



## AGENDA

### REGULAR BOARD MEETING

PLACE: Little Chute Village Hall  
DATE: Wednesday, December 3<sup>rd</sup>, 2025  
TIME: 6:00 p.m.

Join Zoom Meeting

<https://us06web.zoom.us/j/6312471039?omn=81623669754>

Meeting ID: 631 247 1039

One tap mobile

+13126266799,,6312471039# US (Chicago)

#### REGULAR ORDER OF BUSINESS

- A. Invocation
- B. Pledge of Allegiance to the Flag
- C. Roll call of Trustees
- D. Roll call of Officers and Department Heads
- E. Public Appearance for Items Not on the Agenda
- F. Consent Agenda  
*Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.*
  - 1. Disbursement List
  - 2. Approval of the Minutes of November 12th, 2025
  - 3. Approval of the Minutes of November 19th, 2025
  - 4. Adopt Resolution No. 24, Series 2025 – Schumacher Business Park CSM
  - 5. Approval of the Amended Memorandum of Understanding with the Little Chute Area School District
- G. Public Informational Meeting – Miami Circle & Arthur Street
- H. Discussion/Action – Public Hearing for Concrete Paving & Utility Construction on Miami Circle & Arthur Street
- I. Public Hearing – Schumacher Condominium Rezoning Request (341 & 401 Patriot Drive)
- J. Public Hearing – Schumacher Business Park Condominium Plat (341 & 401 Patriot Drive)

- K. Discussion/Action – Adopt Ordinance No. 10, Series 2025 - Schumacher Condominium Rezoning (341 & 401 Patriot Drive)
- L. Discussion/ Action – Adopt Resolution No. 25, Series 2025 – Schumacher Business Park Condominium Plat
- M. Discussion/Action – Schumacher Condominium Site Plan (341 & 401 Patriot Drive)
- N. Discussion – Outagamie County Salt Use & Snow Removal Presentation
- O. Discussion/Action – Release of Easements Rights for WisDOT
- P. Discussion/Action – Heesakker Park Shelter Design Phase
- Q. Department and Officer Progress Reports
- R. Call for Unfinished Business
- S. Items for Future Agenda
- T. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852, [email: Laurie@littlechutewi.org](mailto:Laurie@littlechutewi.org) Prepared: November 26, 2025



## Disbursement List - December 3,2025

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Payroll & Payroll Liabilities - November 20, 2025	\$282,317.39
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Prepaid Invoices - November 14, 2025	\$6,294.40
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Prepaid Invoices - November 21, 2025	\$8,510.46
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### **CURRENT ITEMS**

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Bills List - December 3, 2025	\$113,434.72
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<b>Total Payroll, Prepaid &amp; Invoices</b>	<b>\$410,556.97</b>
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The above payments are recommended for approval:

Rejected: \_\_\_\_\_

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Approved: December 3,2025

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Michael R Vanden Berg, Village President

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Beau Bernhoft, Interim Village Clerk

## Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Description	Total Cost	Period	GL Account
<b>ACE HARDWARE LITTLE CHUTE</b>				
290555	SQUAD #112 BOLTS	4.76	11/25	207-52120-247
290572	VEHICLE ICE/SNOW SCRAPPER	15.99	11/25	101-55200-247
Total ACE HARDWARE LITTLE CHUTE:		20.75		
<b>AGAPE</b>				
61826	REFUND SECURITY DEPOSIT	250.00	11/25	208-21235
Total AGAPE:		250.00		
<b>AIRGAS USA LLC</b>				
9166849575	SHOP GAS	134.18	11/25	101-53300-218
Total AIRGAS USA LLC:		134.18		
<b>AUTOMATED COMFORT CONTROLS</b>				
39338	ANNUAL MAINTENANCE	2,457.05	11/25	101-53310-243
39339	ANNUAL MAINTENANCE	474.82	11/25	207-52120-243
39339	ANNUAL MAINTENANCE	400.00	11/25	101-52250-243
39340	ANNUAL MAINTENANCE	1,669.50	11/25	101-51650-243
Total AUTOMATED COMFORT CONTROLS:		5,001.37		
<b>BATTERIES PLUS LLC</b>				
P87177421	6V BATTERIES - METERS	167.40	11/25	610-53612-253
Total BATTERIES PLUS LLC:		167.40		
<b>BAYCOM INC</b>				
EQUIPINV058928	CONTRACTUAL SERVICES REPAIR	595.00	11/25	101-52200-204
Total BAYCOM INC:		595.00		
<b>BECK'S MEATS INC</b>				
110325	STEAKS FOR RECOGNITIONN	181.59	11/25	101-52200-219
Total BECK'S MEATS INC:		181.59		
<b>BERGSTROM FORD-LINCOLN</b>				
RO431979	OIL CHANGE #153	68.96	11/25	207-52120-247
Total BERGSTROM FORD-LINCOLN:		68.96		
<b>CINTAS CORP</b>				
4249886489	UNIFORM PREP	21.16	11/25	101-53330-213
4249886489	MATS & TOWELS	45.27	11/25	101-53310-204
Total CINTAS CORP:		66.43		
<b>COTTINGHAM &amp; BUTLER INS SERVICES INC</b>				
430741	CLASSIFICATION REVIEW VILLAGE CLERK	300.00	11/25	101-51440-204

Invoice	Description	Total Cost	Period	GL Account
Total COTTINGHAM & BUTLER INS SERVICES INC:		300.00		
DEAN ENTERPRISES LLC				
I12752	PORTABLE TOILET - ISLAND TRAIL	465.00	11/25	101-55200-204
I12753	PORTABLE TOILET - HEESAKKER	232.50	11/25	101-55200-204
Total DEAN ENTERPRISES LLC:		697.50		
DEMCO INC				
7723920	BOOK DISPLAYS	2,293.68	11/25	206-55110-218
Total DEMCO INC:		2,293.68		
FERGUSON WATERWORKS LLC #1476				
464817	METER HORN	1,642.03	11/25	620-53644-253
464817-1	METER HORN	631.55	11/25	620-53644-253
465123	REPAIR CLAMP	290.96	11/25	620-53644-251
Total FERGUSON WATERWORKS LLC #1476:		2,564.54		
FINGER PUBLISHING INC				
BE314583	SNOW REMOVAL	94.00	11/25	101-53350-227
BE315593	PH CONCRETE PAVING & UTILITY CONSTRUCTIO	83.29	11/25	101-51440-227
Total FINGER PUBLISHING INC:		177.29		
FOX VALLEY HUMANE ASSOCIATION				
6309	FOX VALLEY HUMANE ASSOCIATION	184.00	11/25	207-52120-204
Total FOX VALLEY HUMANE ASSOCIATION:		184.00		
FRITSCH, TARA				
61676	REFUND SECURITY DEPOSIT	250.00	11/25	208-21235
Total FRITSCH, TARA:		250.00		
GAT SUPPLY INC				
4585121	#125 BLADE BELT REPLACEMENT	327.81	11/25	101-53330-218
Total GAT SUPPLY INC:		327.81		
INGRAM LIBRARY SERVICES				
91920715	BOOKS	647.27	11/25	206-55110-206
91975309	BOOKS	20.60	11/25	206-55110-206
Total INGRAM LIBRARY SERVICES:		667.87		
JX ENTERPRISES INC				
14379859P	#29 FUEL INJECTOR TUBE	81.64	11/25	101-53330-225
Total JX ENTERPRISES INC:		81.64		
KERRY'S VROOM SERVICE INC				
10626	#121 OIL CHANGE AND WINDSHIELD FLUID	83.93	11/25	207-52120-247

Invoice	Description	Total Cost	Period	GL Account
Total KERRY'S VROOM SERVICE INC:		83.93		
KK SEW & VAC INC				
272795	VACUUM SERVICE	34.99	11/25	207-52120-244
Total KK SEW & VAC INC:		34.99		
KLINK HYDRAULICS LLC				
BR370	MSB POWER WASHER	12.42	11/25	101-53310-218
Total KLINK HYDRAULICS LLC:		12.42		
MAI YIA, LEE				
62313	REFUND SECURITY DEPOSIT	250.00	11/25	206-21235
Total MAI YIA, LEE:		250.00		
MARASCH, MARTY				
EXRPT102525	WI STATE FIRE INSPECTORS CONFERENCE	149.00	11/25	101-52200-201
Total MARASCH, MARTY:		149.00		
MCC INC				
383028	3/4" CRUSH RUN STOCK	421.61	11/25	101-53300-216
Total MCC INC:		421.61		
MCMAHON ASSOCIATES INC				
941083	PROFESSIONAL SVC 8/31-9/27/25 STORM SEWER	3,502.70	11/25	630-51237-204
941083	PROFESSIONAL SVC 8/31-9/27/25 STORM SEWER	10,508.10	11/25	417-51237-204
941172	WATER SYSTEM REVIEW - 09/28-11/01/25	10,480.00	11/25	417-51236-204
Total MCMAHON ASSOCIATES INC:		24,490.80		
MENARDS - APPLETON EAST				
85400	NEEDED LADDER REPLACEMENTS	467.20	11/25	630-53442-263
85666	VAN LIESHOUT - REC CENTER BACK UP	36.97	11/25	208-52900-218
Total MENARDS - APPLETON EAST:		504.17		
MISSION TRUCK EQUIPMENT LLC				
65313	#74 12V SOLENOID	38.83	11/25	101-53330-225
Total MISSION TRUCK EQUIPMENT LLC:		38.83		
MORTON SALT INC.				
5403822943	2025 EARLY FILL ROAD SALT	27,002.86	11/25	101-53350-218
Total MORTON SALT INC.:		27,002.86		
NOW YOGA AND WELLNESS LLC				
LCPR006	YOGA CLASS 11/3, 11/10, & 11/17/25	210.00	11/25	208-52900-204
Total NOW YOGA AND WELLNESS LLC:		210.00		

Invoice	Description	Total Cost	Period	GL Account
<b>NWPA</b>				
121025 MEETING	NWPA MEETING - WOICEK	30.00	12/25	620-53924-201
Total NWPA:		30.00		
<b>O'REILLY AUTOMOTIVE INC</b>				
2043-137293	#257 STEERING NOB	18.99	11/25	101-53330-225
Total O'REILLY AUTOMOTIVE INC:		18.99		
<b>OUTAGAMIE COUNTY</b>				
1022154	CTY "N" PEDESTRIAN CROSSING	259.15	11/25	420-57620-280
Total OUTAGAMIE COUNTY:		259.15		
<b>OUTAGAMIE COUNTY TREASURER</b>				
111325	FUEL	31.34	11/25	101-52050-247
111325	FUEL	429.11	11/25	101-52200-247
111325	FUEL	1,701.43	11/25	101-53330-217
111325	FUEL	302.04	11/25	101-55200-247
111325	FUEL	275.97	11/25	101-55440-247
111325	FUEL	2,434.43	11/25	201-53620-247
111325	FUEL	166.70	11/25	610-53612-247
111325	FUEL	393.66	11/25	620-53644-247
111325	FUEL	13.44	11/25	630-53441-247
111325	FUEL	2,285.10	11/25	630-53442-247
131270	INTERPRETATION	62.87	11/25	207-52120-204
Total OUTAGAMIE COUNTY TREASURER:		8,096.09		
<b>SCHMIDT, LYSSA</b>				
62356	REFUND SECURITY DEPOSIT	250.00	11/25	206-21235
Total SCHMIDT, LYSSA:		250.00		
<b>SHORT ELLIOTT HENDRICKSON INC</b>				
498463	LCFD -NEW FIRE STATION FACILITY A/E SERVICE	17,265.15	11/25	405-51100-204
Total SHORT ELLIOTT HENDRICKSON INC:		17,265.15		
<b>SIGNCOUNTRY</b>				
22564	NEW PICKUP LC GRAPHICS	615.00	11/25	202-51960-301
Total SIGNCOUNTRY:		615.00		
<b>SPEEDY CLEAN DRAIN &amp; SEWER</b>				
87421	PUMPED THE GREASE TRAP	195.00	11/25	206-55110-243
87532	ORCHARD LANE-CCTV SANITARY SEWER	6,337.38	11/25	610-51110-204
87532	ORCHARD LANE-CCTV STORM SEWER	379.00	11/25	630-51110-204
87532	BITTERSWEET COURT-CCTV SANITARY SEWER	330.00	11/25	610-51114-204
Total SPEEDY CLEAN DRAIN & SEWER:		7,241.38		
<b>SPLENDID CLEANING SERVICE LLC</b>				
15427	MONTHLY CLEANING P.D	950.00	11/25	207-52120-243
15427	MONTHLY CLEANING F.D.	239.00	11/25	101-52250-243
15428	MONTHLY CLEANING-LIBRARY	1,425.00	11/25	206-55110-243

Invoice	Description	Total Cost	Period	GL Account
15429	MONTHLY CLEANING-MSB BUILDING	595.00	11/25	101-53310-243
15430	MONTHLY CLEANING-VILLAGE HALL	1,850.00	11/25	101-51650-243
Total SPLENDID CLEANING SERVICE LLC:		5,059.00		
VFIS				
147471133	LOSAP ADMINISTRATIVE SERVICES	4,732.95	12/25	101-14300
Total VFIS:		4,732.95		
VILLAGE OF COMBINED LOCKS				
202512	PROPERTY STORAGE AREA LEASE	814.39	12/25	207-52120-204
Total VILLAGE OF COMBINED LOCKS:		814.39		
WE ENERGIES				
5157810 - 723 DEP	DEMOLITION OF NATURAL GAS 723 DEPOT ST	912.00	11/25	418-51225-249
5157812 - 715 DEP	DEMOLITION OF NATURAL GAS 715 DEPOT ST	912.00	11/25	418-51225-249
Total WE ENERGIES:		1,824.00		
Grand Totals:		113,434.72		

## Report GL Period Summary

Vendor number hash: 162957  
Vendor number hash - split: 182766  
Total number of invoices: 58  
Total number of transactions: 73

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	113,434.72	113,434.72
Grand Totals:	113,434.72	113,434.72

## Report Criteria:

Invoice Detail.Voided = {=} FALSE

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
AMERICAN FIDELITY ASSURANCE (4885)							
2570496	Invoi	FLEX	1,912.99	Open	Non	11/25	101-21368
Total AMERICAN FIDELITY ASSURANCE (4885):			1,912.99				
AT&T (409)							
287294953059x110	Invoi	SEPT/OCT SERVICE	238.50	Open	Non	10/25	101-52200-203
Total AT&T (409):			238.50				
AT&T LONG DISTANCE (2751)							
8456268571025	Invoi	SEPT/OCT CHARGES	2.48	Open	Non	11/25	101-51650-203
8456268571025	Invoi	SEPT/OCT CHARGES	3.98	Open	Non	11/25	206-55110-203
8456268571025	Invoi	SEPT/OCT CHARGES	2.24	Open	Non	11/25	207-52120-203
8456268571025	Invoi	SEPT/OCT CHARGES	.62	Open	Non	11/25	620-53924-203
Total AT&T LONG DISTANCE (2751):			9.32				
GORDON FLESCH COMPANY INC (4989)							
15381170	Invoi	COPIER/PRINTER USAGE	101.09	Open	Non	11/25	206-55110-225
Total GORDON FLESCH COMPANY INC (4989):			101.09				
MARCO INC (3910)							
40471788	Invoi	1ST FLOOR COPIER @ VH	122.57	Open	Non	10/25	101-51650-207
40471788	Invoi	2ND FLOOR COPIER @ VH	100.36	Open	Non	10/25	101-51650-207
40471788	Invoi	3RD FLOOR COPIER @ VH	59.76	Open	Non	10/25	101-51650-207
40471788	Invoi	COPIER @ MSB BUILDING	65.22	Open	Non	10/25	101-53310-207
Total MARCO INC (3910):			347.91				
SAM'S CLUB/SYNCHRONY BANK (1728)							
44691125	Invoi	SENIOR PROGRAM ITEMS	86.92	Open	Non	11/25	101-55300-218
44691125	Invoi	MEMBERSHIP - SCHUH	22.24	Open	Non	11/25	101-55300-208
44691125	Invoi	MEMBERSHIP - SCHRADER	20.59	Open	Non	11/25	101-52200-204
44691125	Invoi	MEMBERSHIP - WITTMAN	20.59	Open	Non	11/25	101-52200-204
44691125	Invoi	BANQUET FOOD	131.86	Open	Non	11/25	101-55460-211
Total SAM'S CLUB/SYNCHRONY BANK (1728):			282.20				
T-MOBILE (5286)							
9950559581025	Invoi	PHONE & MOBILE INTERNET	1,369.94	Open	Non	11/25	207-52120-203
Total T-MOBILE (5286):			1,369.94				
WE ENERGIES (2788)							
5680535796	Invoi	PLANT #1 (100 WILSON ST)	38.87	Open	Non	10/25	620-53624-249
5680606076	Invoi	PLANT #2 (1118 JEFFERSON ST)	10.38	Open	Non	10/25	620-53624-249
5680922963	Invoi	108 W MAIN ST	220.99	Open	Non	10/25	101-51650-249
5680946888	Invoi	CIVIC CENTER (630 MONROE ST)	214.76	Open	Non	10/25	206-55110-249
5680954489	Invoi	200 E. MCKINLEY ST-FVMPD	27.14	Open	Non	10/25	207-52120-249
5680954489	Invoi	200 E MCKINLEY - FIRE DEPT	18.09	Open	Non	10/25	101-52250-249
5681280211	Invoi	PUMP STATION @ EVERGREEN & FRENCH	83.87	Open	Non	10/25	620-53624-249
5681355823	Invoi	CROSSWINDS LED STREET LIGHTS	142.05	Open	Non	10/25	101-53300-249
5681395126	Invoi	721 W ELM DR	17.21	Open	Non	10/25	208-52900-249
5682210556	Invoi	DOYLE POOL	9.24	Open	Non	10/25	204-55420-249
5682979622	Invoi	STREET LIGHTS	1,220.81	Open	Non	10/25	101-53300-249

Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
5683016625	Invoi	LC WELL #4 PUMPHOUSE (625 E EVERGREEN)	19.80	Open	Non	10/25	620-53624-249
5683516356	Invoi	920 WASHINGTON ST	9.24	Open	Non	10/25	620-53624-249
Total WE ENERGIES (2788):			2,032.45				
Grand Totals:			6,294.40				

Report GL Period Summary

Vendor number hash:	57414
Vendor number hash - split:	87097
Total number of invoices:	19
Total number of transactions:	30

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	6,294.40	6,294.40
Grand Totals:	6,294.40	6,294.40



Invoice	Type	Description	Total Cost	Terms	1099	Period	GL Account
ASCENSION MEDICAL GROUP-FOX VALLEY WI (2514)							
70000505275	Invoi	ASCENSION BLOOD DRAWS	69.00	Open	Med	11/25	207-52120-204
Total ASCENSION MEDICAL GROUP-FOX VALLEY WI (2514):			69.00				
AT&T (409)							
92078873811125	Invoi	NOV/DEC SERVICE - FVMPD FAX	73.90	Open	Non	11/25	207-52120-203
92078873811125	Invoi	NOV/DEC SERVICE MCO LANDLINE	73.91	Open	Non	11/25	620-53924-203
92078873811125	Invoi	NOV/DEC SERVICE SCADA	73.91	Open	Non	11/25	620-53924-203
92078873811125	Invoi	NOV/DEC SERVICE SCADA BACKUP	73.91	Open	Non	11/25	620-53924-203
92078873811125	Invoi	NOV/DEC SERVICE MCO ON CALL	73.91	Open	Non	11/25	620-53924-203
92078873811125	Invoi	NOV/DEC SERVICE LIBRARY FAX	73.90	Open	Non	11/25	206-55110-203
Total AT&T (409):			443.44				
CELLCOM (4683)							
398463	Invoi	FACILITIES	31.84	Open	Non	11/25	101-51650-203
398463	Invoi	INSPECTOR PHONE CHARGES	31.17	Open	Non	11/25	101-52050-203
398463	Invoi	STREETS I-PADS	31.54	Open	Non	11/25	101-53300-218
398463	Invoi	DPW	408.78	Open	Non	11/25	101-53310-203
398463	Invoi	VEHICLE MAINTENANCE I-PADS	15.77	Open	Non	11/25	101-53330-218
398463	Invoi	PARKS	147.00	Open	Non	11/25	101-55200-203
398463	Invoi	REC	63.01	Open	Non	11/25	101-55300-203
398463	Invoi	SANITARY SEWER I-PAD	15.77	Open	Non	11/25	610-53612-218
398463	Invoi	STORM I-PADS	15.77	Open	Non	11/25	630-53442-218
398463	Invoi	COMMUNITY DEVELOPER PHONE CHARGES	2.19	Open	Non	11/25	101-51530-203
398463	Invoi	ADMINISTRATION PHONE CHARGES	31.17	Open	Non	11/25	101-51400-203
398463	Invoi	ENGINEERING	214.93	Open	Non	11/25	101-51415-203
Total CELLCOM (4683):			1,004.56				
CHARTER COMMUNICATIONS (89)							
16087110825	Invoi	NOV/DEC SERVICE - 108 W MAIN	104.98	Open	Non	11/25	101-51650-203
Total CHARTER COMMUNICATIONS (89):			104.98				
DELTA DENTAL OF WISCONSIN (33)							
2452869	Invoi	DENTAL - DECEMBER	6,120.65	Open	Non	11/25	101-21345
2452869	Invoi	VISION - DECEMBER	487.20	Open	Non	11/25	101-21366
Total DELTA DENTAL OF WISCONSIN (33):			6,607.85				
GORDON FLESCH COMPANY INC (4989)							
I01070364	Invoi	COPIER LEASE	180.29	Open	Non	11/25	206-55110-209
Total GORDON FLESCH COMPANY INC (4989):			180.29				
VERIZON WIRELESS (3606)							
6128455868	Invoi	CELL PHONE WATER	100.34	Open	Non	11/25	620-53924-203
Total VERIZON WIRELESS (3606):			100.34				
Grand Totals:			8,510.46				

Vendor number hash: 16323  
Vendor number hash - split: 69914  
Total number of invoices: 7  
Total number of transactions: 24

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	8,510.46	8,510.46
Grand Totals:	8,510.46	8,510.46

## MINUTES OF THE COMMITTEE OF THE WHOLE MEETING OF NOVEMBER 12<sup>th</sup>, 2025

Call to Order: President Vanden Berg called the Committee of the Whole Meeting to Order at 5:30 p.m.

### Roll call of Trustees

PRESENT: Michael Vanden Berg, President  
Joe Harlow, Trustee  
David Peterson, Trustee  
Larry Van Lankvelt, Trustee  
Brian Van Lankveldt, Trustee  
EXCUSED: Rosie Sprangers, Trustee  
Don Van Deurzen, Trustee

### Roll call of Officers and Department Heads

PRESENT: Beau Bernhoft, Administrator  
Lisa Remiker-DeWall, Finance Director  
Jeremy Slotke, Police Chief Interim for Fox Valley Metro

### Public Appearance for Items Not on the Agenda

None

### Presentation – Ted Neitzke Board Training Presentation

### Adjournment

*Moved by Trustee Harlow, seconded by Trustee B. Van Lankveldt to adjourn the Regular Board Meeting at 7:09 p.m.*

Ayes 7, Nays 0 – Motion Carried

## VILLAGE OF LITTLE CHUTE

By: \_\_\_\_\_  
Michael R. Vanden Berg, Village President

Attest: \_\_\_\_\_  
Beau Bernhoft, Interim Village Clerk

## MINUTES OF THE REGULAR BOARD MEETING OF NOVEMBER 19, 2025

Call to Order: President Vanden Berg called the Regular Board Meeting to Order at 6:00 p.m.

### **Pledge Allegiance to the Flag**

President Vanden Berg led members in the reciting of the Pledge of Allegiance.

### **Roll call of Trustees**

PRESENT: Michael Vanden Berg, President  
Joe Harlow, Trustee  
David Peterson, Trustee  
Don Van Deurzen, Trustee  
Larry Van Lankvelt, Trustee  
Rosie Sprangers, Trustee  
EXCUSED: Brian Van Lankveldt, Trustee

### **Roll call of Officers and Department Heads**

PRESENT: Beau Bernhoft, Administrator  
John McDonald, Director of Parks, Rec and Forestry  
Lisa Remiker-DeWall, Finance Director (Zoom)  
Jeremy Slotke, Police Chief Interim for Fox Valley Metro  
Jessica Titel, Community Development Director (Zoom)  
Robert Givens, Public Works Director  
Matthew Woicek, Assistant Public Works Director  
Duane Nechodom, Fire Chief

EXCUSED: Megan Kloeckner, Library Director

### **Public Appearance for Items Not on the Agenda**

None

### **Consent Agenda**

*Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items may be removed at the request of any Board Member or member of the public. Any removed items will be considered immediately following the motion to approve the other items.*

1. Disbursement List
2. Approval of the Minutes of November 5<sup>th</sup>, 2025
3. Adopt Resolution No. 22, Series 2025 – Schommer CSM
4. Adopt Resolution No. 23, Series 2025 – Feldkamp CSM
5. Monthly Report

*Moved by Trustee L. Van Lankvelt, seconded by Trustee Harlow to Approve the Consent Agenda as presented.*

Ayes 6, Nays 0 – Motion Carried

### **Discussion/Action – Approval of 2025 Fire Budget Adjustment for Cheese Fest Grant**

Fire Chief Nechodom requested a budget adjustment as described in the agenda packet.

*Moved by Trustee Sprangers, seconded by Trustee L. Van Lankvelt to approve the proposed budget adjustment as presented.*

**Roll Call Vote**

Mike Vanden Berg	Aye
Larry Van Lankvelt	Aye
Don Van Deurzen	Aye
Rosie Sprangers	Aye
David Peterson	Aye
Joe Harlow	Abstained
Brian Van Lankvelt	Excused

Ayes 5, Nays 0 – Motion Carried

**Discussion/Action— Adopt Resolution Number 21, Series 2025, Declaration of Emergency for culvert repairs on Riverside Drive**

*Moved by Trustee Harlow, seconded by Trustee Sprangers to Adopt Resolution No. 21, Series 2025  
Declaring an Emergency for culvert repairs on Riverside Drive.*

Ayes 6, Nays 0 – Motion Carried

**Discussion/Action— Riverside Drive culvert contractor selection**

Assistant Public Works Director Woicek presented information from the packet to the Board regarding contractor selection to complete the culvert repairs on Riverside Drive following the Emergency Declaration.

*Moved by Trustee Harlow, seconded by Trustee Peterson to select Visu-Sewer, LLC in the amount of \$196,800 to complete the 72” Culvert Pipe Installation on Riverside Drive.*

Ayes 6, Nays 0 – Motion Carried

**Discussion/Action— Approval of 2025 Public Works Budget Adjustment for Refuse Truck No. 6**

Public Works Director Givens presented information from the packet to the Board addressing the need for additional funds to repair the rear end of Garbage Truck #6.

*Moved by Trustee Sprangers, seconded by Trustee Peterson to approve the DPW request for Refuse Truck No. 6 budget adjustment as presented.*

**Roll Call Vote**

Mike Vanden Berg	Aye
Larry Van Lankvelt	Aye
Don Van Deurzen	Aye
Rosie Sprangers	Aye
David Peterson	Aye
Joe Harlow	Aye
Brian Van Lankvelt	Excused

Ayes 6, Nays 0 – Motion Carried

**Department and Officer Progress Reports**

Department and Officer Progress Reports were presented.

**Call for Unfinished Business**

None

**Items for Future Agenda**

**Adjournment**

*Moved by Trustee Van Deurzen, seconded by Trustee Sprangers to adjourn the Regular Board Meeting at 6:18 p.m.*

Ayes 6, Nays 0 – Motion Carried

**VILLAGE OF LITTLE CHUTE**

By: \_\_\_\_\_  
Michael R. Vanden Berg, Village President

Attest: \_\_\_\_\_  
Beau Bernhoft, Interim Village Clerk

**VILLAGE OF LITTLE CHUTE**

**RESOLUTION NO. 24, SERIES OF 2025**

**A RESOLUTION APPROVING A CSM FOR SCHUMACHER CONDOMINIUMS**

**WHEREAS**, 4 Roberts, LLC and Romenesko Developments, Inc., owners of Parcel #260446200 and #260446300 have presented a Certified Survey Map to the Village of Little Chute Board of Trustees as prepared by Scott Anderson, a registered land surveyor, to combine the two existing parcels; and

**WHEREAS**, On November 10, 2025, the Village of Little Chute Planning Commission has recommended in favor of adoption of said Certified Survey Map; and

**WHEREAS**, a majority of the Village Board find that the attached Certified Survey Map is found to be in the public interest.

