - Residential Single-Family
East - Commercial Highway District-CH
West - Commercial Highway District-CH

Site Areas
Parcel Area: 119,399 SF (2.74 Acres)

Existing Building Area: 0 SF
Existing Road Area: 0 SF
Existing Driveway/Sidewalk Area: 0 SF
Total Existing Impervious: 0 SF (0.00%)

Total Proposed Building Area: 33,900 SF
Total Proposed Road Area: 9,616 SF
Total Proposed Driveway/Sidewalk Area: 13,995 SF

Total Proposed Impervious: 57,512 SF (48.17%)
Total Proposed Greenspace: 61,887 SF (51.83%)

PROPERTY OWNER:
Phil Romenesko
Romenesko Developments, Inc
1818 E. Wisconsin Ave.
Appleton, WI 54911
Telephone: (920) 731-5850
Email: office@dzi-build.com

APPLICANT:
Phil Romenesko
Romenesko Developments, Inc
1818 E. Wisconsin Ave.
Appleton, WI 54911
Telephone: (920) 731-5850
Email: office@dzi-build.com

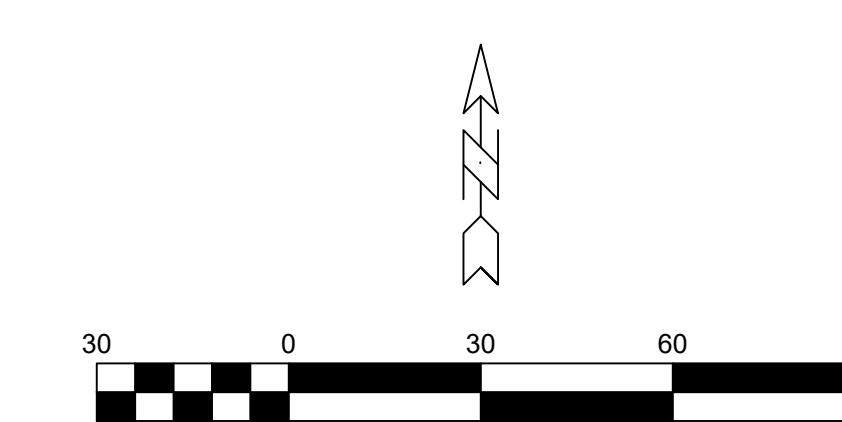
No hazardous materials are stored on-site

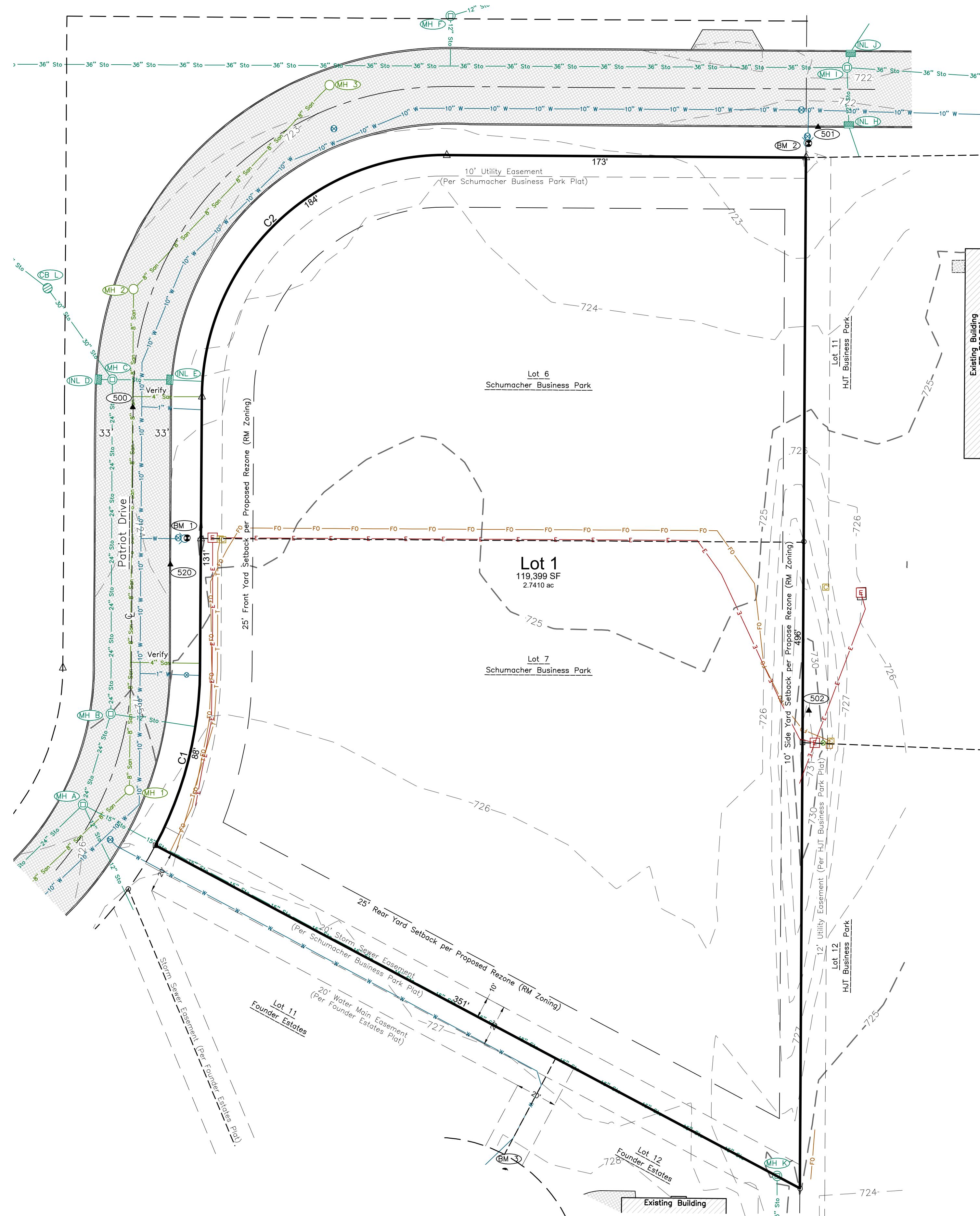
LEGEND

CATV	CATV	Underground Cable TV
FO	FO	Underground Fiber Optic
San	San	Sanitary Sewer (Pipe Size)
Sto	Sto	Storm Sewer (Pipe Size)
W	W	Water Main (Pipe Size)
E	E	Underground Electric
T	T	Underground Telephone
800	800	Index Contour - Existing
799	799	Intermediate Contour - Existing
30	0	Proposed Asphalt
30	60	Proposed Concrete
90	90	Proposed Gravel
		+799.9 Ex Spot Elevation
		CATV Pedestal
		1/4" Rebar Found
		3/8" Rebar Found
		Benchmark
		Asphalt Pavement
		Concrete Pavement
		Gravel

SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Erosion & Sediment Control Plan	C1.3
Utility Plan	C1.4
Construction Details	C2.1
Sewer & Water Details	C2.2
Erosion & Sediment Control Details	C2.3
Plan & Profile: Driveway - Sta 0+00 to 5+29.81	C3.1





Bearings are referenced to the West line of the Northeast 1/4, Section 16, T21N, R18E, assumed to bear N00°30'10"E, base on the Outagamie County Coordinate System.