**NOW, THEREFORE, BE IT RESOLVED**, by the Village Board of Trustees as follows:

1. That the Certified Survey Map attached hereto, be and the same is hereby approved; and
2. That the Village President, Village Clerk, and Finance Director, upon full payment of, if applicable, all fees, taxes, and special assessments are directed to execute signatures on behalf of the Village of Little Chute upon the Certified Survey Map documents as required.

Date introduced, approved and adopted: December 3, 2025

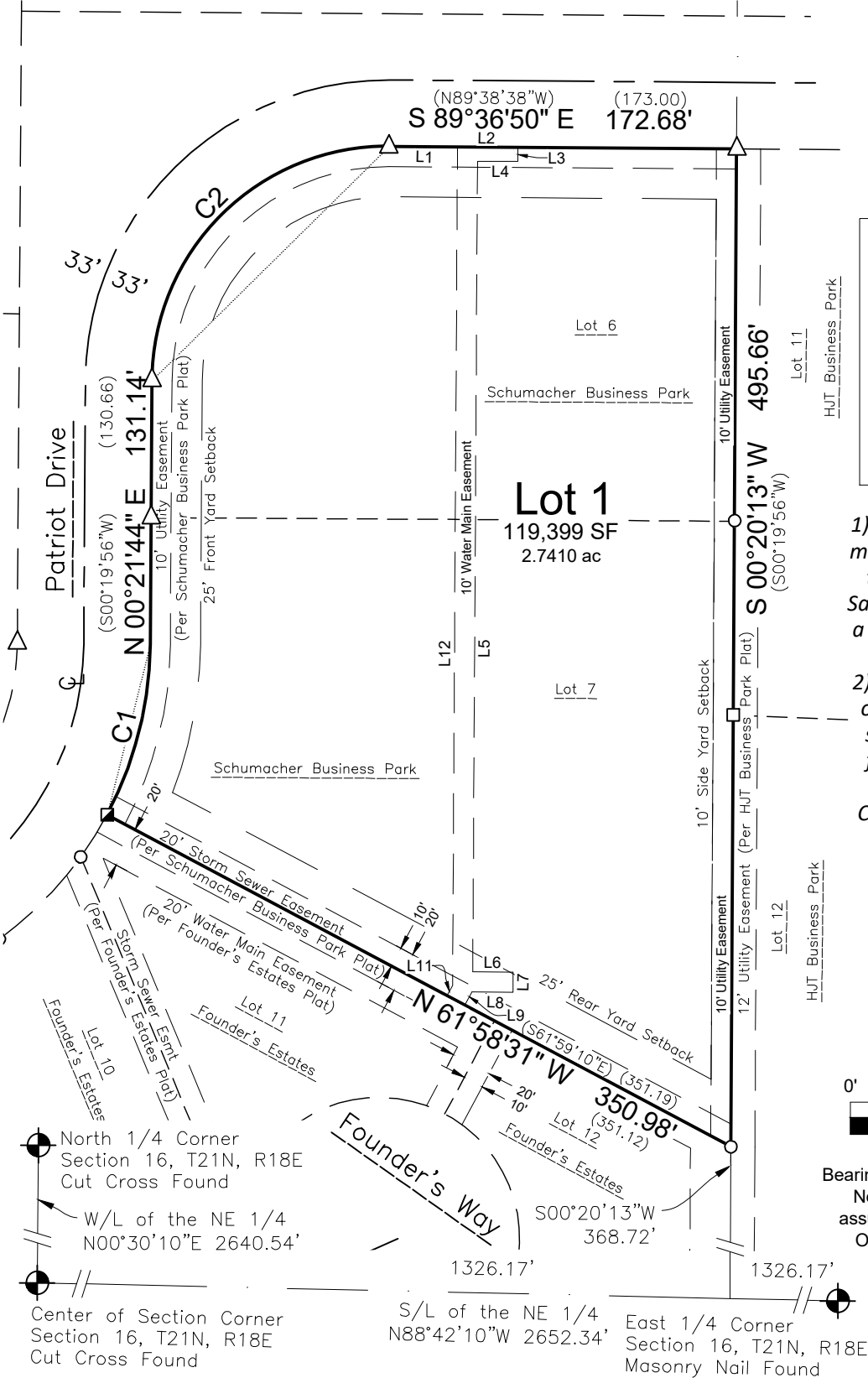
**VILLAGE OF LITTLE CHUTE:**

By: \_\_\_\_\_  
Michael R. Vanden Berg, Village President

Attest: \_\_\_\_\_  
Beau Bernhoft, Village Administrator

Certified Survey Map No. \_\_\_\_\_

All of Lot 6 and 7 of Schumacher Business Park, Located  
in Part of the Southwest 1/4 of the Northeast 1/4 of Section  
16 of Section 16, Township 21 North, Range 18 East,  
Village of Little Chute, Outagamie County, Wisconsin.



LEGEND

3/4" x 18" Steel Rebar

@ 1.50lbs/LF SET

1/4" Rebar Found

3/4" Rebar Found

1" Iron Pipe Found

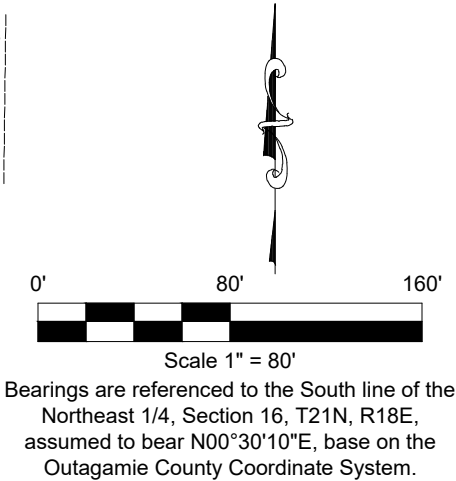
2" Iron Pipe Found

Government Corner

( )

Recorded As

- Notes:
- 1) **Additional action is required.** This map does NOT transfer ownership of the property or properties shown. Sale or transfer of ownership requires a separate document to be recorded at the Register of Deeds office.
- 2) Building zones depicted are based on building Proposed setbacks and should not be relied upon without first obtaining written verification thereof from the Village of Little Chute and any other local agencies.



Survey for:  
Romenesko Development Inc  
1818 E. Wisconsin Ave.  
Appleton, WI 54911



DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866  
www.davel.pro

Scott R. Andersen  
Professional Land Surveyor  
No. S-3169

Date  
File: 8999CSM.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 1 of 6



Certified Survey Map No. \_\_\_\_\_

All of Lot 6 and 7 of Schumacher Business Park, located in  
Part of the Southwest 1/4 of the Northeast 1/4 of Section  
16 of Section 16, Township 21 North, Range 18 East,  
Village of Little Chute, Outagamie County, Wisconsin

Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute and Outagamie County, and under the direction of Romenesko Development Inc & 4 Roberts LLC, the property owners of said land, I have surveyed, combined and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 6 and 7 of Schumacher Business Park (Doc. 1661814), located in part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 119,399 Square Feet (2.7410 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169

LINE TABLE		
Line	Bearing	Length
L1	S 89°36'50" E	34.02'
L2	S 89°36'50" E	30.00'
L3	S 00°23'10" W	7.00'
L4	N 89°36'50" W	20.00'
L5	S 00°20'10" W	402.70'
L6	S 89°39'47" E	20.00'
L7	S 00°20'13" W	10.00'
L8	N 89°39'47" W	20.40'
L9	S 28°09'14" W	7.39'
L10	N 61°58'31" W	10.00'
L11	N 28°09'14" E	5.80'
L12	N 00°20'13" E	416.47'

CURVE TABLE											
Curve	Radius	Chord Direction		Chord Length		Arc Length		Central Angle		Tangent Bearing-in/out	(Tangent)
C1	183.00'	N 14°14'24" E	(S14°10'23"W)	87.20'	(87.56')	88.04'	(88.41')	27°33'56"	(27°40'54")	N28°01'22"E /N00°27'25"E	
C2	117.00'	N 45°22'27" E	(N45°49'07"E)	165.50'	(166.86)	183.83'	(185.77')	90°01'26"	(90°58'22")	N00°21'44"E /S89°36'50"E	

Certified Survey Map No. \_\_\_\_\_

All of Lot 6 and 7 of Schumacher Business Park, located in  
Part of the Southwest 1/4 of the Northeast 1/4 of Section  
16 of Section 16, Township 21 North, Range 18 East,  
Village of Little Chute, Outagamie County, Wisconsin

Owner's Certificate

4 Roberts, LLC, a Limited Liability Company duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, combined and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said 4 Roberts, LLC., has caused these presents to be

signed by its authorized representatives, located at, \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

In the Presence of: 4 Roberts, LLC.

_____	_____	_____
Managing Member	Print Name	Date

State of Wisconsin )  
 )SS  
\_\_\_\_\_ County)

Personally came before me on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_ My Commission Expires \_\_\_\_\_  
Notary Public, Wisconsin

\_\_\_\_\_  
Scott R. Andersen Date  
Professional Land Surveyor  
No. S-3169

File: 8999CSM.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 3 of 6

Certified Survey Map No. \_\_\_\_\_

All of Lot 6 and 7 of Schumacher Business Park, located in  
Part of the Southwest 1/4 of the Northeast 1/4 of Section  
16 of Section 16, Township 21 North, Range 18 East,  
Village of Little Chute, Outagamie County, Wisconsin

Corporate Owner's Certificate

Romensko Developments, Inc., a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, combined and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Little Chute

IN WITNESS WHEREOF, the said Romensko Developments, Inc., has caused these presents to be

signed by its authorized representatives, located at, \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

In the Presence of: Romensko Developments, Inc.

By_____	By_____
print name_____	print name_____
Title_____	Title_____

State of Wisconsin        )  
                                      )ss  
\_\_\_\_\_ County    )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

_____	My commission expires:_____.
Notary Public, Wisconsin	

\_\_\_\_\_  
Scott R. Andersen                      Date  
Professional Land Surveyor  
No. S-3169

File: 8999CSM.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 4 of 6

Certified Survey Map No. \_\_\_\_\_

All of Lot 6 and 7 of Schumacher Business Park, located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin

Watermain Easement

Romenesko Development Inc. & 4 Roberts, LLC (the "Grantor") hereby grants, conveys, and warrants unto to the Village of Little Chute (the "Village"), it's successors and assigns, the perpetual right and easement to construct, install, maintain, operate, repair, inspect, replace, add, relocate and remove in the Easement Area, as indicated on the plat, upon, in, over, through and across lands owned by the Grantor so that the Village may maintain and install a watermain and appurtenances in the Easement Area. The easements are subject to the following conditions:

- i. Access: The Village and its agents shall have the right of reasonable ingress and egress to, over and across the Grantor's land adjacent to and upon the Easement area, as well as over the area and under the surface of the Easement Area to install, lay, operate, repair and maintain a the watermain and appurtenances.
- ii. Restoration: If the Village performs any work within the Easement Area, upon completion of that work the Village shall, at its cost, restore any damages to property, lawns, or pavement in the Easement Area and immediate surrounding area and all improvements thereupon, caused by the construction and or maintenance of the storm sewer main and appurtenances.
- iii. Nature of Easements: The easement and agreements contained in this Agreement shall run with the land, be appurtenant to and shall pass with the title to the Easement Area and any portion thereof; and may not be transferred separately from, or severed from, title to the Easement Area or the dominant tenement thereto.
- iv. Buildings and Structures: The Grantor, along with their successors and assigns, agrees within the Easement Area not to construct or place buildings, structures or other improvements, or place additional water, sewer, drainage, electric, gas, or communication facilities without the express written consent of the Village.
- v. Landscaping and Vegetation: No plantings and landscaping are allowed within the Easement Area that will interfere with the easement rights herein granted.

The grant of the two above easements shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Romenesko Development Inc.

Authorized Member	Print Name & Title	Date
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4 Roberts, LLC

Authorized Member	Print Name & Title	Date
-------------------	--------------------	------

Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by

Romenesko Development Inc. & 4 Roberts, LLC, Grantor, to:

Kaukauna Utilities, Grantee  
Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,  
AT&T, Grantee,  
Spectrum, Grantee,  
and  
TDS Metrocom, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of the two above easements shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Romenesko Development Inc.

Authorized Member
-------------------

Print Name & Title	Date
--------------------	------

4 Roberts, LLC

Authorized Member
-------------------

Print Name & Title	Date
--------------------	------

Scott R. Andersen Professional Land Surveyor No. S-3169	Date
---	------

File: 8999CSM.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 5 of 6

Certified Survey Map No. \_\_\_\_\_

All of Lot 6 and 7 of Schumacher Business Park, Located  
in Part of the Southwest 1/4 of the Northeast 1/4 of Section  
16 of Section 16, Township 21 North, Range 18 East,  
Village of Little Chute, Outagamie County, Wisconsin

Village Board Approval Certificate

Approved by the Village of Little Chute, Outagamie County, Wisconsin, by the Village Board on  
\_\_\_\_\_ day of \_\_\_\_\_, 2025.

_____	_____	_____
Village President	Print Name	Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Little Chute.

_____	_____	_____
Village Clerk	Print Name	Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

_____	_____	_____
Village Treasurer	Print Name	Date

_____	_____	_____
County Treasurer	Print Name	Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owner of record:	Recording Information:	Parcel Number(s):
Romenesko Developments, Inc.	Doc. 2272488	260446300
4 Roberts LLC	Doc. 2132256	260446200

_____	_____
Scott R. Andersen	Date
Professional Land Surveyor	
No. S-3169	

File: 8999CSM.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 6 of 6

## **Interagency Agreement for Police School Liaison Program**

This Agreement is entered into by and between the Little Chute Area School District, (“District”) and Fox Valley Metro Police Department (“Department”), a department of the Village Of Little Chute (“Village”), as follows:

WHEREAS, the purpose of this Agreement is to establish a Police School Liaison Program and to set forth guidelines to ensure that law enforcement, school officials, and the communities they serve, have a shared understanding of the goals of the Police School Liaison Program and establish a shared understanding of the role and responsibilities of each party in maintaining safe schools, maintaining a safe community and supporting educational opportunities for all students.

WHEREAS, the parties agree that an effective Police School Liaison Program defines the role of the Police School Liaison (PSL): within the context of the educational mission of the school; distinctions between disciplinary misconduct to be handled by school officials, and criminal offenses to be handled by law enforcement, and information sharing; Police School Liaison training requirements; program assessment; and program structure;

WHEREAS, the PSLs receive the necessary support and training to ensure a safe school environment while respecting the rights of students and improving the overall school climate;

WHEREAS, a collaboration between the Little Chute Area School District and the Department and respect for the important role each plays in local law enforcement must be the success of the mission of both institutions. When it is necessary for local law enforcement to be present on school property, they will conduct themselves according to accepted legal practices, recognizing the responsibility and authority of school officials to manage the school environment and work with school officials to minimize any impact their actions might have on that environment.

NOW THEREFORE, upon the mutual promises contained herein, together with such other consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

### **Role of the PSL within the Context of the Educational Mission of the School**

1. The mission of the Police School Liaison program is to improve school safety and the educational climate at the school.
2. The PSL will perform his/her duties in accordance with the Department’s operating procedures.
3. The PSL shall be familiar with, offer input, and support plans and strategies for the prevention and control of dangerous situations in the school.
4. The PSL is responsible for addressing and processing incidents regarding criminal law, ordinance violations, and traffic violations, but is not responsible for enforcing school discipline or punishing students. The District Administrator or his/her designee shall

contact the PSL for any violations of the law, to the extent they are aware of the same violations, and the PSL shall determine whether law enforcement action is appropriate. The PSL may confer with the District Administrator or his/her designee regarding minor violations of law to determine if school sanctions are appropriate in order to serve the best interest of the student. This does not preclude the PSL from reminding students of school rules and referring school violations to the District Administrator or his/her designee, if appropriate.

5. The PSL shall be integrated into the school community through participation in faculty and student meetings and assemblies as appropriate. The PSL serves as a resource and may collaborate with the school to present information to the student body to supplement information presented by the school. Examples include but are not limited to legal and illegal alcohol use, prescription and non-prescription drug use, substance abuse, school safety, and other relevant safety topics.
6. The PSL may maintain activity reports and submit summaries of these reports to building-level school administrators, district-level school administrators, and the relevant law enforcement agency. The focus of the summaries may include, for each PSL, the numbers and descriptions of all incidents or calls for service; names of school officials involved (referring teachers, principals, etc.); educational programming, participation in school activities, student searches, student questioning, tickets, citations, or summonses; filing of delinquency petitions, referrals to a probation officer; actual arrests, all use of seclusion or physical restraint as defined under Wis. Stat. §118.305, and other referrals to the juvenile justice system, and law enforcement.
7. Absent a real and immediate threat to student, teacher, or school safety, and absent the situations described herein where formal law enforcement intervention is deemed appropriate, building-level school administrators shall have final authority in the school buildings, school programs, and activities.
8. Absent a real and immediate threat to student, teacher, or public safety, incidents involving public order offenses including disturbance/disruption of schools or public assembly; loitering; profanity; and fighting that does not involve physical injury or weapon, would normally be considered school discipline issues to be handled by school officials, rather than criminal law issues warranting formal law enforcement intervention (e.g., issuance of a criminal citation, ticket, summon, or filing of delinquency petition).
9. The school administrator shall conduct his/her own investigation into whether the student violated school rules. This investigation may be conducted in conjunction with or separate from a PSL's investigation, but the school may not use the law enforcement records as the sole basis for disciplinary action.
10. The use of any department-issued body-worn camera by PSLs will conform with the law and Department policy, and the District will have access to review such policy. Body camera footage recorded on District property is considered a "law enforcement unit record" and will not be considered a pupil record maintained by the District unless such records

are obtained by the District pursuant to this Interagency Agreement or as otherwise authorized by Wisconsin law. Prior to the release of any video footage collected on district property, the school administration will be informed.

11. It is the intent of this agreement that PSLs will report and process all crimes originating on campus to the Police Department, as may be appropriate. Information on cases worked off-campus by either the Police Department or other agencies involving students of the District will be provided to the PSLs. In-school interviews will be arranged with the knowledge of administration. In the event, a criminal act may have been committed at school, at a school activity, or while using transportation services provided by the District, or has the potential to affect the school environment, or in the case of potential school disciplinary issues, the PSL or other law enforcement may question students at school within the following parameters:
  - The questioning shall occur in a time, place, and manner that is confidential and is least disruptive to the learning environment as practicable given the circumstances;
  - The PSL or other law enforcement officer after notifying the school administration, shall notify the student of the need for a meeting if the student is at school, except when otherwise agreed between the PSL and administration, where there is an emergency situation or law enforcement has a warrant or other court order;
  - A school administrator shall be offered the opportunity to be present during questioning unless otherwise agreed between the PSL and administration, unless prohibited by law or there is an emergency;
  - The PSL or school administrator or designee shall notify the parent/guardian of any questioning of students as soon as practicable and without delay after the questioning except where there are safety concerns to doing so or it is prohibited by law.
12. PSLs will communicate his/her actions with the District administration for law enforcement cases that occur outside the school environment.
13. PSLs may assist school administration in conducting searches at the request of school administration, as long as PSLs are assisting school officials in furtherance of the school's objectives in maintaining a safe and proper education environment as opposed to gathering evidence of a crime.
14. In the event a PSL assists school staff in the use of Physical Restraint or Seclusion as defined in Wis. State Stat. 118.305(1)(g) and (i), the PSL shall report such actions to the Principal or his designee in order to ensure compliance with Wis. State Stat. 118.305(4), and School Board Policy 447.1.
15. Students shall not be taken into custody at school, except where a student poses a real and immediate threat to student, teacher, or public safety or pursuant to a warrant.



- School principals shall be consulted before a student is being taken into custody where practicable.
- A juvenile's parent or guardian shall be notified of a child being taken into custody as soon as practicable.

### **Information Sharing**

16. The District designates the PSL a "school official" as provided in the Federal Educational Rights and Privacy Act (FERPA) 20 U.S.C. 1232g, and 118.125(2)(d) of the Wisconsin Statutes. A PSL may be provided access to student records information maintained by the school district only as needed by the PSL to perform his or her duties as a PSL. A PSL may also be granted access to student records information in the event of an emergency situation threatening the health or safety of a student or other individual. The PSL may only re-disclose student records information consistent with FERPA and Wisconsin pupil records law.  
Some acceptable access includes student schedules, parent/guardian contact information, or student pictures. If there is a question, PSL should consult with the administration.
17. Records created and maintained by a PSL to ensure the safety and security of persons or property in the school, or district, or for the enforcement of local, state, or federal laws or ordinances shall not be considered student records, even when such records may serve the dual purpose of enforcing school rules and are not subject to the same prohibitions of access or disclosure by the PSL. (This does not prohibit school personnel from complying with the notice and reporting requirements of seclusion or restraint of a student by the PSL as specified in 118.305(4) of the Wisconsin Statutes.)
18. District surveillance cameras are the property of the District. The PSL will not unilaterally access District surveillance cameras and may be granted access by District officials in accordance with FERPA and Wis. Stat. 118.125 for purposes of ensuring the health and safety of other individuals. If the PSL is granted access to surveillance video footage that falls under FERPA or Wis. Stat. 118.125, he or she may not re-disclose such information in accordance with the aforementioned statutes.
19. The District shall provide the PSL with access to a private office which shall contain a telephone that may be used for business purposes; a location for files and records that can be properly locked and secured; a desk with drawers, a chair, work table, filing cabinet, and office supplies; access to a computer; and other supplies and forms required in the performance of the PSL's duties. The District shall have access to the office. If the Department or PSL chooses to store department-provided or tactical equipment or supplies in the office, the PSL supervisor must notify the District Administrator, and the Department will be responsible for such equipment's security, care, and maintenance.
20. The PSL will not conduct a search of personal student devices without probable cause and exigent circumstances, a warrant or subpoena, or consent from the student or the student's

parents. District officials are permitted to search personal student devices if the District official has reasonable suspicion that the search will turn up evidence that the student has violated or is violating the law or school rules and is reasonable in scope.

Absent probable cause and exigent circumstances, a warrant or subpoena, or consent from the student or student's parents, the PSL may not access or conduct a search of District-issued devices without directives from a District official, in accordance with Wis. Stat. 995.55. Restrictions on educational institution access to personal Internet accounts. The District may request or require a student to disclose access information to the District in order for the institution to gain access to or operate an electronic communications device supplied or paid for in whole or in part by the District or in order for the District to gain access to an account or service provided by the institution, obtained by virtue of the student's admission to the educational institution, or used for educational purposes.

### **Police School Liaison Training Requirements**

21. The PSL is encouraged to join the National Association of Police School Liaisons.
22. The PSL shall receive training as is necessary to permit the PSL to effectively advance the school's educational mission in the context of his or her duties as PSL. Training topics, goals, and objectives shall be determined jointly by representatives of the school and the law enforcement agency. Training topics to consider may include school mission, vision, and values; child and adolescent development; students with disabilities; cultural competency, positive behavioral supports, strategies, and interventions; federal and state anti-discrimination and special education laws; the provisions of Wisconsin law pertaining to the use of seclusion and restraint by school personnel; trauma-informed practices; de-escalation techniques; compulsory attendance; suicide prevention; and school mental health.

Training shall be provided by the District in relevant areas including:

- Non-violent crisis response training
  - Run Hide Fight/ALICE training
  - Seclusion and restraint training
  - Title IX training in accordance with district policy
  - Special Education Program Overview Including Disciplinary for Students with Special Needs
23. The Department will provide the necessary training to maintain the State certifications required to be a law enforcement officer in the State of Wisconsin. The Department will supply and maintain the necessary equipment needed to fill the role.

### **Program Assessment**

24. The Police School Liaison Program will be assessed annually, and the evaluation will be conducted jointly between the Department and the Little Chute Area School District. The following areas will be used to evaluate the program:
- a. The success of established goals and objectives by the District.
  - b. Police-citizen contacts (citations, arrests, community and school outreach activities, etc.).
  - c. Community feedback.
  - d. Accomplishment of tasks agreed upon as part of any work plan written in conjunction with the principal.

### **Structure and Funding for the PSL**

25. The Village agrees to employ 1 full-time police officer to serve as PSL during the term of this Agreement, at Little Chute Area School District.
26. The Department may redeploy to officers designated as PSLs during the term of this Agreement for what it deems emergency situations. Under such circumstances, the District shall not be charged, under the provisions of this Agreement, for wages.
27. Consideration will be in accordance with the District calendar, and based off the agreed-upon hours the PSL is scheduled to be at the District, the District shall be responsible for cost-sharing of wage amounts provided to the PSL as follows:
- a. The District shall be responsible for an amount equal to the PSL's fully loaded rate~~hourly wage~~, as set forth in the contract between the Department and the Union, multiplied by the number of hours worked by the PSL at the District or in the performance of the PSL's District-related duties.
  - b. The District shall be responsible for an amount equal to the PSL's overtime rate, as set forth in the contract between the Department and the Union, multiplied by the number of hours of overtime worked by the PSL at the District or in the performance of the PSL's District-related duties.
  - c. If the PSL performs services related to his or her PSL duties outside of the PSL's regularly scheduled 40 hours per week, these hours are considered overtime. Potential overtime hours may include but are not limited to, assignments related to before or after school activities, athletic events, and special functions such as prom or graduation. Overtime hours must be requested or authorized in advance by the District Administrator or Principal, or his or her designee.
  - d. The District is not responsible for the payment of leave time used by the PSL. If the PSL is pulled away from District responsibilities during the 40-hours per week, those number of hours worked away from the district will be recorded and subtracted from the amount owed to Fox Valley Metro.

- e. Within ten (10) business days of the end of each quarter (March 31, June 30, September 30, and December 31), the Village will invoice the District. The invoice shall include documentation of the hours billed as provided by the Department. All invoices are payable within 30 days of issuance.

### **Employment of the PSL**

- 28. PSLs shall be employees of the Department and shall be subject to the administration, supervision, and control of the Department. At no time shall the PSLs be considered employees of the District.
- 29. PSLs shall be subject to all personnel policies and practices of the Department except as such policies or practices may be modified by the terms and conditions of this agreement.
- 30. The Department, in its sole discretion, shall have the power and authority to discharge and discipline the PSL.
- 31. The individual assigned to be the PSL for the District shall be in collaboration with the Department and the District. The District shall participate in the selection process when possible. Should the parties not agree on the PSL candidate, either party may terminate the Agreement.
- 32. The District Administrator may request the immediate removal and/or reassignment of an officer from the program.

### **Chain of Command**

- 33. As employees of the Department, PSLs will be subject to the chain of command within the Department.  
  
In the performance of their duties, PSLs shall coordinate and communicate with the District Administrator or their designee.
- 34. PSLs shall be overseen by the school administrators of their respective schools. In the case of conflicts that may arise will be mediated by the District Administrator or his/her designee in coordination with the PSL supervisor, on issues regarding school policy and procedure. Feedback will be sought by the district as part of the PSL's evaluation.

### **Work Hours**

- 35. PSLs will be assigned to buildings and working hours to match.
- 36. The PSL shall be at their assigned school during normal school hours of operation, however, if the PSL is unable to be at the District or needs to leave the District, those times

will be coordinated with the principal or his/her designee and the PSL supervisor. The PSL shall perform duties as directed by their supervisor when school is not in session.

38. In the event the PSL must be absent from the schools, the Department agrees to assign another officer to substitute for the absent PSL if requested by the District when the absence will be more than three days, unless the Department lacks the personnel needed to provide a substitute PSL.
39. It is understood and agreed that time spent by PSLs attending municipal court, juvenile court, and/or criminal cases arising from and/or out of their employment as a PSL shall be considered as hours worked under this Agreement
40. In the event a PSL is absent from work, the PSL shall notify his or her supervisor in the Police Department and an administrator of the school district including building principals and the District Administrator.

### **Uniform**

41. PSLs will wear the Department uniforms, business casual, and formal with appropriate logos and name badges depending on the time of the school year, the type of activity or program, and the requests of the District and/or Department.
42. PSLs will wear Department-issued weapons in accordance with Department policy.

### **Duration and Termination**

43. This Agreement shall become effective immediately upon execution by signature and remain effective until July 31, 2026, whereupon it must be reviewed by all parties or their successors before being renewed.
44. Termination of the Agreement. This Agreement may be terminated by either Party upon thirty (30) days written notice that any Party has failed to substantially perform in accordance with the terms and conditions of this Agreement. This Agreement may also be terminated without cause by either Party upon ninety (90) days written notice. Termination of this Agreement may only be accomplished as provided herein.

### **Insurance and Indemnification**

45. The Department shall purchase and maintain insurance to be in effect at all times throughout the term of this Agreement. The insurance required by this provision includes but is not limited to the following types of policies and shall be written for not less than the following limits, or greater if required by law. The Department must provide evidence of the following insurance coverage:

- a. Worker's Compensation - Statutory coverage as provided by Wisconsin law.
  - b. Comprehensive General Liability Coverage -
  - c. Bodily injury - \$1,000,000 each person, \$1,000,000 each accident, \$2,000,000 aggregate; and
  - d. Property damage - \$1,000,000 each accident, \$2,000,000 aggregate.
  - e. \$2,000,000 Umbrella Excess Limits Liability Insurance; policy must include coverage for sexual abuse and molestation.
  - f. All policies must be written with carriers who are licensed to write business in the State of Wisconsin. Carriers must maintain an AM Best Rating of A- or better.
  - g. Little Chute Area School District shall be included as additional insureds on insurance policies.
  - h. All policies required above shall include an endorsement that provides 30 days written notice of cancellation or material change from the insurance carrier.
  - i. Prior to commencing work under this Agreement, and then upon any change or renewal of any insurance coverage throughout the Agreement term, the Department shall provide the District with a certificate of insurance. Copies of required additional insurance must be included with the certificate of insurance.
46. The Department agrees to hold the District, its agents, and employees free, harmless, and indemnified from and against any and all claims, suits, or causes of actions arising from or in any way out of the performance of the duties of the PSL or the PSL Program.

### **Miscellaneous**

47. **Modification.** This document constitutes the full understanding of the Parties and no terms, conditions, understandings, or agreement purporting to modify or vary the terms of this Agreement shall be binding unless hereafter made in writing and signed by the Parties.
48. **Non-Assignment.** This Agreement, and each covenant herein, shall not be capable of assignment unless the express written consent of the School Board and Village Board is obtained.
49. **Merger.** This Agreement constitutes a final written expression of all the terms of this Agreement and is a complete and exclusive statement of those terms.
50. **Severability.** The invalidity or unenforceability of any provisions of this Agreement shall not affect the validity or enforceability of any other provision of this Agreement.

51. Compliance of Laws. The Parties shall comply with all applicable federal, state, and local laws, codes, rules, and regulations in performing their respective duties, responsibilities, and obligations pursuant to this Agreement.
52. Entire Agreement. This Agreement constitutes the complete understanding between the Department and District as to all matters addressed herein. This Agreement shall supersede all prior agreements, understandings, or practices concerning such matters.
53. Governing Law and Venue. This Agreement shall be governed by, and be construed in accordance with, the laws of the State of Wisconsin without regard to the law of conflicts. Any claim, lawsuit, or proceeding filed in relation to this Agreement shall be venued exclusively in the Courts of Outagamie County, Wisconsin, and each Party waives any and all defenses related to forum non conveniens.
54. Waiver. Any failure of a Party to enforce, for any period of time, any of the provisions under this Agreement shall not be construed as a waiver of such provisions or of the right of said Party thereafter to enforce each and every provision under this Agreement.

Signed on the \_\_\_\_ of \_\_\_\_\_, 2025

\_\_\_\_\_  
Heidi Schmidt, District Administrator  
Little Chute Area School District

\_\_\_\_\_  
By:  
Fox Valley Metro Police Department

\_\_\_\_\_  
By:  
Village of Little Chute



November 7, 2025

**RE: Notice of Public Hearing and Public Informational Meeting  
2026 Village of Little Chute, Miami Circle-Concrete Street  
and Utility Reconstruction**

**Miami Circle** – From W. Florida Avenue to Vandebroek Road (Paving & Utilities)

Dear Property Owner/Resident:

The Village of Little Chute will be re-constructing the concrete pavement and underground public utilities on Miami Circle in the Spring of 2026. You are invited to attend the Public Informational Meeting to discuss this project and how it will impact you. The Village of Little Chute engineering staff will be available to provide information and answer questions that you may have regarding this project.

**Public Informational Meeting** for *Miami Circle Concrete Paving and Public Utility Improvements* is scheduled as follows:

Date: Wednesday, December 3, 2025  
Time: 6:00 pm  
Location: Village Hall, Village Board Room  
108 W. Main Street, Little Chute

Preliminary plans will be available at the meeting to review and discuss with Engineering Staff.

The Public Hearing for the project will immediately follow the Public Informational Meeting where the Village Board of Trustees will hear all persons interested, or their agents or attorneys, concerning matters regarding Special Assessments/Hookups Fees for the project.

**Public Hearing** for *Miami Circle Concrete Paving and Public Utility Improvements* is scheduled as follows:

Date: Wednesday, December 3, 2025  
Time: 6:15 pm  
Location: Village Hall, Village Board Room  
108 W. Main Street, Little Chute



A notice of the Public Hearing has been published in the Times Villager and will appear in the Wednesday, November 12, 2025 edition of this newspaper.

Residents are encouraged to attend these meetings to address any questions or concerns. If you are unable to attend or if you have any questions, please do not hesitate to contact the Engineering Department at (920) 423-3865.

The Engineer's Report, prepared by the Village of Little Chute Engineer, includes preliminary plans, specifications, an opinion of the entire and complete cost of installation, with proposed preliminary assessments for the affected properties. This information is currently on file in the Village Clerks Office located at 108 W. Main Street and may be inspected any business day, beginning November 12, 2025, between the hours of 8:00 a.m. and 4:30 p.m.

Requests from persons with disabilities who need assistance to participate in this meeting should be made with as much notice as possible to the Village Clerk's Office at 108 West Main Street, Little Chute, WI 54140, (920) 423-3850, e-mail: [beau@littlechutewi.org](mailto:beau@littlechutewi.org).

Sincerely,

Matthew Woicek, P.E.

*Matthew Woicek*

**Public Works Department**

**Assistant Director of Public Works**

Office: 920.423.3865

**VILLAGE OF LITTLE CHUTE**  
(Outagamie County, State of Wisconsin)

**NOTICE OF PUBLIC HEARING**

**PROJECTS; 2026** Concrete Paving & Utility Construction – Miami Circle and Arthur Street

**SPECIAL ASSESSMENT AREA OF PROJECT:**

**Miami Circle** – From W. Florida Avenue to Vandenbroek Road (Concrete Paving & Utilities)

**Arthur Street** – From W. McKinley Avenue to South Termini (Concrete Paving & Utilities)

**NOTICE OF PUBLIC HEARING ON PROPOSED SPECIAL ASSESSMENTS FOR INSTALLATION AND CONSTRUCTION OF PUBLIC IMPROVEMENTS, AS SET FORTH ABOVE, HAVING BEEN CONSTRUCTED/INSTALLED WITHIN THE VILLAGE OF LITTLE CHUTE.**

**PLEASE TAKE NOTICE** that the Village Board of Trustees, Village of Little Chute, as located in Outagamie County, State of Wisconsin, has declared its intention to exercise its police powers under Chapter(s) 61.36 and as applicable, 66.0701, 66.0703, and 66.0907, of the Wisconsin Statutes and Village Ordinances, as amended from time to time, to levy special assessments/hookup fees upon property located within the above-described area for the purpose of paying for the installation and construction of the project set forth above. That all said special assessment/hookup fees, when levied, shall be based upon a reasonable basis, being total and complete construction costs, including engineering fees, attorneys' fees, publication costs, Village administrative costs and fees, and all other costs related to said special assessment proceedings.

The Report of the Village Engineer for the Village of Little Chute showing preliminary plans and specifications, an estimate of the entire and complete cost of installation and construction and proposed assessments, is on file in the Administrative Offices and Engineering Department, 108 West Main Street and may be inspected on any business day, beginning November 12, 2025, between the hours of 8:00 a.m. to 4:30 p.m.

**YOU ARE FURTHER NOTIFIED** that the Village Board of Trustees, of the Village of Little Chute, **will hear all persons interested**, or their agents or attorneys, concerning matters contained in the Preliminary Special Assessment/Hookup Fees Resolution and the Village Engineer's Report on:

**Wednesday, December 3, 2025, at 6:15 p.m. in the Village Board Room at the Little Chute Village Hall, 108 W. Main Street, Little Chute, WI 54140**

All objections will be considered at said hearing and thereafter, the amount of special assessments/hookup fees will be determined by the Village Board of Trustees pursuant to any Final Assessment Resolution levying special assessments/hookup fees as thereafter voted upon, passed and adopted by the Village Board of Trustees.

Dated this 6th day of November 2025

Beau Bernhoft, Village Administrator

**VILLAGE OF LITTLE CHUTE**

Requests from persons with disabilities who need assistance to participate in this hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3850, email: [Beau@littlechutewi.org](mailto:Beau@littlechutewi.org)

Publish: November 12, 2025

**VILLAGE OF LITTLE CHUTE  
VILLAGE BOARD  
NOTICE OF PUBLIC HEARING  
ZONING CHANGE REQUEST**

**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held on December 3, 2025 at 6:00 PM by the Village Board, for the request of zoning change from CH Commercial Highway District to RM Multi-Family District to accommodate a proposed duplex condominium development.

Address: 341 & 401 Patriot Drive

Parcel #: 260446200 and 260446300

Legal Description:

Parcel 260446200: SCHUMACHER BUSINESS PARK LOT 6

Parcel 260446300: SCHUMACHER BUSINESS PARK LOT 7

Current Owners: 4 Roberts, LLC and Romenesko Developments, Inc.

Applicant: Phil Romenesko

DATE OF HEARING: **December 3, 2025**

TIME OF HEARING: 6:00 PM

PLACE OF HEARING: Village Hall Board Room – 108 West Main Street, Little Chute, WI 54140

A copy of the proposed zoning map may be seen at the Administrative Office at the Village Hall. If you have any questions, please contact Community Development Director Jessica Titel at (920) 423-3870 or Village Administrator Beau Bernhoft at (920) 423-3850.

Publish: November 19 and November 26

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

## **VILLAGE OF LITTLE CHUTE**

### **Notice of Public Hearing**

**NOTICE IS HEREBY GIVEN** that the Village Board will hold a Public Hearing at Little Chute Village Hall on December 3, 2025 at 6:00 p.m. to hear comments from the public about the proposed Schumacher Business Park Condominium Plat.

This hearing is to collect public input and answer questions for a proposed 18-unit condominium plat on 2.74 acres. The development will include 9 duplex buildings for residential use. A copy of the Condominium Plat is available in the Clerks Office at Village Hall.

Address: 341 & 401 Patriot Drive

Parcel #: 260446200 and 260446300

Current Owners: 4 Roberts, LLC and Romenesko Developments, Inc.

Applicant: Phil Romenesko

DATE OF HEARING: December 3, 2025

TIME OF HEARING: 6:00 PM

PLACE OF HEARING: Village Hall Board Room – 108 West Main Street, Little Chute, WI 54140

If you have any questions, please contact Community Development Director Jessica Titel at (920) 423-3870.

Publish: November 26

Any person wishing to attend who, because of a disability, requires special accommodations, should contact the Village Clerk, 108 W. Main St., Little Chute, (920) 788-7380, at least 48 hours prior to the meeting so that arrangements can be made.



## Item For Consideration

**Village Board Meeting Date:** 12/3/25

**Prepared On:** 11/24/25

**Agenda Item Topic:** Rezoning Request – Schumacher Condominiums

**Prepared By:** Jessica Titel, Community Development Department

**Applicant:** Scott Anderson – Davel Engineering & Environmental, Inc.

**Owners:** 4 Roberts, LLC and Romenesko Developments, Inc.

**Address/Parcel #:** 341 Patriot Drive & 401 Patriot Drive / Parcel #s: 260446200 and 260446300

**Request:** A request has been submitted to rezone the subject properties from CH Commercial Highway District to RM Multi-Family District to accommodate a proposed duplex condominium development.

**Background:** The requests are being made to accommodate the proposed Schumacher Condominium Development. That development will include 9 duplex buildings for a total of 18 units. The development will include an internal private drive to access each unit. The land is currently undeveloped and is adjacent to the newer Founders Estates Subdivision.

This Rezoning Request is being filed in conjunction with the Schumacher Condominium development on the subject parcels. The project includes applications for: Condominium Plat, Site Plan, Rezoning and Certified Survey Map. All of which have been filed concurrently and will be presented at the 11/10 Plan Commission meeting and the 12/3 Village Board meeting.

The Plan Commission recommended approval of the rezoning at their November 10, 2025 meeting.

**Comprehensive Plan Consistency:** The Village of Little Chute Comprehensive Plan 2016-2036 and Future Land Use Map are intended to guide Village growth and development in an organized, efficient manner. Evaluating the proposed rezoning for consistency with relevant goals, objectives, and policies



## Item For Consideration

is necessary in determining if changes to the Zoning Map are appropriate. The proposed rezoning appears to be consistent with the following excerpts from the Village's Comprehensive Plan:

- Housing Chapter Recommendation: *The Village should increase the diversity of housing options in order to attract the needs associated with the retiring baby boomers and the millennial generation. Diversity will likely mean more multi family, town house or smaller footprint owner occupied units.*
- Land Use Chapter Recommendation: *Annexations will likely occur to accommodate future single-family, two-family and multifamily housing units in the village. Presently, there is limited land available in the village zoned for single-family housing units and served by public utilities. Likewise, land is quite limited to accommodate multi-family housing.* The proposed rezoning will support the development of new, much needed, housing that will use existing infrastructure.
- Land Use Chapter Recommendation: *The village is well positioned to accommodate a variety of market demands for housing, commercial, industrial and recreational development which can be attractive to retain existing residents while appealing to new future residents.*

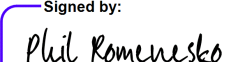
**RECOMMENDATION/VILLAGE BOARD ACTION:** Staff is recommending approval of the proposed rezoning and adoption of Ordinance No. 10, Series 2025.

Respectfully Submitted,  
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$450
Receipt #	
Account #	101-34110
Date Received	

## Rezoning Request

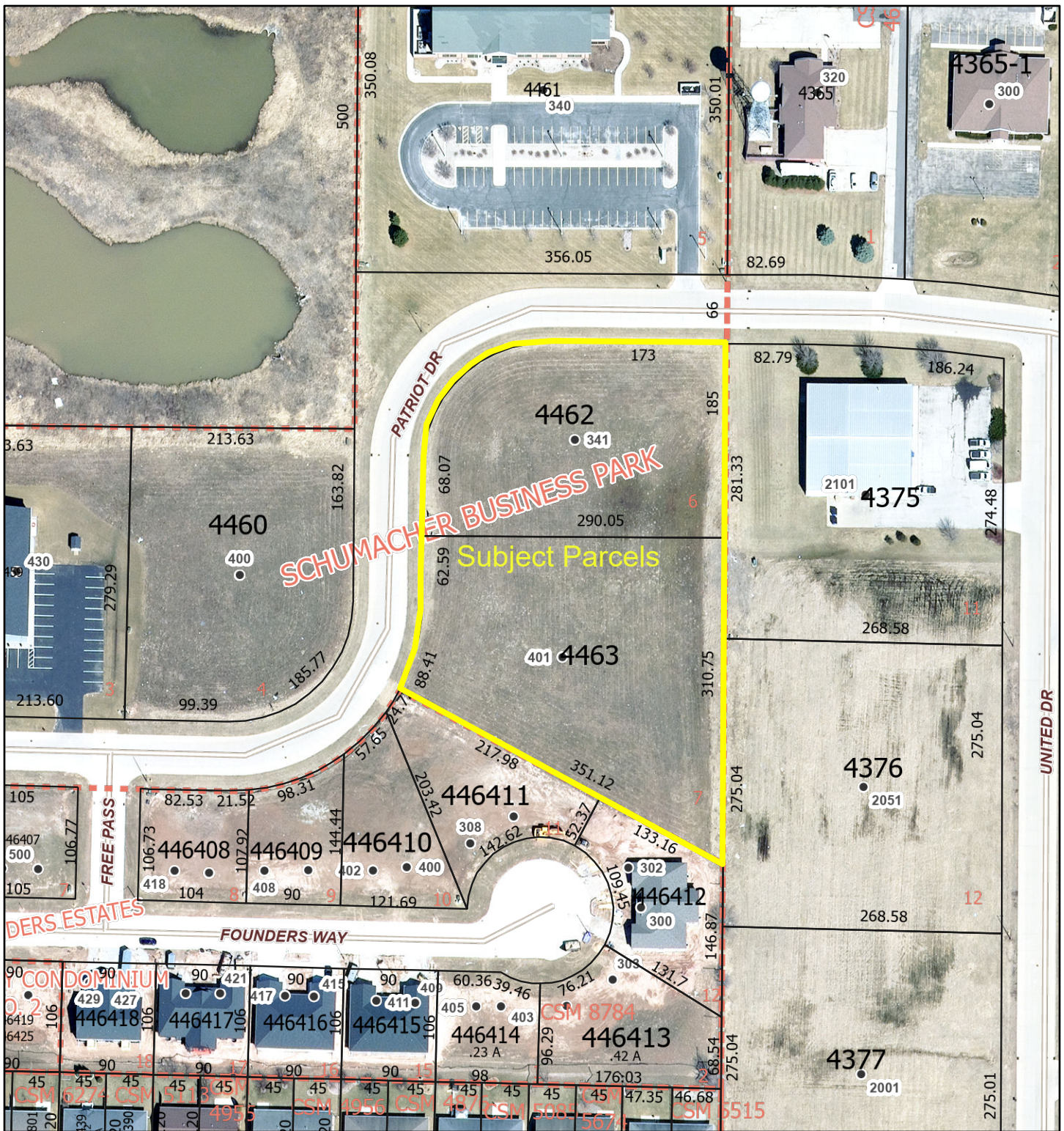
PROPERTY OWNER		APPLICANT			
Name: Romenesko Developments Inc.		Name: Scott Andersen			
Mailing Address: 1818 E Wisconsin Ave.		Company: Davel Engineering & Environmental Inc.			
City/State/Zip: Appleton, WI 54911		Address: 1164 Province Terrace			
Phone: (920) 731-5850		City/State/Zip: Menasha, WI 54952			
Email: office@rdi2build.com		Phone: (920) 560-6569			
		Email: scott@davel.pro			
PROPERTY & PROJECT INFORMATION					
Parcel Number: 260446200 & 260446300					
Site Address/Location: 341 & 401 Patriot Dr., Little Chute, WI 54140					
Legal description of the land proposed for rezoning (also provide electronic copy in Word format): Schumacher Business Park Lot 6 & Lot 7					
Current Zoning: Commercial Highway District		Proposed Zoning: Residential Multi-Family			
Current Use(s): Vacant		Proposed Use(s): Two Family Condominium			
Total acreage/square feet: 2.75 acres					
PLEASE STATE THE REASON(S) AND JUSTIFICATION FOR THE REZONING REQUEST					
<p>Create condominium plat with 9 buildings (18 units).</p> <p>Romenesko Developments and 4Roberts are partnering on this project. Parcel 260446300 is owned by Romenesko Developments, Inc. Parcel 260446200 is owned by 4Roberts.</p>					
APPLICANT STATEMENT					
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.					
Owner/Agent Signature:		Date:			
Signed by:  EBAA4AB1F4B3404...		10/20/2025			

Village of Little Chute  
108 W Main St.  
Little Chute, WI 54140

Community Development Department  
PH: (920) 423-3870  
Email: jessica@littlechutewi.org



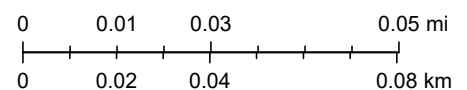
## Vicinity Map - Schumacher Condominiums



11/4/2025, 3:37:47 PM

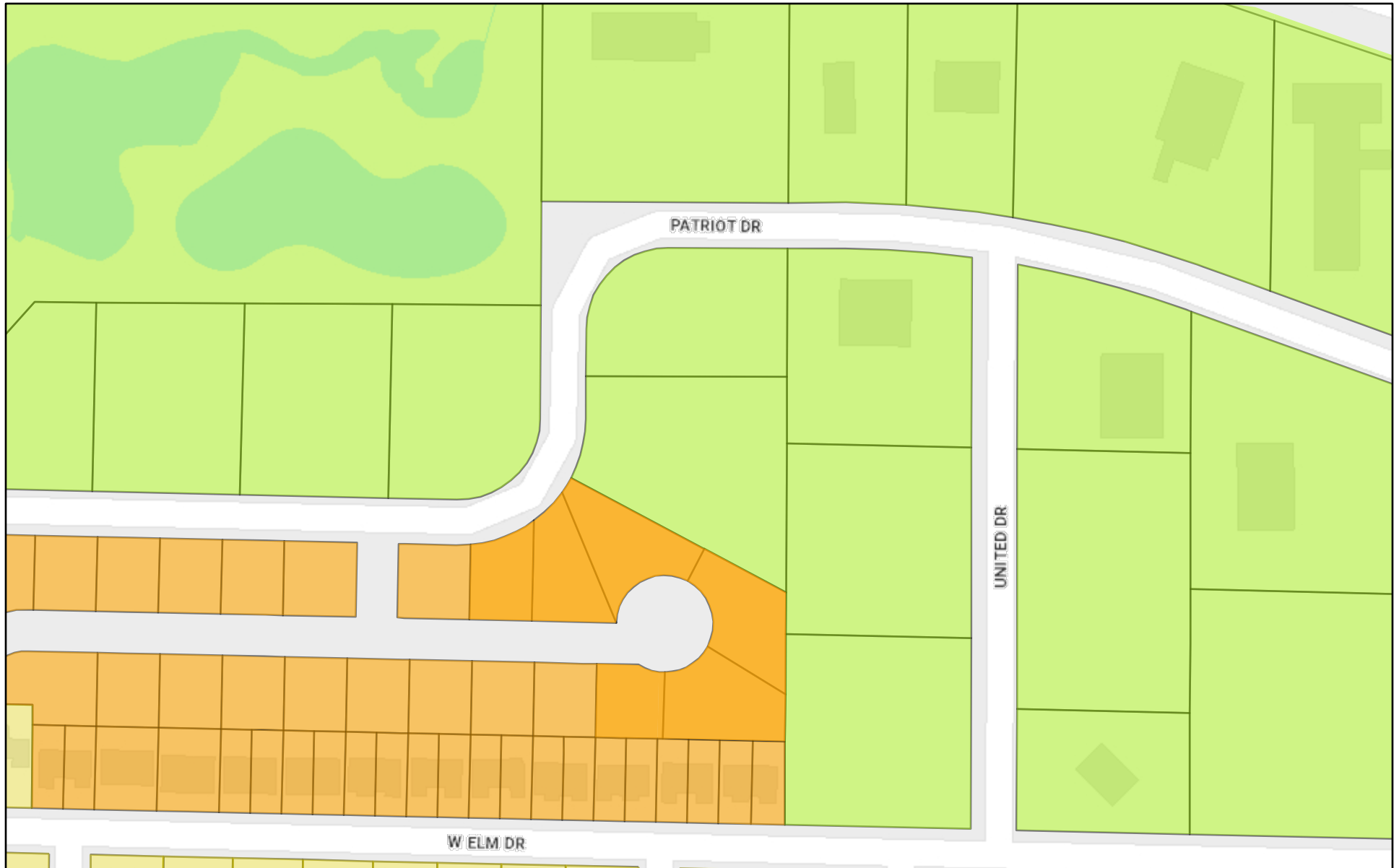
1:2,257

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# Zoning Map

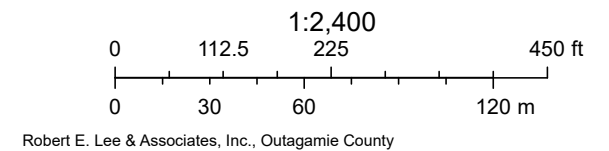


11/4/2025, 4:37:38 PM

## Zoning

- CH: Commercial Highway District
- RC: Conventional Single-Family District

- RT: Two-Family Residential District
- Parcels



**VILLAGE OF LITTLE CHUTE**

**ORDINANCE NO. 10, SERIES OF 2025**

AN ORDINANCE AMENDING CHAPTER 44, MUNICIPAL CODE OF THE VILLAGE OF LITTLE CHUTE AND THE OFFICIAL ZONING MAP, WHICH IS A PART THEREOF, BY MAKING THE FOLLOWING CHANGES IN THE DISTRICT AS NOW PROVIDED.

**WHEREAS**, a request from 4 Roberts, LLC and Romenesko Developments, Inc, property owners, to rezone the properties at 341 & 401 Patriot Drive (Parcel #s 260446200 and 260446300) from CH Commercial Highway District to RM Multi-Family District has been referred to the Village of Little Chute Plan Commission for said Commission's recommendation; and

**WHEREAS**, at their meeting on November 10, 2025, the Village of Little Chute Plan Commission has recommended the following actions; and

**WHEREAS**, the Village Board of Trustees finds the following actions to be consistent with overall intent of the adopted guidelines within the Village Comprehensive Plan's goals, objectives, policies and recommendations; and

**WHEREAS**, the required public hearing regarding the rezoning has been held before the Village Board of Trustees on December 3, 2025.

**NOW, THEREFORE**, the Village Board of Trustees, Village of Little Chute, do ordain as follows:

**Section 1.** That the Zoning Ordinance, Chapter 44 Zoning, Municipal Code of the Village of Little Chute, and the official zoning map which is a part thereof, is hereby amended, by making the following changes:

- (1) The following described property shall now be officially zoned as RM Multi-Family District;

Parcel #s 260446200 and 260446300

More particularly described as follows:

SCHUMACHER BUSINESS PARK LOT 6 AND SCHUMACHER BUSINESS PARK LOT 7

Said area contains 2.7410 acres of land more or less.

**Section 2.** That this Ordinance shall be in full force and effect from and after its passage as provided by law, and upon its passage, the Village Zoning Administrator is authorized and directed to make the necessary changes to the official zoning map of the Village of Little Chute, all in accordance with this Ordinance.

**Section 3. Recorded Vote.** \_\_\_\_ For \_\_\_\_ Against

Date introduced, approved and adopted: December 3, 2025

**VILLAGE OF LITTLE CHUTE**

By \_\_\_\_\_  
Michael R. Vanden Berg, Village President

By \_\_\_\_\_  
Beau Bernhoft, Village Administrator/acting Clerk

**VILLAGE OF LITTLE CHUTE**

**RESOLUTION NO. 25, SERIES OF 2025**

**RESOLUTION APPROVING  
SCHUMACHER BUSINESS PARK CONDOMINIUM PLAT**

**WHEREAS**, 4 Roberts, LLC and Romenesko Developments, Inc., property owners, have presented a condominium plat to the Village of Little Chute Board of Trustees as prepared by Scott Anderson, a registered land surveyor; and

**WHEREAS**, the Village of Little Chute Plan Commission has recommended in favor of adoption of said condominium plat; and

**WHEREAS**, the Village of Little Chute Board of Trustees finds the condominium plat substantially complies with the adopted Comprehensive Plan; and

**WHEREAS**, the Village of Little Chute Board of Trustees finds the condo plat conforms to the adopted Official Map.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of Trustees as follows:

1. That the Schumacher Business Park Condominium Plat, a copy of which is attached, is hereby approved.

Date introduced, approved and adopted: December 3, 2025

**VILLAGE OF LITTLE CHUTE**

By: \_\_\_\_\_  
Michael R. Vanden Berg, Village President

Attest: \_\_\_\_\_  
Beau Bernhoft, Village Administrator

# Schumacher Business Park Condominium

Lot 1, Certified Survey Map No. \_\_\_\_\_, Located in Part of the Southwest 1/4 of  
the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East,  
Village of Little Chute, Outagamie County, Wisconsin.

Notes:

Limited Common Elements are depicted on this plat as "L.C.E." and are part attached to the unit which it is adjacent to.