LOCATION MAP

Horizontal Control			
Schumacher Business Park Lots 6 & 7 (Village of Little Chute)			
Monday, August 11, 2025			
Davel Engineering and Environmental			
Horizontal Control (per Outagamie County Coordinate System)			
Point Number	Northing	Easting	Description
500	574756.22	850329.94	CPT MAG
501	574891.04	850659.43	CPT MAG
502	574610.35	850654.98	CPT HUB
503	574505.90	849919.51	CPT MAG
520	574680.60	850348.01	CPT MAG

Sanitary Structures						
Structure	#	Rim	Inv	Size	Material	Direction
MH	1	725.32	715.59	8"	PVC	SW
			715.59	8"	PVC	N
MH	2	723.30	716.56	8"	PVC	S
			716.58	8"	PVC	NE
MH	3	722.71	717.12	8"	PVC	SW

BENCHMARKS (NAVD88)

BM 0	NGS Benchmark DE7759(4X79) Elev 726.52'
BM 1	Fire Hydrant, Tag Bolt East R/W of Patriot Drive Elev 726.87'
BM 2	Fire Hydrant, Tag Bolt South R/W of Patriot Drive Elev 723.80'
BM 3	Fire Hydrant, Tag Bolt Founder's Way Cul-De-Sac, Lot 11/Lot 12

General No

1. Zoning Information
Village of Little Chute
Commercial Highway District-CH
Setbacks:
Front Yard: 40 Feet
Side Yard: 15 Feet
Rear Yard: 25 Feet

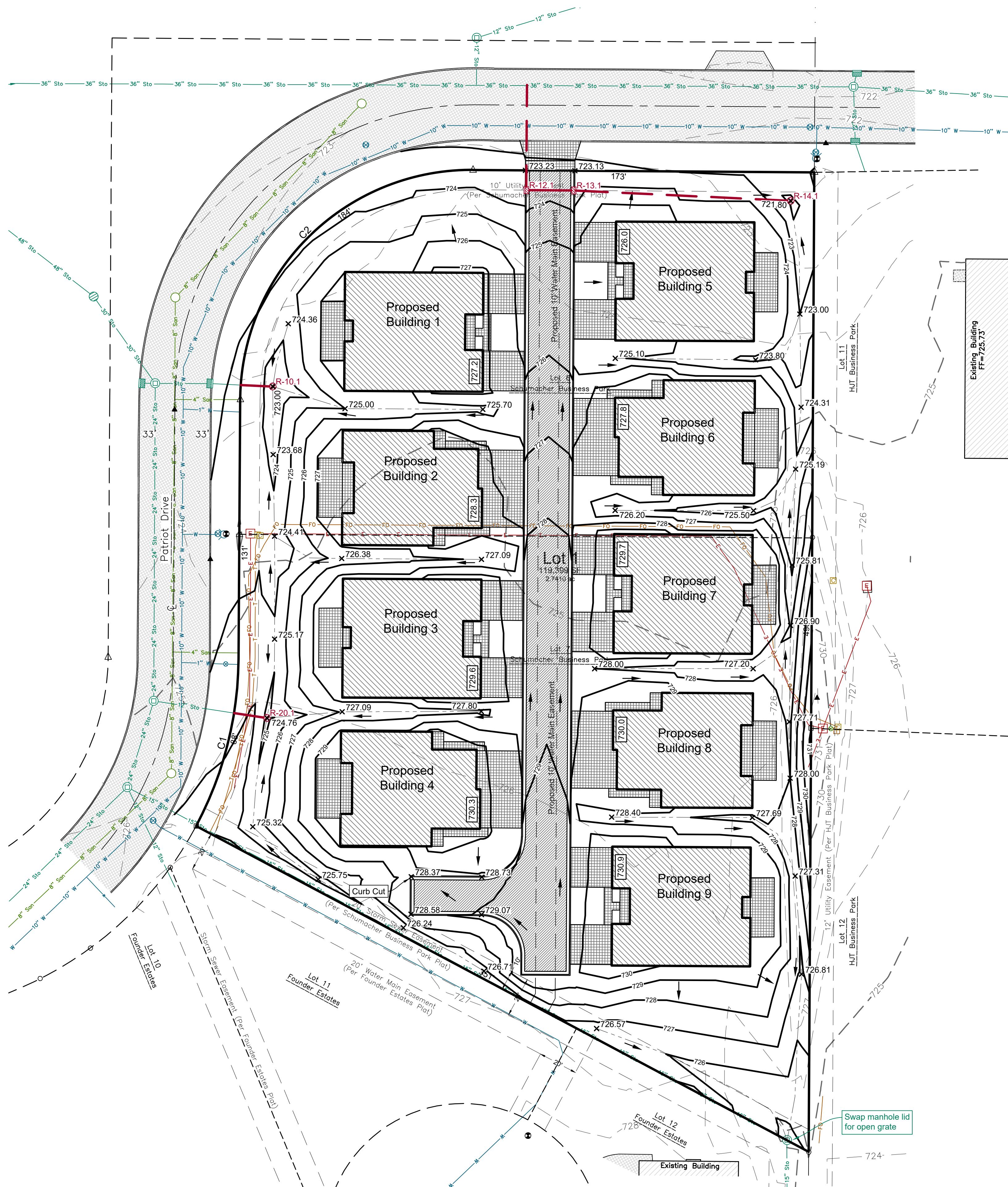
Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the Village of Little Chute and Outagamie County and any other local agencies.

2. Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
3. This is not a boundary survey.

LEGE

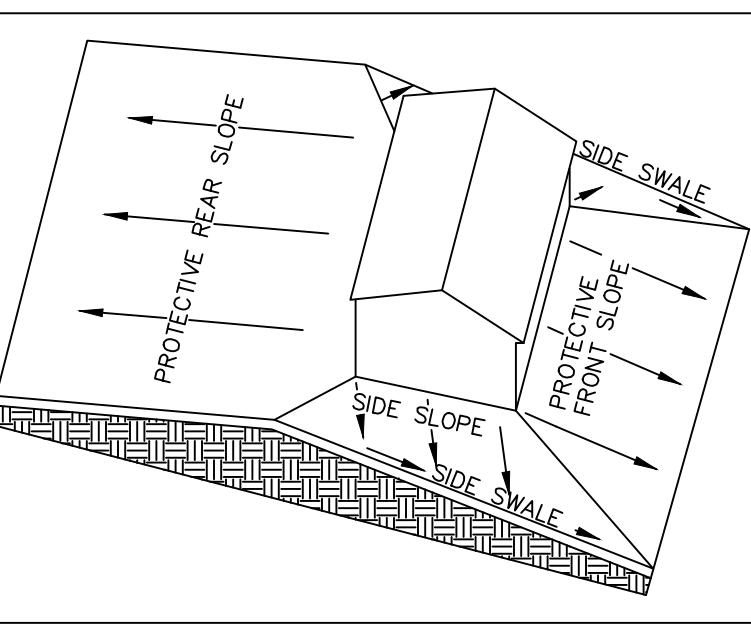
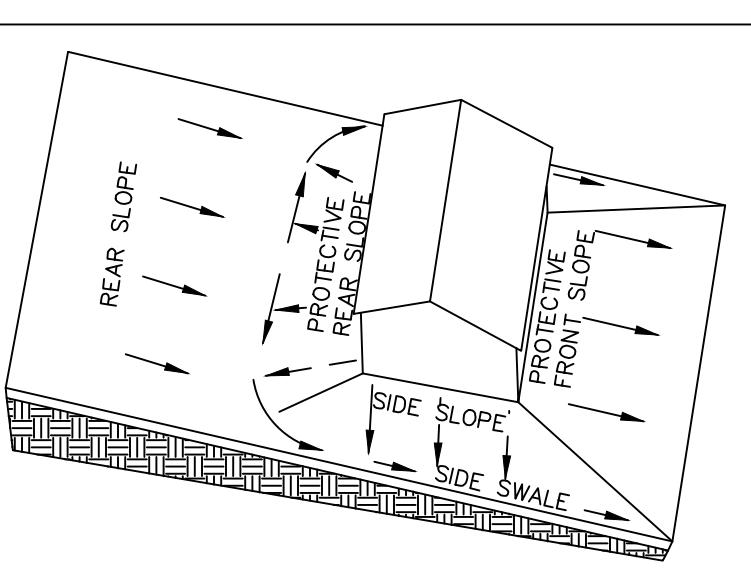
LEGEND				
CATV	CATV	Underground Cable TV	○	Sanitary MH / Tank / Base
FO	FO	Underground Fiber Optic	⊗	Clean Out / Pull Box
San	San	Sanitary Sewer (Pipe Size)	□	Storm Manhole
Sto	Sto	Storm Sewer (Pipe Size)	▨	Inlet
E	E	Underground Electric	▨	Catch Basin / Yard Drain
T	T	Underground Telephone	⊗	Curb Stop
W	W	Water Main (Pipe Size)	○	Hydrant
—	— 800 —	Index Contour - Existing	⊗	Utility Valve
—	— 799 —	Intermediate Contour - Existing	■	Electric Pedestal
			■	Electric Transformer
			□	Telephone Pedestal
			+799.9	Ex Spot Elevation
			□	CATV Pedestal
			△	1 1/4" Rebar Found
			○	3/4" Rebar Found
			●	Benchmark
				Asphalt Pavement
				Concrete Pavement
				Gravel





BENCHMARKS (NAVD88)

BM 0	NGS Benchmark DE7759(4X79)
	Elev 726.52'
BM 1	Fire Hydrant, Tag Bolt East R/W of Patriot Drive
	Elev 726.87'
BM 2	Fire Hydrant, Tag Bolt South R/W of Patriot Drive
	Elev 723.80'
BM 3	Fire Hydrant, Tag Bolt Founder's Way Cul-De-Sac, Lot 11/Lot 12
	Elev 729.52'



DRAINAGE & GRADING PLAN

Schumacher Business Park Lots 6 & 7
 Village of Little Chute, Outagamie County, WI
 For: Romenesko Developments, Inc.

PRELIMINARY
 Date: 10/2/2025
 Filename: 8999enegr.dwg
 Author: MDB
 Last Saved by: mitch
 Page C1.2

NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- The proposed development will utilize the Village of Little Chute's Vandenbrook Ponds regional stormwater facility for peak flow reduction and quality control of stormwater runoff.

LEGEND

CATV	CATV	Underground Cable TV	CATV Pedestal
FO	FO	Underground Fiber Optic	1 1/4" Rebar Found
San	San	Sanitary Sewer (Pipe Size)	3/4" Rebar Found
Sto	Sto	Storm Sewer (Pipe Size)	Benchmark
E	E	Underground Electric	Asphalt Pavement
T	T	Underground Telephone	Concrete Pavement
W	W	Water Main (Pipe Size)	Gravel
—	—	Index Contour - Existing	
—	—	Intermediate Contour - Existing	
608	608	Proposed Storm Sewer	
608.73	608.73	Proposed Contour	
608.73	608.73	Proposed Culvert	
[607.86]	[607.86]	Proposed Curb Inlet	
608.73	608.73	Proposed Catch Basin / Yard Drain	
(608.7)	(608.7)	Proposed Endwall	
		Proposed Rip Rap	
		Prop. Drainage Direction	
		Prop. Garage Floor Grade at Door	
		Emergency Overflow for Runoff	

30 0 30 60 90

UTILITY PLAN

Schumacher Business Park Lots 6 & 7
Village of Little Chute, Outagamie County, WI
For: Romenesko Developments, Inc.

PRELIMINARY	Date: 10/2/2025
	Filename: 8999engr.dwg
	Author: MDB
	Last Saved by: mitch
	Page C1.4

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Village of Little Chute.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Little Chute.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