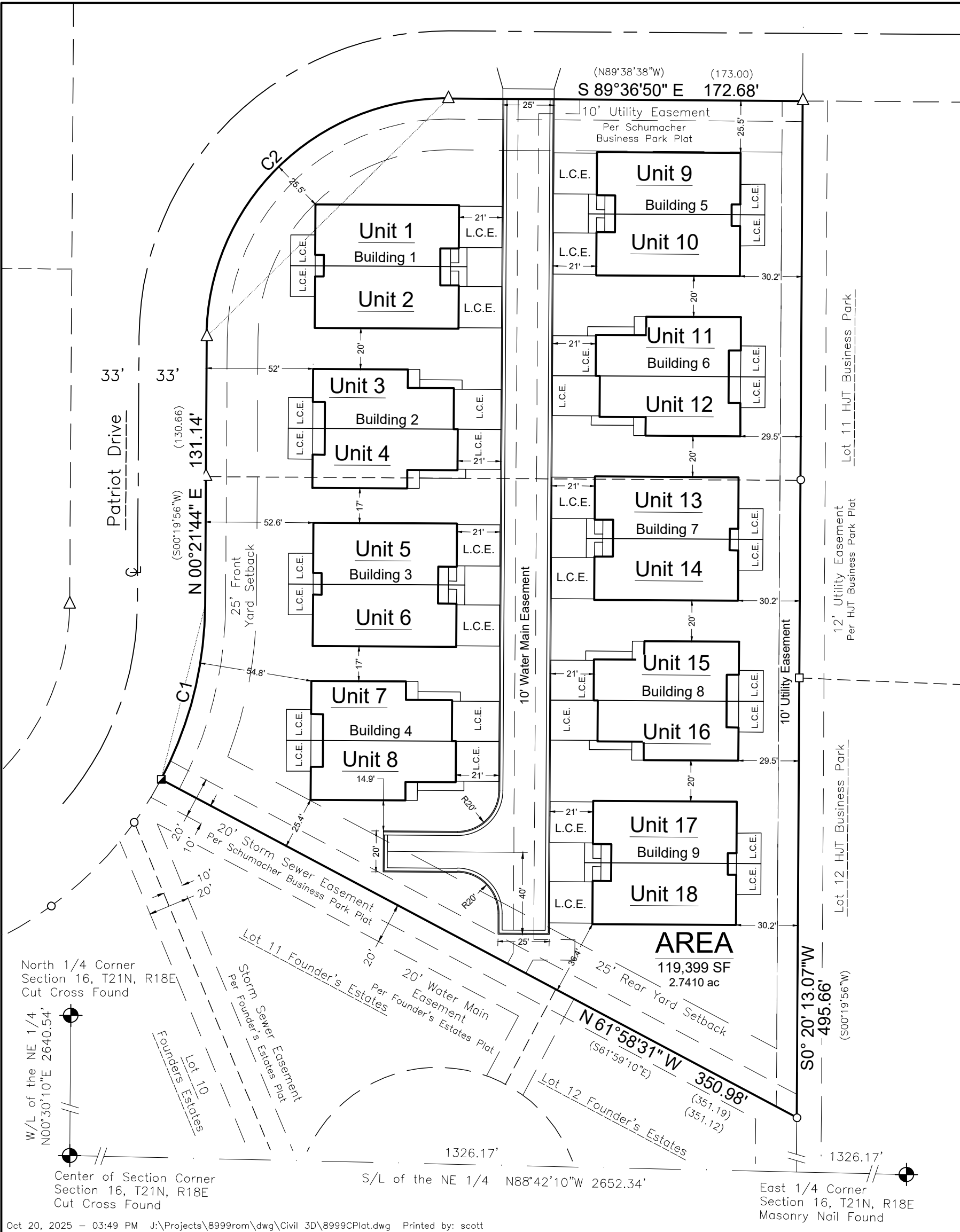
Limited Common Elements Include:  
Patios, Service Walks, Stoops and Driveways

All areas within the condominium boundary are Common Elements unless depicted as "Unit" or "L.C.E.".

Surveyors Certificate

I, Scott R. Andersen, Professional Land Surveyor, do hereby certify that this plat is a correct representation of the condominium described and that the identification and location of each unit, limited common elements, and the common elements can be determined from this plat.

Scott R. Andersen,  
Wisconsin Professional Land Surveyor No. S-3169

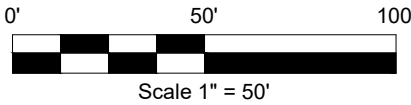


## LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- △ 1 1/4" Rebar Found
- 3/4" Rebar Found
- 2" Iron Pipe Found
- 1" Iron Pipe Found
- ⊙ Government Corner

## CURVE TABLE

Curve	Radius	Chord Direction		Chord Length		Arc Length		Central Angle		Tangent Bearing-in/out	(Tangent)
C1	183.00'	N 14°14'24" E	(S14°10'23"W)	87.20'	(87.56')	88.04'	(88.41')	27°33'56"	(27°40'54")	N28°01'22"E /N00°27'25"E	(27°40'54")
C2	117.00'	N 45°22'27" E	(N45°49'07"E)	165.50'	(166.86)	183.83'	(185.77")	90°01'26"	(90°58'22")	N00°21'44"E /S89°36'50"E	(90°58'22")



Bearings are referenced to the South line of the  
Northeast 1/4, Section 16, T21N, R18E,  
assumed to bear N00°30'10"E, base on the  
Outagamie County Coordinate System.

File: 8999CPlat.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 1 of 2



**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866  
www.davel.pro

# Schumacher Business Park Condominium

All of Lot 1, CSM \_\_\_\_\_, Located in Part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin.

### Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Little Chute and Outagamie County, and under the direction of Romenesko Development Inc, the property owners of said land, I have surveyed, combined and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 1 Certified Survey Map No. \_\_\_\_\_ (Doc. \_\_\_\_\_, located in part of the Southwest 1/4 of the Northeast 1/4 of Section 16 of Section 16, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin, containing 119,399 Square Feet (2.7410 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169

## Village Board Approval Certificate

Approved by the Village of Little Chute, Outagamie County, Wisconsin, by the Village Board on \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Village President \_\_\_\_\_
Print Name \_\_\_\_\_
Date \_\_\_\_\_

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Little Chute.

---

Village Clerk

---

Print Name

---

Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Little Chute and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer

Print Name

Date

County Treasurer

Print Name

Date

### Corporate Owner's Certificate

Romensko Developments, Inc., a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, combined and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

### Village of Little Chute

IN WITNESS WHEREOF, the said Romensko Developments, Inc., has caused these presents to be

signed by its authorized representatives, located at, \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

In the Presence of: Romensko Developments, Inc.

By \_\_\_\_\_ By \_\_\_\_\_

print name \_\_\_\_\_ print name \_\_\_\_\_

Title\_\_\_\_\_

State of Wisconsin )  
 )ss  
 \_\_\_\_\_ County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

My commission expires: \_\_\_\_\_.

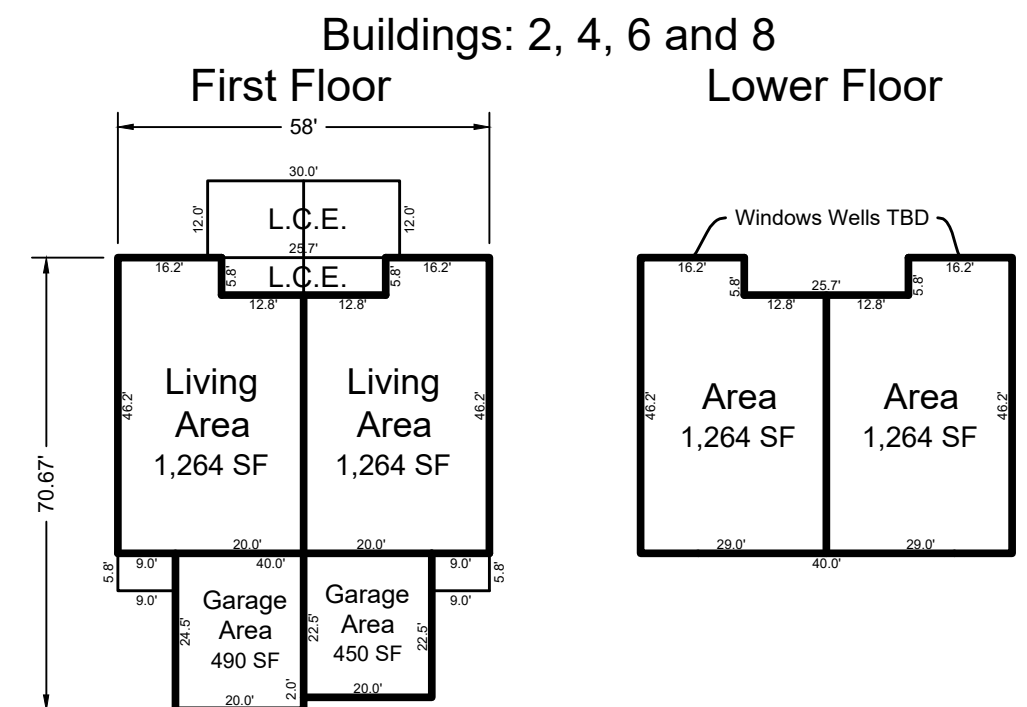
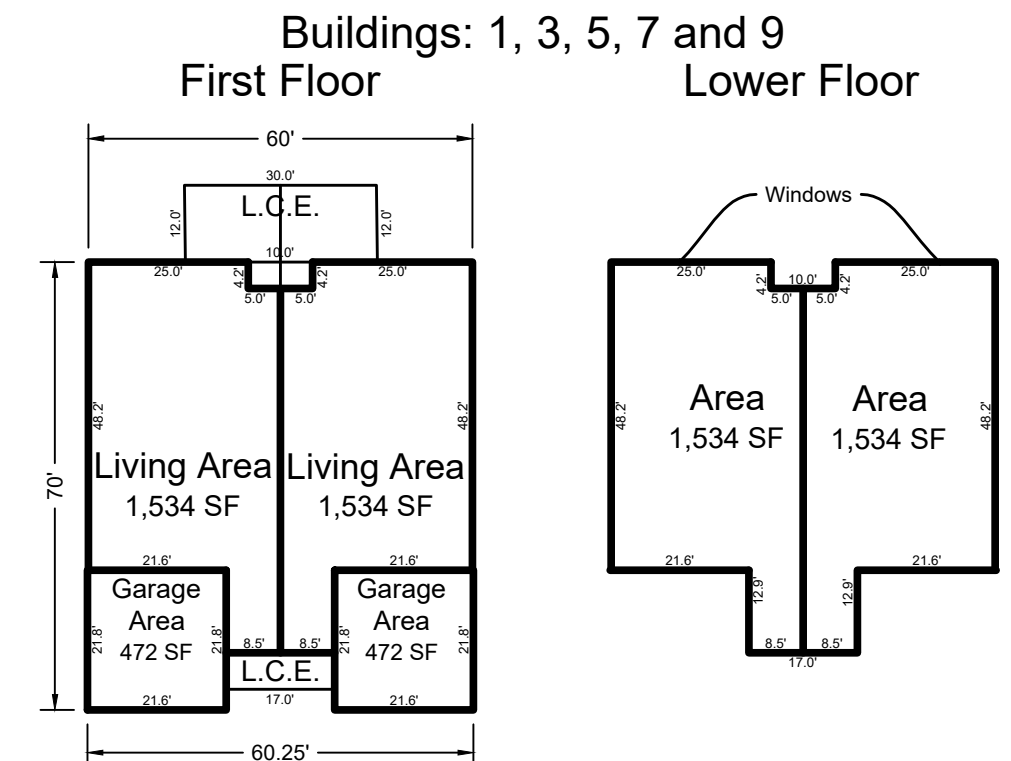
Notary Public, Wisconsin

This Condominium Plat is contained wholly within the property described in the following recorded instruments:

the property owners of record:  
Romenesko Developments, Inc.

Recording Information:  
Doc. \_\_\_\_\_

Parcel Number(s):



\*Dimensions are to the exterior foundation wall, not including the brick ledge.\*

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File: 8999CPlat.dwg  
Date: 10/20/2025  
Drafted By: scott  
Sheet: 2 of 2



**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**  
*Civil Engineers and Land Surveyors*  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866  
[www.davel.pro](http://www.davel.pro)



## Item For Consideration

**Village Board Meeting Date:** 12/3/25

**Prepared On:** 11/25/25

**Agenda Item Topic:** Site Plan - Schumacher Condominiums

**Prepared By:** Jessica Titel, Community Development Department

**Applicant:** Mitchell Bauer – Davel Engineering & Environmental, Inc.

**Owner:** 4 Roberts, LLC and Romenesko Developments, Inc.

**Address/Parcel #:** 341 Patriot Drive & 401 Patriot Drive / Parcel #s: 260446200 and 260446300

**Request:** An application for Site Plan review has been submitted for the construction of an 18-unit duplex condominium development.

**Zoning Classification:** Proposed to be rezoned from CH Commercial Highway to RM Multi-Family Residential. See the Rezoning request IFC that is being presented at this 11/10 Plan Commission meeting as well.

**Background/Project Summary:** The proposed development will include 9 duplex buildings for a total of 18 units on 2.74 acres. The development will include an internal private drive to access each unit. Parking is provided in attached garages and driveways in front of the garages. The water main extension to serve the development will be public and a Developers Agreement will be prepared for installation by the developer. The land is currently undeveloped and is adjacent to the newer Founders Estates Subdivision, which includes 23 lots zoned for two-family development.

This Site Plan application is being filed in conjunction with the Schumacher Condominium development on the subject parcels. The project includes applications for: Condominium Plat, Site Plan, Rezoning and Certified Survey Map. All of which have been filed concurrently and will be presented at the 11/10 Plan Commission meeting and the 12/3 Village Board meeting.

The Plan Commission recommended approval of the Site Plan at their November 10, 2025 meeting.



## Item For Consideration

**Recommendation/Board Action:** Staff is recommending approval of the Site Plan, subject to the approval of the rezoning request and satisfaction of all staff comments.

Respectfully Submitted,  
Jessica Titel, Community Development Director



FOR OFFICE USE	
Application #	
Permit fee	\$600
Receipt #	
Account #	4-407
Date Received	

## Site Plan Review Application (new construction, additions > 10,000 square feet)

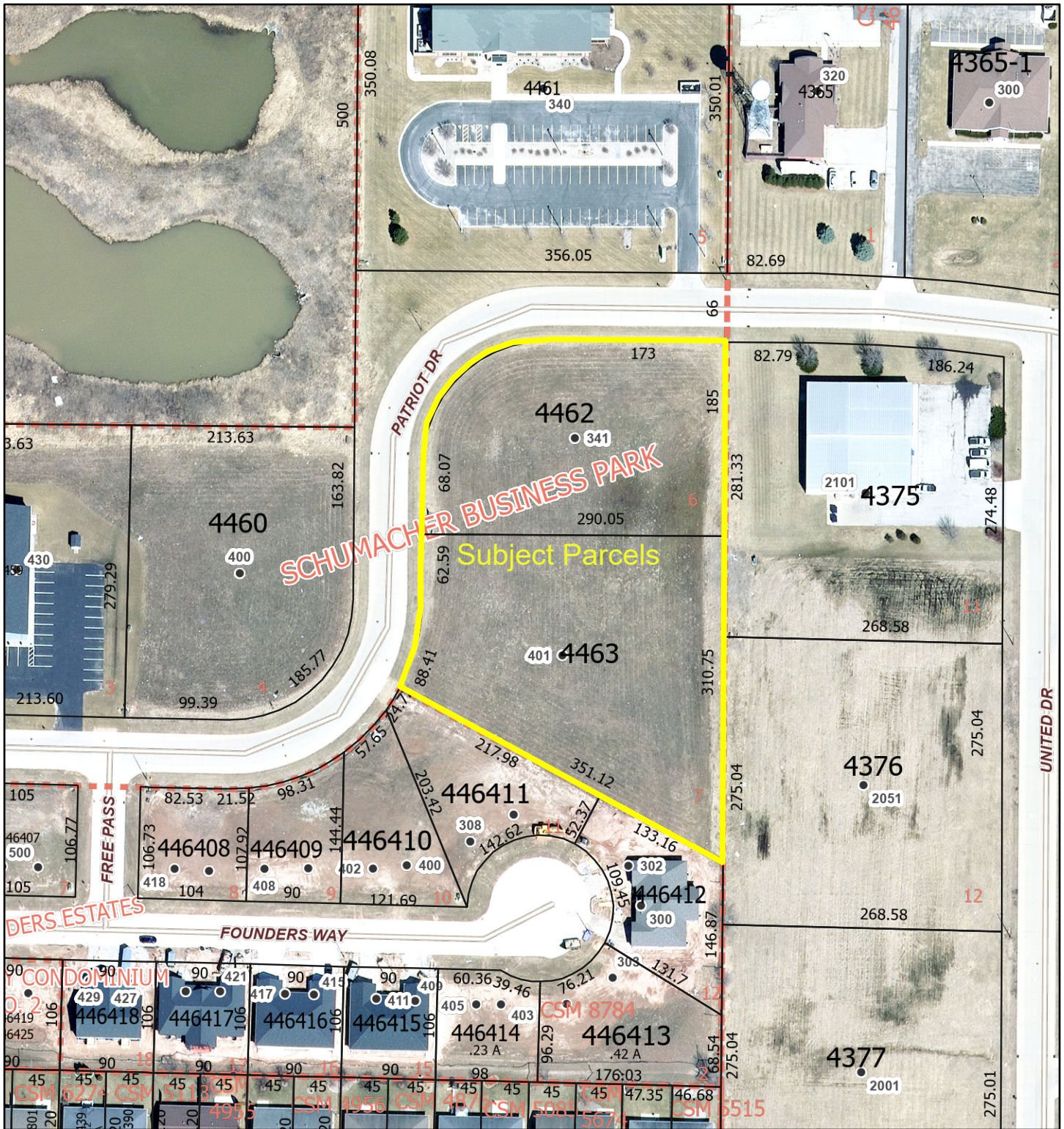
PROPERTY OWNER		APPLICANT			
Name: Romenesko Developments, Inc.		Name: Mitchell Bauer, P.E.			
Mailing Address: 1818 E Wisconsin Ave		Company: Davel Engineering & Environmental, Inc.			
City/State/Zip: Appleton, WI 54911		Address: 1164 Province Terrace			
Phone: (920) 731-5850		City/State/Zip: Menasha, WI 54952			
Email: office@rdi2build.com		Phone: (920) 560-6572			
		Email: mitch@davel.pro			
PROPERTY & PROJECT INFORMATION					
Parcel Number: 260446200 & 260446300					
Site Address/Location: 341 & 401 Patriot Dr., Little Chute 54140					
Current Zoning: Commercial Highway District		Proposed Zoning: Residential Multi-Family			
Current Use: vacant		Proposed Use: residential			
Current number of employees: 0		Proposed number of employees: 0			
Existing building floor area: 0		Proposed building floor area: varies			
Existing number of parking stalls: 0		Proposed number of parking stalls: 36 garage, 36 outside			
Percent of existing impervious surface: 0		Percent of proposed impervious surface: 48.17%			
Describe the proposed project: Nine multi-family duplex buildings (18 units) with attached garages. Shared private driveway.  Romenesko Developments and 4Roberts are partnering on this project. Parcel 260446300 is owned by Romenesko Developments, Inc. Parcel 260446200 is owned by 4Roberts.					
Applicant Statement					
I certify that the information provided on this form is complete and accurate and hereby agree to comply with all applicable statutes of the State of Wisconsin and ordinance of the Village of Little Chute, Wisconsin. I further understand that the issuance of this permit creates no legal liability, express or implied, on the Village of Little Chute.					
Applicant/Owner Signature:		Date:			
Signed by: <i>Phil Romenesko</i> EBAA4AB1F4B3404...		10/20/2025			

Village of Little Chute  
108 W Main St.  
Little Chute, WI 54140

Community Development Department  
PH: (920) 423-3870  
Email: jessica@littlechutewi.org



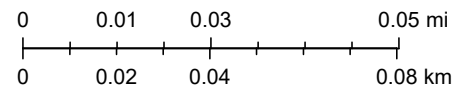
## Vicinity Map - Schumacher Condominiums



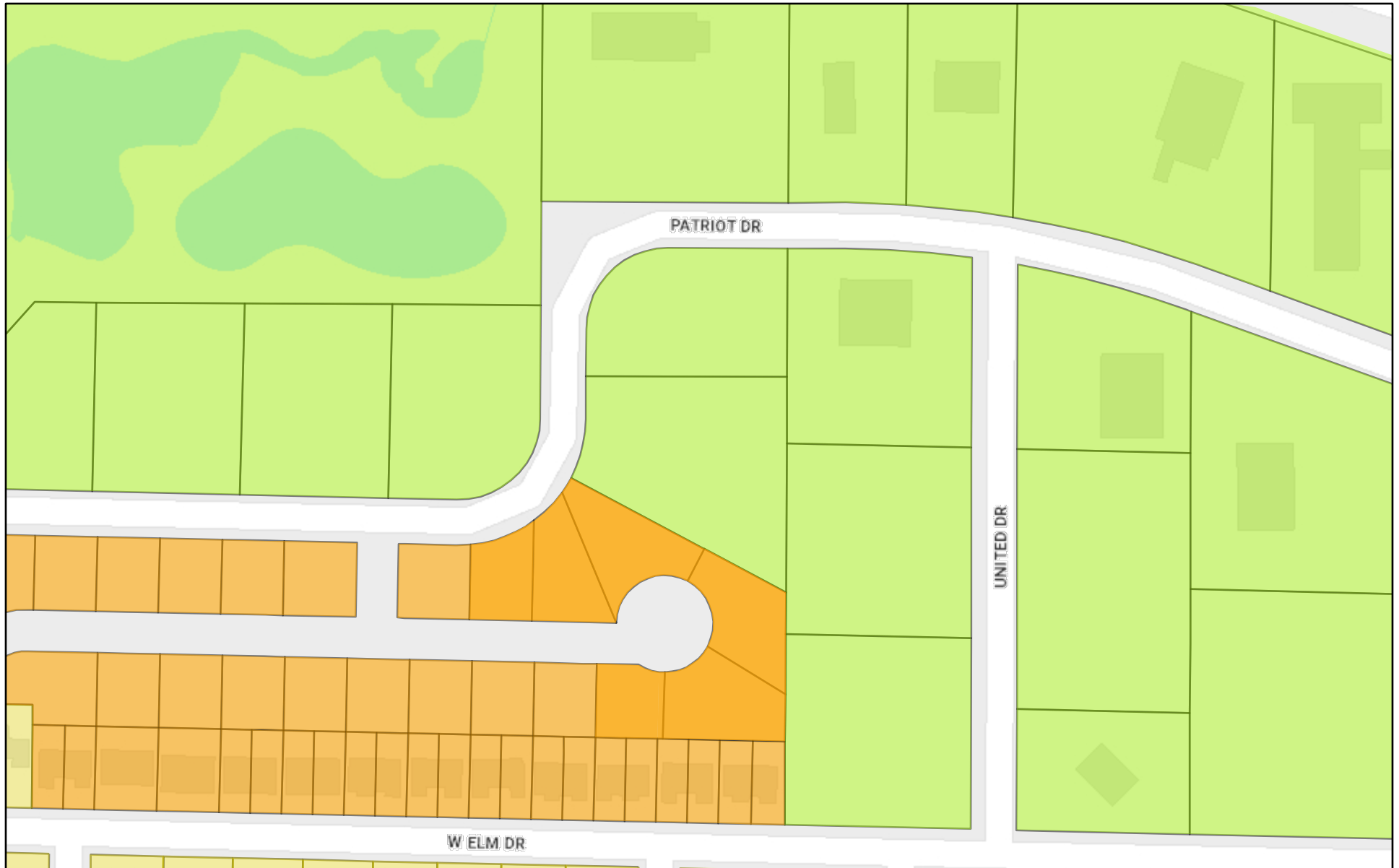
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# Zoning Map

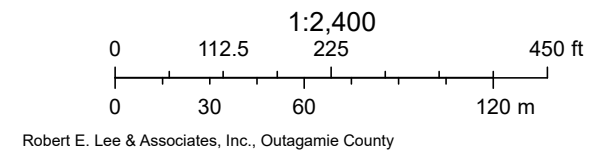


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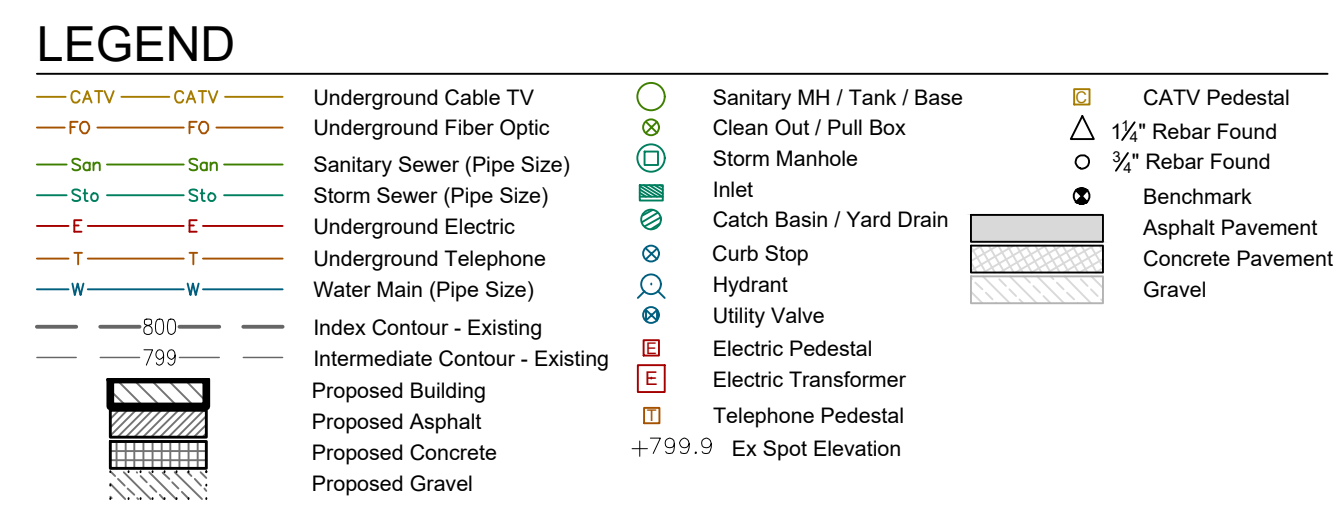
## Zoning

- CH: Commercial Highway District
- RC: Conventional Single-Family District

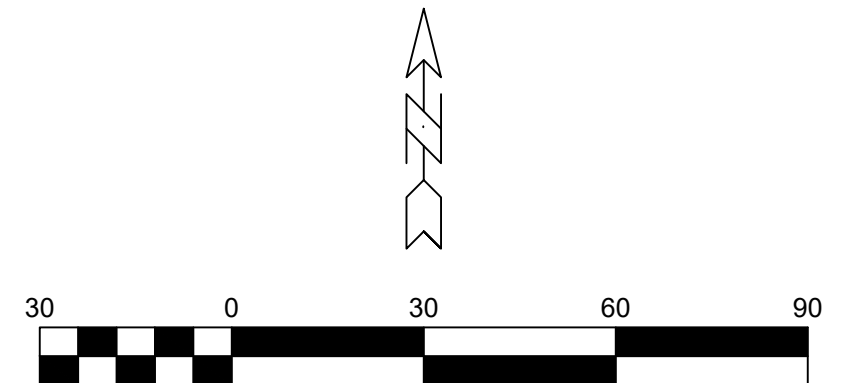
- RT: Two-Family Residential District
- Parcels







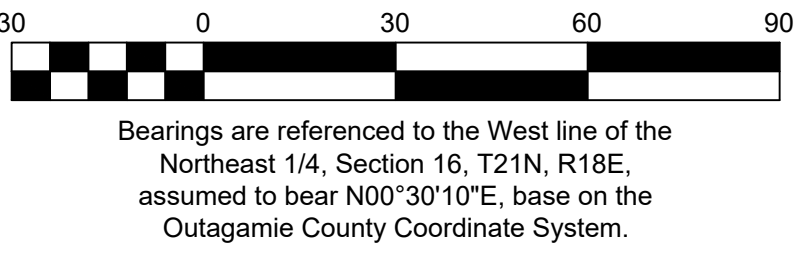
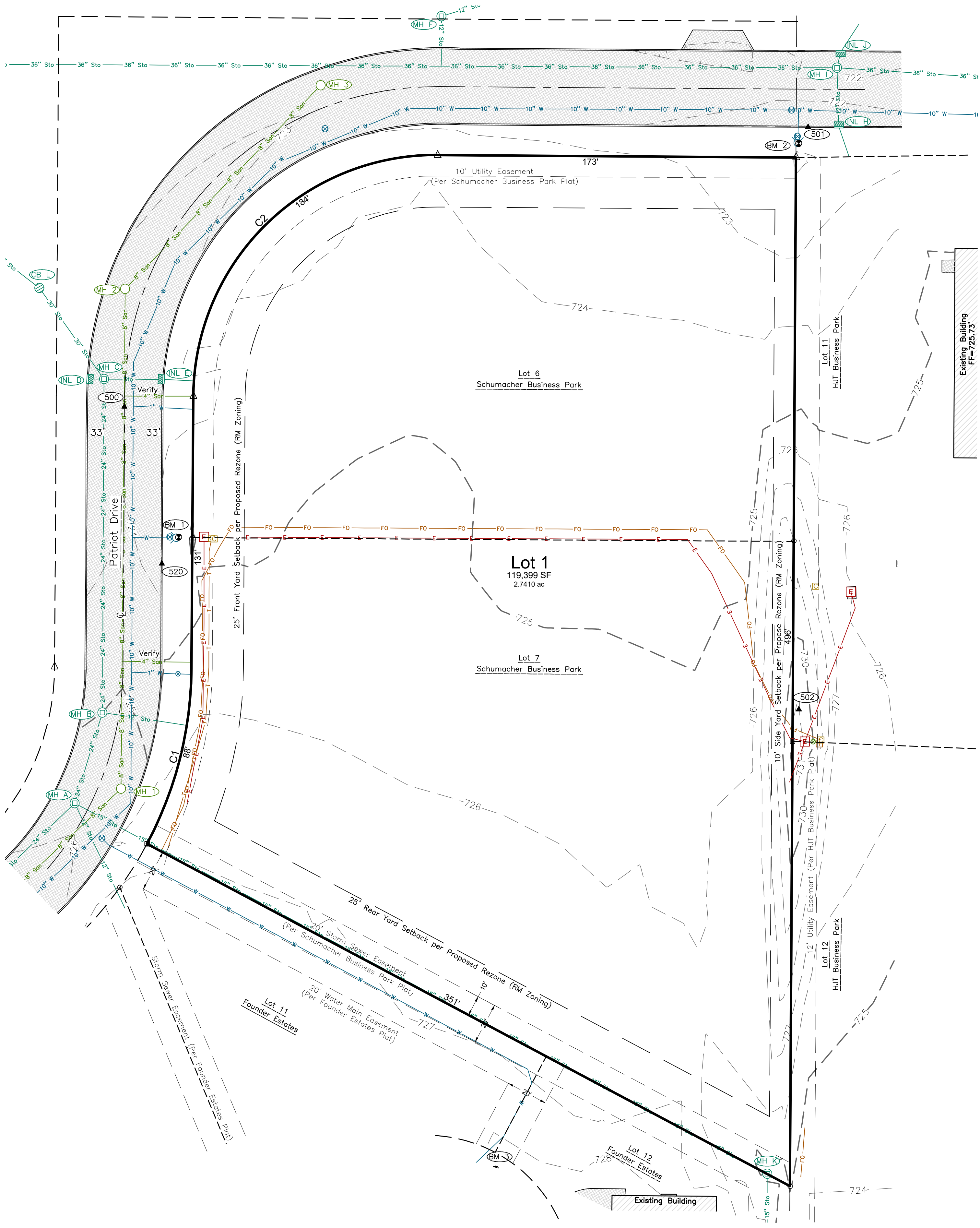
No hazardous materials are stored on-site

PRELIMINARY

# SITE PLAN

**Schumacher Business Park Lots 6 & 7**  
Village of Little Chute, Outagamie County, WI  
For: Romenesko Developments, Inc.