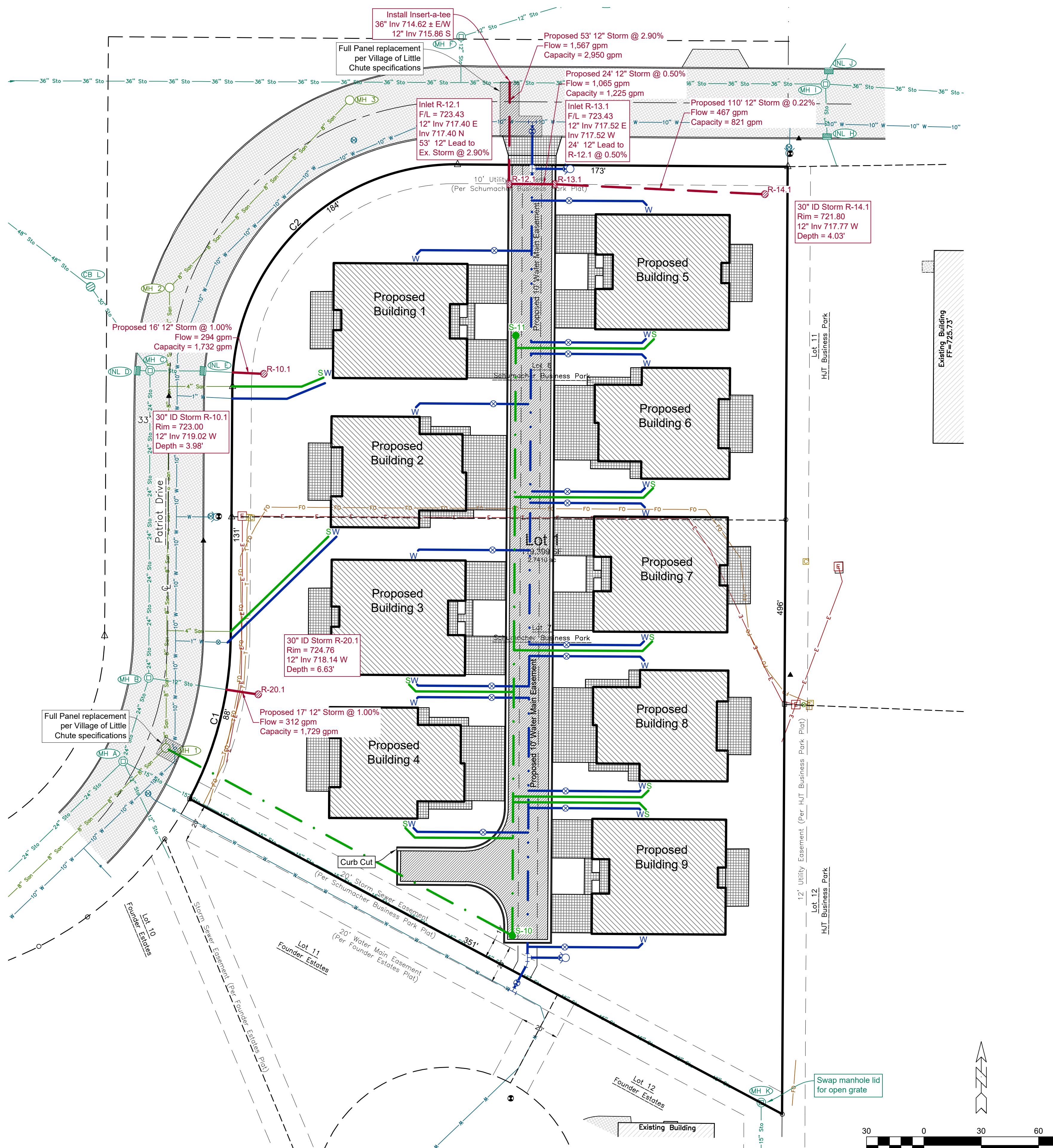
Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k). Water laterals shall be PEX or copper.

Sanitary Sewer Pipe shall be PVC SDR(35), with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h). Sanitary laterals shall be PVC Schedule 40.

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with water tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.

LEGEND

CATV	CATV	Underground Cable TV
FO	FO	Underground Fiber Optic
San	San	Sanitary Sewer (Pipe Size)
Sto	Sto	Storm Sewer (Pipe Size)
E	E	Underground Electric
T	T	Underground Telephone
W	W	Water Main (Pipe Size)
800	800	Index Contour - Existing
799	799	Intermediate Contour - Existing
Curb Cut		
Proposed Storm Sewer		
Proposed Sanitary Sewer		
Proposed Water Main		
Proposed Contour		
Proposed Swale		
Proposed Culvert		
Proposed Building		
Proposed Asphalt Pavement		
Proposed Concrete Pavement		
Proposed Gravel		
CATV Pedestal		
1/4" Rebar Found		
3/4" Rebar Found		
Benchmark		
Asphalt Pavement		
Concrete Pavement		
Gravel		
+799.9 Ex Spot Elevation		
Proposed Storm Manhole		
Proposed Curb Inlet		
Proposed Catch Basin / Yard Drain		
Proposed Endwall		
Proposed Hydrant		
Proposed Valve		
Proposed Curb Stop		
Proposed Cleanout		



LANDSCAPE PLAN

Schumacher Business Park Lots 6 & 7

Village of Little Chute, Outagamie County, WI
For: Romenesko Developments, Inc.

Date: 10/20/2025
filename: 8999Landscape.dwg
author: MDB
last Saved by: mitch
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**ENGINEERING &
ENVIRONMENTAL, INC.**
Surveyors and Land Surveyors
1000 Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.donmiller.com



Landscape Requirements (Proposed Multi-Family Adjacent to East - Commercial Highway Adjacent to South - Residential)					
Lot Line: 1 Shade Tree + 6 Shrubs per 40' of Length (Exclude Entrances) Length Patriot Dr = 549' Requires 14 Shade Trees + 82 Shrubs Actual Patriot = 13 Shade Trees + 16 Evergreens + 30 Shrubs Substituted 14 Evergreens for 70 Shrubs & 2 Evergreens for 1 Shade Tree East Lot Line Length = 495' Requires 12.4 Shade Trees + 74.25 Shrubs Actual East Lot Line = 10 Shade Trees + 35 Evergreens Substituted 5 Evergreens for 2.4 Shade Trees & 30 Evergreens for Shrubs South Lot Line = 351' Requires 9 Shade Trees + 52.65 Shrubs Actual = 6 Shade Trees + 25 Evergreens Substituted 6 Evergreens for 3 Shade Trees & 24 Evergreens for Shrubs					
Interior Landscaping: 1 Shade Tree per Parking Island or within 10' of Periphery No Parking Stalls None Required Actual = 14 Shade Trees					
Trash Screening: None Designed					

Landscape Design by : Christine Kosiorek, PLA
Lowney's Landscaping Center, Inc.
N3310 State Rd 47
Appleton, WI
(920)733-2560
Oct. 19, 2025

Plant List

Symbol	Label	Qty	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
Deciduous Trees						
AMM	11	Acer miyabei 'Morton'	State Street Maple	2.5"	40-50' Ht x 25-35' Spread	
BNH	15	Betula nigra 'Heritage'	Heritage River Birch	2.5"	30-40' Ht x 20-30' Spread	
TCG	8	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	30-40' Ht x 20-30' Spread	
UAP	8	Ulmus americana 'Princeton'	Princeton Elm	2.5"	40-60' Ht x 25-40' Spread	
Evergreen						
PGD	5	Picea glauca 'Densata'	Black Hills Spruce	5'	30-40' Ht x 15-20' Spread	
TON	25	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	5'	15-18' Ht x 8-10' Spread	
TOS	51	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5'	10-15' Ht x 3-5' Spread	
Shrubs						
HPS	26	Hydrangea paniculata 'SMHPLQF'	Little Quickfire Hydrangea	#5/18-24"	3-5' Ht x 3-5' Spread	
JKC	14	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Juniper	#5/18-24"	2-3' Ht x 3-5' Spread	
SBG	16	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	#5/18-24"	2-3' Ht x 2-3' Spread	
SDS	56	Spiraea x 'NCSX2'	Double Play Doozie Spirea	#5/18-24"	2-3' Ht x 2-3' Spread	
WFS	16	Weigela florida 'Bokraspiwi'	Spilled Wine Weigela	#5/18-24"	2-3' Ht x 2-4' Spread	
Ornamental Grass						
CAK	10	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass #1		3-5' Ht x 1-3' Spread	

Landscape Notes

1 Planting Beds & Islands: Remove stones, sticks, construction debris and other extraneous materials from planting area.
Install 12" of 3:2 ratio of pulverized topsoil and organic matter and rototill into subsoil at depth of 6-8".
Rake smooth and assure positive pitch.
Install 1.5" American Heritage Decorative Stone over Landscape Fabric.

Planting Restrictions: Provide trees, shrubs, evergreens, perennials and grasses as per size and root condition in Plant List.
Provide plant material certificates at time of planting.

2 Trees: All Trees to be staked.
Trees in turf area or seeded area to have 5' dia. circle of Shredded Hardwood mulch at 3" depth
and shovel cut edge separating mulch from lawn area.
Treflan herbicide placed on soil prior to mulching.

Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of substantial completion.
Maintenance Period: Maintenance period will last for a period of 60 days from substantial completion date.

Provide all maintenance services at minimum, watering, staking leaning trees, pruning, deadheading, weeding, and removing trash and debris from planting and landscape areas, repairing settling of stone, mulch, topsoil and/or plants, application of pesticides, chemicals and fertilizers when required. At minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.

Planting schedule represents quantities for base bid only.

3 Lawn: Seed with WI DOT Mix No. 40 at rate of 5#/1000 sq ft. Seed areas installed on 4" minimum fertile topsoil. Loosen subgrade to minimum of 4", remove stones, sticks, grasses and other extraneous materials. Fertilize using commercial grade starter fertilizer, non phosphorous at 5# per 1000 sf. Straw mulch, clean mildew and seed free, salt marsh hay or threshed straw of wheat, rye or oats. Crimp mulch into soil. Erosion mat per erosion control plan. Plant during non-freezing weather.

Maintenance Period: Maintenance period will last for a period of 60 days from substantial completion date.
Provide all maintenance services at minimum, watering, fertilizing, weeding, pesticide/pathogen treatments, and mowing. Replant bare or eroded areas and remulch to produce uniform smooth turf. Only remove erosion control mat if mat too high for mowing. At minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.

All contractors shall verify the location of private utilities prior to start of work.
Contact Diggers Hotline 5 days prior to start of construction.

Planting Beds: Remove stones, sticks, construction debris and other extraneous materials from planting area.
Install 12" of 3:2 ratio of pulverized topsoil and organic matter and rototill into subsoil at depth of 6-8".
Rake smooth and assure positive pitch.
Install Shredded Hardwood Mulch at rate of 3" depth.

Edge with Natural Cut Shovel Bed Edge.

This diagram illustrates the proper planting of a deciduous tree. It shows a tree with a root ball being set into a hole. The root ball is surrounded by a 3-inch high earth saucer. The tree is staked with two stakes and a wire basket. A 1/2-inch diameter plastic hose is used to support the trunk. The trunk flare is visible at the top of the root ball. The top of the root ball is set 1-2 inches above grade. The planting area is mulched with 3 inches of shredded hardwood mulch. The diagram also shows how to remove twine and wire from the trunk and how to place the root ball on unexcavated or tamped soil.

DECIDUOUS TREE PLANTING DETAIL

This diagram illustrates the proper planting of shrubs. It shows a shrub being set into a continuous bed. The shrub is surrounded by a 4-inch high earth saucer. The planting area is mulched with 3 inches of shredded hardwood mulch. The shrub is staked with two stakes. A 1/2-inch diameter plastic hose is used to support the trunk. The trunk flare is visible at the top of the root ball. The top of the root ball is set 1-2 inches above grade. The diagram also shows how to remove twine and wire from the trunk and how to place the root ball on unexcavated or tamped soil.

SHRUB PLANTING DETAIL

LEGEND

30 0 30 60 90

Utility Symbols:

- CATV
- FO
- San
- Sto
- E
- T
- W

Contour Lines:

- Index Contour - Existing
- Intermediate Contour - Existing

Proposed Infrastructure:

- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Contour
- Proposed Swale
- Proposed Culvert
- Proposed Building
- Proposed Asphalt
- Proposed Concrete
- Proposed Gravel

Symbol Legend:

- Underground Cable TV
- Underground Fiber Optic
- Sanitary Sewer (Pipe Size)
- Storm Sewer (Pipe Size)
- Underground Electric
- Underground Telephone
- Water Main (Pipe Size)
- Index Contour - Existing
- Intermediate Contour - Existing
- Sanitary MH / Tank / Base
- Clean Out / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Curb Stop
- Hydrant
- Utility Valve
- Electric Pedestal
- Electric Transformer
- Telephone Pedestal
- +799.9 Ex Spot Elevation
- Proposed Sanitary Manhole
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Hydrant
- Proposed Valve
- Proposed Curb Stop
- Proposed Cleanout
- CATV Pedestal
- 1 1/4" Rebar Found
- 3/4" Rebar Found
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel

Preliminary

Date: 10/20/2025

Filename: 8999Landscape.dwg

Author: MDB

Last Saved by: mitch

Page

Schumacher, Village of Little Rome



LEFT ELEV

SCALE: 0.0625" = 1'-0"



REAR ELEV

SCALE: 0.0625" = 1'-0"



RIGHT ELEV

SCALE: 0.0625" = 1'-0"



FRONT ELEV

SCALE: 1/8" = 1'-0"