Horizontal Control			
Schumacher Business Park Lots 6 & 7 (Village of Little Chute)			
Monday, August 11, 2025			
Davel Engineering and Environmental			
Horizontal Control (per Outagamie County Coordinate System)			
Point Number	Northing	Easting	Description
500	574756.22	850329.94	CPT MAG
501	574891.04	850659.43	CPT MAG
502	574610.35	850654.98	CPT HUB
503	574505.90	849919.51	CPT MAG
520	574680.60	850348.01	CPT MAG

Sanitary Structures						
Structure	#	Rim	Inv	Size	Material	Direction
MH	1	725.32	715.59	8"	PVC	SW
			715.59	8"	PVC	N
MH	2	723.30	716.56	8"	PVC	S
			716.58	8"	PVC	NE
MH	3	722.71	717.12	8"	PVC	SW

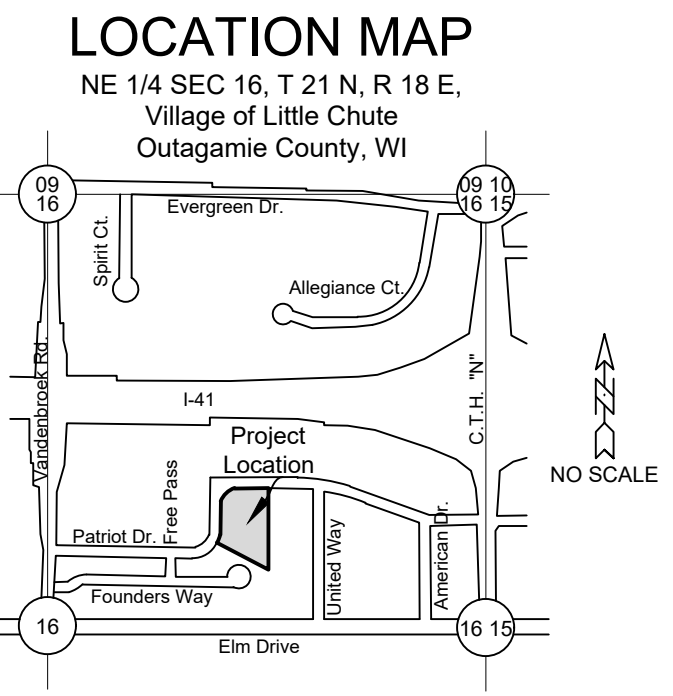
**BENCHMARKS** (NAVD88)

- BM 0 NGS Benchmark  
DE7759(4X79)  
Elev 726.52'
- BM 1 Fire Hydrant, Tag Bolt  
East R/W of Patriot Drive  
Elev 726.87'
- BM 2 Fire Hydrant, Tag Bolt  
South R/W of Patriot Drive  
Elev 723.80'
- BM 3 Fire Hydrant, Tag Bolt  
Founder's Way Cul-De-Sac, Lot 11/Lot 12  
Elev 729.52'

**General Notes:**

- Zoning Information**  
Village of Little Chute  
Commercial Highway District-CH  
**Setbacks:**  
Front Yard: 40 Feet  
Side Yard: 15 Feet  
Rear Yard: 25 Feet  
Height: Principle - 45 Feet  
*Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the Village of Little Chute and Outagamie County and any other local agencies.*
- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

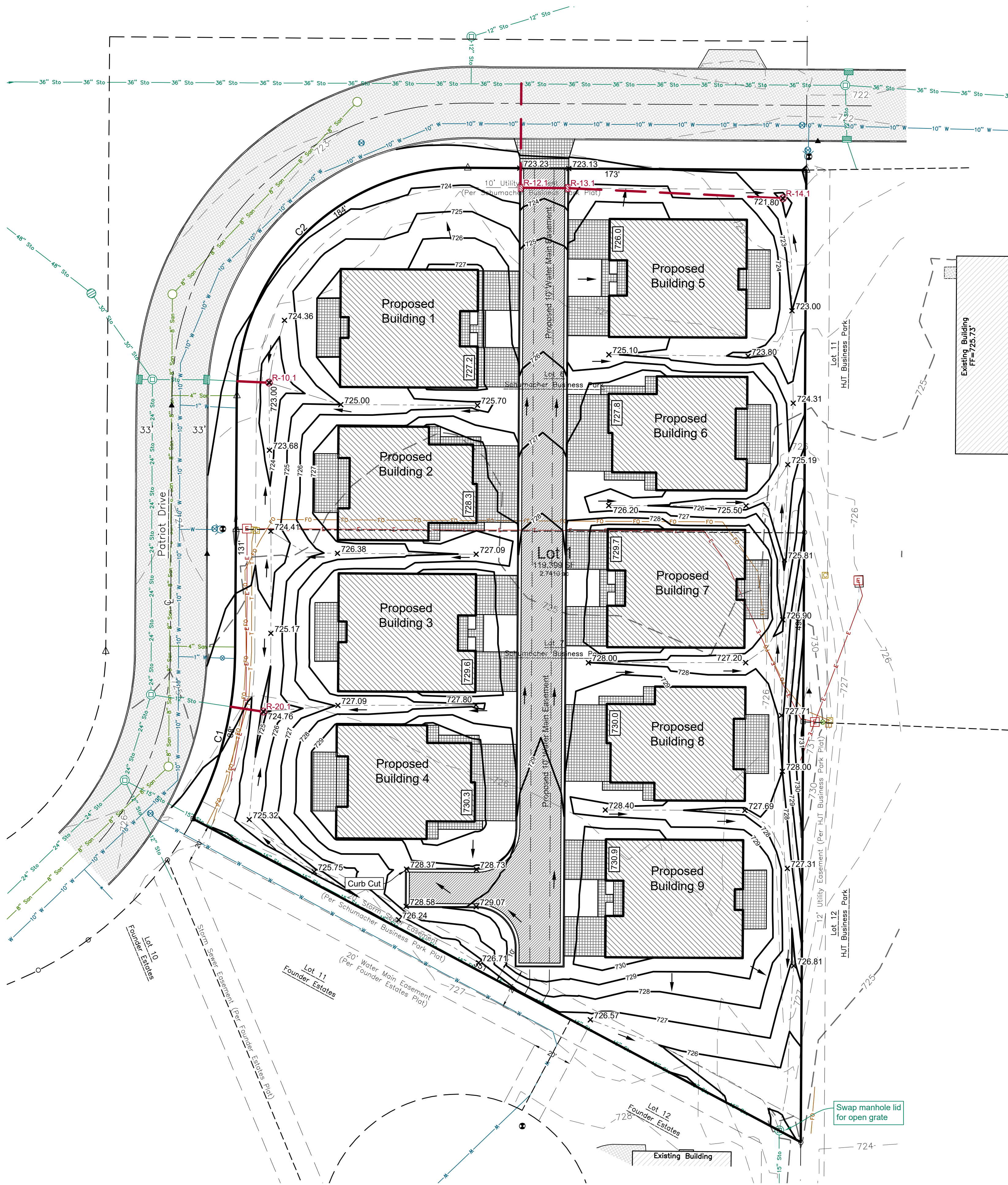
LEGEND			
CATV	CATV	Underground Cable TV	Sanitary MH / Tank / Base
FO	FO	Underground Fiber Optic	Clean Out / Pull Box
San	San	Sanitary Sewer (Pipe Size)	Storm Manhole
Sto	Sto	Storm Sewer (Pipe Size)	Inlet
E	E	Underground Electric	Catch Basin / Yard Drain
T	T	Underground Telephone	Curb Stop
W	W	Water Main (Pipe Size)	Hydrant
800	800	Index Contour - Existing	Utility Valve
799	799	Intermediate Contour - Existing	Electric Pedestal
			Electric Transformer
			Telephone Pedestal
			+799.9 Ex Spot Elevation
			CATV Pedestal
			1/2" Rebar Found
			3/4" Rebar Found
			Benchmark
			Asphalt Pavement
			Concrete Pavement
			Gravel



Storm Structures						
Structure	#	Rim	Inv	Size	Material	Direction
MH	A	725.65	718.07	24"	RCP	NE
			718.07	24"	RCP	SW
			718.11	15"	PVC	SE
			718.11	12"	PVC	SE
MH	B	725.00	717.52	24"	RCP	SW
			717.52	24"	RCP	N
			717.55	12"	PVC	E
MH	C	723.44	715.54	30"	RCP	NW
			717.71	12"	PVC	W
			715.56	24"	RCP	S
			717.91	12"	PVC	E
INL	D	723.16	718.86	12"	PVC	E
INL	E	723.21	718.67	12"	PVC	W
			718.69	12"	PVC	E
MH	F	723.19	715.97	12"	PVC	S
			715.97	12"	PVC	NE
CB	G	721.00	717.70	12"	PVC	NW
			718.00	12"	PVC	SW
INL	H	721.55	716.54	12"	PVC	N
			717.10	12"	PVC	SE
MH	I	721.81	714.86	36"	RCP	W
			714.88	36"	RCP	E
			716.50	12"	PVC	S
			716.36	12"	PVC	N
INL	J	721.57	716.52	12"	PVC	NE
			716.38	12"	PVC	S
MH	K	724.80	718.75	15"	PVC	NW
			718.75	15"	PVC	S
CB	L	720.20	714.17	48"	RCP	NW
			714.72	30"	RCP	SE

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com





**BENCHMARKS** (NAVD88)

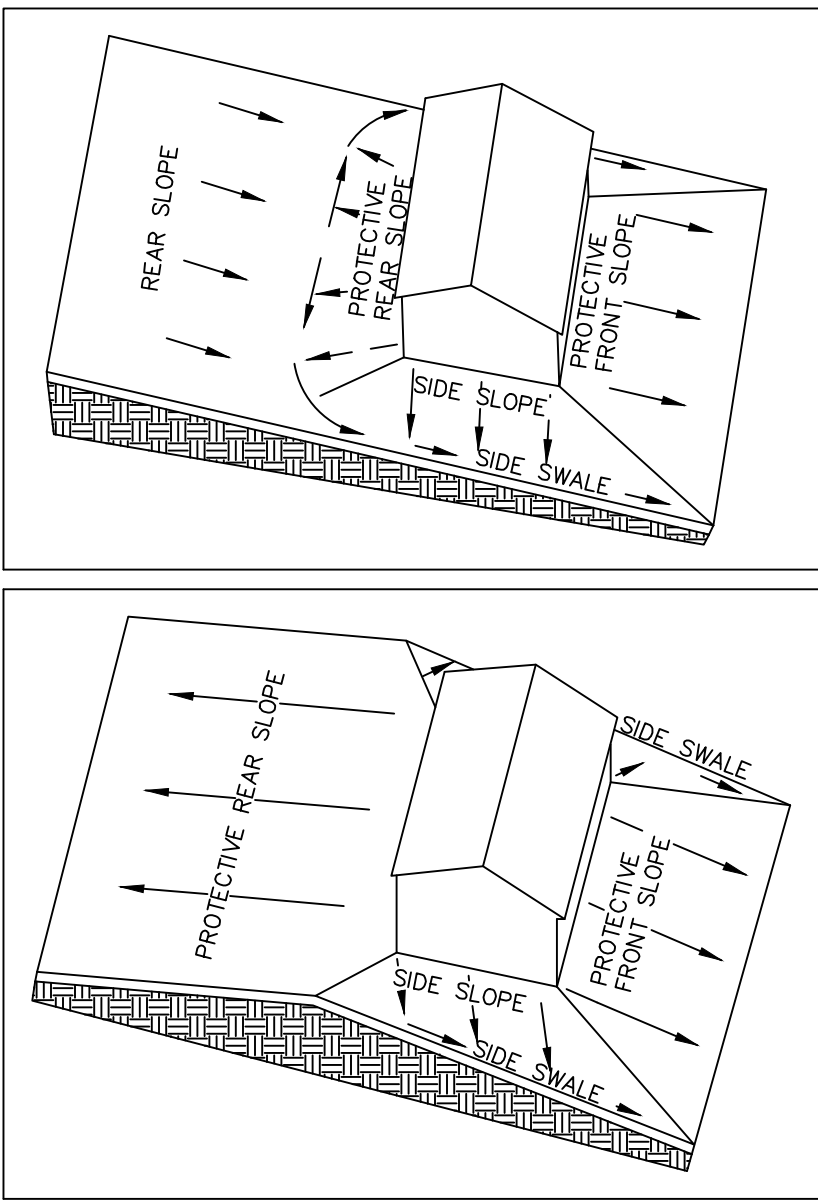
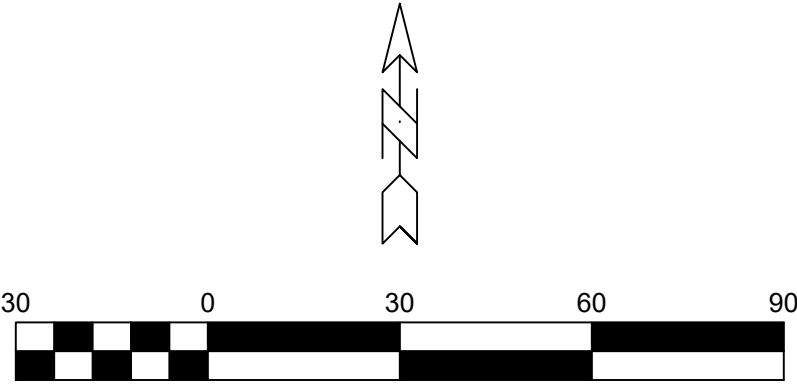
BM 0	NGS Benchmark DE7759(4X79) Elev 726.52'
BM 1	Fire Hydrant, Tag Bolt East R/W of Patriot Drive Elev 726.87'
BM 2	Fire Hydrant, Tag Bolt South R/W of Patriot Drive Elev 723.80'
BM 3	Fire Hydrant, Tag Bolt Founder's Way Cul-De-Sac, Lot 11/Lot 12 Elev 729.52'

**NOTES:**

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- The proposed development will utilize the Village of Little Chute's Vandebroek Ponds regional stormwater facility for peak flow reduction and quality control of stormwater runoff.

**LEGEND**

	CATV	Underground Cable TV		Sanitary MH / Tank / Base
	FO	Underground Fiber Optic		Clean Out / Pull Box
	San	Sanitary Sewer (Pipe Size)		Storm Manhole
	Sto	Storm Sewer (Pipe Size)		Inlet
	E	Underground Electric		Catch Basin / Yard Drain
	T	Underground Telephone		Curb Stop
	W	Water Main (Pipe Size)		Hydrant
	800	Index Contour - Existing		Utility Valve
	799	Intermediate Contour - Existing		Electric Pedestal
	Proposed Storm Sewer			Electric Transformer
	Proposed Contour			Telephone Pedestal
	Proposed Swale			+799.9 Ex Spot Elevation
	Proposed Culvert			Proposed Storm Manhole
	607.86	Adjacent Plat Grade		Proposed Curb Inlet
	608.73	Prop. Lot Corner Elevation		Prop. Catch Basin / Yard Drain
	608.73	Proposed Spot Elevation		Proposed Endwall
	608.7	Existing Grade		Proposed Rip Rap
	Proposed Building			Prop. Drainage Direction
	Proposed Asphalt			Prop. Garage Floor Grade at Door
	Proposed Concrete			Emergency Overflow for Runoff
	Proposed Gravel			



**HOUSE ELEVATIONS:**

The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.

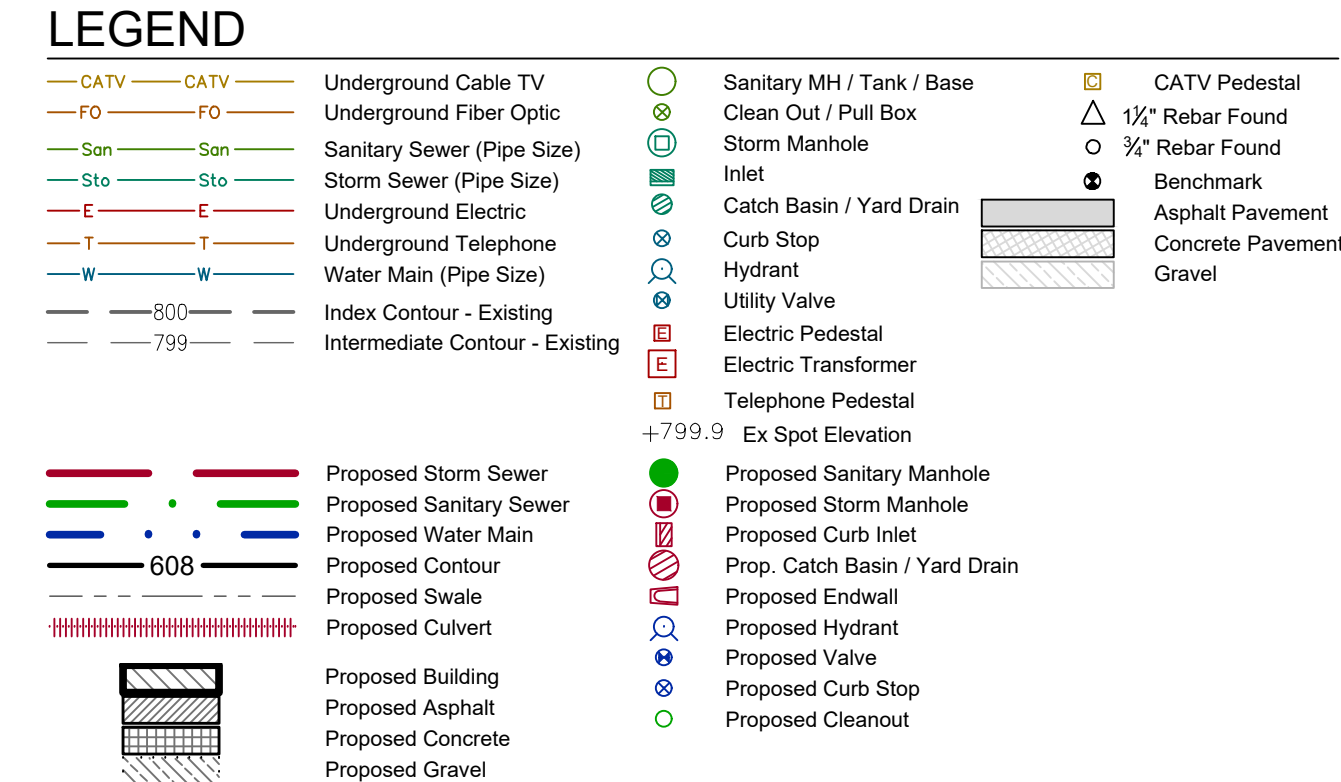
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**DRAINAGE & GRADING  
PLAN**

**Schumacher Business Park Lots 6 & 7**  
Village of Little Chute, Outagamie County, WI  
For: Romensko Developments, Inc.





Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Village of Little Chute.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Little Chute.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k). Water laterals shall be PEX or copper.

Sanitary Sewer Pipe shall be PVC SDR(35), with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h). Sanitary laterals shall be PEX Schedule 40.

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with water tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.

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10/2/2025

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Author:  
MDB

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mitch

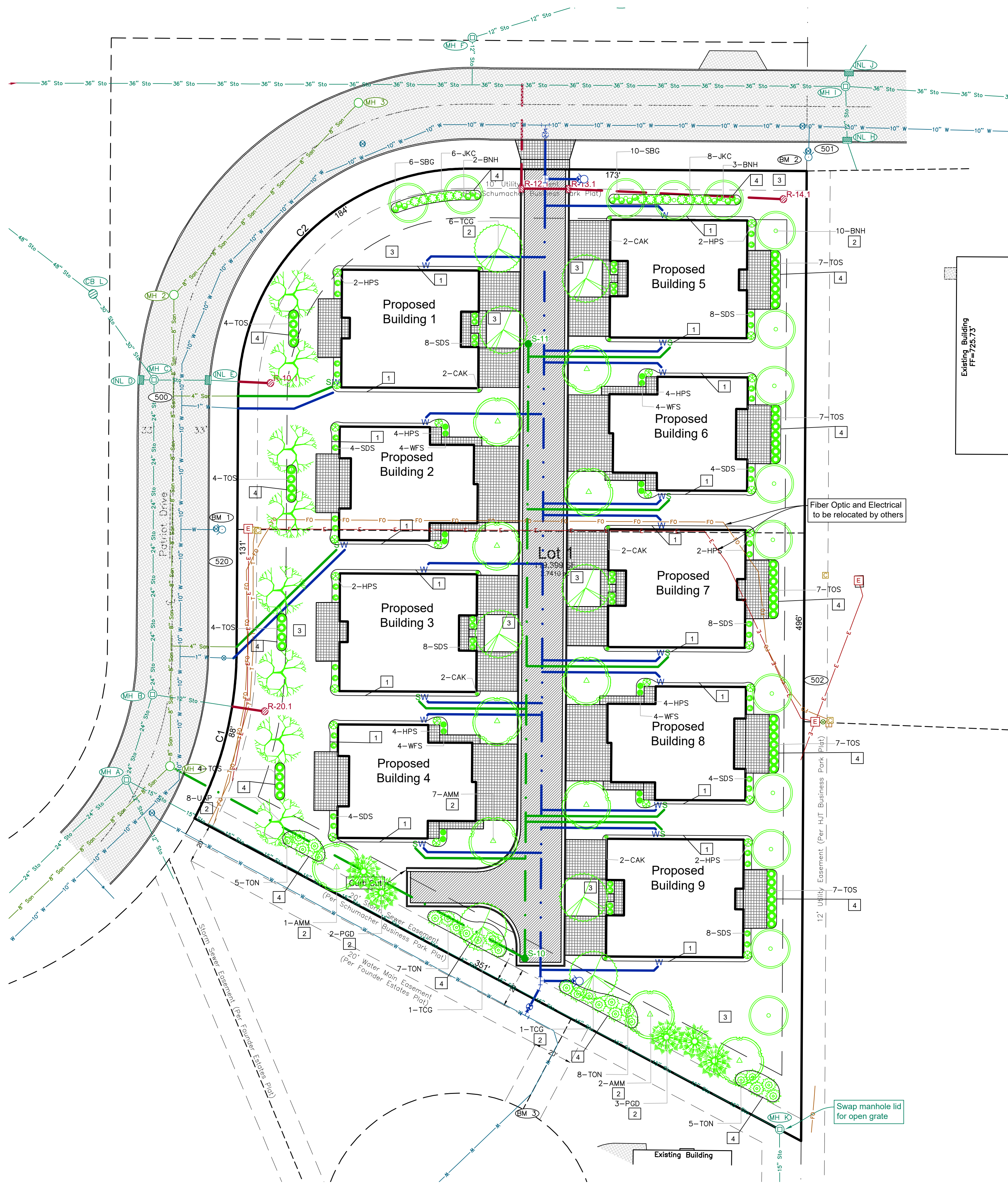
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## UTILITY PLAN



**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**  
*Civil Engineers and Land Surveyors*  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866  
[www.davelpro.com](http://www.davelpro.com)





Landscape Requirements (Proposed Multi-Family)  
Adjacent to East - Commercial Highway  
Adjacent to South - Residential

Lot Line:  
1 Shade Tree + 6 Shrubs per 40' of Length (Exclude Entrances)  
Length Parcel Dr = 549' Requires 14 Shade Trees + 82 Shrubs  
Actual Parcel Dr = 13 Shade Trees + 16 Evergreens + 30 Shrubs  
Substituted 14 Evergreens for 70 Shrubs & 2 Evergreens for 1 Shade Tree  
East Lot Line Length = 495' Requires 12.4 Shade Trees + 74.25 Shrubs  
Actual East Lot Line = 10 Shade Trees + 35 Evergreens  
Substituted 5 Evergreens for 2.4 Shade Trees & 30 Evergreens for Shrubs  
South Lot Line = 301' Requires 9 Shade Trees + 52.65 Shrubs  
Actual = 6 Shade Trees + 25 Evergreens  
Substituted 6 Evergreens for 3 Shade Trees & 24 Evergreens for Shrubs

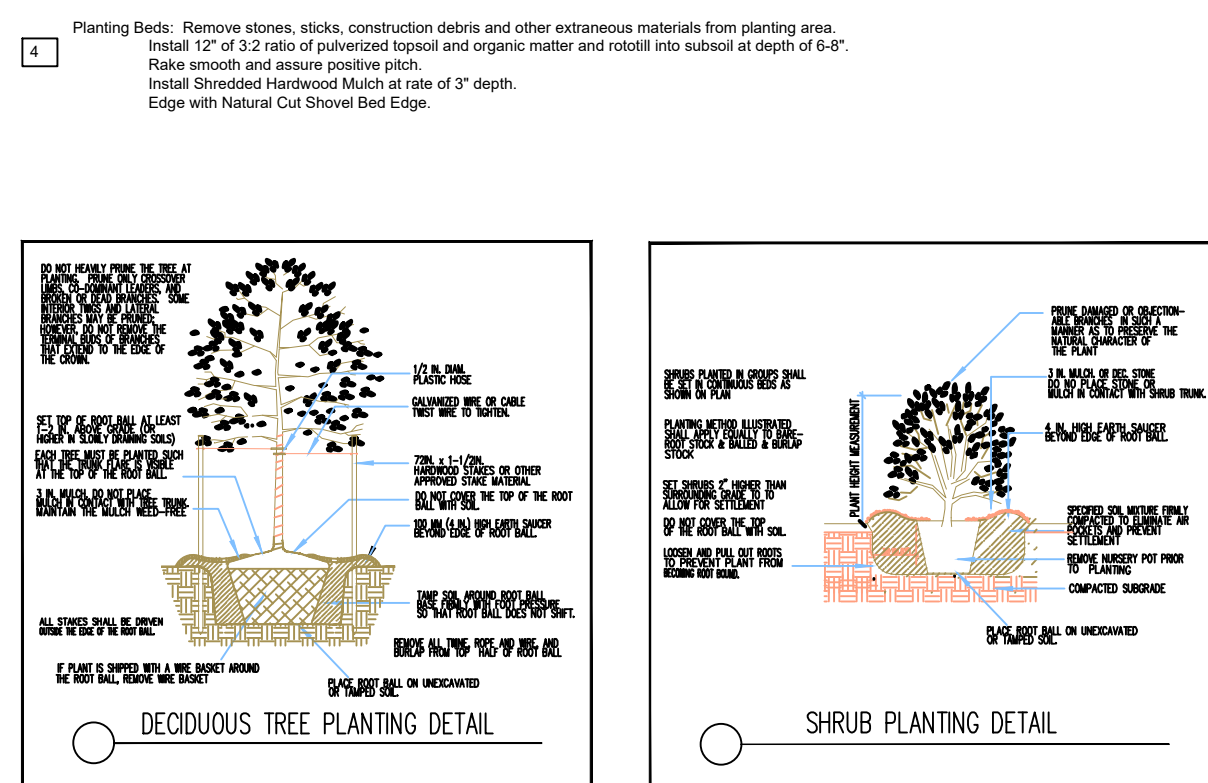
Interior Landscaping:  
1 Shade Tree per Parking Island or within 10' of Periphery  
No Parking Stalls None Required  
Actual = 14 Shade Trees