ROMENESKO DEVELOPMENTS **RDI**

1818 E Wisconsin Ave
Appleton WI 54911

PHONE: (920) 731-5850
rdi-appleton@att.net

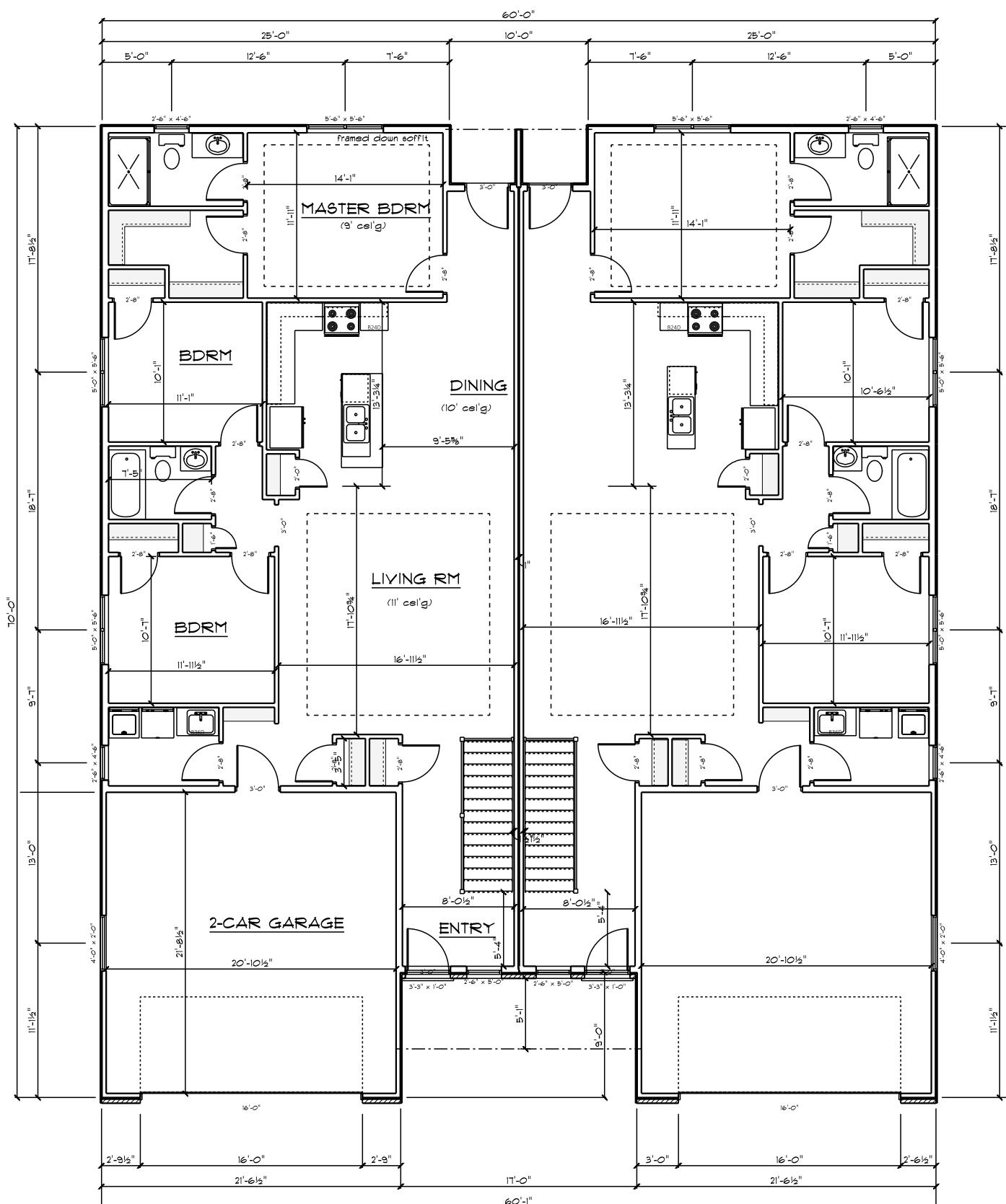
SECTION LETTER
A
111
PAGE NUMBERS

C&M Land Investments, LLC

Patriot Drive - Little Chute

1818 E Wisconsin Av
Appleton WI 54911

PAGE:
1 / 3
ELEVATIONS



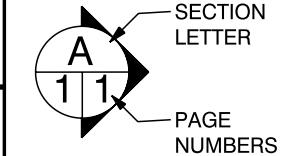
NARROW DUPLEX - PLAN

SCALE: 1" = 10'-0"

ROMENESKO DEVELOPMENTS **RDI**

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Appleton WI 54911

PHONE: (920) 731-5850
rdi-appleton@att.net

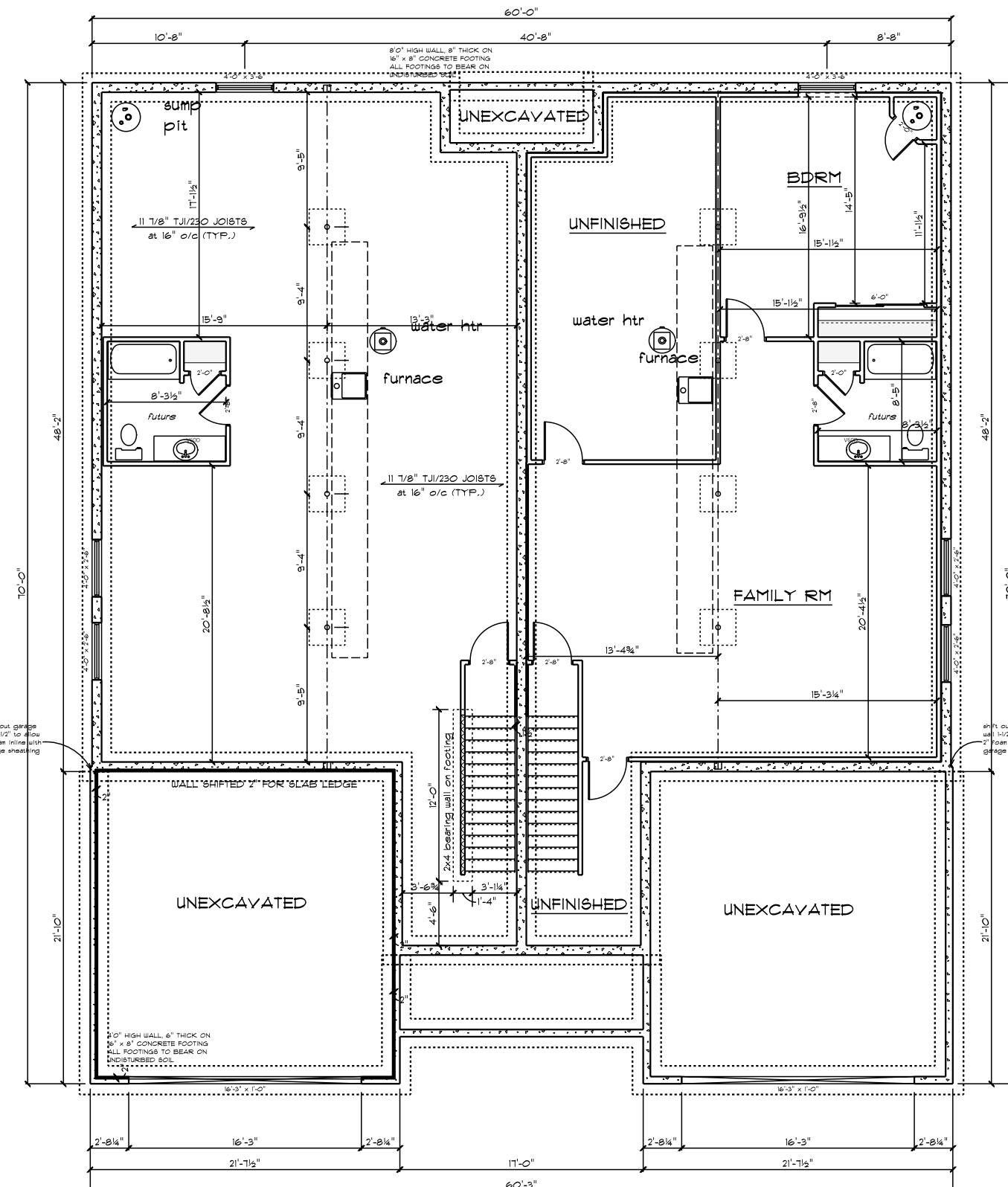


C&M Land Investments, LLC

Patriot Drive - Little Chute

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Appleton WI 54911

PAGE: **2 / 3**
FLOOR PLAN



NARROW DUPLEX - FOUNDATION

SCALE: 1" = 10'-0"

ROMENESKO DEVELOPMENTS

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Appleton WI 54911

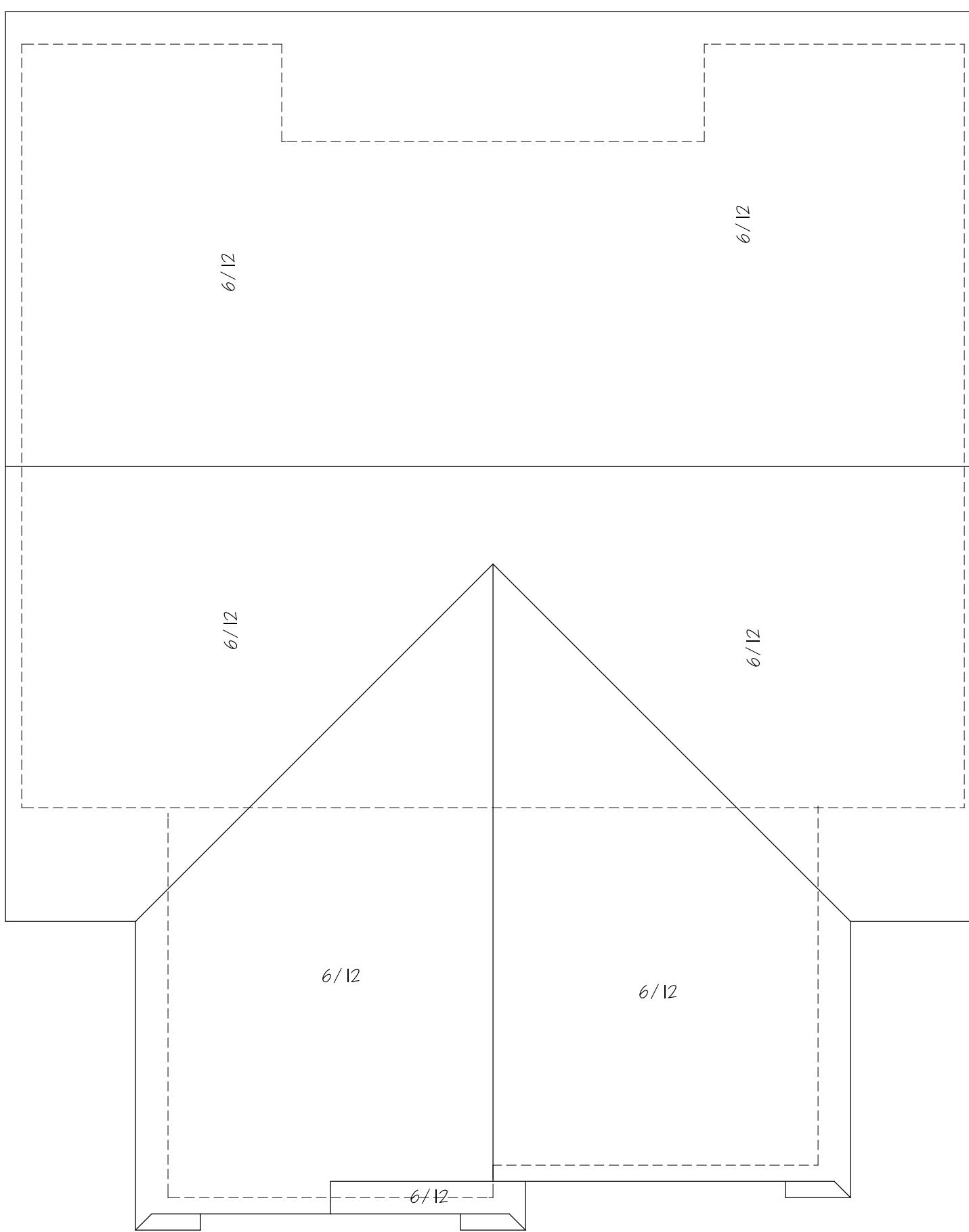
PHONE: (920) 731-5851
rdi-appleton@att.net

A circular callout with a diagonal line through it. The letter 'A' is in the top-left quadrant, and the numbers '1.1.' are in the bottom-left quadrant. Arrows point from the text 'SECTION LETTER' to 'A' and from 'PAGE NUMBERS' to '1.1.'

C&M Land Investments, LLC

Patriot Drive - Little Chute

PAGE: 3 / 3
FOUNDATION



BIRD'S EYE VIEW
SCALE = 1/8" = 1'-0"

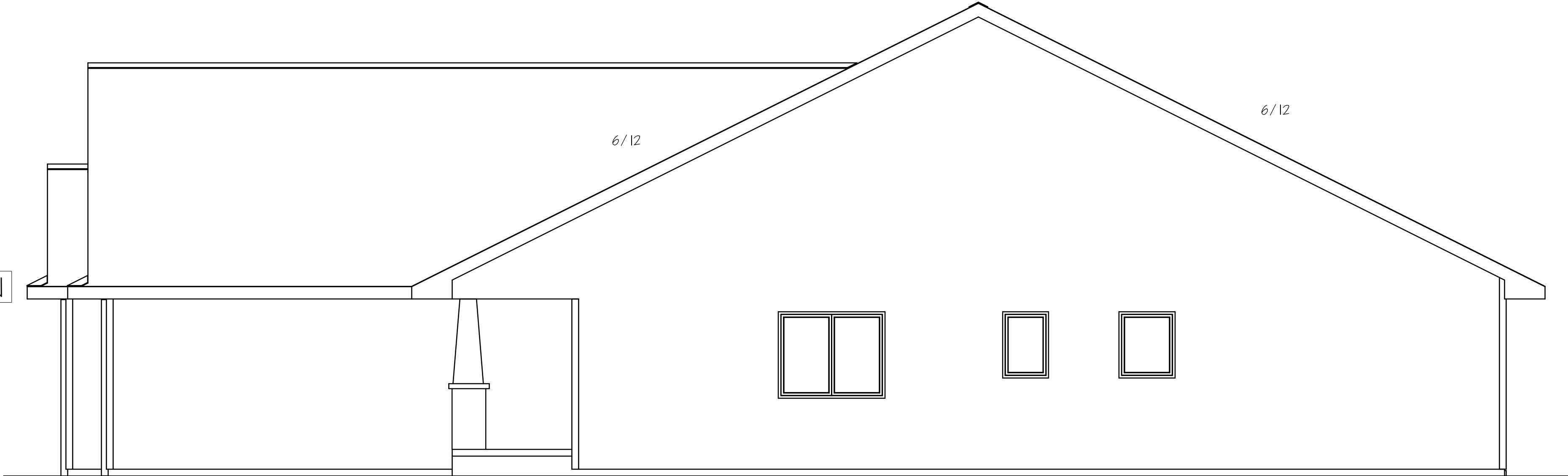
24" OVERHANG ON ALL EAVES
12" OVERHANG ON ALL GABLES