Trash Screening:  
None Designed

Landscape Design by: Christine Kosorek, PLA  
Lowery's Landscaping Center, Inc.  
N3310 State Rd 47  
Appleton, WI  
(920)733-2560  
Oct. 19, 2025

Symbol	Label	Qty	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
AMM	1	1	Acer glabrum 'Morton'	State Street Maple	2.5"	40-50' Ht x 25-30' Spread
BNH	15	15	Betula nigra 'Heritage'	Heritage River Birch	2.5"	30-40' Ht x 20-30' Spread
TCG	8	8	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	30-40' Ht x 20-30' Spread
UAP	8	8	Ulmus americana 'Princeton'	Princeton Elm	2.5"	40-60' Ht x 25-40' Spread
PGD	5	5	Picea glauca 'Densata'	Black Hills Spruce	5"	30-40' Ht x 15-20' Spread
TON	25	25	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	5"	15-18' Ht x 8-10' Spread
TOS	51	51	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5"	10-15' Ht x 3-5' Spread
HPS	26	26	Hydrangea paniculata 'SMHPS-QP'	Little Quickfire Hydrangea	#5/18-24"	3-5' Ht x 3-5' Spread
JKC	14	14	Juniperus x pfitzeriana 'Katalpa's Compact'	Katalpa's Compact Juniper	#5/18-24"	2-3' Ht x 3-5' Spread
SDS	16	16	Spiraea x humilis 'Sedilene'	Gouldsfire Spiraea	#5/18-24"	2-3' Ht x 2-3' Spread
SDS	96	96	Spiraea x 'NCSKZ'	Double Play Double Spiraea	#5/18-24"	2-3' Ht x 2-3' Spread
WFS	16	16	Weigela florida 'Boisrapart'	Spilled Wine Weigela	#5/18-24"	2-3' Ht x 2-4' Spread
CAK	10	10	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass #1	3-5' Ht x 1-3' Spread	

- Landscape Notes
- Planting Beds & Islands: Remove stones, sticks, construction debris and other extraneous materials from planting area. Install 12" of 3:2 ratio of pulverized topsoil and organic matter and rototill into subsoil at depth of 6-8". Rake smooth and assure positive pitch. Install 1.5" American Heritage Decorative Stone over Landscape Fabric.
  - Planting Restrictions: Provide trees, shrubs, evergreens, perennials and grasses as per size and root condition in Plant List. Provide plant material certificates at time of planting.
  - Trees: All Trees to be staked. Trees in turf area or seeded area to have 5' dia. circle of Shredded Hardwood mulch at 3" depth and shovel cut edge separating mulch from lawn area. Trellis herbicide placed on soil prior to mulching.
  - Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of substantial completion. Maintenance Period: Maintenance period will last for a period of 60 days from substantial completion date. Provide all maintenance services at minimum: watering, staking, weeding, pruning, deadheading, weeding, and removing trash and debris from planting and landscape areas, repairing settling of stone, mulch, topsoil and/or plants, application of pesticides, chemicals and fertilizers when required. At minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.
  - Planting schedule represents quantities for base bid only.
  - Lawn: Seed with WI DOT Mix No. 40 at rate of 5#/1000 sq. ft. Seed areas installed on 4" minimum fertile topsoil. Loosen subgrade to minimum of 4", remove stones, sticks, grasses and other extraneous materials. Fertilize using commercial grade starter fertilizer, non phosphorous at 5# per 1000 sq. ft. Sow seed, clean mulch and seed free, salt marsh hay or baled straw of wheat, rye or oats. Crimp mulch into soil. Erosion mat per erosion control plan. Plant during non-freezing weather.
  - Maintenance Period: Maintenance period will last for a period of 60 days from substantial completion date. Provide all maintenance services at minimum: watering, fertilizing, weeding, pesticide/pathogen treatments, and mowing. Replace bare or eroded areas and remain to produce uniform smooth turf. Only remove erosion control mat if mat too high for mowing. At minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.
  - All contractors shall verify the location of private utilities prior to start of work. Contact Diggers Hotline 5 days prior to start of construction.



LEGEND

- CATV - CATV
- Underground Cable TV
- Underground Fiber Optic
- San - San
- Sanitary Sewer (Pipe Size)
- Storm Sewer (Pipe Size)
- Sto - Sto
- Underground Electric
- Underground Telephone
- Water Main (Pipe Size)
- W - W
- 800 - 800
- Index Contour - Existing
- 799 - Intermediate Contour - Existing
- Sanitary MH / Tank / Base
- Clean Out / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Hydrant
- Proposed Valve
- Proposed Curb Stop
- Proposed Cleanout
- CATV Pedestal
- 1/4" Rebar Found
- 3/4" Rebar Found
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel
- Electric Transformer
- Telephone Pedestal
- +799.9 Ex Spot Elevation
- Proposed Sanitary Manhole
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Hydrant
- Proposed Valve
- Proposed Curb Stop
- Proposed Cleanout

PRELIMINARY

Date: 10/20/2025  
Filename: 8999Landscape.dwg  
Author: MDB  
Last Saved by: mitch  
Page: L1.0

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**LANDSCAPE PLAN**

**Schumacher Business Park Lots 6 & 7**  
Village of Little Chute, Outagamie County, WI  
For: Romnesko Developments, Inc.

**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866  
www.davel.pro





**LEFT ELEV**  
SCALE: 0.0625" = 1'-0"



**REAR ELEV**  
SCALE: 0.0625" = 1'-0"



**RIGHT ELEV**  
SCALE: 0.0625" = 1'-0"



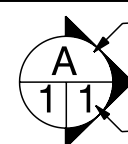
**FRONT ELEV**  
SCALE: 1/8" = 1'-0"

**ROMENESKO DEVELOPMENTS**



1818 E Wisconsin Ave  
Appleton WI 54911

PHONE: (920) 731-5850  
rdi-appleton@att.net



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LETTER

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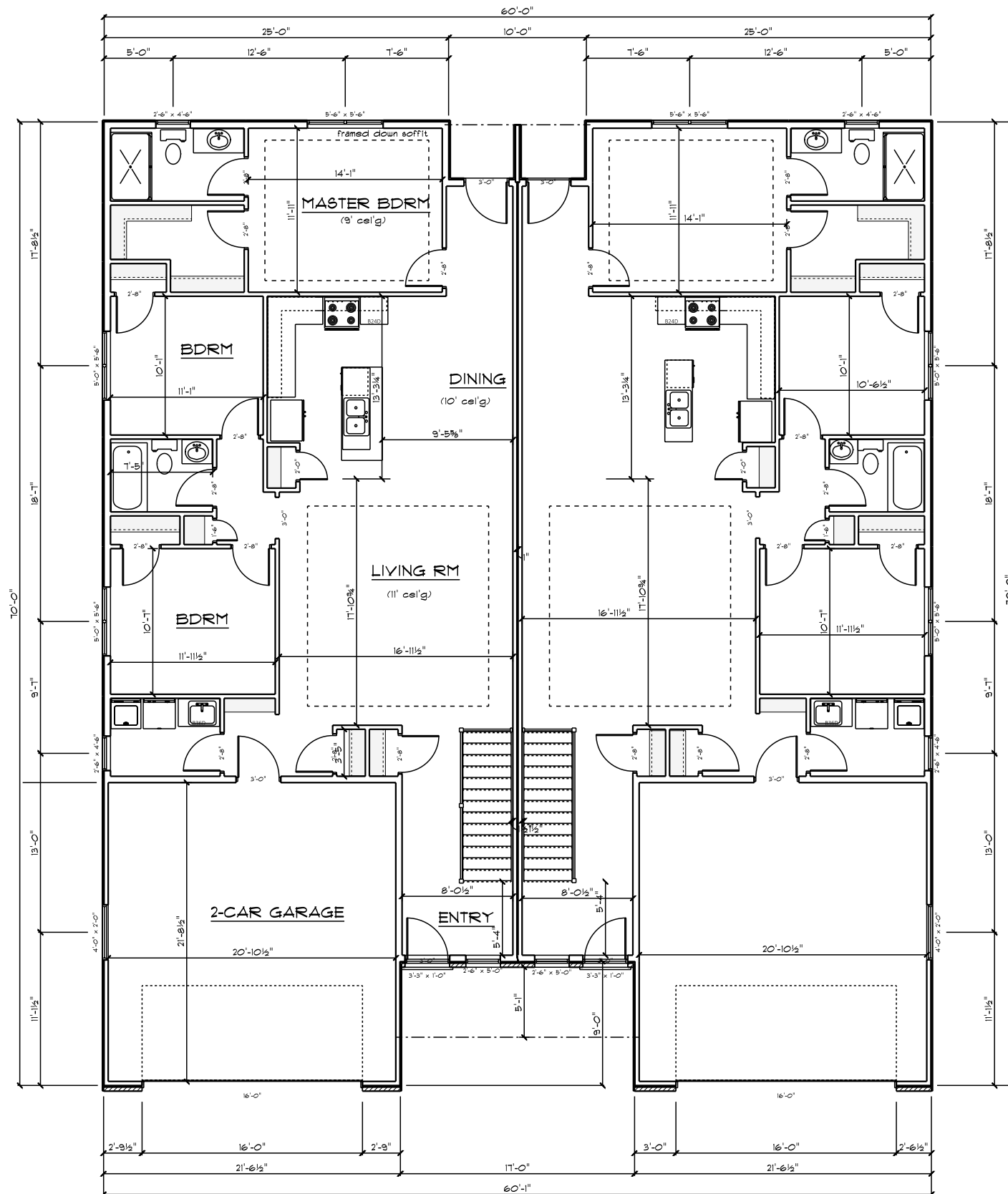
C&M Land Investments, LLC

**Patriot Drive - Little Chute**

1818 E Wisconsin Av  
Appleton WI 54911

PAGE:  
**1 / 3**  
ELEVATIONS





# NARROW DUPLEX - PLAN

SCALE: 1" = 10'-0"

ROMENESKO DEVELOPMENTS



1818 E Wisconsin Ave  
Appleton WI 54911

PHONE: (920) 731-5850  
rdi-appleton@att.net



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C&M Land Investments, LLC

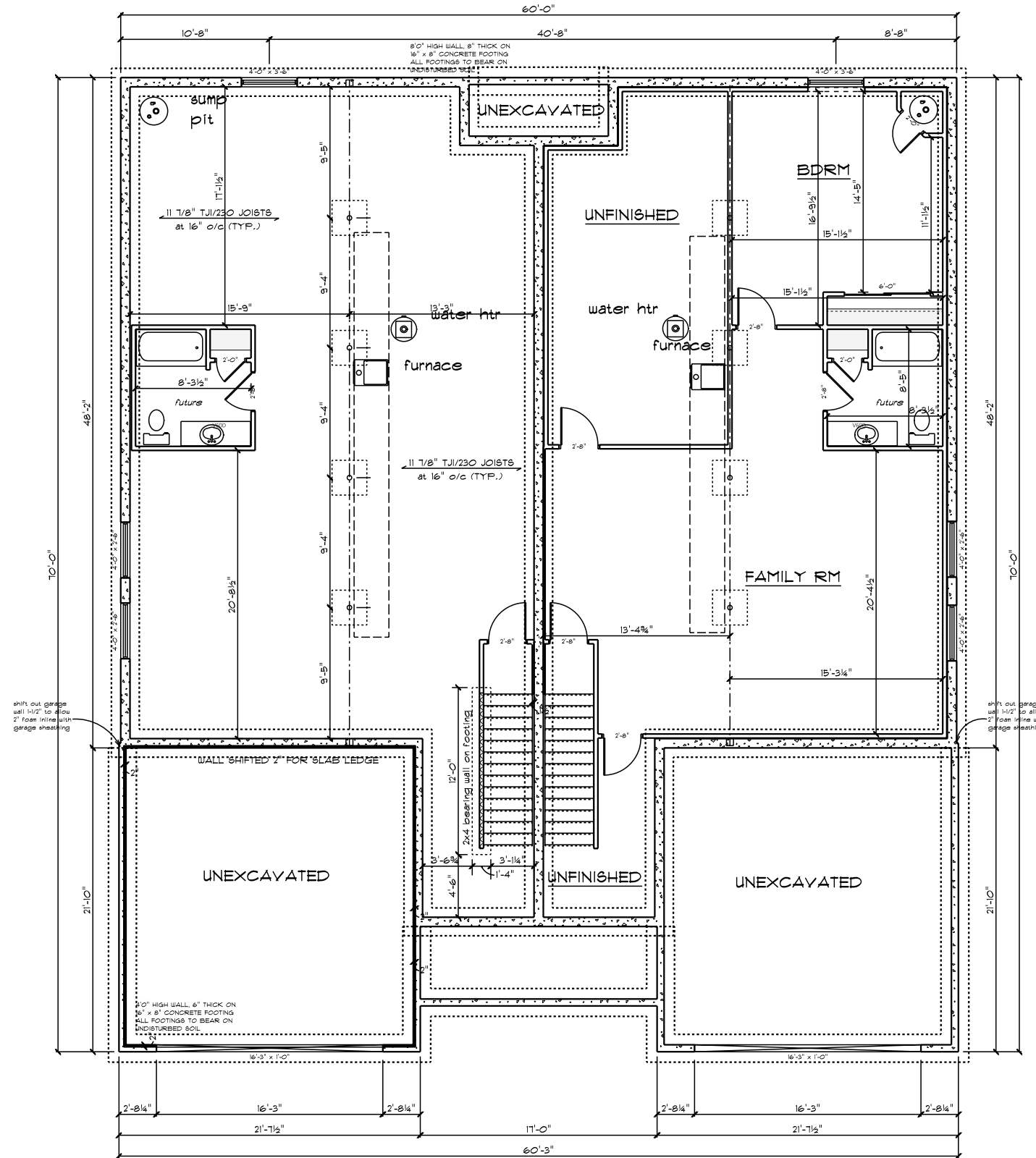
Patriot Drive - Little Chute

1818 E Wisconsin Av  
Appleton WI 54911

PAGE:

2 / 3

FLOOR PLAN



# NARROW DUPLEX - FOUNDATION

SCALE: 1" = 10'-0"

ROMENESKO DEVELOPMENTS



1818 E Wisconsin Ave  
Appleton WI 54911

PHONE: (920) 731-5850  
rdi-appleton@att.net



SECTION  
LETTER

PAGE  
NUMBERS

C&M Land Investments, LLC

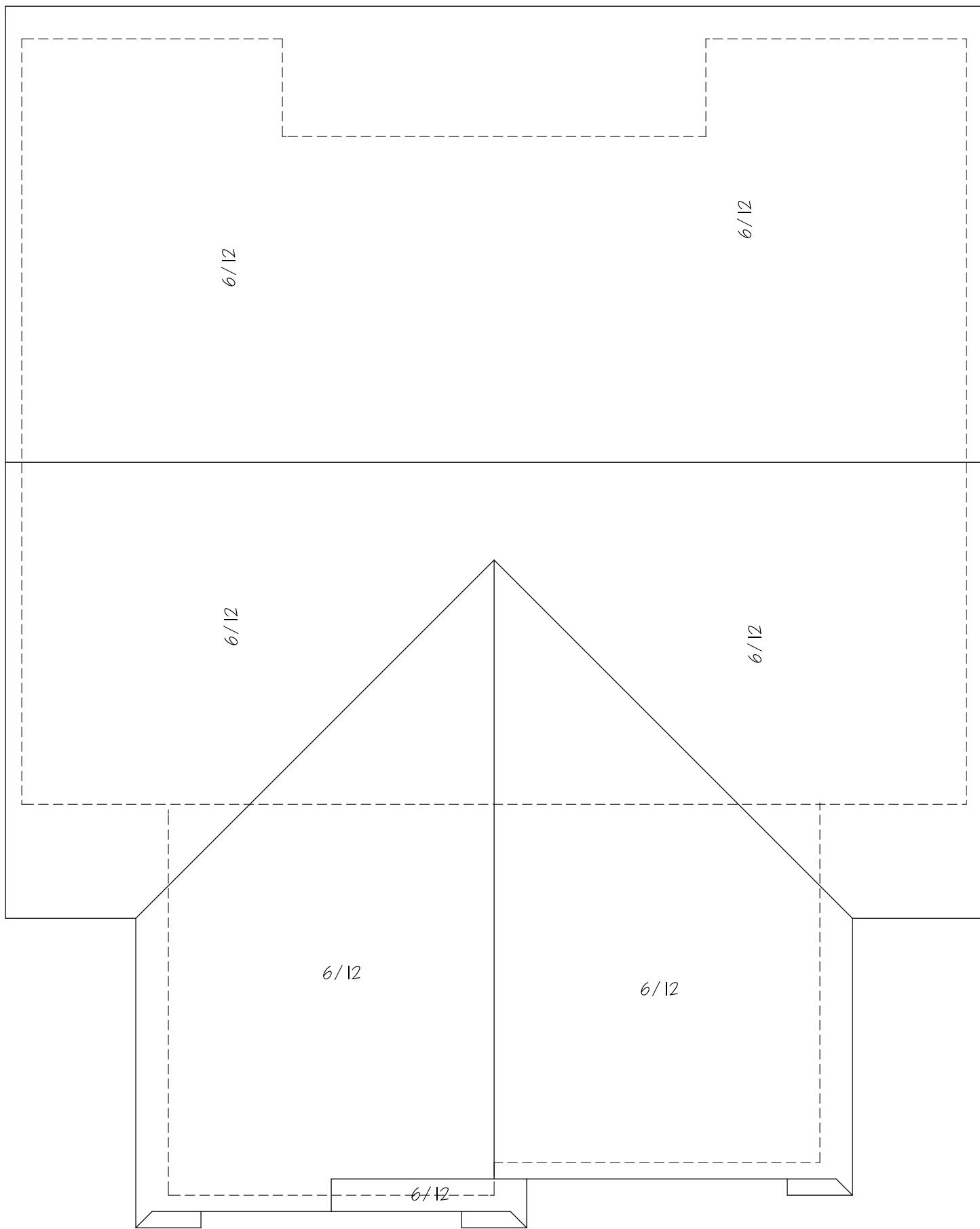
Patriot Drive - Little Chute

1818 E Wisconsin Av  
Appleton WI 54911

PAGE:

3 / 3

FOUNDATION



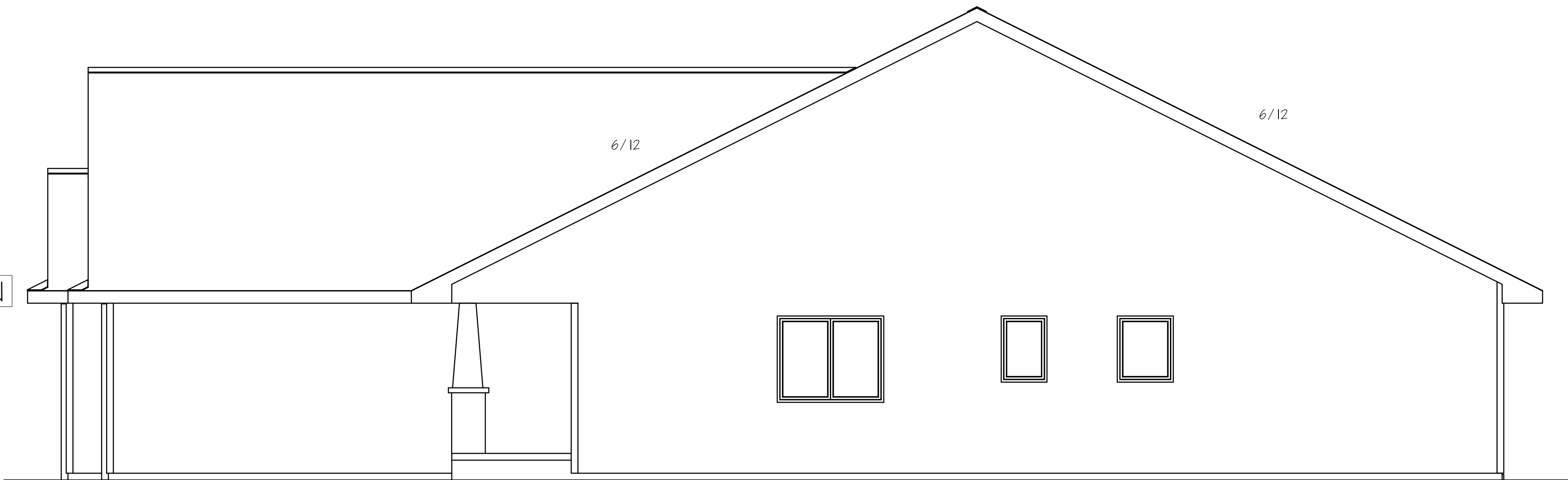
BIRD'S EYE VIEW

SCALE = 1/8" = 1'-0"

24" OVERHANG ON ALL EAVES  
12" OVERHANG ON ALL GABLES

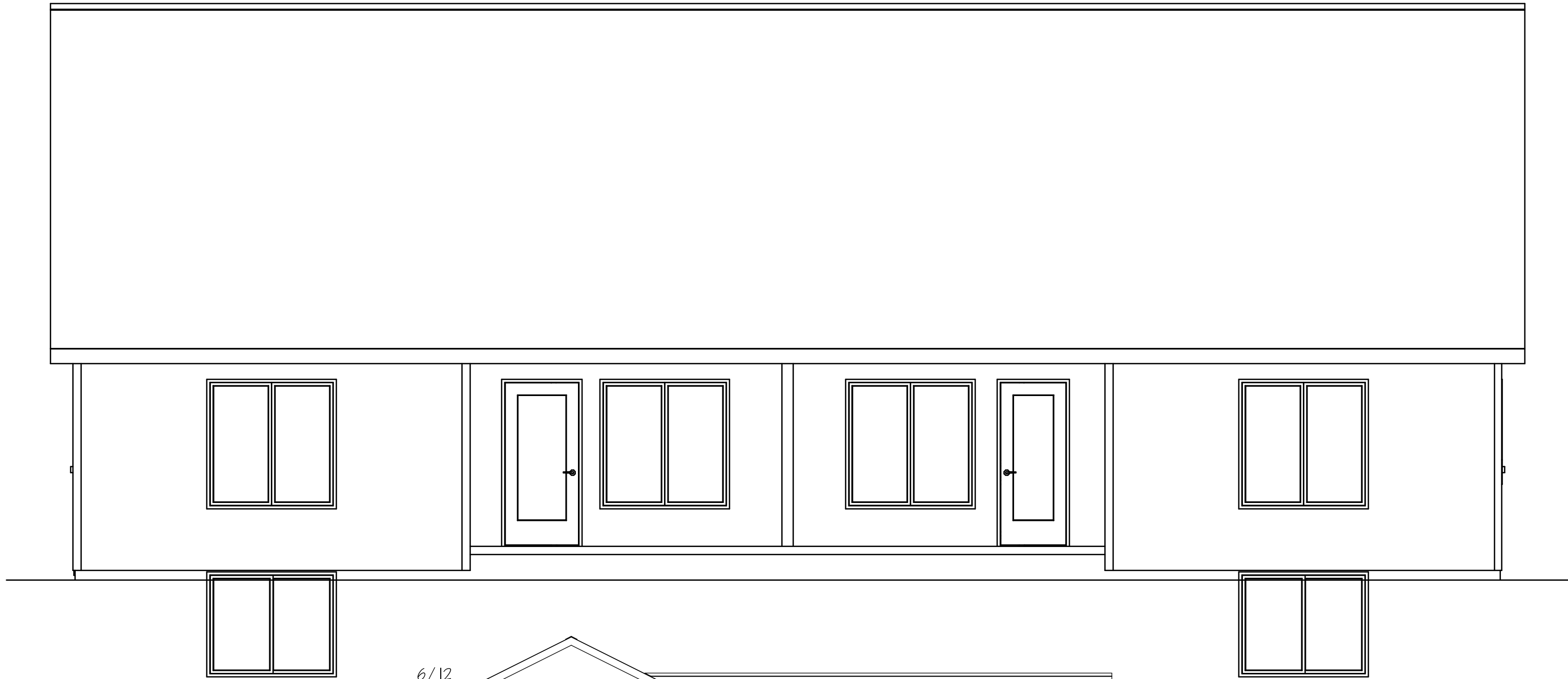
RIGHT ELEVATION

SCALE = 1/4" = 1'-0"



BACK ELEVATION

SCALE = 1/4" = 1'-0"



LEFT ELEVATION

SCALE = 1/8" = 1'-0"



FRONT ELEVATION

SCALE = 1/4" = 1'-0"



2'-0" OVERHANG ON ALL EAVES  
1'-0" OVERHANG ON ALL GABLES

11/12/15  
5/13/14  
3/27/14  
6/12/15  
6/5/15  
3/6/15  
1/18/15  
1/9/15

These drawings have been prepared to meet professional standards and practices. However, local variations may require changes. Licensed building code requirements vary with location and change from time to time. Before starting construction, the contractor should verify all applicable codes, rules and dimensions and insure that these plans meet all current apartment requirements in your area.

**TORBORGS**  
TORBORGS WAUPACA LUMBER  
HOME SHOWCASE CENTER  
1682 REYNOLTON STREET  
WAUPACA, WI 54981

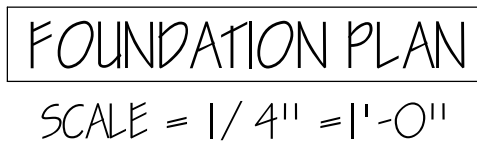
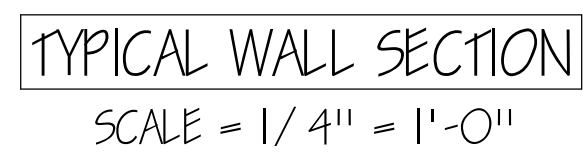
DRAWN BY  
A. MARCY

ROBERT'S  
NARROW DUPLEX

DATE  
11/27/12

REV.  
12/10/12

1  
Of 3

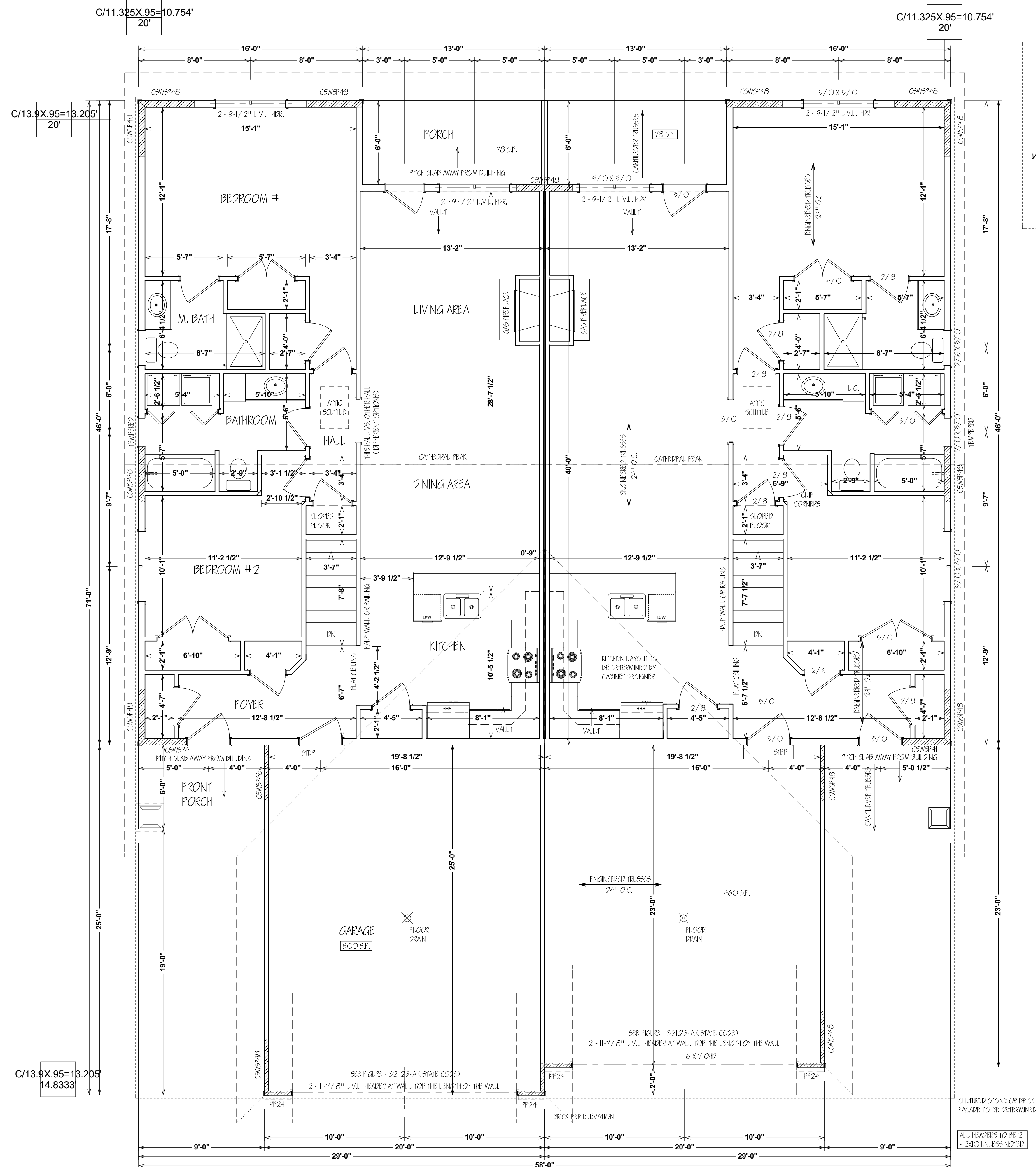


DATE 11/27/12  
REV. 12/10/12

**TORBORGS**  
HOME SHOWCASE CENTER  
1602 ROYAL TON STREET  
WALPACA, WI 54981

**DRAWN BY**  
A. MARCY

DATE 11/27/12  
REV. 12/10/12



FIRST FLOOR PLAN

SCALE = 1/4" = 1'-0"  
8'-1 1/8" FIRST FLOOR WALLS  
LIVING AREA = 1256 S.F. (PER SIDE)

11/12/15  
5/13/14  
3/27/14  
6/12/15  
6/5/15  
5/6/15  
1/18/15  
1/9/15

DATE 11/27/12		DRAWN BY A. MARCY	TORBORGS HOME SHOWCASE CENTER 14622 REYNOLTON STREET VALE, PA 15401
REV. 12/10/12			
DATE 11/27/12		ROBERT'S NARROW DUPLEX	

3  
OF 3





## Item For Consideration

**Fiscal Impact:** If the Village initiates removal or relocation of the sanitary sewer or watermain under I-41, the Village must bear this expense. If WisDOT initiates removal or relocation of the utilities, WisDOT will pay this expense. This payment obligation is what the DOT has indicated is a form of financial consideration for the Village giving up its rights to continue occupancy permanently, in case the WisDOT ever requires relocation, which might be never.

**Recommendation/Board Action:** We can continue occupying the existing easement areas within the future I-41 right-of-way at no cost, unless we choose to relocate the utilities. The Village attorney has reviewed the documents and recommended their execution. Based on this, the Department of Public Works recommends conveying the easement rights to WisDOT and executing the WisDOT DT1660 forms for the two conveyances.

Respectfully Submitted,  
Robert Givens, PE, PH, CFM  
Director of Public Works

# CONVEYANCE OF RIGHTS IN LAND (Non-Fee Land Interests)

Wisconsin Department of Transportation

Exempt from-filing transfer form s.77.21(1) Wis. Stats.

DT1660 01/2022 s.84.09(1) Wis. Stats.

**Village of Little Chute (Water Department)**, GRANTOR, for and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, grants and conveys any and all rights and interest which, by virtue of prior title, easement, license, or other legal devices, GRANTOR holds in the land described below to the State of Wisconsin, Department of Transportation, GRANTEE, for the purposes of constructing, operating, and maintaining a public highway and appurtenant facilities on, over, under, or across the said land; provided, however that GRANTOR reserves to itself the subordinate right to cross, traverse, or otherwise occupy said land with its present and future overhead or underground transmission lines, appurtenant facilities, and supporting structures in a manner consistent with the purposes of this conveyance and in a manner which will not interfere with normal highway maintenance and operation; provided, further, that the costs of any relocation or alteration, now or in the future, of the transmission lines, appurtenant facilities, or supporting structures when required by the GRANTEE for any reason, including accommodating future expanded or additional highway facilities on, over, under or across said land, will be paid by the GRANTEE; provided, however, that the costs of such relocation or alteration, or of the installation of new or additional facilities when done at the instance of and for the purposes of the GRANTOR, will be defrayed by the GRANTOR.

This conveyance shall be binding on the GRANTOR, GRANTEE, and their respective successors and assigns.

Other persons having an interest in record in the property: NONE

This space is reserved for recording data

Return to

Division of Transportation System Development  
Northeast Region  
Utility Unit  
944 Vanderperren Way  
Green Bay WI 54304-5344

Parcel Identification Number/Tax Key Number

SEE ATTACHED

## Legal Description

SEE ATTACHED

The undersigned certify that this instrument is executed with the full right, power and authority to do so on behalf of Grantor.

## Acknowledgement

Village of Little Chute

(Grantor Name)

(Signature)

(Title)

(Print Name)

(Signature)

(Title)

(Print Name)

(Date)

State of

)

) ss.

County

)

On the above date, this instrument was acknowledged before me by the named person(s).

The signer was:\_\_\_\_\_ Physically in my presence. OR  
\_\_\_\_\_In my presence involving the use of communication technology.

(Signature, Notary Public)

(Print or Type Name, Notary Public)

(Date Commission Expires)



## Conveyance of Rights in Land Legal Description

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All that part of the lands subject to the Grantor's easements or interests included in lands acquired for the improvement of IH 41 by the Grantee in:

Parcel(s) 277 of transportation project plat 1130-63-21-4.27 Amendment No. 2, recorded as document #2351356 recorded in Outagamie County, Wisconsin.

Parcel Number	Recorded Easement	Tax Key Number
277	1179714	260440801

# CONVEYANCE OF RIGHTS IN LAND (Non-Fee Land Interests)

Wisconsin Department of Transportation

Exempt from-filing transfer form s.77.21(1) Wis. Stats.

DT1660 01/2022 s.84.09(1) Wis. Stats.

**Village of Little Chute (Sanitary Sewer Department)**, GRANTOR, for and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, grants and conveys any and all rights and interest which, by virtue of prior title, easement, license, or other legal devices, GRANTOR holds in the land described below to the State of Wisconsin, Department of Transportation, GRANTEE, for the purposes of constructing, operating, and maintaining a public highway and appurtenant facilities on, over, under, or across the said land; provided, however that GRANTOR reserves to itself the subordinate right to cross, traverse, or otherwise occupy said land with its present and future overhead or underground transmission lines, appurtenant facilities, and supporting structures in a manner consistent with the purposes of this conveyance and in a manner which will not interfere with normal highway maintenance and operation; provided, further, that the costs of any relocation or alteration, now or in the future, of the transmission lines, appurtenant facilities, or supporting structures when required by the GRANTEE for any reason, including accommodating future expanded or additional highway facilities on, over, under or across said land, will be paid by the GRANTEE; provided, however, that the costs of such relocation or alteration, or of the installation of new or additional facilities when done at the instance of and for the purposes of the GRANTOR, will be defrayed by the GRANTOR.

This conveyance shall be binding on the GRANTOR, GRANTEE, and their respective successors and assigns.

Other persons having an interest in record in the property: NONE

This space is reserved for recording data

Return to

Division of Transportation System Development  
Northeast Region  
Utility Unit  
944 Vanderperren Way  
Green Bay WI 54304-5344

Parcel Identification Number/Tax Key Number

SEE ATTACHED

## Legal Description

SEE ATTACHED

The undersigned certify that this instrument is executed with the full right, power and authority to do so on behalf of Grantor.

## Acknowledgement

Village of Little Chute

(Grantor Name)

(Signature)

(Title)

(Print Name)

(Signature)

(Title)

(Print Name)

(Date)

State of

)

) ss.

County

)

On the above date, this instrument was acknowledged before me by the named person(s).

The signer was:\_\_\_\_\_. Physically in my presence. OR  
\_\_\_\_\_In my presence involving the use of communication technology.

(Signature, Notary Public)

(Print or Type Name, Notary Public)

(Date Commission Expires)

## Conveyance of Rights in Land Legal Description

---

All that part of the lands subject to the Grantor's easements or interests included in lands acquired for the improvement of IH 41 by the Grantee in:

Parcel(s) 276, 277 of transportation project plat 1130-63-21-4.27 Amendment No. 2, recorded as document #2351356 recorded in Outagamie County, Wisconsin.

Parcel Number	Recorded Easement	Tax Key Number
276	1179713	260425300
277	1179714	260440801



## Item For Consideration

**For Board Review On:** December 3, 2025

**Agenda Item Topic:** Heesakker Park Shelter and  
Parking Lot Design & Engineering Phase

**Prepared On:** November 21, 2025

**Prepared By:** DPRF

**Report:** The Village Board awarded Graef as the consultant for the Heesakker Park Shelter & Parking Lot Concept Refinement project. Using stakeholder and staff comments and data, GRAEF has met the deliverables of the contract by producing 3 concepts for facilities with capacities of 50, 75, and 100+ along with Opinion of Probable Cost (OPC) for each concept, with a comparison matrix, and been paid in full to close the project out.

On November 20, 2025 Park Planning reviewed the consultants work and preferred to move forward with design and engineering, a building with a capacity no more than 126 persons and not to exceed \$2.2 million for the next phase of the project process. Attached are the concept refinement plans, opinion of probable costs, and comparison matrix for your reference. ***At this time, all options do not include FF&E (Furnishings, Fixtures, and Equipment) and demolition of the existing bathroom.***

- 50-person shelter option: \$1,704,705
- 75-person shelter option: \$1,989,868
- 126-person shelter option: \$2,493,305

### **Fiscal Impact:**

The Heesakker Park Staircase Project came in over budget so was amended when the contract was awarded for construction. Current final costs estimates total \$172,027 (\$23,830 raSmith design and engineering; \$144,476 Highway Landscapers construction contract; \$3,721 legal and VLC engineering costs).

The current estimate of available trust funding is \$2,963,688 based on the September 30 Trust Statement and distributions received to date. This leaves \$2,781,703 for remaining projects:

The shelter project has expended \$27,945 to date (\$27,300 Graef and \$645 of legal costs). This leaves \$2,227,055 for construction, VLC engineering costs, demolition and furniture and fixtures.



## Item For Consideration

The Bridge Replacement project was identified for \$257,000. In an effort to be cost efficient due to rising costs, staff are investigating other crossing methods such as a basic culvert or culvert with wingwalls, but full analysis is not yet complete and also dependent on stormwater regulations.

As a recap, the current budgetary plan for the trust currently stands at:

<u>Projects</u>	<u>Total</u>	<u>YTD Expended</u>
Staircase	172,027	18,638
Heesakker Shelter and Parking Lot	2,265,000	27,945
Bridge Replacement	257,000	-
Legal and Contingency	269,661	-
	<u>2,963,688</u>	<u>46,583</u>

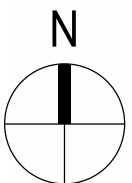
*The amount for legal and contingency line is showing typical 10% the Village uses as a safeguard when awarding contracts.*

**Recommendation/Committee Action:** Based on overall funds available coupled together with opinion of probable costs provided by Graef and existing project costs, with guidance from Park Planning Committee, staff make a recommendation to Village Board to move forward with an RFP for Design and Engineering for Heesakker Park Shelter and Parking Lot using concepts from refinement plan and all stakeholder comments for a building capacity of up to 126 persons that does not exceed a \$2.2 million budget.

**Respectfully Submitted,**

John McDonald – Parks, Recreation, & Forestry









DATE:8/14/2025

BY:PJS

CHK'D:PJS

Heesaker Park Shelter & Parking Lot Concept Refinement

Village of Little Chute, WI

OPINION OF PROBABLE CONSTRUCTION COSTS

126-PERSON SHELTER OPTION

ITEM	UNITS	QUAN.	UNIT PRICE	TOTAL
GENERAL				
Mobilization/Demobilization	LS	1	\$20,000.00	\$20,000.00
			Subtotal	\$20,000.00
DEMOLITION				
Clearing and Grubbing	AC	1	\$6,000.00	\$6,000.00
Tracking Pad	EA	1	\$3,000.00	\$3,000.00
Perimeter Control (silt fence or erosion wattle)	LF	600	\$5.00	\$3,000.00
Tree Protection	EA	8	\$250.00	\$2,000.00
			Subtotal	\$14,000.00
SITE IMPROVEMENTS				
Earthwork (Incl Rugby Field Regrading for drainage)	CY	1,300	\$12.00	\$15,600.00
Base Aggregate Dense, 1.25-inch (or 3/4-inch)	TN	2,170	\$18.00	\$39,060.00
Hot-mix Asphalt Pavement, 3LT, 2-inch (binder course)	TN	310	\$120.00	\$37,200.00
Hot-mix Asphalt Pavement, 4LT, 1.5-inch (surface course)	TN	235	\$120.00	\$28,200.00
Geotextile Fabric, Type SAS	SY	2,840	\$2.50	\$7,100.00
24" Mountable Concrete Curb and Gutter	LF	1,215	\$25.00	\$30,375.00
Concrete Sidewalk and Patios, 5-inch	SF	7,400	\$7.25	\$53,650.00
Pavement Striping, Paint, White, 4-inch	LF	1,200	\$3.60	\$4,320.00
Pavement Markings & Symbols	EA	6	\$300.00	\$1,800.00
Sign, Traffic & ADA (including post & fasteners)\	EA	6	\$300.00	\$1,800.00
Shade Structure	LS	1	\$25,000.00	\$25,000.00
Cast in Place Concrete Benches	LF	80	\$200.00	\$16,000.00
			Subtotal	\$260,105.00
BUILDING				
126-Person Park Shelter (CMU Block, bathrooms, catering kitchen, community room) (4350 SF)	LS	1	\$1,522,500.00	\$1,522,500.00
Water Service Extension to Shelter with Site Hydrant (6" PVC C900 to hyd/1-1/2" HDPE to Bldg)	LS	1	\$30,000.00	\$30,000.00
Sanitary Service Extension to Shelter (4" PVC SDR 35 with 3 Cleanouts)	LS	1	\$25,000.00	\$25,000.00
Dry (Gas/Elec) Utility Extensions to Shelter	LS	1	\$10,000.00	\$10,000.00
			Subtotal	\$1,587,500.00
ELECTRICAL PROVISIONS				
Control Panel (in Bldg)	EA	1	\$3,500.00	\$3,500.00
Service Reconnection	EA	1	\$4,000.00	\$4,000.00
Meter Socket & Pedestal	EA	1	\$1,500.00	\$1,500.00
Exterior Parking Lot Lighting - Fixture	EA	6	\$800.00	\$4,800.00
Exterior Parking Lighting - Pole	EA	6	\$2,000.00	\$12,000.00
Parking Lot Pole Concrete Base	EA	6	\$2,200.00	\$13,200.00
Conduit & Wiring, 1-inch PVC, 10 AWG (exterior)	LF	400	\$7.00	\$2,800.00
Conduit & Wiring, 1-inch Steel (interior)	LF	104	\$12.00	\$1,250.00
Security Camera	EA	4	\$1,500.00	\$6,000.00
			Subtotal	\$49,050.00
STORMWATER MANAGEMENT				
Storm Sewer, PVC, 12-inch	LF	70	\$50.00	\$3,500.00
Underdrain, PVC, 6-inch	LF	80	\$10.00	\$800.00
Cleanout, PVC, 6-inch	EA	2	\$1,000.00	\$2,000.00
Biobasin(s) (including fine grading, engineered soil, aggregate storage, & filter fabric)	SY	380	\$120.00	\$45,600.00
			Subtotal	\$51,900.00
SITE RESTORATION				
Erosion Mat	SY	150	\$3.60	\$540.00
Turf Restoration	SY	2,700	\$1.80	\$4,860.00
Seeding - Biobasin Mix	SY	100	\$21.50	\$2,150.00
Plantings - Biobasin	EA	20	\$300.00	\$6,000.00
Plantings - Trees	EA	20	\$720.00	\$14,400.00
Plantings - Shrubs	EA	50	\$250.00	\$12,500.00
Plantings - Perrenial Beds	SY	110	\$30.00	\$3,300.00
			Subtotal	\$43,750.00
Subtotal Construction Costs				\$2,026,305.00
Contingency (15%)				\$303,900.00
TOTAL CONSTRUCTION COSTS				\$2,330,205.00
Engineering/Delivery (7%)				\$163,100.00
TOTAL PROJECT COST				\$2,493,305.00

Notes:

Does NOT include FF&E (Furnishings Fixtures and Equipment

Demolition of Existing Bathroom by VOLC and not included here



DATE:8/14/2025

BY:PJS

CHK'D:PJS

Heesaker Park Shelter & Parking Lot Concept Refinement

Village of Little Chute, WI

OPINION OF PROBABLE CONSTRUCTION COSTS

75-PERSON SHELTER OPTION

ITEM	UNITS	QUAN.	UNIT PRICE	TOTAL
GENERAL				
Mobilization/Demobilization	LS	1	\$20,000.00	\$20,000.00
			Subtotal	\$20,000.00
DEMOLITION				
Clearing and Grubbing	AC	1	\$6,000.00	\$6,000.00
Tracking Pad	EA	1	\$3,000.00	\$3,000.00
Perimeter Control (silt fence or erosion wattle)	LF	600	\$5.00	\$3,000.00
Tree Protection	EA	8	\$250.00	\$2,000.00
			Subtotal	\$14,000.00
SITE IMPROVEMENTS				
Earthwork (Incl Rugby Field Regrading for drainage)	CY	1,170	\$12.00	\$14,040.00
Base Aggregate Dense, 1.25-inch (or 3/4-inch)	TN	1,953	\$18.00	\$35,154.00
Hot-mix Asphalt Pavement, 3LT, 2-inch (binder course)	TN	279	\$120.00	\$33,480.00
Hot-mix Asphalt Pavement, 4LT, 1.5-inch (surface course)	TN	212	\$120.00	\$25,380.00
Geotextile Fabric, Type SAS	SY	2,556	\$2.50	\$6,390.00
24" Mountable Concrete Curb and Gutter	LF	1,094	\$25.00	\$27,337.50
Concrete Sidewalk and Patios, 5-inch	SF	6,660	\$7.25	\$48,285.00
Pavement Striping, Paint, White, 4-inch	LF	1,080	\$3.60	\$3,888.00
Pavement Markings & Symbols	EA	6	\$300.00	\$1,800.00
Sign, Traffic & ADA (including post & fasteners)\	EA	6	\$300.00	\$1,800.00
Shade Structure	LS	1	\$25,000.00	\$25,000.00
Cast in Place Concrete Benches	LF	80	\$200.00	\$16,000.00
			Subtotal	\$238,554.50
BUILDING				
75-Person Park Shelter (CMU Block, bathrooms, catering kitchen, community room) (3265 SF)	LS	1	\$1,142,750.00	\$1,142,750.00
Water Service Extension to Shelter with Site Hydrant (6" PVC C900 to hyd/1-1/2" HDPE to Bldg)	LS	1	\$30,000.00	\$30,000.00
Sanitary Service Extension to Shelter (4" PVC SDR 35 with 3 Cleanouts)	LS	1	\$25,000.00	\$25,000.00
Dry (Gas/Elec) Utility Extensions to Shelter	LS	1	\$10,000.00	\$10,000.00
			Subtotal	\$1,207,750.00
ELECTRICAL PROVISIONS				
Control Panel (in Bldg)	EA	1	\$3,500.00	\$3,500.00
Service Reconnection	EA	1	\$4,000.00	\$4,000.00
Meter Socket & Pedestal	EA	1	\$1,500.00	\$1,500.00
Exterior Parking Lot Lighting - Fixture	EA	6	\$800.00	\$4,800.00
Exterior Parking Lighting - Pole	EA	6	\$2,000.00	\$12,000.00
Parking Lot Pole Concrete Base	EA	6	\$2,200.00	\$13,200.00
Conduit & Wiring, 1-inch PVC, 10 AWG (exterior)	LF	400	\$7.00	\$2,800.00
Conduit & Wiring, 1-inch Steel (interior)	LF	104	\$12.00	\$1,250.00
Security Camera	EA	4	\$1,500.00	\$6,000.00
			Subtotal	\$49,050.00
STORMWATER MANAGEMENT				
Storm Sewer, PVC, 12-inch	LF	70	\$50.00	\$3,500.00
Underdrain, PVC, 6-inch	LF	70	\$10.00	\$700.00
Cleanout, PVC, 6-inch	EA	2	\$1,000.00	\$2,000.00
Biobasin(s) (including fine grading, engineered soil, aggregate storage, & filter fabric)	SY	350	\$120.00	\$42,000.00
			Subtotal	\$48,200.00
SITE RESTORATION				
Erosion Mat	SY	130	\$3.60	\$468.00
Turf Restoration	SY	2,500	\$1.80	\$4,500.00
Seeding - Biobasin Mix	SY	90	\$21.50	\$1,935.00
Plantings - Biobasin	EA	18	\$300.00	\$5,400.00
Plantings - Trees	EA	18	\$720.00	\$12,960.00
Plantings - Shrubs	EA	45	\$250.00	\$11,250.00
Plantings - Perrenial Beds	SY	100	\$30.00	\$3,000.00
			Subtotal	\$39,513.00
Subtotal Construction Costs				\$1,617,067.50
Contingency (15%)				\$242,600.00
TOTAL CONSTRUCTION COSTS				\$1,859,668.00
Engineering/Delivery (7%)				\$130,200.00
TOTAL PROJECT COST				\$1,989,868.00

Notes:

Does NOT include FF&E (Furnishings Fixtures and Equipment

Demolition of Existing Bathroom by VOLC and not included here





DATE:8/14/2025

BY:PJS

CHK'D:PJS

Heesaker Park Shelter & Parking Lot Concept Refinement

Village of Little Chute, WI

OPINION OF PROBABLE CONSTRUCTION COSTS

50-PERSON SHELTER OPTION

ITEM	UNITS	QUAN.	UNIT PRICE	TOTAL
GENERAL				
Mobilization/Demobilization	LS	1	\$20,000.00	\$20,000.00
			Subtotal	\$20,000.00
DEMOLITION				
Clearing and Grubbing	AC	1	\$6,000.00	\$6,000.00
Tracking Pad	EA	1	\$3,000.00	\$3,000.00
Perimeter Control (silt fence or erosion wattle)	LF	600	\$5.00	\$3,000.00
Tree Protection	EA	8	\$250.00	\$2,000.00
			Subtotal	\$14,000.00
SITE IMPROVEMENTS				
Earthwork (Incl Rugby Field Regrading for drainage)	CY	1,105	\$12.00	\$13,260.00
Base Aggregate Dense, 1.25-inch (or 3/4-inch)	TN	1,845	\$18.00	\$33,201.00
Hot-mix Asphalt Pavement, 3LT, 2-inch (binder course)	TN	264	\$120.00	\$31,620.00
Hot-mix Asphalt Pavement, 4LT, 1.5-inch (surface course)	TN	200	\$120.00	\$23,970.00
Geotextile Fabric, Type SAS	SY	2,414	\$2.50	\$6,035.00
24" Mountable Concrete Curb and Gutter	LF	1,033	\$25.00	\$25,818.75
Concrete Sidewalk and Patios, 5-inch	SF	6,290	\$7.25	\$45,602.50
Pavement Striping, Paint, White, 4-inch	LF	1,020	\$3.60	\$3,672.00
Pavement Markings & Symbols	EA	6	\$300.00	\$1,800.00
Sign, Traffic & ADA (including post & fasteners)\	EA	6	\$300.00	\$1,800.00
Shade Structure	LS	1	\$25,000.00	\$25,000.00
Cast in Place Concrete Benches	LF	80	\$200.00	\$16,000.00
			Subtotal	\$227,779.25
BUILDING				
50-Person Park Shelter (CMU Block, bathrooms, catering kitchen, community room) (2660 SF)	LS	1	\$931,000.00	\$931,000.00
Water Service Extension to Shelter with Site Hydrant (6" PVC C900 to hyd/1-1/2" HDPE to Bldg)	LS	1	\$30,000.00	\$30,000.00
Sanitary Service Extension to Shelter (4" PVC SDR 35 with 3 Cleanouts)	LS	1	\$25,000.00	\$25,000.00
Dry (Gas/Elec) Utility Extensions to Shelter	LS	1	\$10,000.00	\$10,000.00
			Subtotal	\$996,000.00
ELECTRICAL PROVISIONS				
Control Panel (in Bldg)	EA	1	\$3,500.00	\$3,500.00
Service Reconnection	EA	1	\$4,000.00	\$4,000.00
Meter Socket & Pedestal	EA	1	\$1,500.00	\$1,500.00
Exterior Parking Lot Lighting - Fixture	EA	6	\$800.00	\$4,800.00
Exterior Parking Lighting - Pole	EA	6	\$2,000.00	\$12,000.00
Parking Lot Pole Concrete Base	EA	6	\$2,200.00	\$13,200.00
Conduit & Wiring, 1-inch PVC, 10 AWG (exterior)	LF	400	\$7.00	\$2,800.00
Conduit & Wiring, 1-inch Steel (interior)	LF	104	\$12.00	\$1,250.00
Security Camera	EA	4	\$1,500.00	\$6,000.00
			Subtotal	\$49,050.00
STORMWATER MANAGEMENT				
Storm Sewer, PVC, 12-inch	LF	70	\$50.00	\$3,500.00
Underdrain, PVC, 6-inch	LF	60	\$10.00	\$600.00
Cleanout, PVC, 6-inch	EA	2	\$1,000.00	\$2,000.00
Biobasin(s) (including fine grading, engineered soil, aggregate storage, & filter fabric)	SY	320	\$120.00	\$38,400.00
			Subtotal	\$44,500.00
SITE RESTORATION				
Erosion Mat	SY	110	\$3.60	\$396.00
Turf Restoration	SY	2,200	\$1.80	\$3,960.00
Seeding - Biobasin Mix	SY	80	\$21.50	\$1,720.00
Plantings - Biobasin	EA	15	\$300.00	\$4,500.00
Plantings - Trees	EA	15	\$720.00	\$10,800.00
Plantings - Shrubs	EA	40	\$250.00	\$10,000.00
Plantings - Perrenial Beds	SY	90	\$30.00	\$2,700.00
			Subtotal	\$34,076.00
Subtotal Construction Costs				\$1,385,405.25
Contingency (15%)				\$207,800.00
TOTAL CONSTRUCTION COSTS				\$1,593,205.00
Engineering/Delivery (7%)				\$111,500.00
TOTAL PROJECT COST				\$1,704,705.00

Notes:

Does NOT include FF&E (Furnishings Fixtures and Equipment

Demolition of Existing Bathroom by VOLC and not included here



DATE: 8/14/2025  
BY: MEG  
CHKD: PJS

**Heesakker Park Shelter & Parking Lot Concept Refinement**  
Village of Little Chute, WI  
**Park Shelter Rental Community Comparison Matrix**