FRONT ELEVATION
SCALE = 1/4" = 1'-0"



2"-0" OVERHANG ON ALL EAVES
1'-0" OVERHANG ON ALL GABLES

RIGHT ELEVATION
SCALE = 1/4" = 1'-0"



BACK ELEVATION
SCALE = 1/4" = 1'-0"



LEFT ELEVATION
SCALE = 1/8" = 1'-0"

These drawings have been prepared to meet professional standards and practices. However, local zoning may require changes. Home Builders code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions and make sure that these plans meet current government requirements in your area.

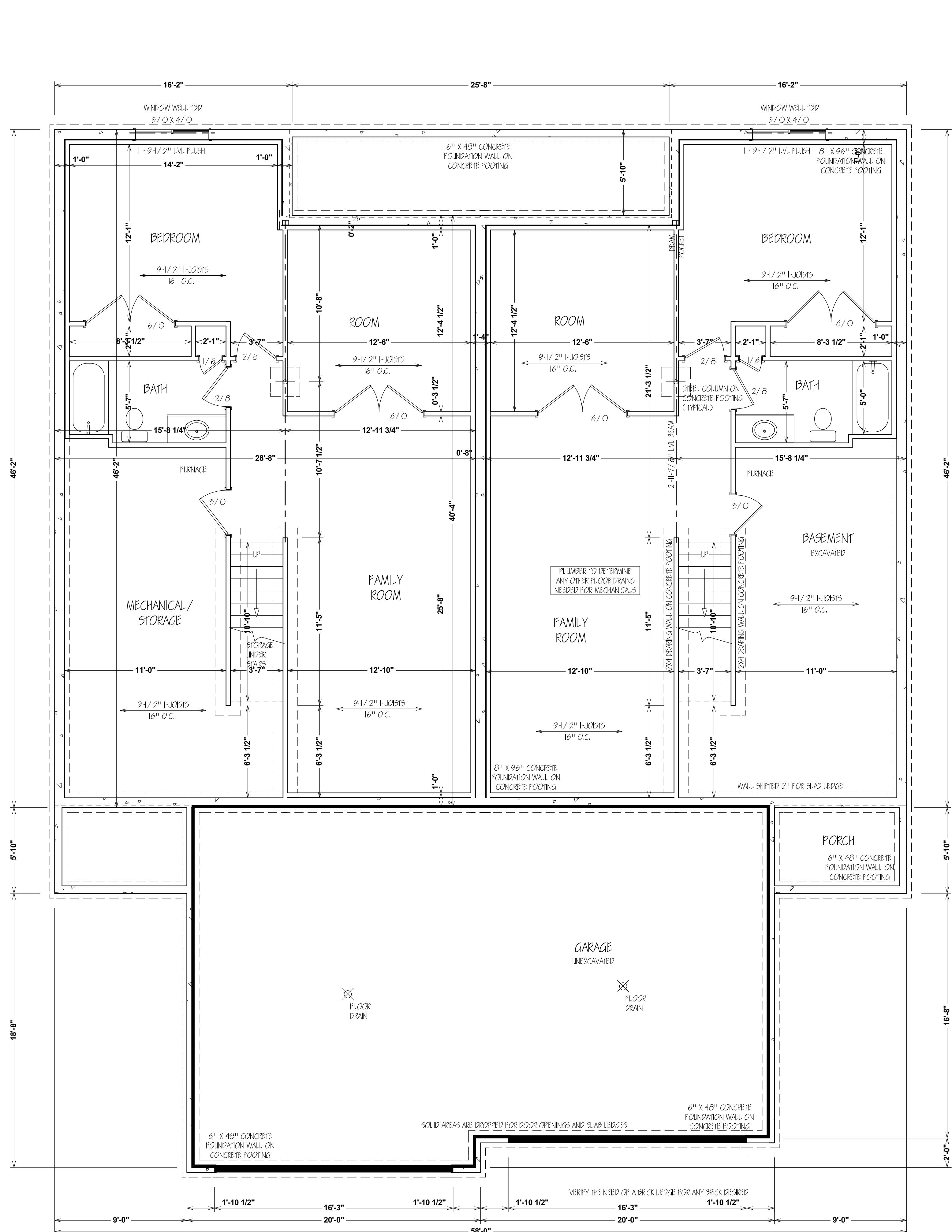
TORBORG'S
TORBORG'S WAPACA LUMBER
HOME SHOWCASE CENTER
1682 RAYTON STREET
WAPACA, WI 54698

DATE	DRAWN BY
11/27/12	A. MARCY
REV.	
12/10/12	
1/9/13	
	1
	OF 3

1/2" OSB SHEATHING
ENGINEERED ROOF TRUSSES 24" O.C.
ASPHALT SHINGLES OVER 15# FELT
HURRICANE CLIPS 7" HEEL
2 X 6 SUB FACIA
ALUMINUM SOFFIT AND FACA
R-19 INSULATION
7/16" OSB SHEATHING
2 X 6 PRECUT STUDS 16" O.C.
DOUBLE 4" VINYL SIDING
THERM. INSULATION
9-1/2" RIM BOARD
2 X 6 PLATE
SILL SEAL
ANCHORED
1/2" FOAM INSULATION
WATER PROOFING
16" X 8" CONTINUOUS
POURED REINFORCED
CONCRETE FOOTING
DRAIN TILE
GRAVEL FILL
UNDISTURBED SOIL

TYPICAL WALL SECTION

SCALE = 1/4" = 1'-0"



FOUNDATION PLAN

SCALE = 1/4" = 1'-0"

DATE	11/12/15
REV.	11/27/12
	5/15/14
	3/27/14
	6/12/15
	6/5/15
	3/6/15
	1/18/15
	1/9/15

2
OF 3

These drawings have been prepared to meet
professional standards and practices. However, local
variations in codes and practices, changes, laws, building
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