Community	Park or Facility Name	Shelter and/or Room Name	Indoor Capacity/ #People	Security Deposit \$	Rental \$/Day (Weekday) - \$Residents/\$Non-Residents	Rental \$/Day (Weekend or Holiday) - \$Residents/\$Non-Residents	Kitchen	Restroom Access (Indoor and/or Outdoor)	Indoor Amenities Notes	Indoor Furniture/Supplies Included Rental (i.e. table, chairs, picnic tables)	Outdoor/Open Air Amenities
<b>Little Chute</b>											
Little Chute	Van Lieshout Park	Van Lieshout Indoor Rec Center with Full Kitchen	99	\$ 250	\$200/\$300	\$400/\$500	Full Kitchen	Indoor	Temp controlled, TV, full kitchen with frig, stove, microwave, sink, electricity.	15: 6-ft table,	Rental includes outdoor covered patio area with bench seating, standing table top island, and charcoal grill cooking area. Located by a ball diamond.
Little Chute	Civic Center	Civic Center Indoor N1/N2 Room with Full Kitchen	100	\$ 250	\$150/\$250	\$350/\$450	Full Kitchen	Indoor	Temp controlled, full size kitchen with frig, stove, microwave, sink, counters, electricity	17: 6-ft tables, 90 chairs	N/A - no
Little Chute	Civil Center	Civic Center Indoor S2/S3 Room with Kitchenette	100	\$ 250	\$150/\$250	\$350/\$450	Kitchenette	Indoor	Temp controlled, kitchenette that contains counter to floor fridge, stove, microwave, sink, electricity	17: 6-ft tables, 90 chairs	N/A - no
<b>DePere</b>											
DePere	Voyager Park	Nelson Family Pavilion (Indoor - Susan Ann Cloud Multi-Purpose Room) and (Outdoor- KC & Georgia Stock Patio)	Indoor 49; Outdoor 500	\$ 250	\$250/\$400	\$400/\$550	Full Kitchen	Indoor one restroom part of rental. Eight outdoor restrooms shared with public.	Facility equipped with multiple power outlets and circuits. Equipped with in-floor heating with allows year round years. But not perfectly equipped for mid-winter use.	10: 6-ft tables, 36 folding chairs, 4 bar height tables with 16 chairs	Outdoor KC & Georgia Stock Patio area included with rental - with 7 picnic tables. Voyager Park Bowl (large grass area) may be rented in conjunction for an additional \$250/day
<b>Menasha</b>											
Menasha	Only park with enclosed building and indoor seating rental space is at Hart Park - but does not have kitchen.										
Menasha	Hart Park		25		\$34/\$65		No kitchen		Heated, restrooms attached	3-4 picnic tables inside	
Menasha	Senior Center	Senior Center	75		\$100/\$160						N/A - no
<b>Kimberly</b>											
Kimberly	No park shelter rental spaces with enclosed building and indoor seating										
Kimberly	Municipal Center	Evergreen Room at Municipal Center	90		\$100/\$225		Full kitchen			17 tables with chairs for 90	N/A - no
Kimberly	Municipal Center	Cedar Room at Municipal Center	50		\$70/\$140		No kitchen			Chairs and tables for 50 people	N/A - no
<b>Kaukauna</b>											
Kaukauna	No park shelter rental spaces with enclosed building and indoor seating										
Kaukauna	In Park and Rec Building downtown	Community Room	220	\$ 300	\$125/\$225		Full kitchen				N/A - no

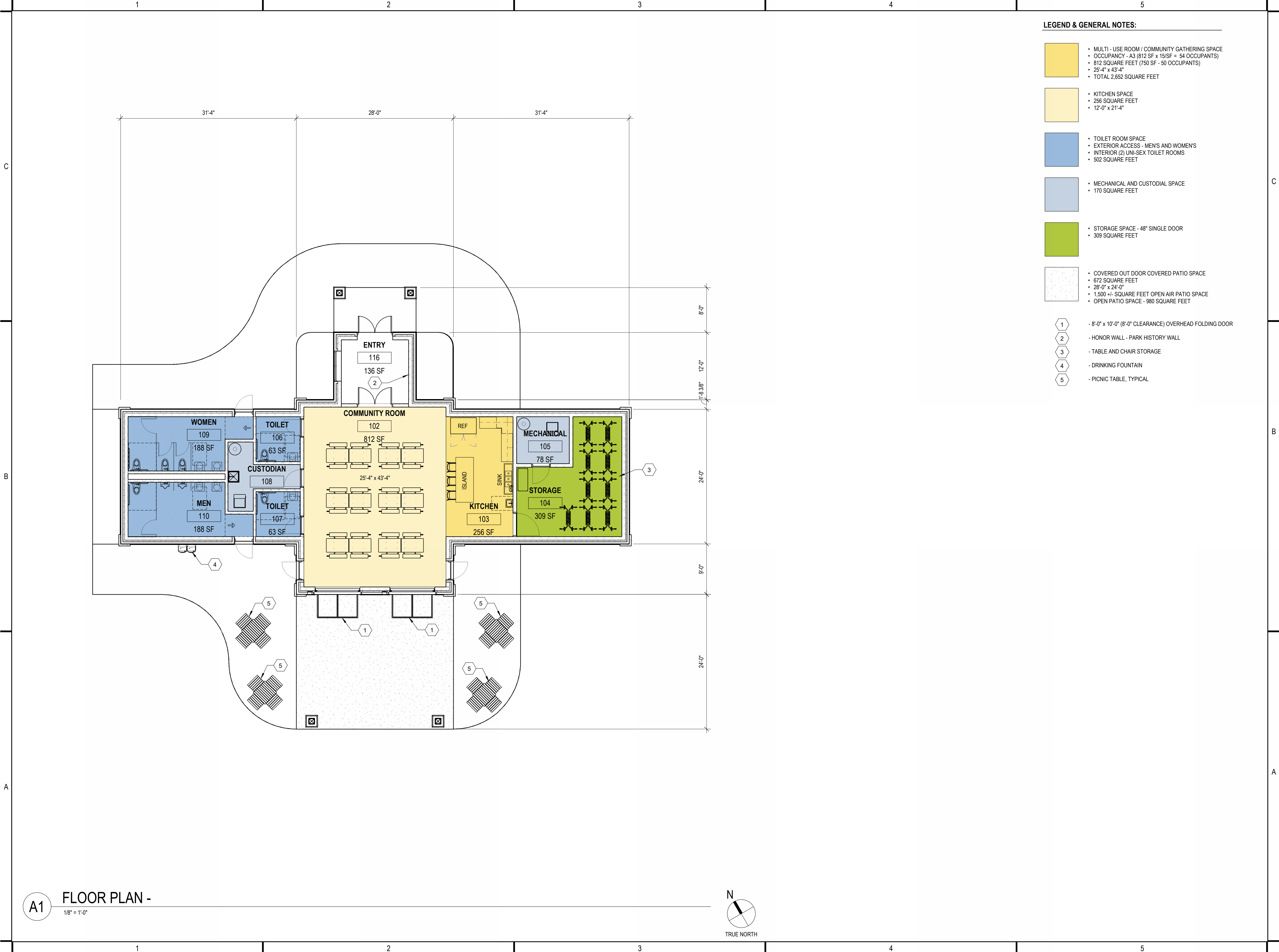


DATE: 8/14/2025  
 BY: MEG  
 CHKD: PJS

**Heesakker Park Shelter & Parking Lot Concept Refinement**  
 Village of Little Chute, WI  
**Park Shelter Rental Community Comparison Matrix**

Community	Park or Facility Name	Shelter and/or Room Name	Indoor Capacity/ #People	Security Deposit \$	Rental \$/Day (Weekday) - \$Residents/\$Non-Residents	Rental \$/Day (Weekend or Holiday) - \$Residents/\$Non-Residents	Kitchen	Restroom Access (Indoor and/or Outdoor)	Indoor Amenity Notes	Indoor Furniture/Supplies Included Rental (i.e. table, chairs, picnic tables)	Outdoor/Open Air Amenities
<b>Neenah</b>											
Neenah	Green Park	Green Park Shelter	20		\$xx/\$50	\$xx/\$75	Full kitchen		No alcohol allowed	Tables and chairs for 20 people	Yes - adjacent outdoor space
Neenah	Memorial Park	Memorial Tullar Shelter	50		xx/\$85	xx/\$105	Full kitchen		No alcohol allowed	12 tables and chairs for 50 people	Yes - adjacent outdoor space
Neenah	Memorial Park	George Scherck Shelter	100		xx/\$155	xx/\$185	Full kitchen		No alcohol allowed	20 tables and chairs for 100 people	Yes - adjacent outdoor space
Neenah	Doty Park?	Whiting Boat House	50		\$xx/\$190	\$xx/\$240	Full kitchen		Note - this is Neenah's only park rental indoor area that allows alcohol	12 tables and chairs for 50 people	Yes - adjacent outdoor space
<b>Wrightstown</b>											
Wrightstown	No park shelter rental spaces with enclosed building and indoor seating										
Wrightstown	Village Hall	Community Room	60			\$75/\$125	Full kitchen			Tables and chairs for 60 people	
<b>Grand Chute</b>											
Grand Chute	Town Center Park	Room A	60			xx/\$170	Full Kitchen				
Grand Chute	Town Center Park	Room B	30			xx/\$xx	No kitchen				
Grand Chute	Town Center	Room A &	90			xx/\$240	Full Kitchen				
<b>Combined Locks</b>											
Combined Locks	Van Zeeland Park	Van Zeeland Park Shelter	50	\$ 200		xx/\$200	Kitchenette		Frig, sink prep area, outlets. No stove, no microwave		Yes - adjacent outdoor space. Has garage type door/window can roll up or down

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- LEGEND & GENERAL NOTES:**
- MULTI - USE ROOM / COMMUNITY GATHERING SPACE
    - OCCUPANCY - A3 (812 SF x 15/SF = 54 OCCUPANTS)
    - 812 SQUARE FEET (750 SF - 50 OCCUPANTS)
    - 25'-4" x 43'-4"
    - TOTAL 2,652 SQUARE FEET
  - KITCHEN SPACE
    - 256 SQUARE FEET
    - 12'-0" x 21'-4"
  - TOILET ROOM SPACE
    - EXTERIOR ACCESS - MEN'S AND WOMEN'S
    - INTERIOR (2) UNI-SEX TOILET ROOMS
    - 502 SQUARE FEET
  - MECHANICAL AND CUSTODIAL SPACE
    - 170 SQUARE FEET
  - STORAGE SPACE - 48" SINGLE DOOR
    - 309 SQUARE FEET
  - COVERED OUT DOOR COVERED PATIO SPACE
    - 672 SQUARE FEET
    - 28'-0" x 24'-0"
    - 1,500 +/- SQUARE FEET OPEN AIR PATIO SPACE
    - OPEN PATIO SPACE - 980 SQUARE FEET
  - 8'-0" x 10'-0" (8'-0" CLEARANCE) OVERHEAD FOLDING DOOR
  - HONOR WALL - PARK HISTORY WALL
  - TABLE AND CHAIR STORAGE
  - DRINKING FOUNTAIN
  - PICNIC TABLE, TYPICAL

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CLIENT:  
VILLAGE OF LITTLE CHUTE

PROJECT TITLE:  
HEESAKKER PARK PARKING AND  
SHELTER 50 PERSON

HEESAKKER PARK,  
LITTLE CHUTE, WI  
ISSUE:

PROJECT INFORMATION:  
PROJECT NUMBER: 2025-2050.00  
DATE: 08/20/2025  
DRAWN BY: JDJ  
CHECKED BY: EJ  
APPROVED BY: PJS  
SCALE: AS NOTED

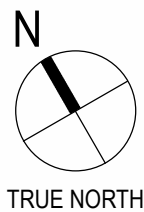
SHEET TITLE:  
BUILDING CONCEPT - 50 PERSON  
CAPACITY

SHEET NUMBER:

**A101**

**A1** FLOOR PLAN -

1/8" = 1'-0"





8/13/2025 10:40:24 AM



TOP OF ROOF  
21' - 0"

SOFFIT  
10' - 0"

FINISH FLOOR  
0' - 0"

**B1** NORTH ELEVATION  
3/16" = 1'-0"



TOP OF ROOF  
21' - 0"

SOFFIT  
10' - 0"

FINISH FLOOR  
0' - 0"

**A1** SOUTH ELEVATION  
3/16" = 1'-0"

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HEESAKKER PARK PARKING AND  
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HEESAKKER PARK,  
LITTLE CHUTE, WI

ISSUE:

PROJECT INFORMATION:

PROJECT NUMBER: 2025-2050.00

DATE: 08/20/2025

DRAWN BY: JDJ

CHECKED BY: EJ

APPROVED BY: PJS

SCALE: AS NOTED

SHEET TITLE:

ELEVATIONS - 50 PERSON  
CAPACITY

SHEET NUMBER:

**A101a**



8/13/2025 10:40:27 AM



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PROJECT TITLE:  
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SHELTER 50 PERSON

HEESAKKER PARK,  
LITTLE CHUTE, WI  
ISSUE:

PROJECT INFORMATION:  
PROJECT NUMBER: 2025-2050.00  
DATE: 08/20/2025  
DRAWN BY: JDJ  
CHECKED BY: EJ  
APPROVED BY: PJS  
SCALE: AS NOTED

SHEET TITLE:  
ELEVATIONS - 50 PERSON  
CAPACITY

SHEET NUMBER:

A101b





CANOPY VIEW



ENTRANCE VIEW

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VILLAGE OF LITTLE CHUTE

PROJECT TITLE:

HEESAKKER PARK PARKING AND  
SHELTER 50 PERSON

HEESAKKER PARK,  
LITTLE CHUTE, WI

ISSUE:

PROJECT INFORMATION:

PROJECT NUMBER: 2025-2050.00

DATE: 08/20/2025

DRAWN BY: JDJ

CHECKED BY: EJ

APPROVED BY: PSJ

SCALE: AS NOTED

SHEET TITLE:

RENDERING VIEWS - 50 PERSON  
CAPACITY

SHEET NUMBER:

**A101c**



LEGEND & GENERAL NOTES:

• MULTI - USE ROOM / COMMUNITY GATHERING SPACE  
• OCCUPANCY - A3 (1,125 SF x 15/SF = 75 OCCUPANTS)  
• 1,125 SQUARE FEET  
• 30'-0" x 61'-4"  
• TOTAL BUILDING 3,267 SF

• KITCHEN SPACE  
• 280 SQUARE FEET  
• 12'-0" x 23'-4" +

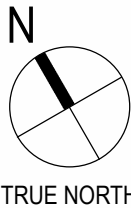
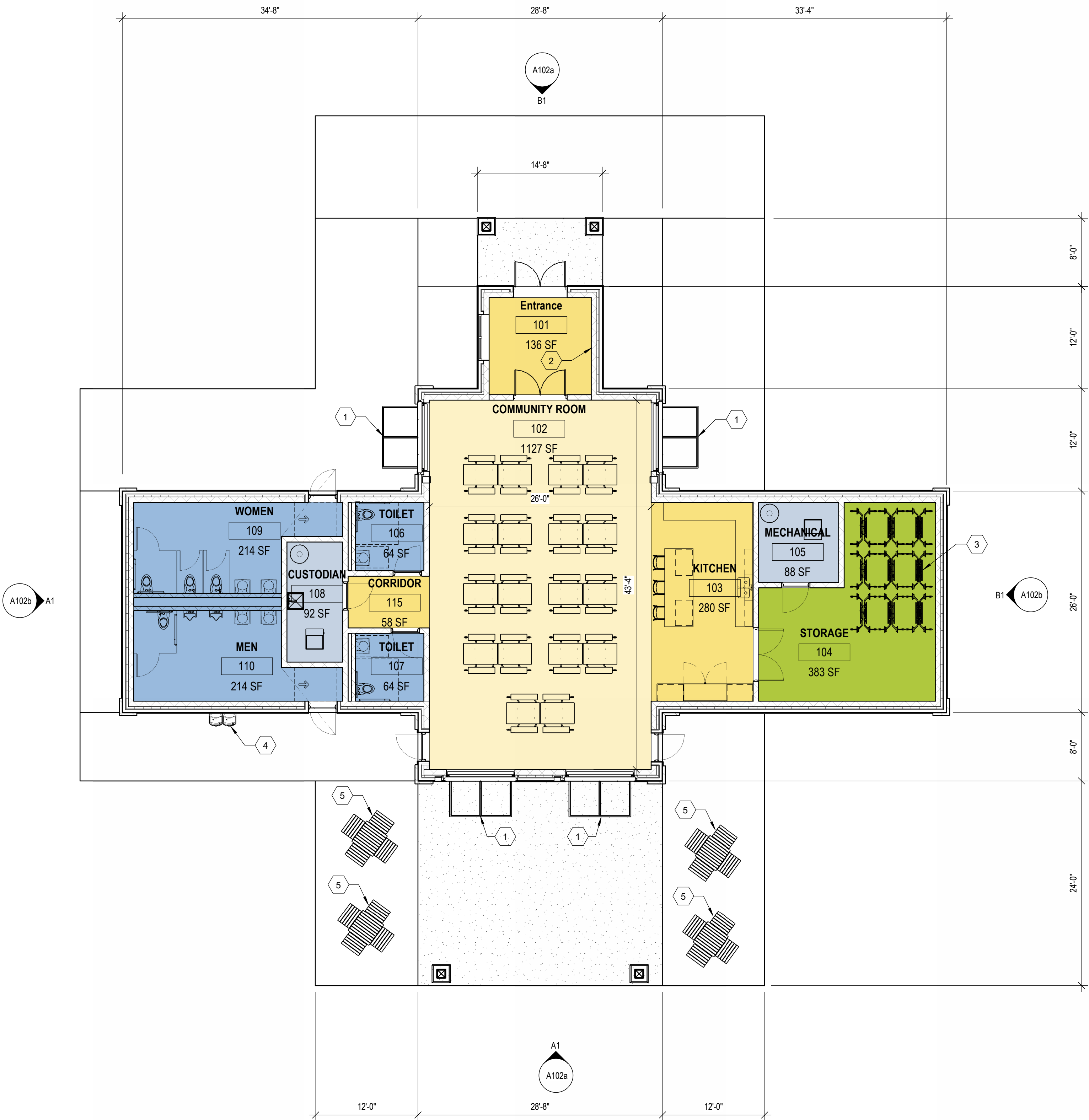
• TOILET ROOM SPACE  
• EXTERIOR ACCESS - MEN'S AND WOMEN'S  
• INTERIOR (2) UNI-SEX TOILET ROOMS  
• 566 SQUARE FEET

• MECHANICAL AND CUSTODIAL SPACE  
• 180 SQUARE FEET

• STORAGE SPACE  
• 383 SQUARE FEET

• COVERED OUT DOOR PATIO SPACE  
• 688 SQUARE FEET  
• 28'-8" x 24'-0" +/-

- 1 - 8'-0" x 10'-0" (8'-0" CLEARANCE) OVERHEAD FOLDING DOOR  
2 - HONOR WALL - PARK HISTORY WALL  
3 - TABLE AND CHAIR STORAGE  
4 - DRINKING FOUNTAIN  
5 - PICNIC TABLE, TYPICAL



A1 FLOOR PLAN - 75 PERSON CAPACITY  
1/8" = 1'-0"



8/13/2025 10:34:31 AM

C

B

A

B1

NORTH ELEVATION

3/16" = 1'-0"

A1

SOUTH ELEVATION

3/16" = 1'-0"



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HEESAKKER PARK,  
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ISSUE:

PROJECT INFORMATION:

PROJECT NUMBER: 2025-2050.00

DATE: 08/20/2025

DRAWN BY: JDJ

CHECKED BY: EJ

APPROVED BY: PJS

SCALE: AS NOTED

SHEET TITLE:

ELEVATIONS - 75 PERSON  
CAPACITY

SHEET NUMBER:

A102a



8/13/2025 10:34:34 AM

C

B

A

B1

EAST ELEVATION

3/16" = 1'-0"



TOP OF ROOF  
23' - 0"

SOFFIT  
10' - 0"

FINISH FLOOR  
0' - 0"

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PROJECT TITLE:

HEESAKKER PARK PARKING AND  
SHELTER

HEESAKKER PARK,  
LITTLE CHUTE, WI

ISSUE:

PROJECT INFORMATION:

PROJECT NUMBER: 2025-2050.00

DATE: 08/20/2025

DRAWN BY: JDJ

CHECKED BY: EJ

APPROVED BY: PSJ

SCALE: AS NOTED

SHEET TITLE:

ELEVATIONS - 75 PERSON  
CAPACITY

SHEET NUMBER:

A1

WEST ELEVATION

3/16" = 1'-0"



TOP OF ROOF  
23' - 0"

SOFFIT  
10' - 0"

FINISH FLOOR  
0' - 0"

B

A

A102b





CANOPY VIEW



ENTRY VIEW

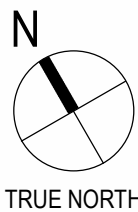
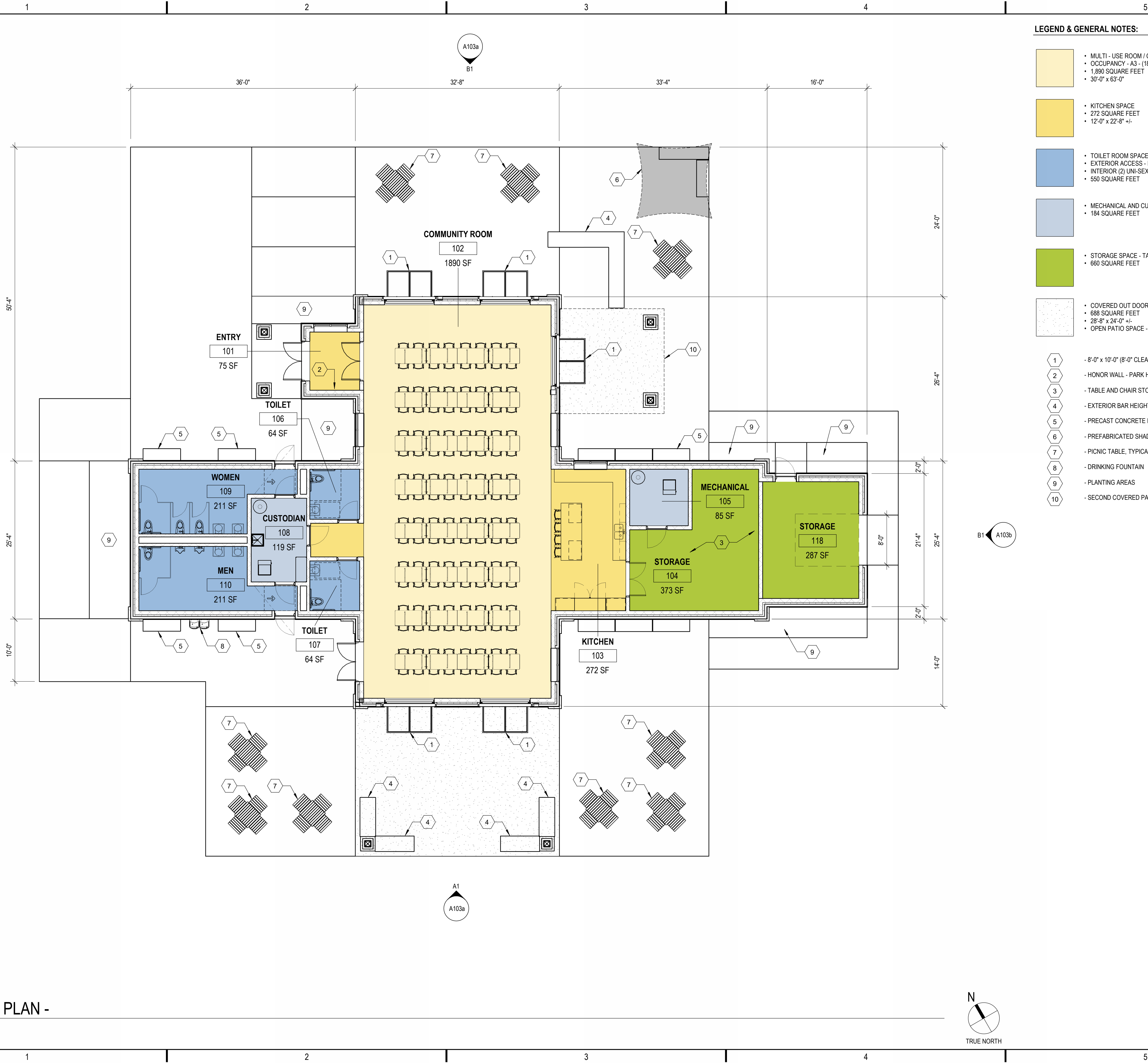


8/13/2025 11:30:18 AM

A1

FLOOR PLAN -

1/8" = 1'-0"



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PROJECT TITLE:

HEESAKKER PARK PARKING AND  
SHELTER

HEESAKKER PARK,  
LITTLE CHUTE, WI

ISSUE:

PROJECT INFORMATION:

PROJECT NUMBER: 2025-2050.00

DATE: 08/20/2025

DRAWN BY: JDJ

CHECKED BY: EJ

APPROVED BY: PJS

SCALE: AS NOTED

SHEET TITLE:

BUILDING CONCEPT - 126 PERSON  
CAPACITY

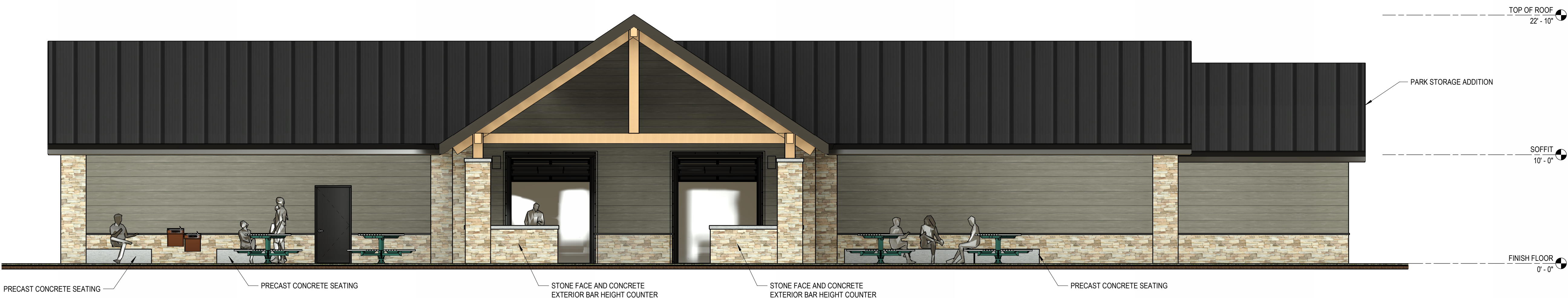
SHEET NUMBER:

A103





B1 NORTH ELEVATION  
3/16" = 1'-0"



A1 SOUTH ELEVATION  
3/16" = 1'-0"





B1 EAST ELEVATION

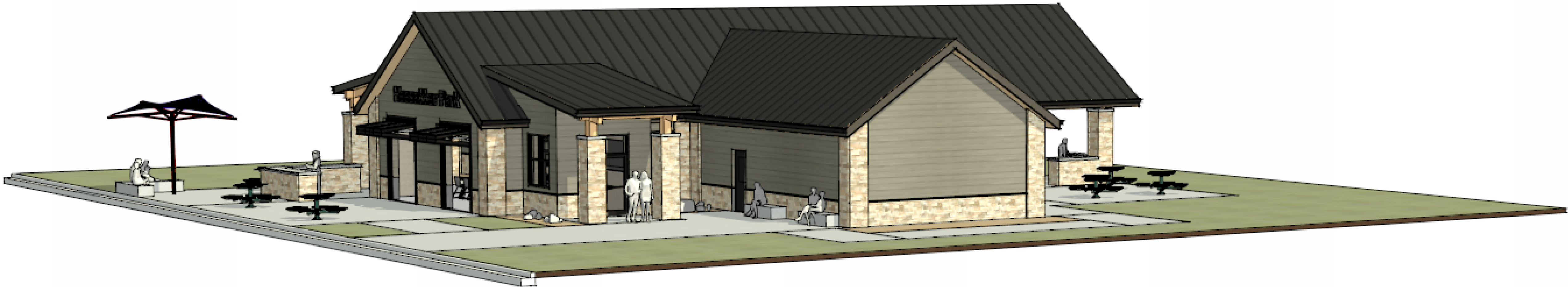
3/16" = 1'-0"



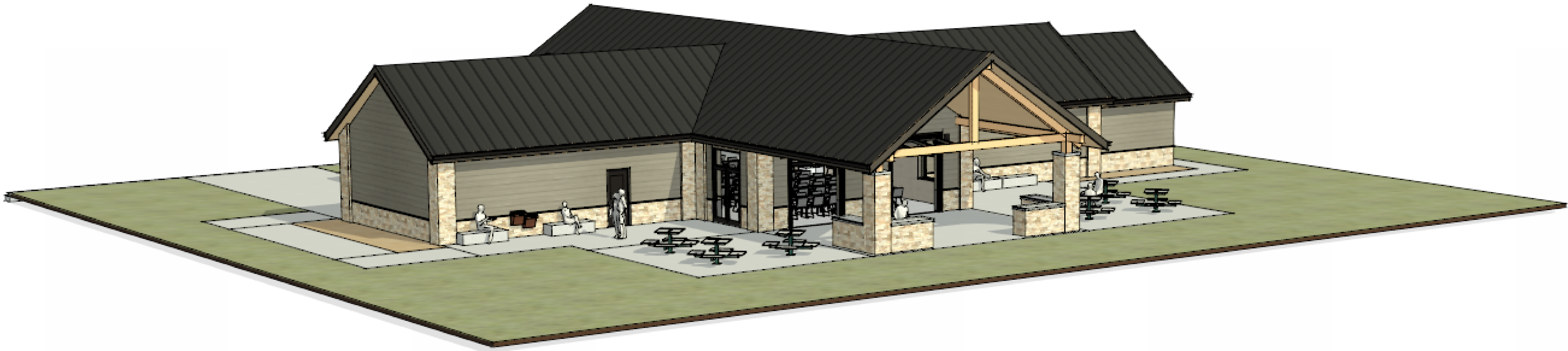
A1 WEST ELEVATION

3/16" = 1'-0"





ENTRANCE VIEW



CANOPY VIEW